

Village 3 and a Portion of Village 4 SPA Plan

Village 3 Design Plan Appendix A



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BY RESOLUTION NO. 2014-234**

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BY RESOLUTION NO. 2021-122**

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ATTACHMENT "A" - Approved Plant List

I. Introduction



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I. Introduction

A. Design Plan Document

1. Village Design Plan

The Otay Ranch General Development Plan (GDP) requires that a Village Design Plan be prepared for each village at the Sectional Planning Area (SPA) level of planning. The Village Design Plan guides planning and development by defining intended character and design elements of the village. It provides guidance for developers and designers in creating the village and it will be used by the City of Chula Vista to evaluate the village design.

The Village 3 Design Plan guides the design of sites, buildings and landscapes within the village to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The design plan identifies a theme for Village 3 and delineates that identity through streetscape and landscape design, signage programs, and architectural and lighting guidelines. The design plan also identifies the village core design concepts that will implement Otay Ranch's planned pedestrian orientation.

This introductory section of the Village Design Plan provides a description of the design review process for development within Village 3. Section II describes the Village 3 setting, land use plan, and the design theme of the village. The following sections describe the overall village design features and provide guidelines for the Village Core, and multi-family and single family residential developments.

2. Companion Documents

Otay Ranch GDP Overall Design Plan

The guiding framework plan is the Otay Ranch GDP Overall Design Plan. The Overall Design Plan provides general design guidelines appropriate to the pedestrian and transit-oriented village concepts envisioned for the community.

Village 3 Planned Community (PC) District Regulations

The PC District Regulations establish land use development standards and appropriate regulations (zoning) for all construction within the Village 3 project area. All proposed developments must adhere to the land uses, setbacks, building heights and similar regulatory criteria specified in the PC District Regulations.

I. Introduction

Village 3 Master Precise Plan(s)

Master Precise Plan(s) will be prepared to provide additional design direction within the Village Core areas. A Master Precise Plan must be approved and adopted prior to the issuance of building permits for the first multi-family or mixed use development within the village core area.

Separate Site Plans for the Mixed Use area will establish a more detailed framework for Village Core implementation, taking into consideration the Village Core Concept Plan, yet allowing flexibility for subsequent Individual Site Plan preparation should additional detail be necessary. Site Plans shall include the following:

- ❖ Building Design/Siting – Locations of proposed structures.
- ❖ Pedestrian/Vehicle/Transit Access – Identification of pedestrian, bike and vehicle access and circulation for all planning areas within the Village Core.
- ❖ Urban Character/Architecture – Identification of architectural style and key urban elements, including the transit station design.
- ❖ Lighting/Signing/Street Furnishings – Specifications for lighting fixtures, signage and street furnishings.

B. Design Review Process

1. Process

Formal design review processes have been established in the Village 3 PC District Regulations to ensure all development within Otay Ranch is consistent with City of Chula Vista policies and development standards, Otay Ranch GDP Overall Design Plan, Village 3 Design Plan and PC District Regulations. The process requires preparation of site, landscape and architectural plans that will be reviewed and approved by the Master Developer, City of Chula Vista Director of Development Services and/or City of Chula Vista Planning Commission, depending on the type of proposed project. The various review processes are described greater detail in Chapter X, Implementation & Administration of the Village 3 PC District Regulations.

2. Master Developer Review

The Village 3 infrastructure and building lots will be developed by the Master Developer. Most of the elements described in Section II of this document, including landform grading, village entries and streets will be implemented by the Master Developer. The development of commercial, community-serving uses, multi-family and single family residential neighborhoods will be by Merchant Builders and/or builder(s) affiliated with the Master Developer. A design review process has been created to facilitate development by Merchant Builders within the unique village planning concepts of the Otay Ranch planned community.

I. Introduction

The design review process includes two integrated procedures: preliminary design review by the Master Developer and review and approval by the City of Chula Vista. The process requires the Merchant Builder to formulate the design for their parcel and review it with the Master Developer prior to formal application and review by the City. The review requirements of the Master Developer are intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community. The Merchant Builder's design submittal package to the Master Developer would typically consist of preliminary site, landscape and architectural plans. Following review of the Merchant Builder's schematic design, a continuing exchange of information will be expected as the design is finalized, and the City's review process begins. Final, approved plans shall be provided to the Master Developer. If there is no Master Developer available to facilitate this process, design review will move directly to the City, unless otherwise specified in project CC&Rs.

3. City of Chula Vista - Minor Design Review

The Development Services Director is authorized to approve applications as provided in Section 19.14.030 of the Chula Vista Municipal Code and described in greater detail in the Village 3 PC District Regulations, Chapter X. The Minor Design Review process shall be used for all single-family detached units on lots of/or exceeding an average size of 2,700 square feet, including all proposals in the SF-4 zone designation and lots served by alleys and courtyards in the RM-1 Zone which have tentative subdivision map approval. Further, all proposals for attached products within the RM-2 zone with less than 200 dwelling units shall also be subject to the Minor Design Review process. All proposals shall be consistent with the Village 3 PC District Regulations and Design Plan.

4. City of Chula Vista - Major Design Review

All proposals for single-family detached units on lots less than an average size of 2,700 square feet (except detached alley and courtyard homes), all attached products within the RM-1 and RM-2 zone designations containing more than 200 units, and all proposals for non-residential land uses except (except public parks and private recreation areas), are subject to the Major Design Review process as described in CVMC Sections 19.14.58 1 (through 19.14.600). The Planning Commission shall review plans as required by the Village 3 PC District Regulations, Chapter X, Implementation & Administration. Findings shall be based on the City's Design Manuals and this Village 3 Design Plan. All Public Parks shall be approved by the Parks and Recreation Commission.

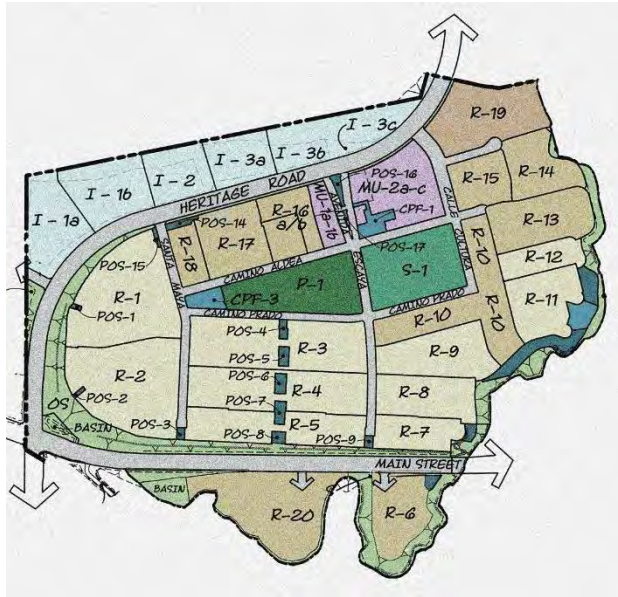
5. Appeals

An appeal to the City Council on a decision of the Planning Commission may be filed as provided for in CVMC Section 19.14.583.

I. Introduction

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II. Village Structure



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II. Village Structure

A. Setting and Design Influences

Village 3 is located on a mesa north of the Otay River Valley within the Otay Valley Parcel of Otay Ranch. The site slopes from north to south and provides view opportunities across the Otay River Valley to the south and Wolf Canyon and mountains to the east.

Otay Ranch Village 2 and the Otay Landfill are located to the north, the future Village 4 Area is located to the east, existing industrial land uses are located to the west and the Otay River Valley is to the south. A Rapid Bus Route is planned along Main Street and a transit stop/station is proposed south of Village 3. The village core is located in the northeast corner of Village 3, placing neighborhood serving mixed use commercial a public neighborhood park and an elementary school site within walking distance of a majority of village residents. The Village 3 portion of the Otay Ranch Business Park is separated from the Village Core by Heritage Road. The Otay Valley Regional Park is located south of Village 3 within the Otay River Valley. Pedestrian linkages are planned between the southern residential neighborhoods and the regional park.

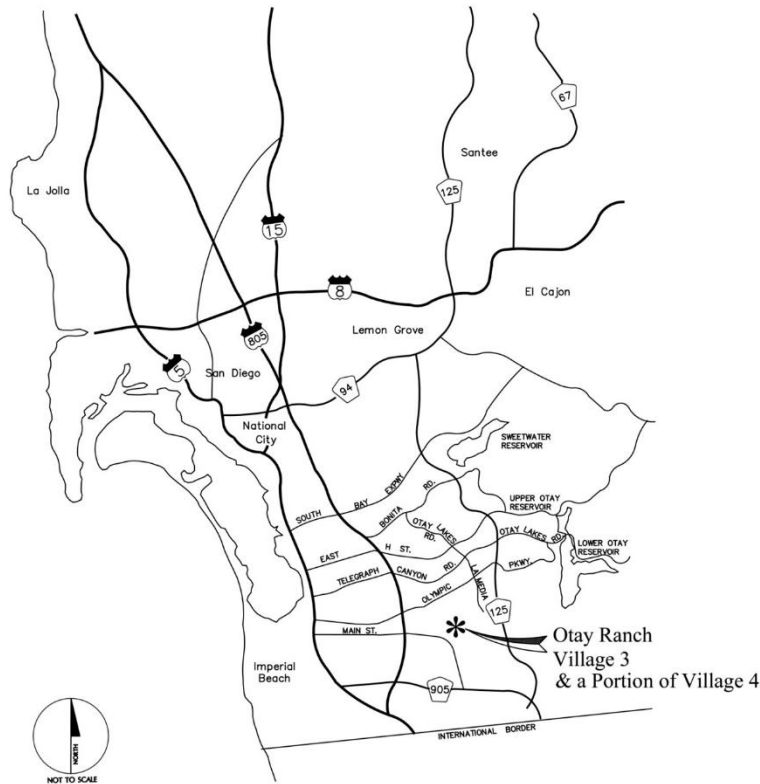


Exhibit 1
Regional Location Map

II. Village Structure

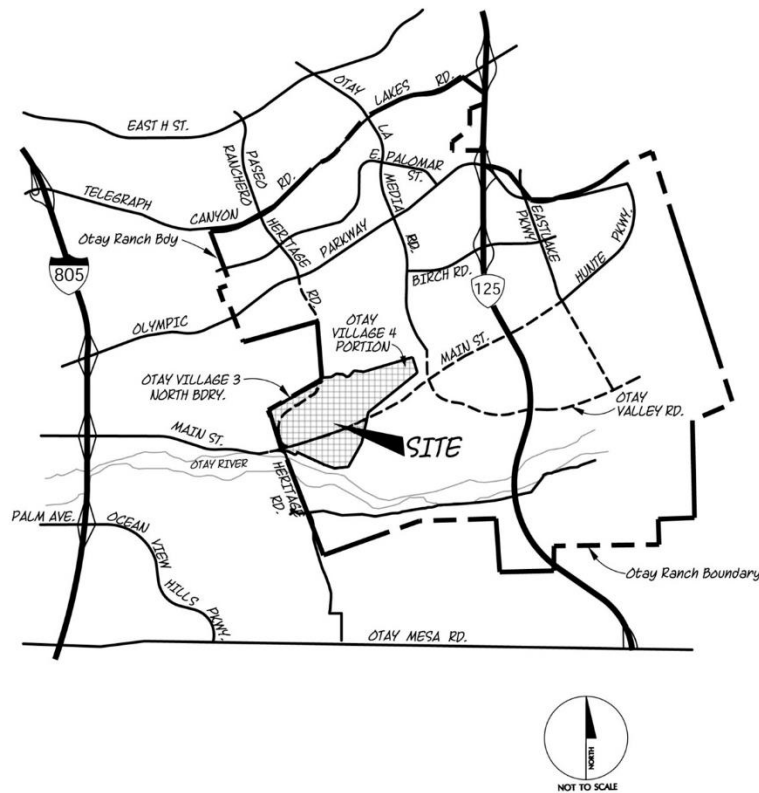


Exhibit 2
Vicinity Map

B. Pedestrian/Multi-Modal Orientation

The Otay Ranch pedestrian and multi-modal oriented design concepts have been implemented in the village design. Village 3 has village-serving land uses located within a grid street pattern as a basis for the pedestrian-oriented village design. The grid street pattern provides a variety of circulation routes through the village. The circulation system includes sidewalks separated from the roadway by parkways, tree-lined walkways, pedestrian-scaled lighting and other amenities. The pedestrian circulation system incorporates a network of Promenade Trails, Village Pathways and a Paseo connecting Village 3 to the City's regional trail system along Heritage Road and Main Street. The circulation system may include local bus service extending through the village with strategically located stops along Heritage Road. In addition, a community serving Rapid Bus route is proposed along Main Street.

Bicycle circulation is also planned within Village 3. Class 2 Bike Lanes are planned along Main Street and Heritage Road. Bicyclists have the option of utilizing the off-street Village Pathway or Class 3 Bike lanes which provide connections through the village core. Sharrows will be utilized on the Secondary Village Entry Streets and Modified Promenade Streets connecting residential neighborhoods to the Class 2 Bike Lanes along Heritage Road and Main Street.

II. Village Structure



C. Land Use Organization

The Village 3 land use plan organizes land uses around a village core comprised of a mixed use area containing multi-family residential, commercial/retail and a community purpose facility component. Multi-family and courtyard neighborhoods, a school site and a neighborhood park complete the village core. Single-family neighborhoods are planned within the secondary village area, linked to the village core along the Village Pathway, Promenade Trails and a multi-use paseo. Multi-family homes are planned on two parcels located south of Main Street. See Village 3 Illustrative Plan, Exhibit 3 for additional details.

II. Village Structure



Exhibit 3

Village 3 Illustrative Plan

Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

D. Urban Theme and Character

The historical agrarian use of the land within Otay Ranch is the inspiration for the theme and character of Village 3. An eclectic approach to community thematic architecture captures Transitional Spanish, Farmhouse and Ranch styles. These architectural styles are fresh and reinterpreted in a more contemporary way. Simple forms with an earthy palette comprised of colored stucco, stone, clay tile and wood accents establish this architectural theme. The landscape design will also evoke Otay Ranch's agrarian past with canopy trees, groves, citrus trees, ornamental grasses, raised wood and stone planters arranged in a less formal design.

The defining design agrarian architectural features are particularly applicable to the pedestrian and multi-modal transportation design of the Village 3 Core. The "Main Street" will be designed with arcades and outdoor seating and gathering spaces. Design elements may include awnings, trellises and a variety of street trees to define and highlight the created spaces. In addition to trees, the landscaping may include planting areas with a variety of colorful shrubs, groundcover and vines, as well as potted and hanging accent plants. Architecture in the Village Core mixed use commercial/residential area will allow for variety but maintains a strong basis in Farmhouse and Ranch architecture. The design theme will extend to village-serving buildings such as elementary school and recreational facilities.



II. Village Structure

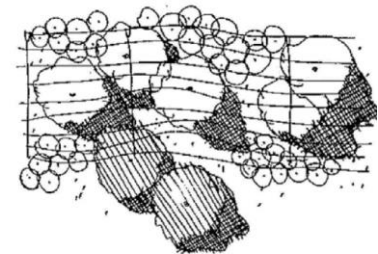
D. Landform Grading

The natural sloping landform provides the opportunity to tier the site and create a fairly level, pedestrian-oriented village core. On the north side of the village, the topography slopes from north to south from Heritage Road to Main Street. The Otay River Valley preserve open space is located below the village to the south. The site design of the village follows the undulating landform of the canyon.

Building sites have been created in terraces and streets are located within the topography to adhere to City horizontal and vertical curve standards.

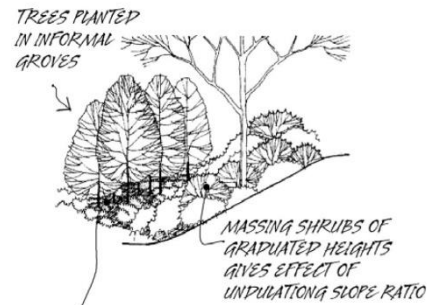
The design plan for the village strives to minimize grading and create an aesthetically pleasing landform. The following are guidelines for grading and slope design:

- ❖ Create elevation changes within the property that strive for a balance of cut and fill grading.
- ❖ Use grade changes to optimize views and a sense of spaciousness.
- ❖ Use grade changes between different land uses where separation and buffering is desired.
- ❖ Avoid, where possible, creating slopes over 25 feet in height to minimize a sense of enclosure, particularly in residential rear yards.
- ❖ Use landform grading techniques, where appropriate, in slopes over 25 feet in height.
- ❖ Use varied-height trees, shrubs and groundcovers to undulate the surface of slopes.
- ❖ Minimize surface runoff and erosion potential by planting slopes with low water consumptive and drought tolerant plants.
- ❖ Use state-of-the-art erosion control, irrigation and water management practices to protect slopes.



CONTINUE SHRUBS and GROUNDCOVER BEYOND THE LIMITS OF SLOPE WHERE POSSIBLE TO SOFTEN EDGES

TYPICAL SLOPE PLANTING



TREES PLANTED IN INFORMAL GROVES

TYPICAL SLOPE PLANTING

MASSING SHRUBS OF GRADUATED HEIGHTS GIVES EFFECT OF UNDUATING SLOPE RATIO

LOW SHRUBS and GROUNDCOVER PLANTED AMONGST TREES - SIMULATES SWALE AREA

E. Landscape Concept

The landscape concept for Village 3 is intended to integrate into the overall Otay Ranch design theme while creating a distinctive and unique village design theme. The Otay Ranch design theme is addressed by extending established arterial streetscape designs and perimeter slope landscape designs into the Village 3 landscape plan. Within the village, the agrarian-inspired design theme

II. Village Structure

will be created through a comprehensive landscape plan that addresses the design of outdoor spaces, features, furnishings, and the use of a variety of trees, shrubs and groundcovers. Derivatives of the agrarian style including Transitional Spanish, Farmhouse and Ranch architecture will complement the landscape and create an elegant and cohesive community. The plant palette is a collection of water efficient materials that connect the diversity in agrarian-inspired architectural styles.

The landscape concept is illustrated in the Landscape Concept Plan (Exhibit 4). The Master Street Tree Plan (Exhibit 5) establishes the tree planting program along major arterial roads and all internal Village 3 streets. Descriptions of the landscape concepts within specific zones or areas within Village 3 are provided in the following sections. Additional information about the Village 3 landscape plan is provided in the Preserve Edge Plan. The Landscape Master Plan and the Village Core Master Precise Plan(s), developed after the SPA Plan is approved, provide more detailed descriptions of the village landscapes. See Village 3 North and a Portion of Village 4 Fire Protection Plan and 2021 Fire Protection Plan Amendment for additional plant palette information.

II. Village Structure



Village 3 Areas Map

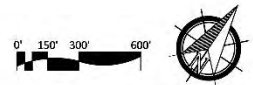


Exhibit 4
Landscape Concept Plan

II. Village Structure

- Schinus molle
California Pepper Tree
- Platanus acerifolia 'Bloodgood'
Bloodgood London Planetree
Quercus ilex
Holly Oak
- Cupaniopsis anacardioides
Carrotwood
- Laurus nobilis 'Saratoga'
Sweet Bay
- Tabebuia avellanedae
Pink Trumpet Tree
- Cassia leptophylla
Gold Medalion Tree
- Lagerstroemia indica 'Muskogee'
Muskogee Crape Myrtle
- Chitalpa tashkentensis
Chitalpa
- Lagerstroemia indica 'Natchez'
Natchez Crape Myrtle

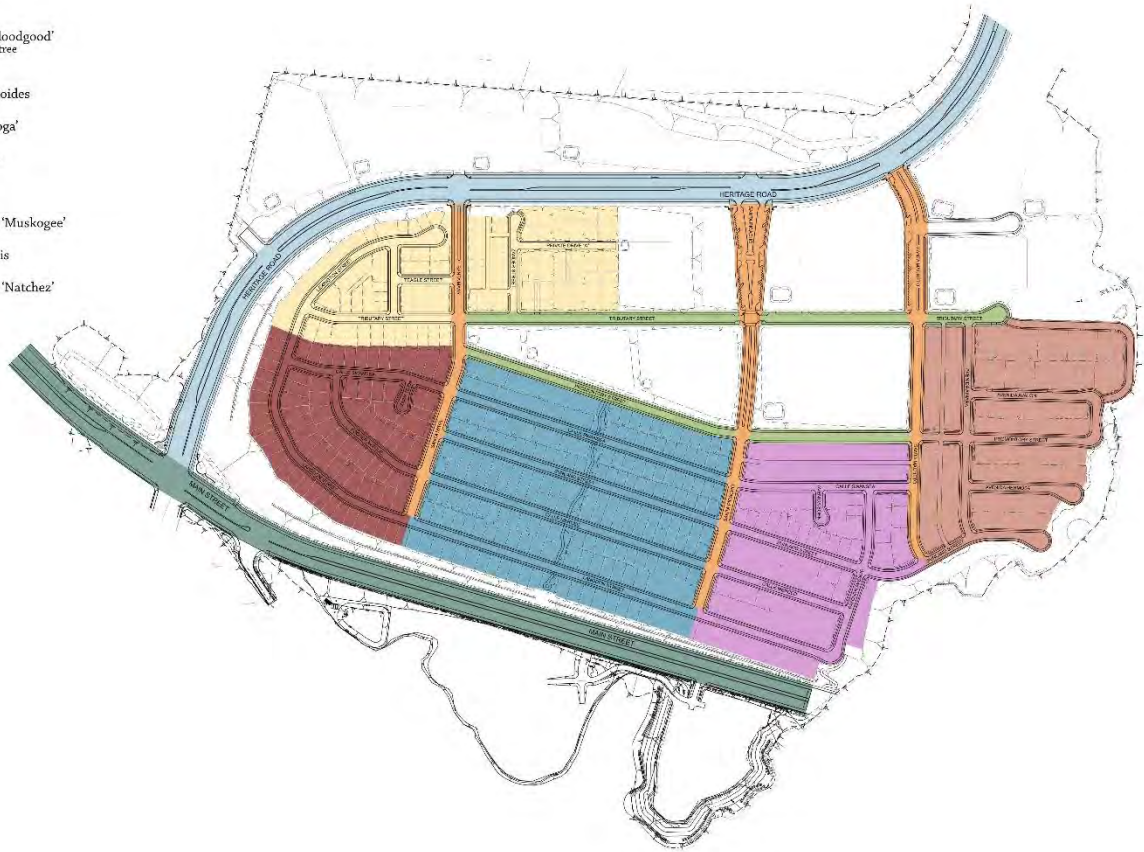


Exhibit 5
Master Tree Plan

II. Village Structure

1. Six-Lane Arterials – Heritage Road and Main Street

Heritage Road and Main Street provide primary access to Village 3. The primary street and median tree along Heritage Road is the California Pepper Tree. Understory planting includes Aloe, Century Plant, California Meadow Sedge, Sea Lavender and Lantana, creating a colorful and interesting palette. This landscape concept provides continuity with the existing landscape theme to the north.



II. Village Structure

The landscape theme along Main Street includes the Holly Oak and London Plane Tree as the featured street and median trees. Understory planting includes Aloe, Century Plan, California Meadow Sedge, Sea Lavender and Lantana, creating a colorful and interesting palette.



II. Village Structure

2. Ranch Entry (Heritage Road & Main Street)

A Sycamore grove is planned at the Ranch Entry located at the intersection of Heritage Road and Main Street. This grove planting will create a gateway into the southwestern portion of Otay Ranch and Village 3.

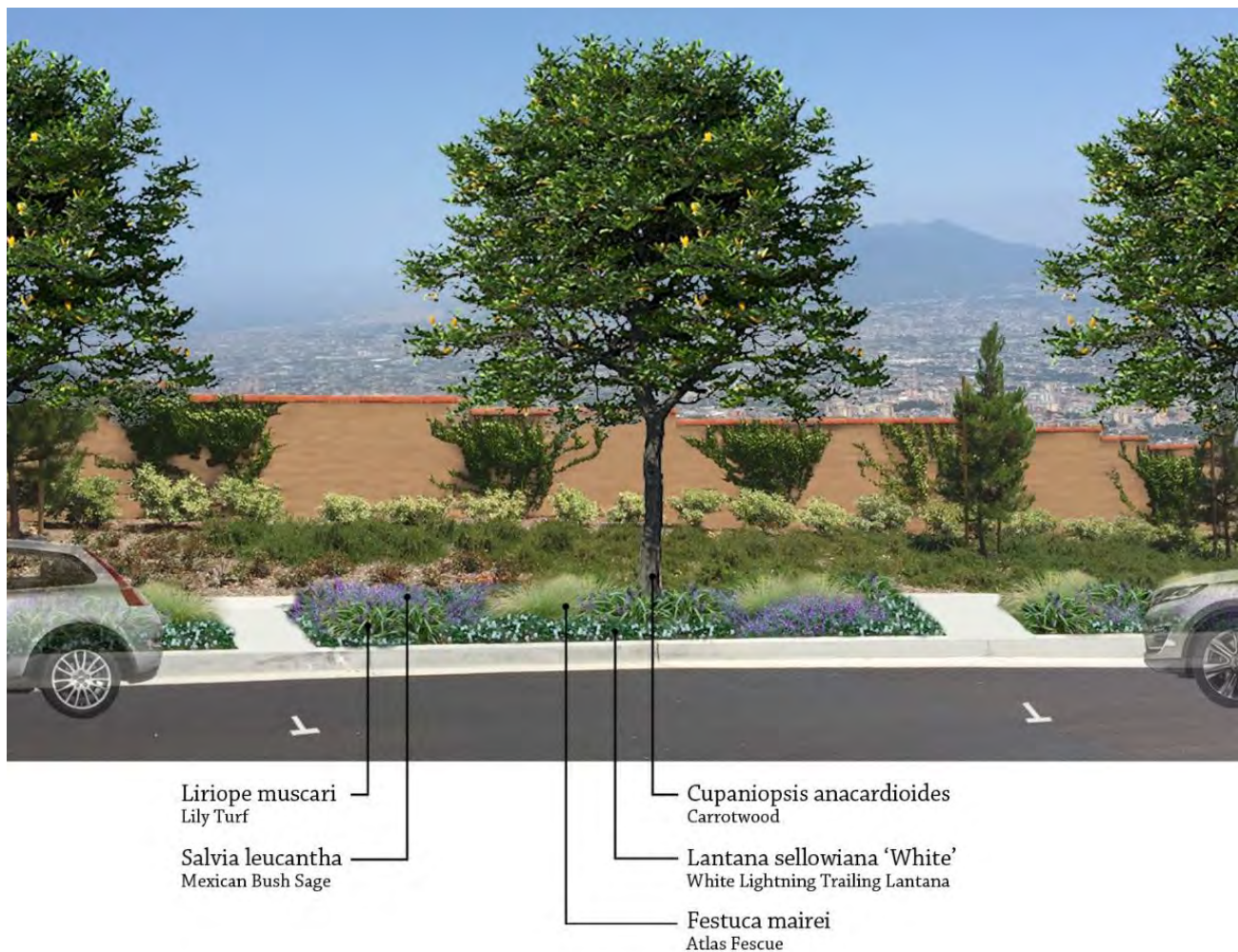


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3. Secondary Village Entry Streets and Promenade Streets

The landscape concept for the Secondary Village Entry Streets (Avenida Escaya, Santa Maya and Paseo Cultura) features the Carrotwood Tree within the parkways and medians. The understory consists of Lily Turf, Mexican Bush Sage, Atlas Fescue and White Lantana. This planting concept creates color, depth and interest along these entryways into Village 3.

Promenade Streets (Camino Aldea, Camino Prado and Corte Nueva) provide a strong connection to and through the village core. These streets feature a wider sidewalk, double row of trees and a pedestrian scaled light fixture on one side of the street and a standard sidewalk and single row of trees on the opposite side. The landscape concept features the Sweet Bay Tree in the parkways. The understory includes Hakone Grass, Spanish Sage and Cyprus Spurge. This creates a colorful, unique landscape palette for the Promenade Streets.



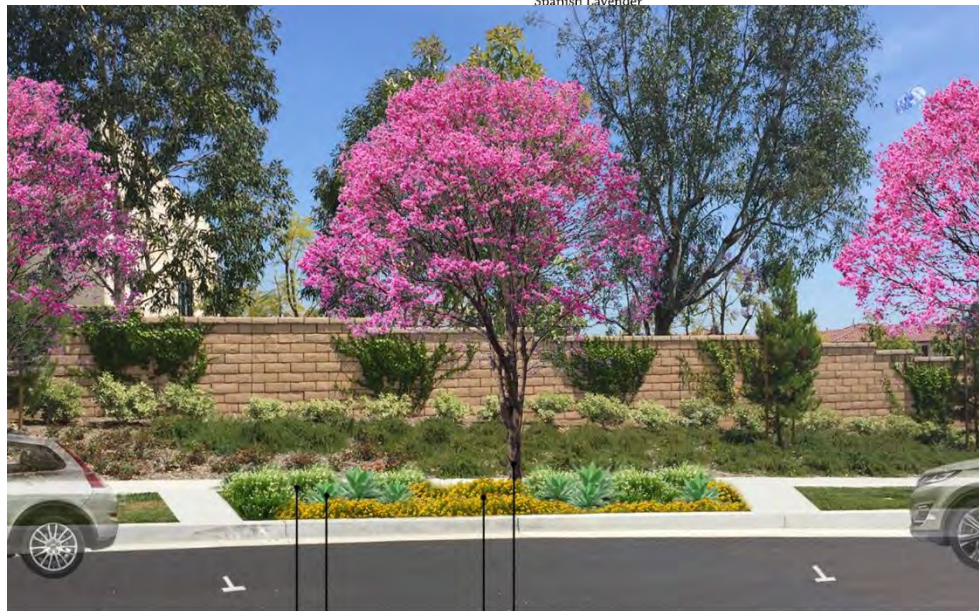
II. Village Structure

4. Residential Streets

Residential streets feature colorful, blooming parkway trees including the Gold Medallion Tree and Pink Trumpet Vine. The parkway understory features Atlas Fescue, Fortnight Lily, Dalmation Bellflower, Spanish Lavender, White Texas Sage, Century Plant, Gold Lantana.



Festuca mairei
Atlas Fescue
Diets bicolor
Fortnight Lily
Cassia leptophylla
Gold Medallion Tree
Campanula portenschlagiana
Dalmation Bellflower
Lavandula stoechas
Spanish Lavender



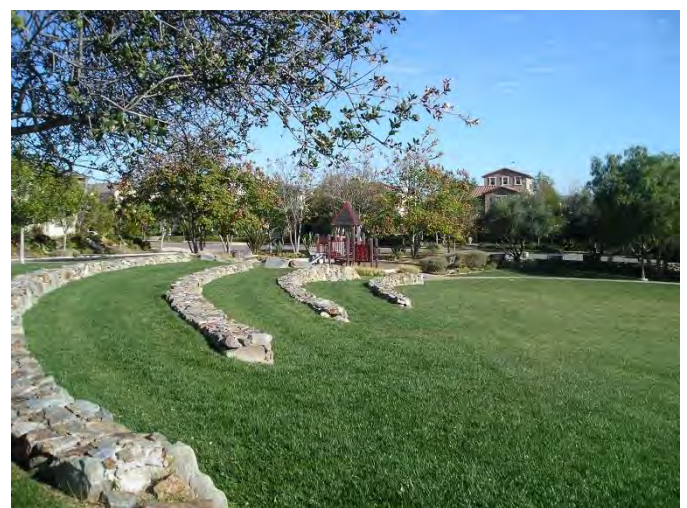
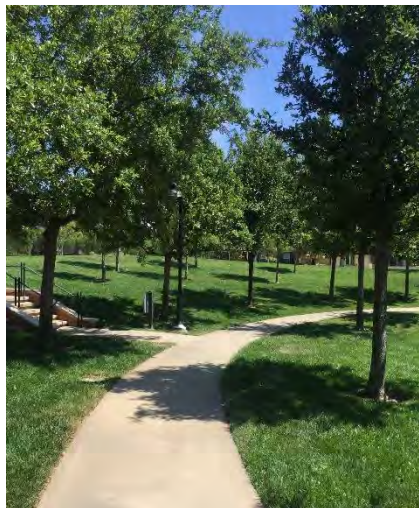
Salvia greggii 'Alba'
White Texas Sage
Agave attenuata
Century Plant
Tabebuia avellanedae
Pink Trumpet Vine
Lantana montevidensis 'Gold Mound'
Gold Mound Trailing Lantana

II. Village Structure

5. Public Parks and Private Recreation Areas

The landscape theme for the P-1 Public Park is reflected in the images presented below. Final landscape design will be determined during the City of Chula Vista Park Master Plan process.

Public Neighborhood Park Concepts



II. Village Structure

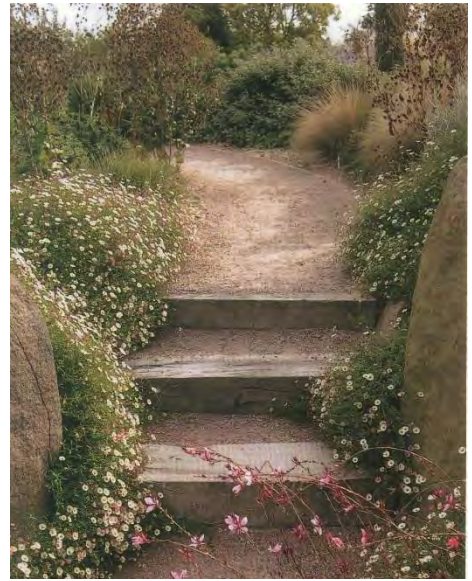
The conceptual landscape theme for the private recreation facilities, including the swim club and perimeter open space area is represented in the images provided below. The final landscape design will be refined during preparation of construction drawings for the facilities.

Private Swim Club Concepts



II. Village Structure

Private Recreation Facility Concepts



II. Village Structure

6. Slopes

The Village 3 landscape is compatible with the established Otay Ranch design theme visible from the village as well as the City's Water Conservation Ordinance. Perimeter slopes are one of the dominant landscapes visible from public view. Distinct landscape designs have been developed for the project perimeters: Main Street to the south, Wolf Canyon and Village 4 to the east and the Otay River Valley to the south. The following describes the design concepts and primary plant species that will create slopes complementary to the overall Otay Ranch theme. The design concepts and plant palettes described below are consistent with the Village 3 Preserve Edge Plan and Otay Valley Regional Park Private Development Guidelines and are subject to requirements of the University Villages – Village 3 and a Portion of Village 4 Fire Protection Plan and City of Chula Vista Landscape Manual. Signage within areas adjacent to the MSCP shall be provided and must meet the requirements of the City of Chula Vista and Preserve Owner/Manager.



The OVRP Standards and Guidelines, Section 5, Private Development Guidelines include principles for private development adjacent to the OVRP. Consistent with these principles, manufactured perimeter slopes adjacent to the OVRP complement and do not negatively impact the park by utilizing the following techniques:

- ❖ Perimeter slopes follow the existing topography, blending the site into natural topography and preserving natural drainages between Village 10 and the Otay River Valley.
- ❖ Landscape buffers are planted with native plant materials, consistent with the Village 8 East Fire Protection Plan and Preserve Edge Plan.
- ❖ Retaining walls are planted and irrigated to avoid large expanses of blank walls and blending the retaining walls into the natural setting, making them virtually undetectable with full landscape cover. Wherever possible plantable retaining walls are split into two sections, providing opportunities to screen the walls with native landscaping in front of the wall and reduce single wall heights.
- ❖ Non-residential fencing at the perimeter is typically post & rail, permitting views to and from the park.
- ❖ Residential fencing at the perimeter is typically, 2' of block with 4' of view fencing, permitting views to and from the park.
- ❖ Lighting at the perimeter must be directed away from the Preserve/OVRP by placing light fixtures in appropriate locations and shielding lamps.

II. Village Structure

Plantable retaining wall systems are planned at both the perimeter and at internal slopes within Village 3. The plantable wall system plantable face softens the visual impact of large retaining structures. The plantable wall transforms a grade transition into a vegetated “steepened slope” instead of a concrete scar across a hillside. Per OVRP Design Standards and Guidelines, Section 5.3.2, “If large retaining walls are necessary then they should be the type of construction that allows for planting on the walls...” Plantable walls are proposed along Heritage Road, Main Street and at the perimeter of the village. Vegetation covering the face of the retaining walls will create seamless transitions between natural areas, landscaped slopes and plantable retaining walls, and create enhances visual experiences for Otay Valley Regional Park users.

The Plantable Retaining Wall Plan is depicted below (Exhibit 6). Slope conditions at the project perimeter are described below. The following plants will be utilized to screen the plantable walls. Exact species will be dependent upon the wall location, consistent with the Preserve Edge Plan and Fire Protection Plan requirements. The 100’ Brush Management Zone (BMZ) occurs at the perimeter of Village 3 and a Portion of Village 4.



Manufactured slopes, a single-loaded residential street, a private street, a portion of the CPF-2/POS-12 & 13 Private Recreation Facilities and portions of multi-family sites are proposed within this zone. Retaining walls are planned at the toe of slope outside of the Preserve Area¹, as depicted below in Exhibit 7, Plantable Retaining Walls at Preserve Edge. Consistent with the Chula Vista MSCP Subarea Plan and Village 3 and a Portion of Village 4 Preserve Edge Plan, a 100’ BMZ and Preserve Edge is also provided, outside of the Preserve. Native plants (non-irrigated) will be used on manufactured slopes within the 50’ closest to the Preserve. However, consistent with the Chula Vista MSCP, the first 50’ of the BMZ will be irrigated and planted with native-compatible plant species. Temporary irrigation may be utilized outside the first 50’ of the BMZ during plant establishment, subject to approval of the Development Services Director. The Preserve Edge Plan provides detailed irrigation requirements. The plant palette is provided in Attachment A and is subject to the requirements of the Chula Vista MSCP Plan, Preserve Edge Plan and the Village 3 and a Portion of Village 4 Fire Protection Plan and the approval of the Chula Vista Development Services Director.

¹ Avoid placing the geogrid associated with the Plantable Retaining Walls within the public right-of-way or private residential lots to the greatest extent possible.

II. Village Structure

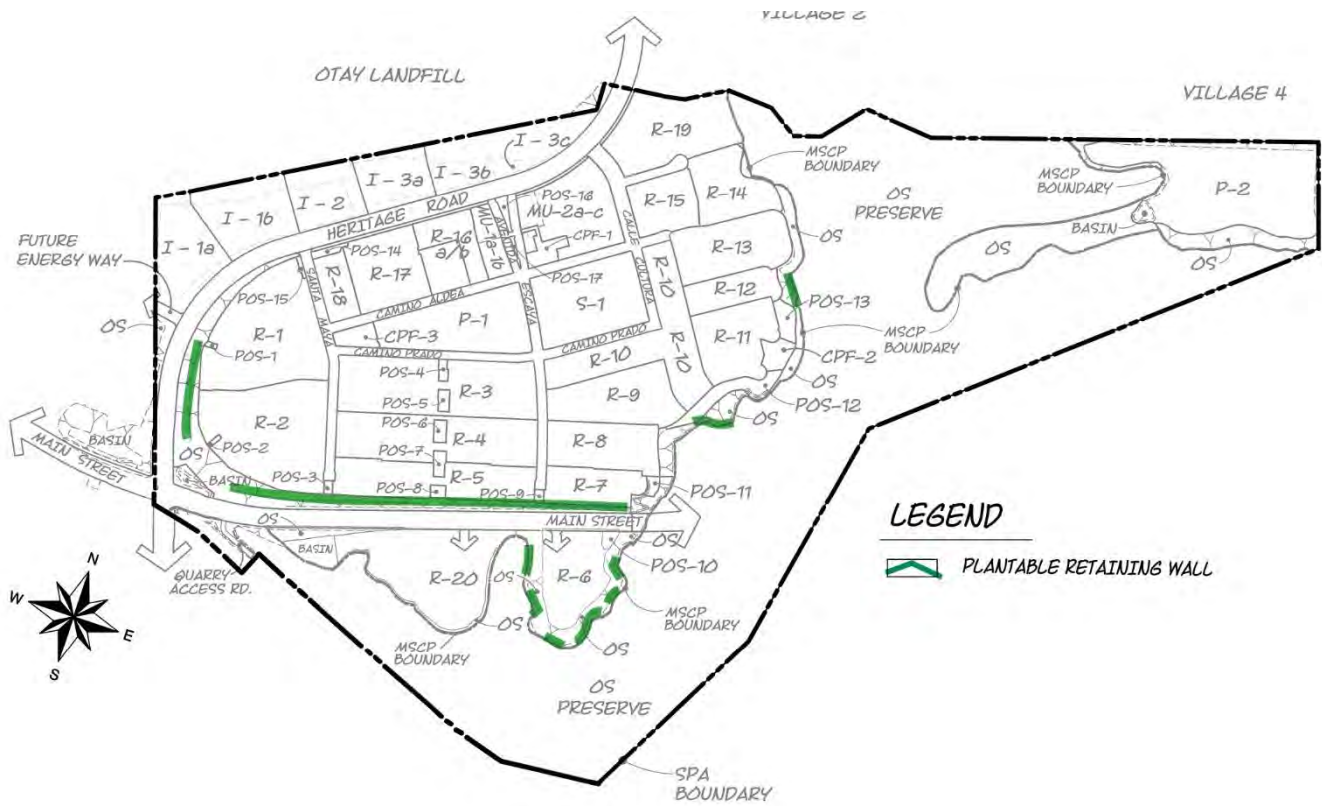


Exhibit 6
Plantable Retaining Wall Plan

II. Village Structure

a. Slopes Adjacent to Open Space Preserve Areas and Plantable Retaining Wall Systems

Consistent with the Chula Vista MSCP Subarea Plan, OVRP Design Standards Guidelines (Section 5, Private Development Guidelines) and Preserve Edge Plan, a 100' brush management zone /Preserve Edge is provided outside of the Preserve. Native plants (non-irrigated) will be used on manufactured slopes within half of the Preserve Edge area. However, consistent with the Chula Vista MSCP, the first 50' of the Brush Management Zone will be irrigated and planted with native-compatible plant species. Temporary irrigation may be utilized outside the first 50' of the Brush Management Zone during the plant establishment period, subject to approval of the Development Services Director. In addition, consistent with the Village 3 Fire Protection Plan, the plantable retaining walls must be permanently irrigated. The Preserve Edge Plan provides detailed irrigation requirements. The "Approved Plant List" is provided in Attachment A to this document is subject to the requirements of the Fire Protection Plan, Preserve Edge Plan and the approval of the Chula Vista Development Services Director. The following images depict the planting palette for this area.

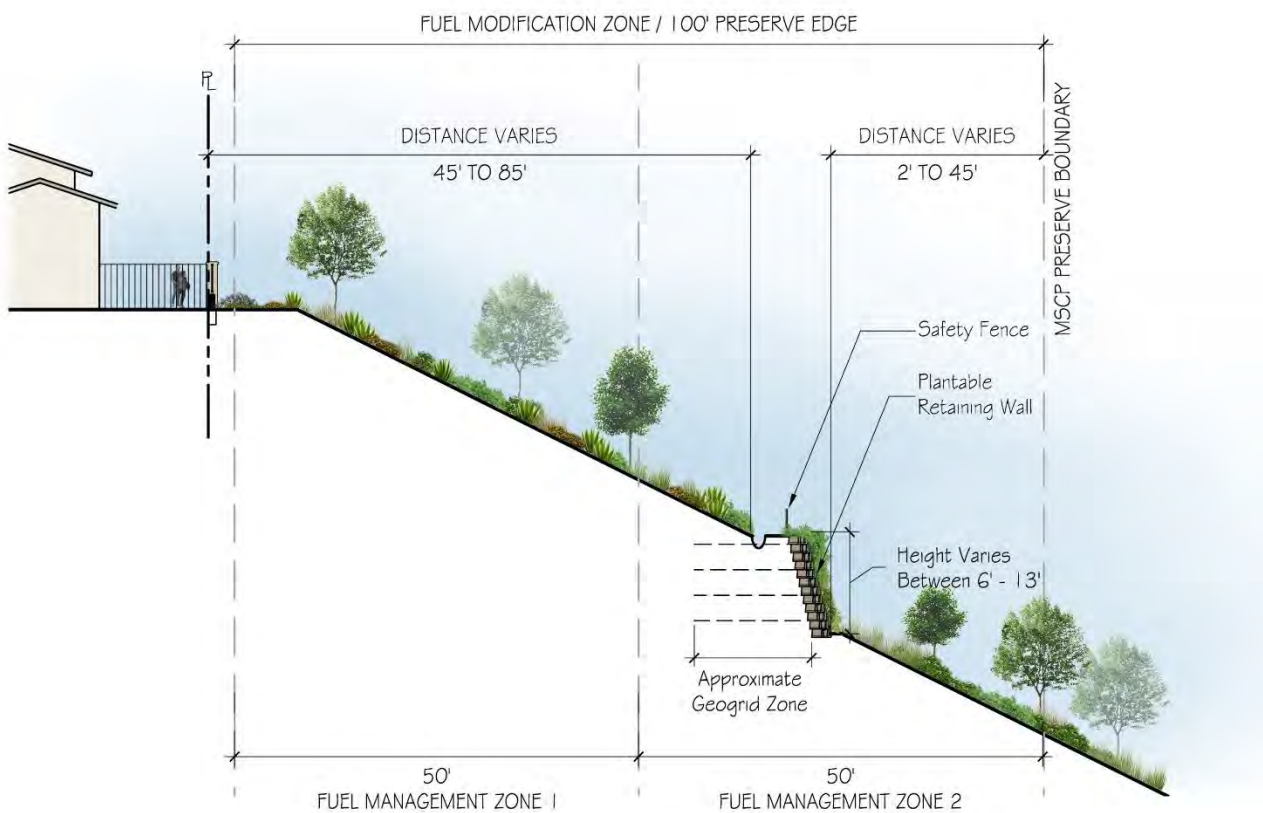


Exhibit 7

Slopes & Plantable Retaining Walls at Preserve Edge

Note: Plantable wall location, height, setback, and geogrid zone are conceptual, subject to final engineering design.

II. Village Structure



Macfadyena unguis-cati



Myoporum species



Bougainvillea species



Clematis pauciflora



Rosmirinus 'Huntington Carpet'



Clematis lasiantha



Ficus pumila



*Sarcostemma
cynanchoides*



Antigonon leptopus



Lantana montevidensis



Lonicera japonica

Escaya
Tributary LA, Inc. 13 Sep, '16

Vines

II. Village Structure

b. Slopes Adjacent to Heritage Road

Slopes adjacent to Heritage Road and Main Street will be landscaped with a palette featuring a mix of drought tolerant and fire wise plant materials. Plantable retaining walls are also proposed within the west-facing slopes, as depicted in Exhibit 8, Slopes & Plantable Walls at Heritage Road. This corridor will be planted and irrigated with an indigenous landscape palette. More ornamental shrubs and trees will be utilized at key intersections to create a sense of arrival and entry. The following is representative of the landscape concept for these slope areas.

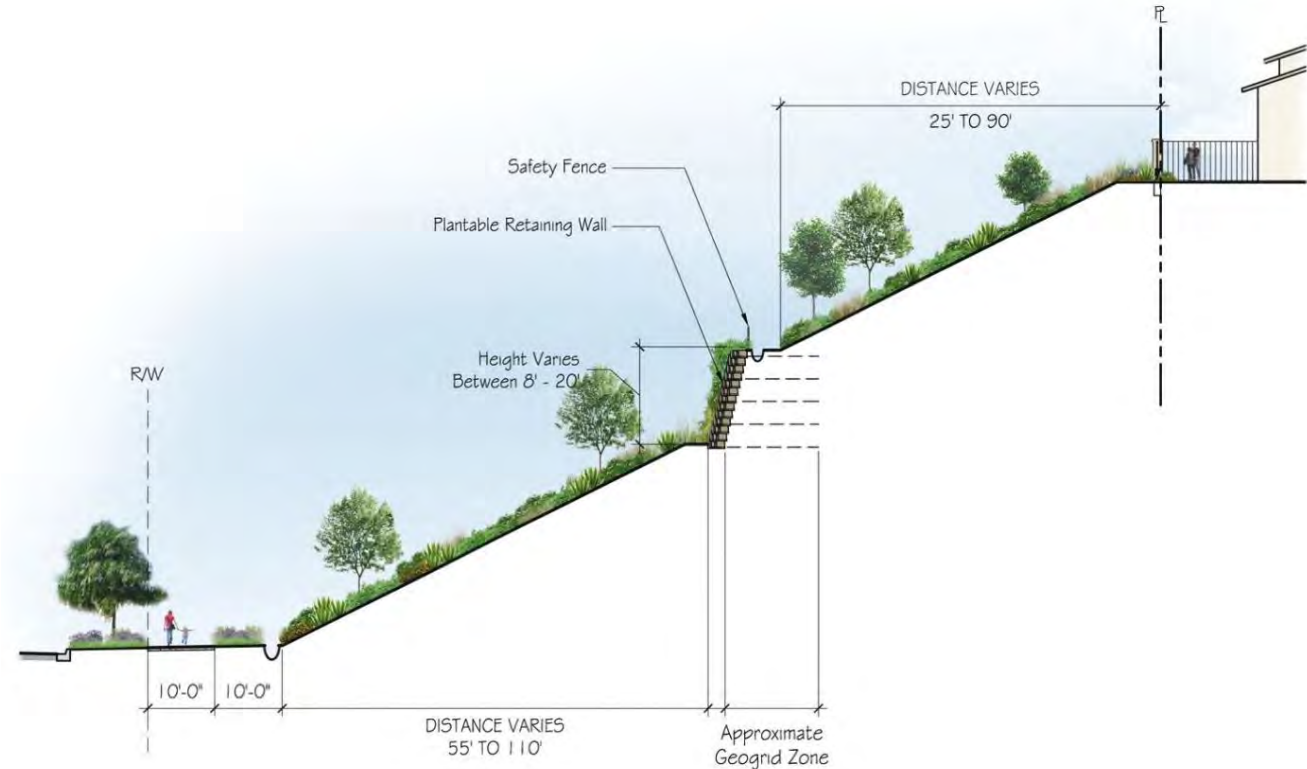


Exhibit 8
Slopes & Plantable Walls at Heritage Road

Note: Plantable wall location, height, setback, and geogrid zone are conceptual, subject to final engineering design.

II. Village Structure



Lantana montevidensis



Ceanothus 'Point Reyes'



Ceanothus 'Yankee Point'



Arctostaphylos hookeri
'Monterey Carpet'



Bougainvillea 'Oo la la'



Solanum xanti



Ceanothus species



Cistus 'Sunset'

Escaya
Tributary LA, Inc. 13 Sep, '16

Escaya
Tributary LA, Inc. 13 Sep, '16

Rosmarinus 'Huntington Carpet'

Sprawling Shrubs

Ground Covers



Aloe vera



Salvia mellifera 'Tera Seca'



Limonium perezii



Yucca schidigera



Mimulus aurantiacus



Yucca whipplei



Kniphofia uvaria



Anigozanthus species



Hesperaloe 'Brake Lights'

Escaya
Tributary LA, Inc. 13 Sep, '16

Accent Shrubs

II. Village Structure



Quercus agrifolia



Cercis occidentalis



Platanus racemosa



Rhus lancea



Prunus ilicifolia



Existing Portola Slope



Sambucus mexicana



Tristania conferta

Escaya
Tributary LA, Inc. 13 Sep. '16

Slope Trees

II. Village Structure

c. Slopes Adjacent to Main Street

This landscape zone occurs on the slopes north of Main Street. Transition planting will occur on irrigated/manufactured slopes with an indigenous landscape with taller, open trees at the top of slopes and lower trees and shrubs at mid slope along these existing arterials. Slopes adjacent to the MSCP Preserve must be planted with native species and are subject to the Preserve Edge Plan and the “Approved Plant List” provided in Attachment A to this document. Plantable retaining walls are planned north of Main Street, as depicted in Exhibit 9, Perimeter Slope & Plantable Walls at Main Street. The slope and retaining wall planting concept is consistent with the slopes and wall planting palette for the slopes adjacent to Heritage Road described above.

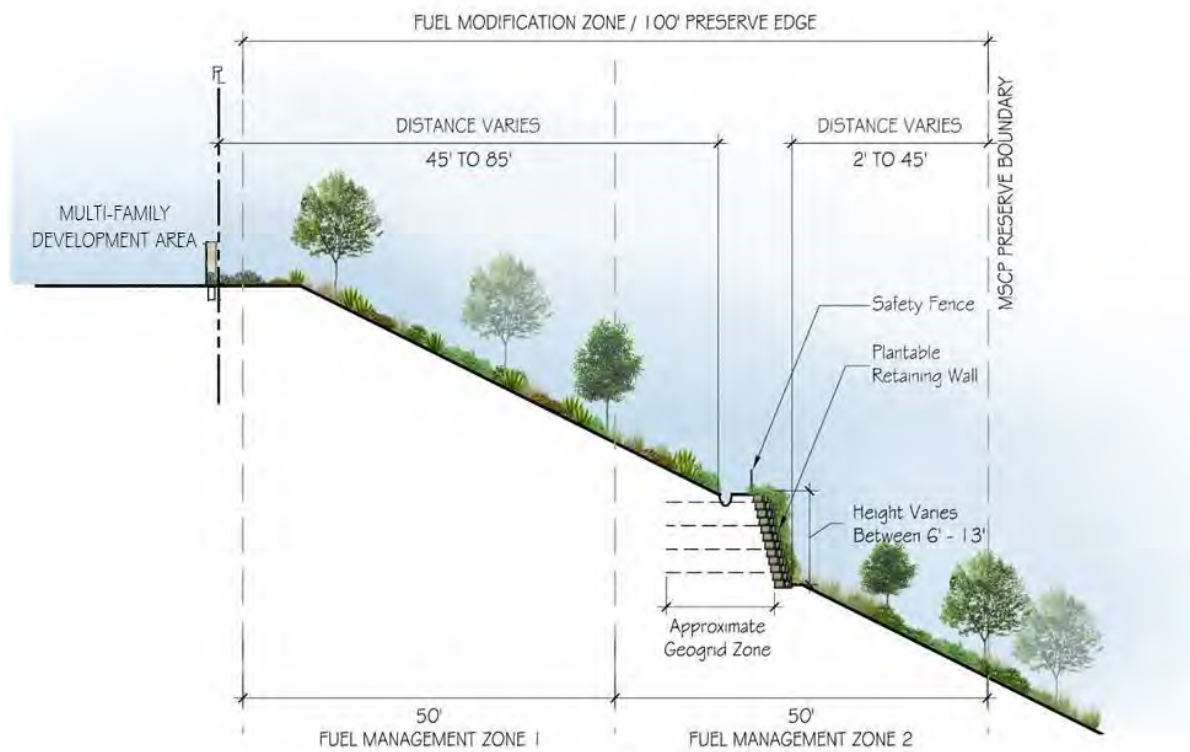


Exhibit 9
Perimeter Slope & Plantable Retaining Walls at Main Street

Note: Plantable wall location, height, setback, and geogrid zone are conceptual, subject to final engineering design.

II. Village Structure

F. Entryways/Identity Concept

Entry landscape features and monument signs identify the village and contribute to the establishment of the village design theme. A hierarchy of entries has been established to help direct visitors to Otay Ranch, Village 3 and neighborhood areas of the village. Descriptions of these entries follow.

1. Ranch-Wide Entry & Ranch Corner Marker – Main Street & Heritage Road

The Ranch-wide entry monument is planned at the northeast corner of the intersection of Heritage Road and Main Street. Per the Otay Ranch Overall Design Plan, a Ranch Corner Marker is also incorporated into this design to mark the southwestern Ranch boundary. The landscape palette for the median and parkways is conceptually depicted below.



II. Village Structure



Exhibit 10
Otay Ranch-Wide Entry & Corner Marker (Main Street & Heritage Road)

II. Village Structure

2. Village Entry – Avenida Escaya @ Heritage Road

The primary village entry is planned at the intersection of Avenida Escaya and Heritage Road. This entry brings residents and visitors through the heart of the Village 3 Core. A variety of plant species will be used to complement the agrarian-inspired architectural theme for Village 3. Low walls with a simulated wood plank veneer located behind the sidewalk and within the median, provides the signature monumentation for Village 3. A wide median, outside of the right-of-way will be utilized as a gathering space and area for community events, such as holiday tree light, farmer’s markets, art shows and other events sponsored by the Master HOA or local businesses.

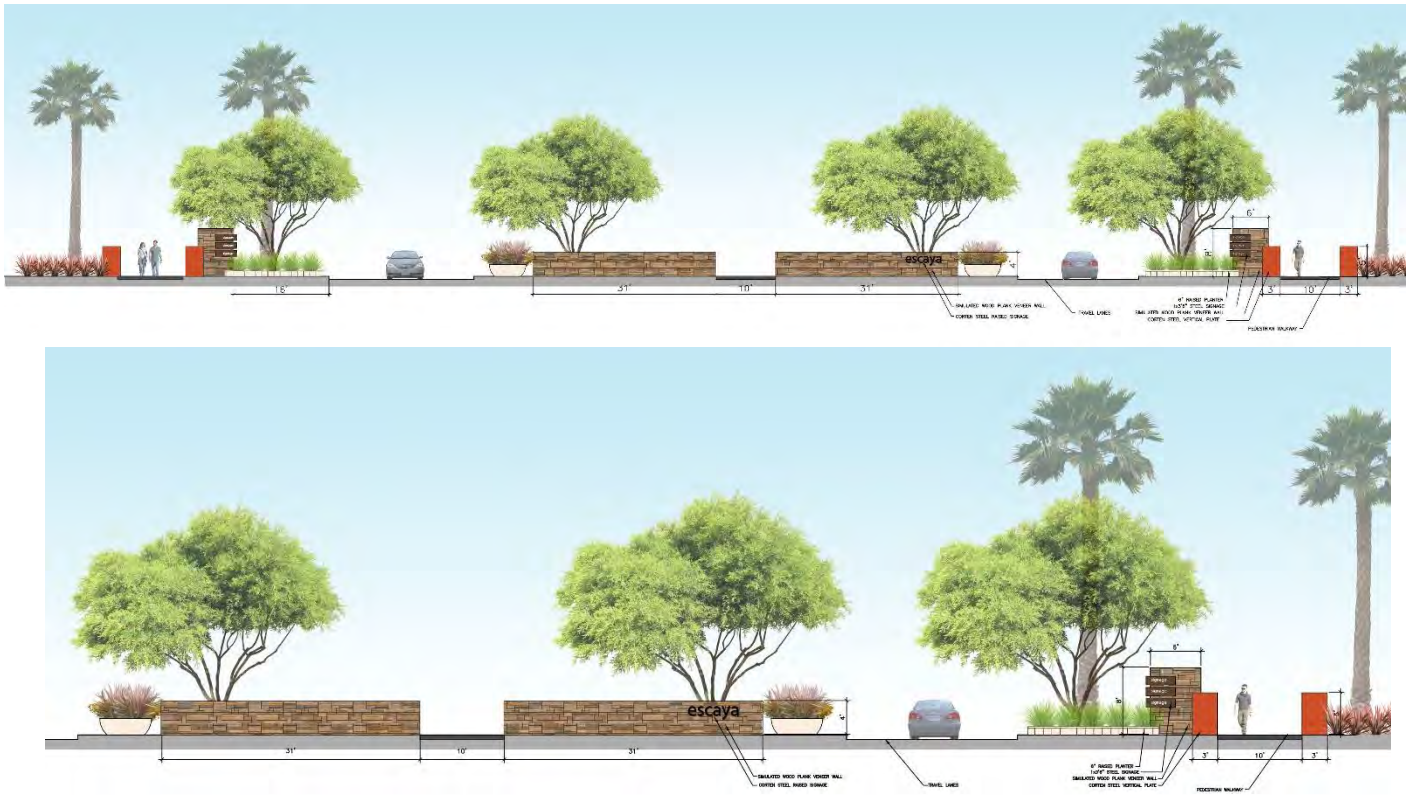


Exhibit 11
Primary Village Entry Concept Plan (Avenida Escaya @ Heritage Road)

II. Village Structure

3. Village Entries along Heritage Road

Two secondary village entries along Heritage Road (Santa Maya and Paseo Cultura) provide access to the both the northern and southern Village 3 neighborhoods. Similar to the Primary Entry monumentation, these entries feature simulated wood plank veneer monumentation walls located behind the sidewalk. A Secondary Village Entry is also planned at Main Street and Avenida Seneca.



Exhibit 12
Typical Village Entry Monument

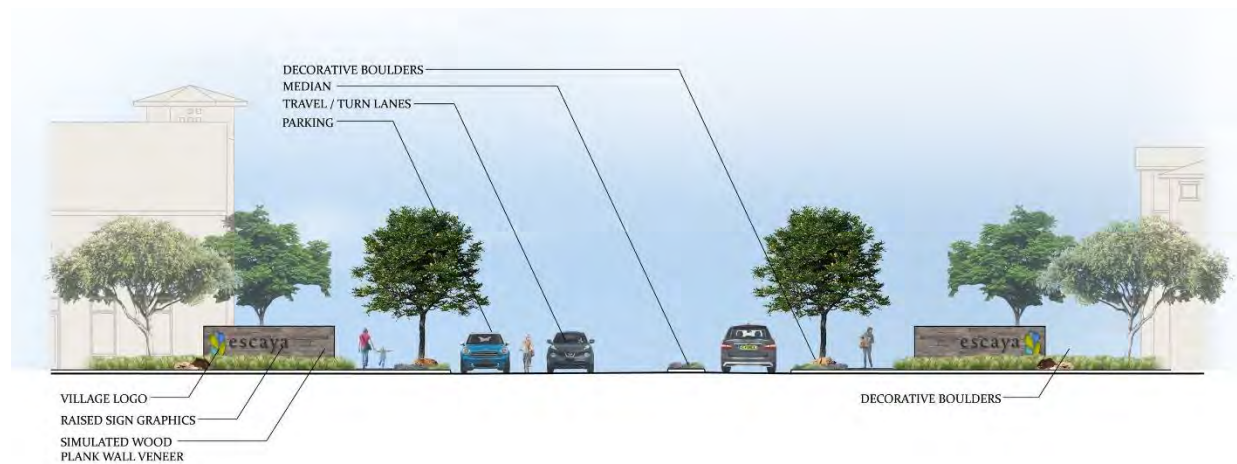


Exhibit 13
Secondary Village Entry Concept Plan (Santa Maya@ Heritage Road)

II. Village Structure

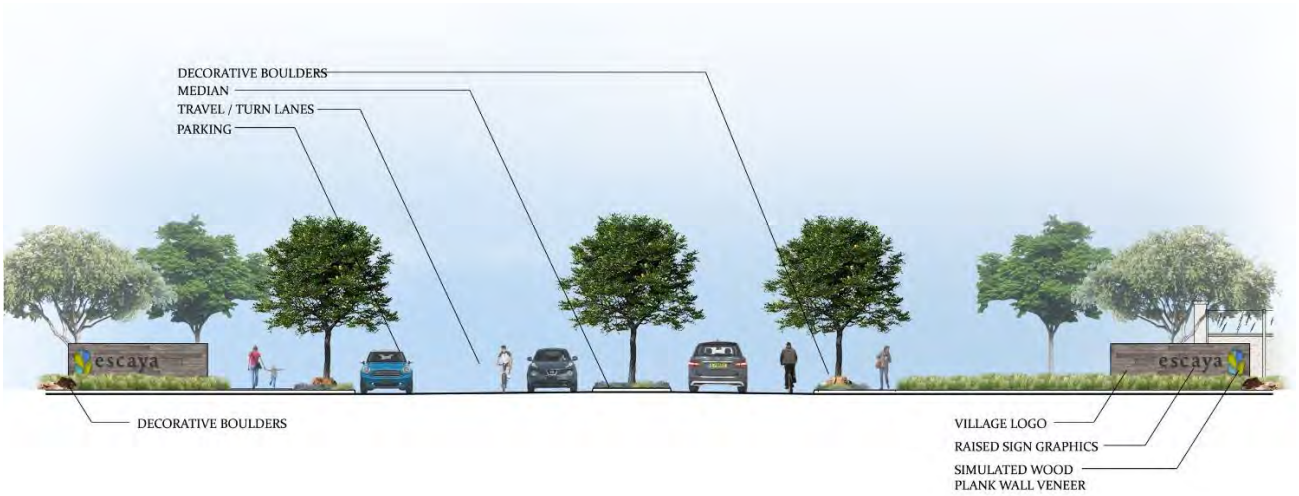


Exhibit 14
Secondary Village Entry Concept Plan (Paseo Cultura @ Heritage Road)

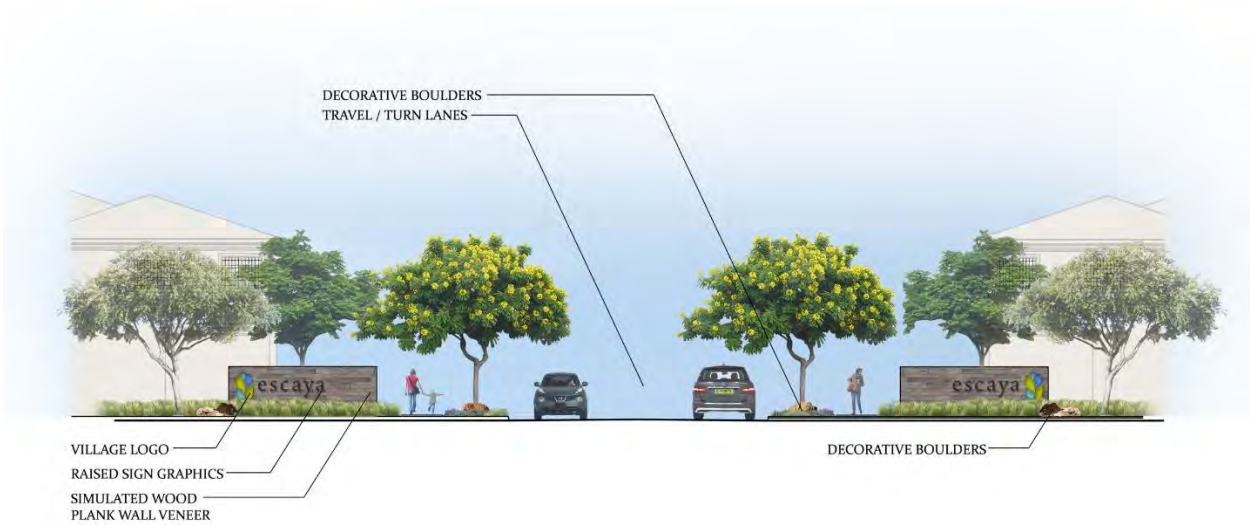


Exhibit 15
Secondary Village Entry Concept Plan (Avenida Seneca @ Main Street)

II. Village Structure

G. Streetscape Design Concept

Streetscapes are an important component in creating the village design theme. Streetscapes identify the edges of project and major points of entry and they serve as the unifying design theme. The streetscapes for the surrounding major streets will adhere to the Otay Ranch “ranch theme” through implementation of an agrarian landscape theme within Village 3. Within the village, the design of the streetscapes will emphasize the village pedestrian-oriented concept by providing tree-shaded walkways, lighting, and shortened or enhanced crosswalks. The Circulation Plan, Exhibit 16, shows the surrounding and internal street designations for the village. Please see the Village 3 and a Portion of Village 4 SPA Plan for street cross sections.



II. Village Structure

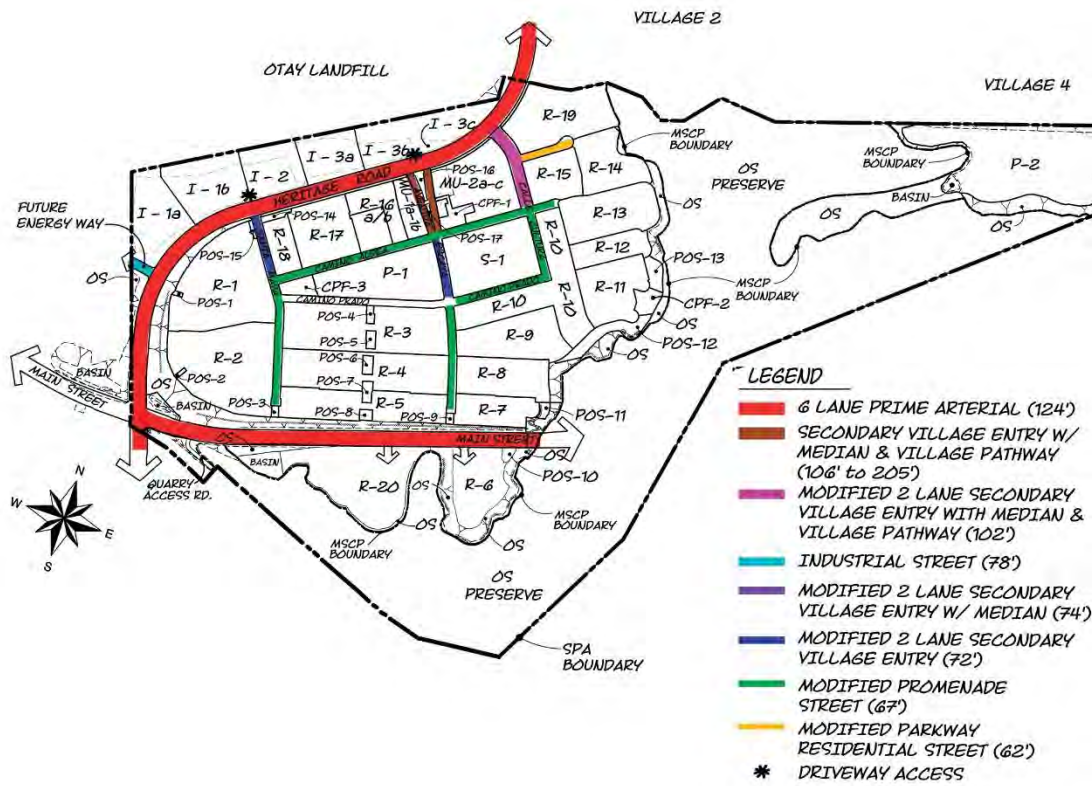


Exhibit 16
Circulation Plan

II. Village Structure

H. Non-Vehicular Circulation Concept

A well-designed pedestrian circulation system is a fundamental component of the village concept. This section describes the pedestrian circulation system, including sidewalks, lighting and shade trees in the context of the Otay Ranch, City and OVRP trail systems. An overall plan is provided as well as descriptions of the types of pedestrian paths provided in the Plan area.

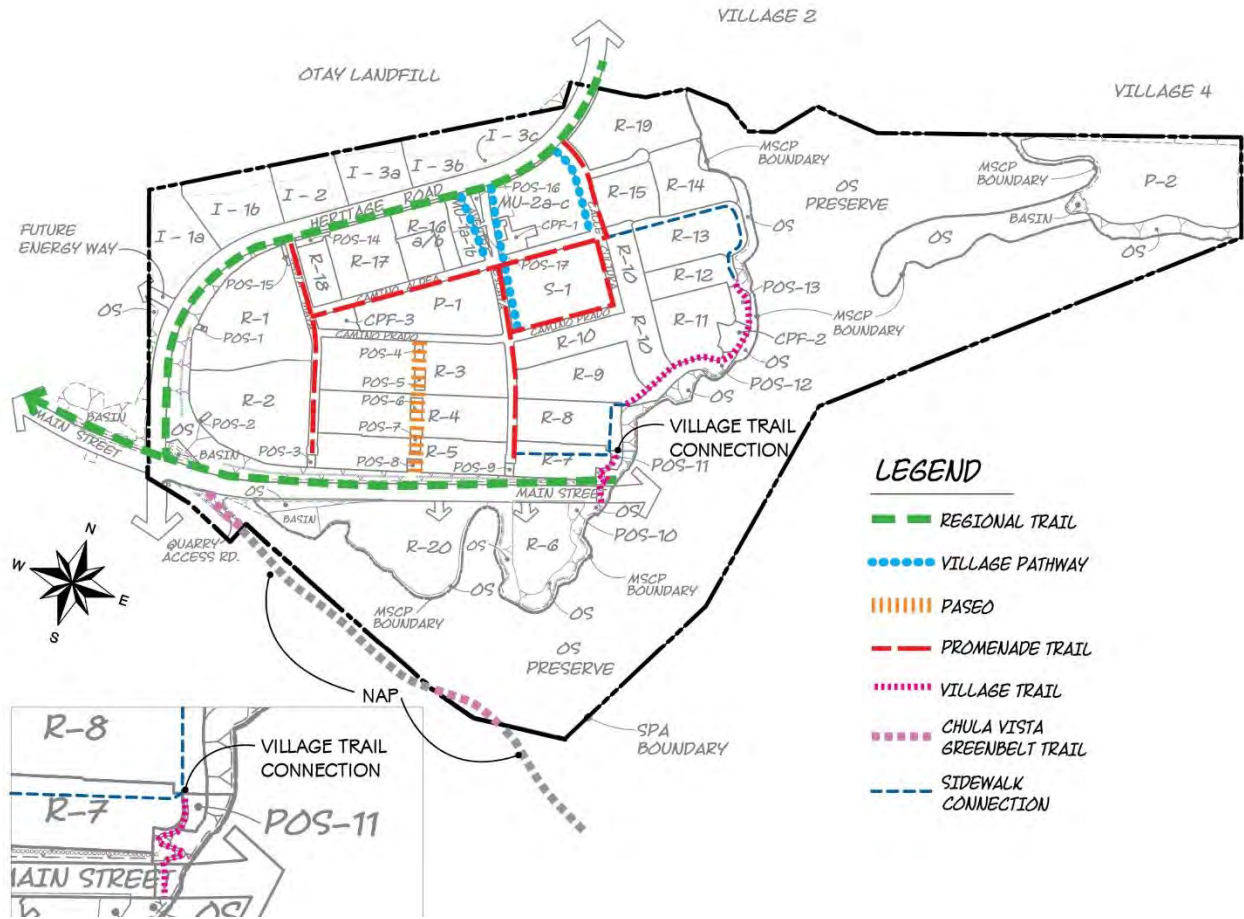


Exhibit 17
Trails Plan

II. Village Structure

1. Chula Vista Greenbelt Trail/Otay Valley Regional Park (OVRP) Trail

As described in the Chula Vista Greenbelt Master Plan, planned multi-use trails, including equestrian uses, will be implemented within the existing Salt Creek sewer access/maintenance road through the Otay Valley on the north side of the river. Two segments of the Greenbelt Trail (approximately 565 feet) are within the SPA boundary south of Village 3. The Village 3 village core will be connected to the Greenbelt via the Regional Trails along Heritage Road and Main Street, ultimately connecting to the east and west Greenbelt segments within the Otay Valley Regional Park.



The OVRP Concept Plan also identifies a multi-use trail system through the Otay River Valley. The portion of the Greenbelt Trail described above coincides with the OVRP trail. Consistent with the MSCP, this trail is co-located within the existing Salt Creek Sewer maintenance road, to avoid impacts to sensitive habitat in the river valley and control access to the Otay Ranch Preserve. The surface treatment within the existing Salt Creek Sewer Easement is PMB – Processed Miscellaneous Base. The Greenbelt Master Plan requires surface treatment comprised of “Decomposed Granite/Concrete/Asphalt/Soil-stabilized treatment; and the OVRP Trail Guidelines require “D.G. or Native Soil” on Type “A” Trails. The existing surface treatment is consistent with these requirements. Proposed trail improvements are limited to fencing and signage within the easement area, to the satisfaction and approval of the Development Services Director. The Chula Vista Greenbelt Trail will be implemented according the Greenbelt Master Plan and OVRP Design Standards and Guidelines. All trail signage shall conform to the Greenbelt Master Plan.

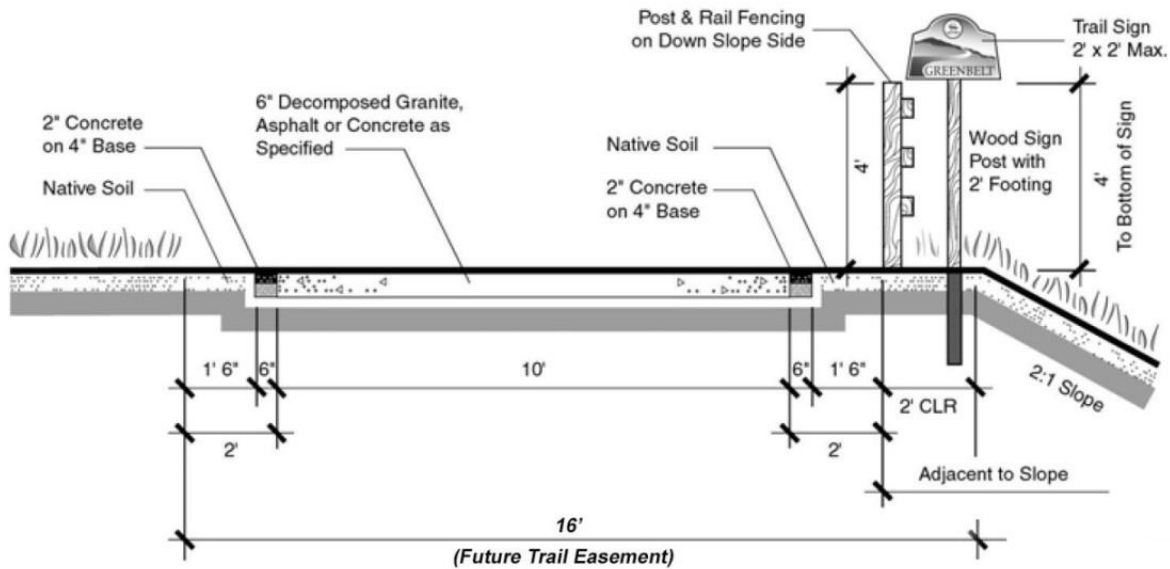
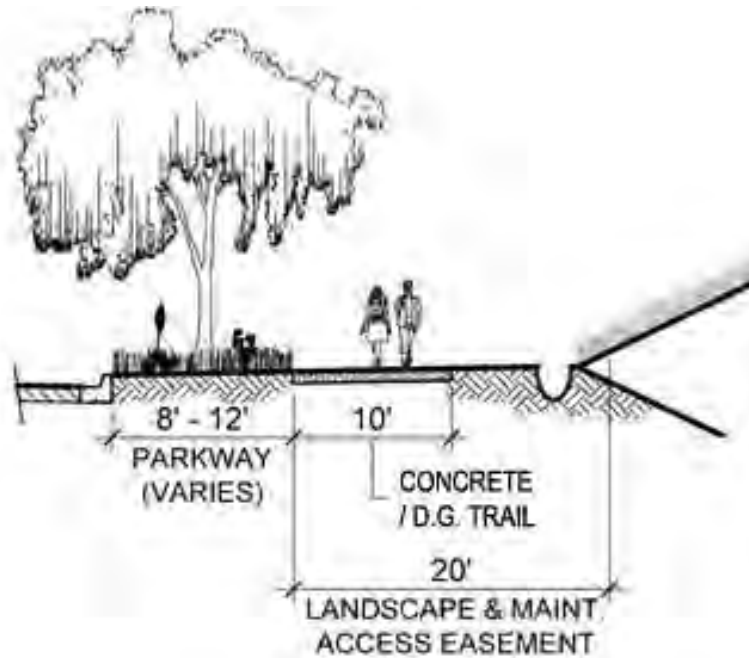


Exhibit 18
Chula Vista Greenbelt Trail

II. Village Structure

2. Regional Trails

Regional Trails provide off-street pedestrian and bicycle connections throughout Chula Vista. Chula Vista Regional Trails are located on the south side of Main Street and south west side of Heritage Road. These trails are located adjacent to the roadways within landscape buffers. The trails are 10 feet wide to accommodate both pedestrians and bicycles and may be decomposed granite or concrete, depending on gradient.



Note: Concrete trail surfacing will be implemented where gradient exceeds 5%. D.G. will be utilized where gradient is less than 5%.

Exhibit 19
Chula Vista Regional Trail

II. Village Structure

3. Village Pathway

Village Pathways are inter-village multi-purpose paths that link all of the Otay Valley Parcel villages and provide access to the regional transit stations. In Village 3, a Village Pathway is proposed to extend through the village core along Avenida Escaya providing pedestrian connectivity from the Chula Vista Regional Trail along Heritage Road to the mixed use area, elementary school and public neighborhood park. The Village Pathway also extends along Santa Maya, Paseo Cultura and Calle Aldea, providing a network of enhanced pathways throughout the village core. The Village Pathway is a 10' colored concrete path (Adobe Tan with a brush finish), separated from the street by a landscaped, tree-lined parkway.

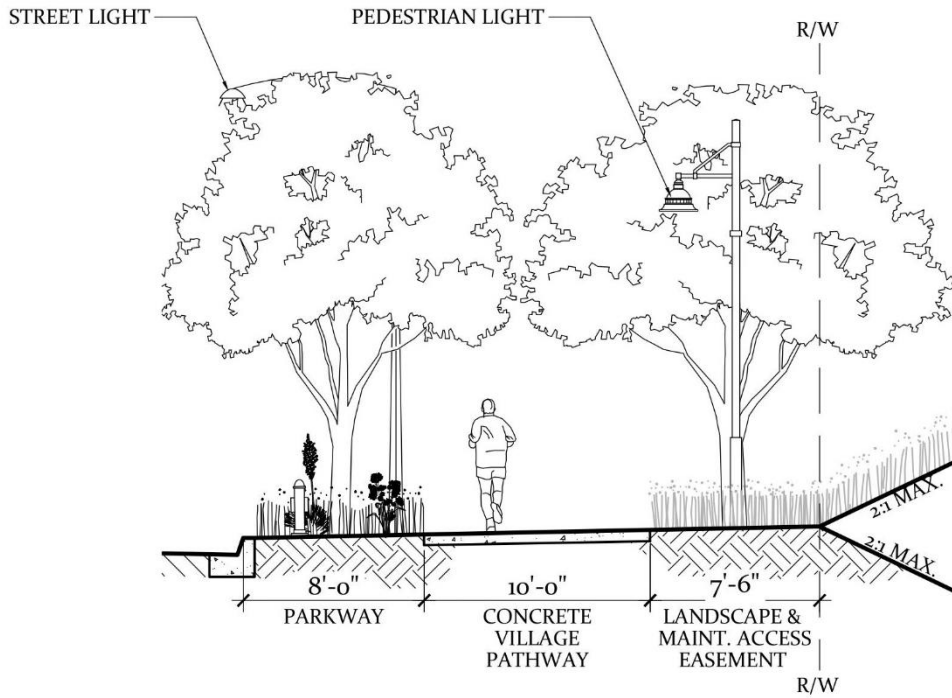


Exhibit 20
Village Pathway

II. Village Structure

4. Promenade Trail

Promenade Trail, a component of village Promenade Streets, are 6 foot wide paved sidewalks enhanced with shade trees and pedestrian-scaled lighting. Promenade Trails in the village provide links through the Village Core to recreation facilities and residential neighborhoods.

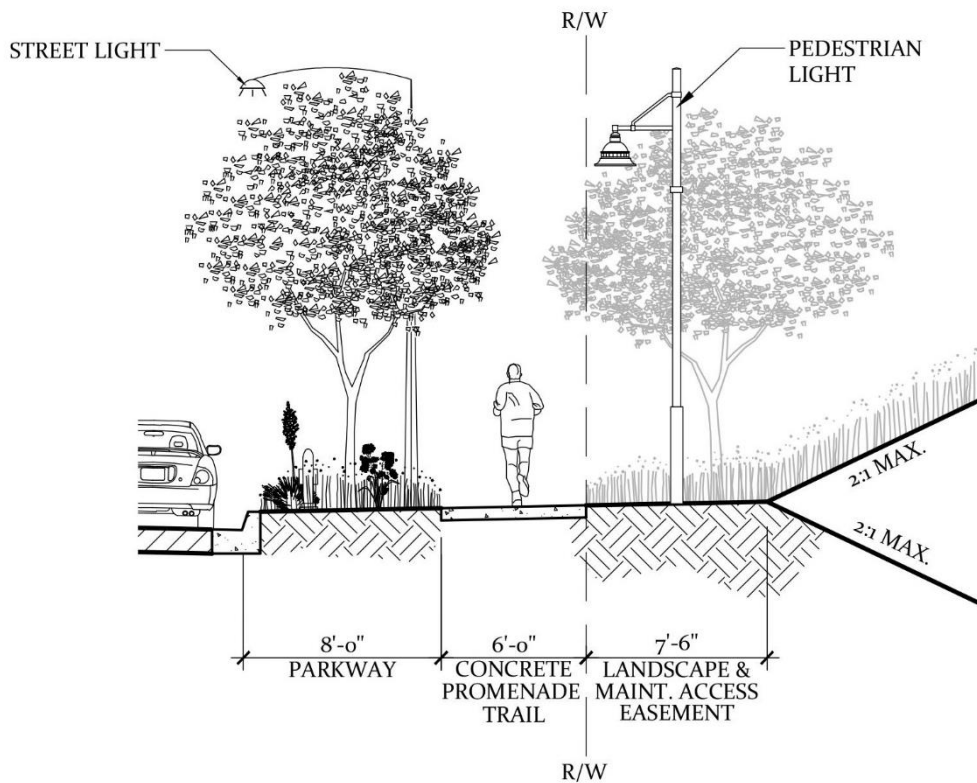


Exhibit 21
Promenade Trail

II. Village Structure

5. Paseo

A centrally located, 55' to 78' wide paseo is planned to provide a pedestrian connection between the residential neighborhoods and the park, school and village core. The paseo features a 10' meandering concrete path, with adjacent landscape areas comprised of pedestrian-scaled lighting, benches, recreational lawn areas, trees and shrub plantings.

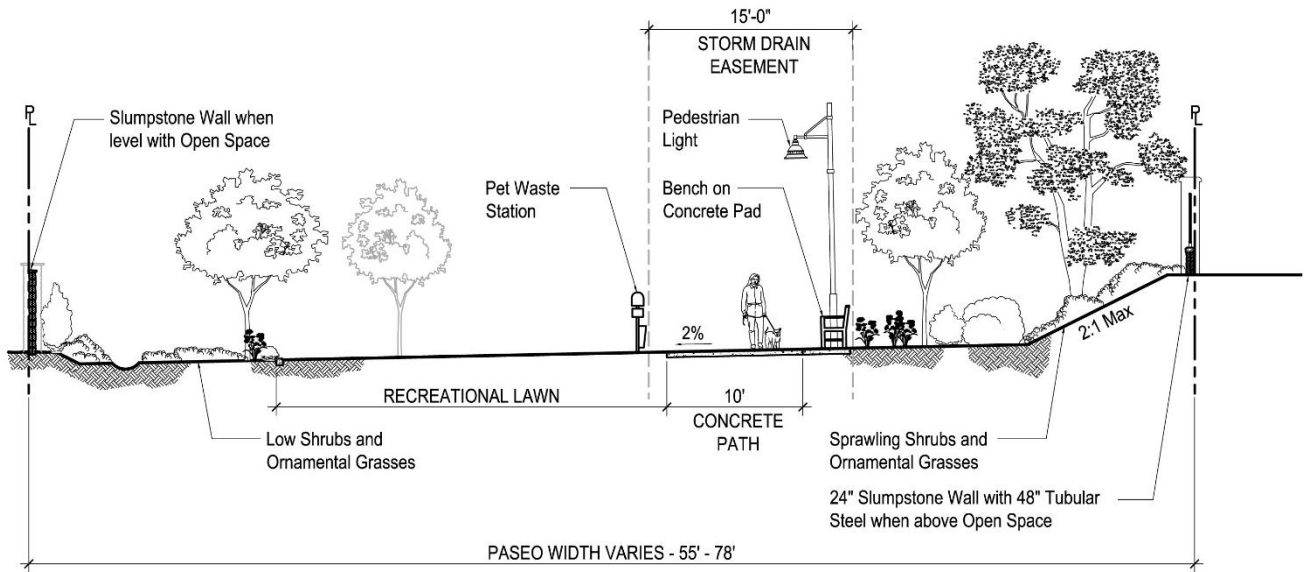
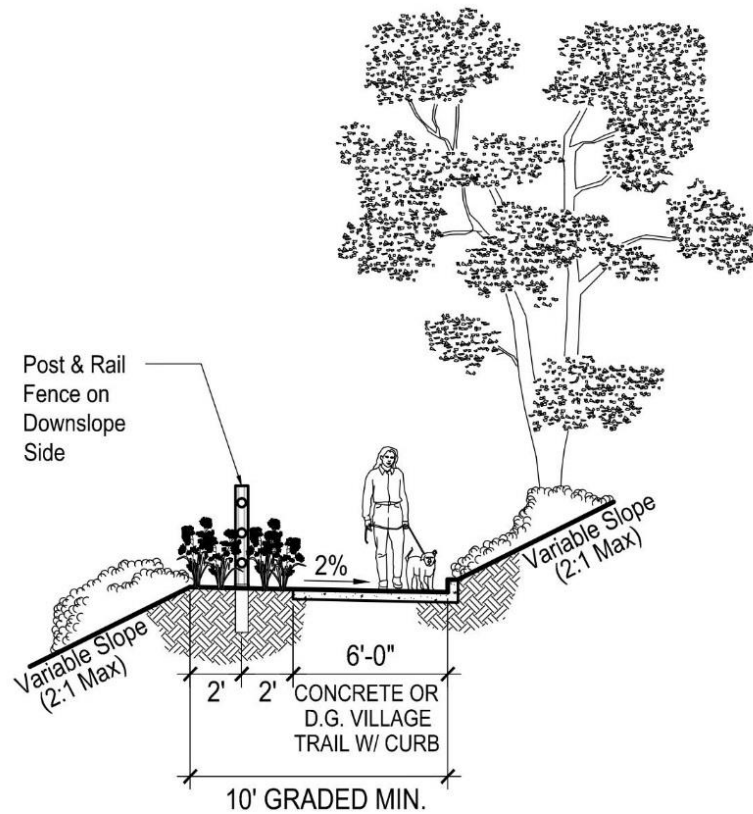


Exhibit 22
Paseo

II. Village Structure

6. Village Trail

The Village Trail provides a pedestrian connection from Village 3 to the Chula Vista Greenbelt/OVRP trail located in the Otay River Valley via the Regional Trail along Main Street. The Village Trail also provided a link along the eastern perimeter of Village 3 between residential neighborhoods and the CPF-2 and POS-12 private recreation sites. The Village Trail segment at the southeastern portion of Village 3 provides a pedestrian connection between the residential neighborhoods south of Main Street and the village core area where the elementary school, neighborhood park, community recreation facility and retail/commercial uses are located. The Trail is comprised of a 6' wide concrete or stabilized decomposed granite surface with a post and rail fence where required.



Note: Concrete trail surfacing will be implemented where gradient exceeds 5%. D.G. will be utilized where gradient is less than 5%.

Exhibit 23
Village Trail

II. Village Structure

I. Village Park, Recreation and Open Space Concept

The village park, recreation and open space system is designed to provide diverse park and active and passive recreational opportunities for village residents. The park and recreation facilities have been located to create focal points and identity within the village. Private facilities will be designed in conformance with the City Parks Master Plan, Design Manual and Landscape Manual. The following includes the overall plan (Parks, Recreation and Open Space Plan, Exhibit 24) and conceptual designs for the park and recreational facilities. Additional information.



II. Village Structure

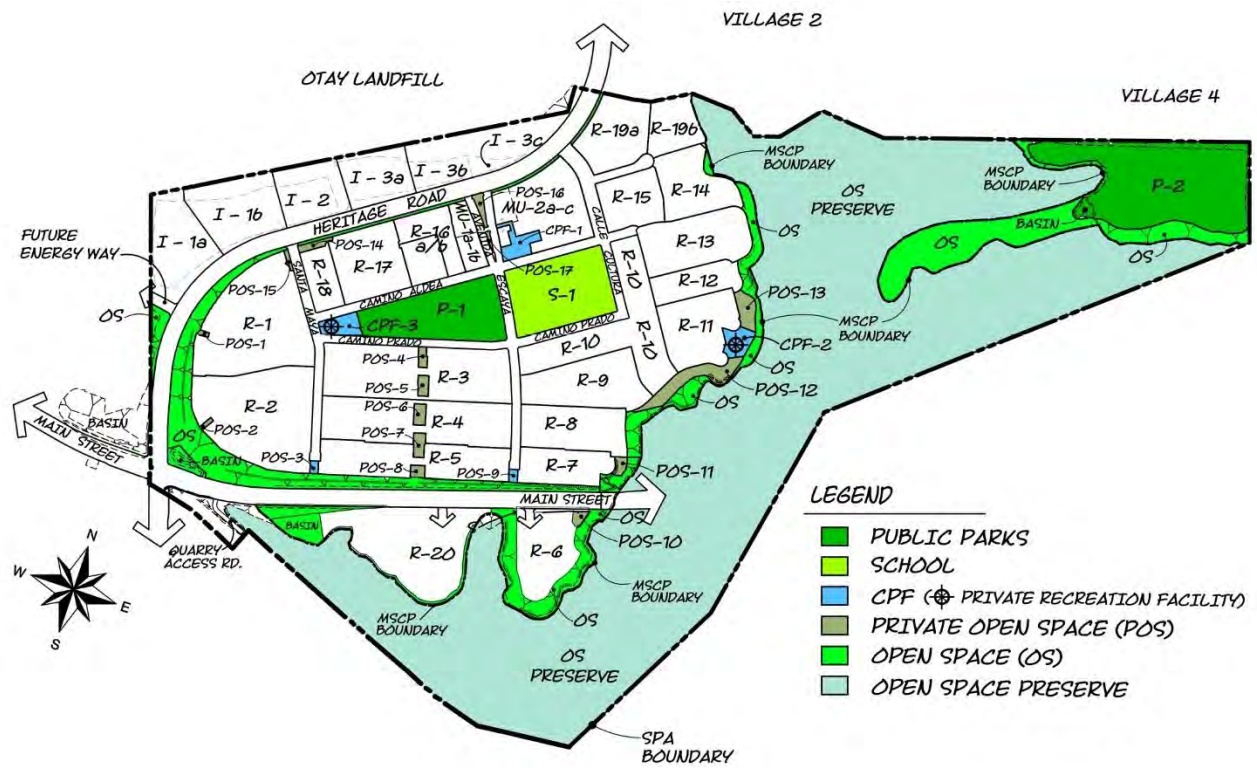


Exhibit 24
Parks, Recreation and Open Space Plan

II. Village Structure

1. P-1 Neighborhood Park

The public neighborhood park located adjacent to the elementary school will provide active and passive recreational opportunities. The location adjacent to the elementary school creates an expanse of open space and combines active recreational activities in one area of the village. Access to the adjacent school site should be coordinated with park site design. Access to the park site should be planned along all sides. Park amenities will be in conformance with the requirements of the City Parks Master Plan and may include multi-purpose open lawn areas, lighted sports courts and fields, picnic shelters, tot lots and restroom and maintenance buildings. Parking will be accommodated both on site and along adjacent streets. (See Neighborhood Park (P-1) Concept Plan, Exhibit 25)



II. Village Structure



AMENITIES:

- Perimeter Trail (7/16 mile loop)
- Multi-Use Arena
- Multi-use Fields w/ Soccer Fields
- Gagaball Court
- Basketball Court
- Parkour Park
- Play Structures
- Outdoor Amphitheater for Community Concerts & Movies in the Park
- Exercise Stations

Exhibit 25
Neighborhood Park (P-1) Concept Plan

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

2. P-2 Community Park

The P-2 Community Park (portion of Otay Ranch North Community Park) is located in Village 4 south of the larger P-4 Community Park (portion of Otay Ranch North Community Park) established in the Villages 2, 3 and a portion of Village 4 SPA Plan. The Wolf Canyon Preserve area surrounds the park on the east and south and provides opportunities for views to expanded open space. Access is provided via a signalized intersection at Santa Luna and La Media Road. The P-2 Park serves the recreational needs of the area with a lighted softball field, lighted multi-purpose field, skateboard park, picnic areas with shade structures, lighted parking lot and trails. (See Community Park (P-2) Concept Plan, Exhibit 26) Lighting within the P-2 Park shall be directed away from adjacent Preserve areas and shielded to prevent light spillage into the Preserve. See “Public Park Lighting” on Page 96 for additional lighting guidelines. Landscaping with the 100’ Preserve Edge/Brush Management Zone must be consistent with the “Approved Plant List” (Attachment A) and consistent with the Preserve Edge Plan and Fire Protection Plan.



II. Village Structure

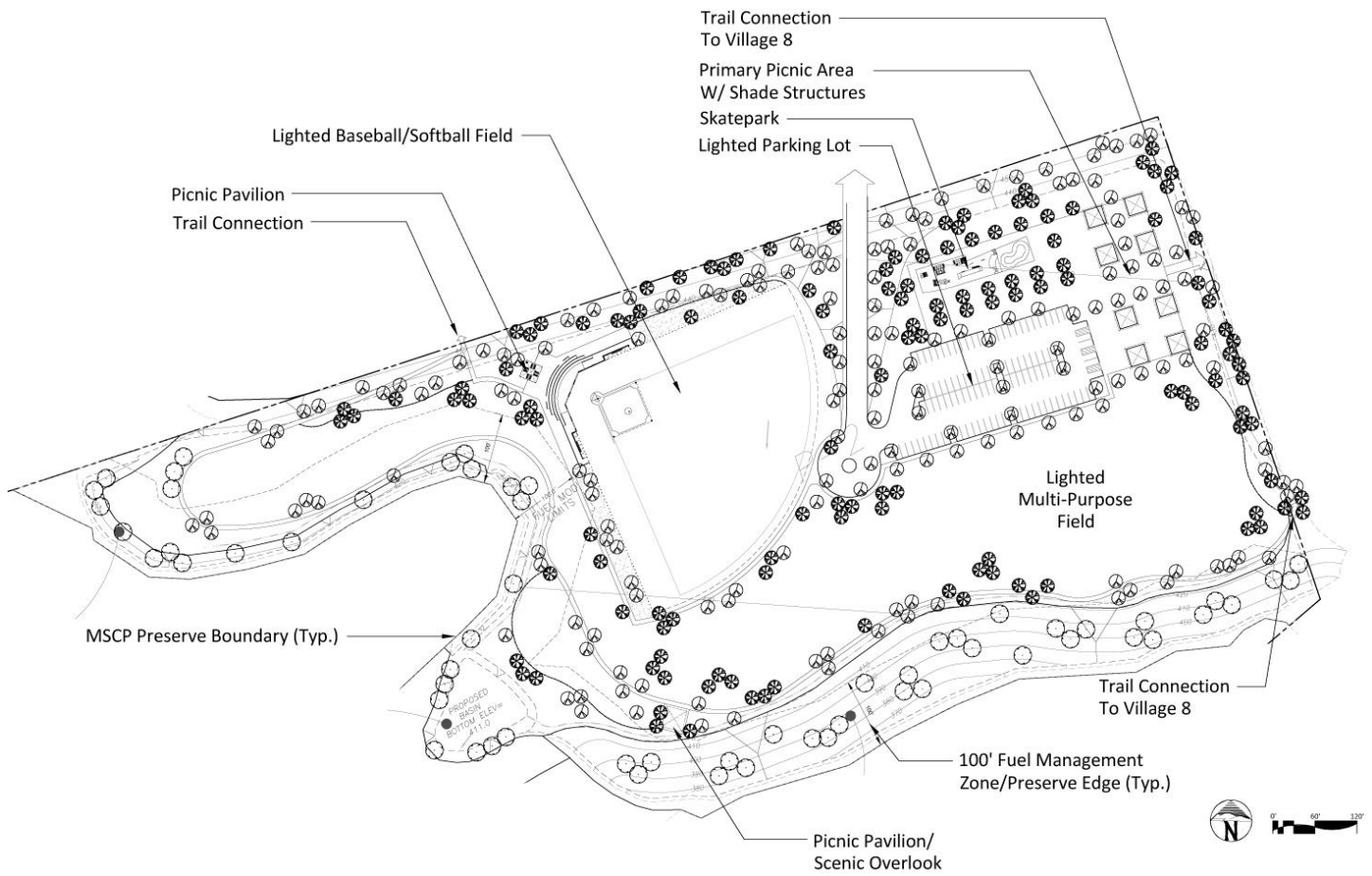


Exhibit 26
Community Park (P-2) Concept Plan

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

3. Community Purpose Facilities

Community purpose facilities are defined in Chula Vista Municipal Code 19.48 PC – Planned Community Zone. The Village Core includes a CPF site (CPF-1) within the Mixed Use area. In addition, two CPF sites are privately owned and maintained Private Recreation Facilities (PFR) are located to provide recreational amenities in proximity to single family neighborhoods throughout the village. The facilities create focal points in the village and are connected through the village pedestrian circulation system. Each facility will be designed to complement the surrounding neighborhood and amenities will be tailored to the specific needs of the neighborhood. Typical PFR concept plans are provided below.

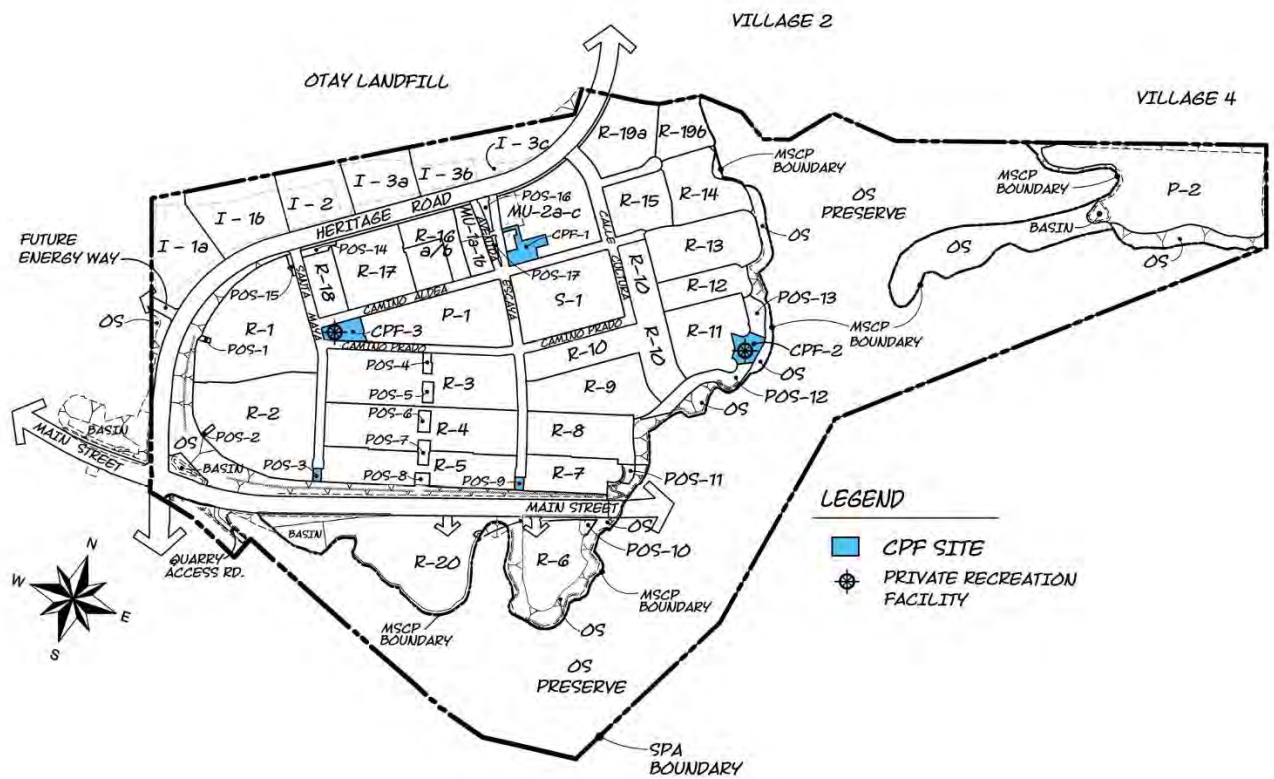


Exhibit 27
Community Purpose Facility Plan

II. Village Structure

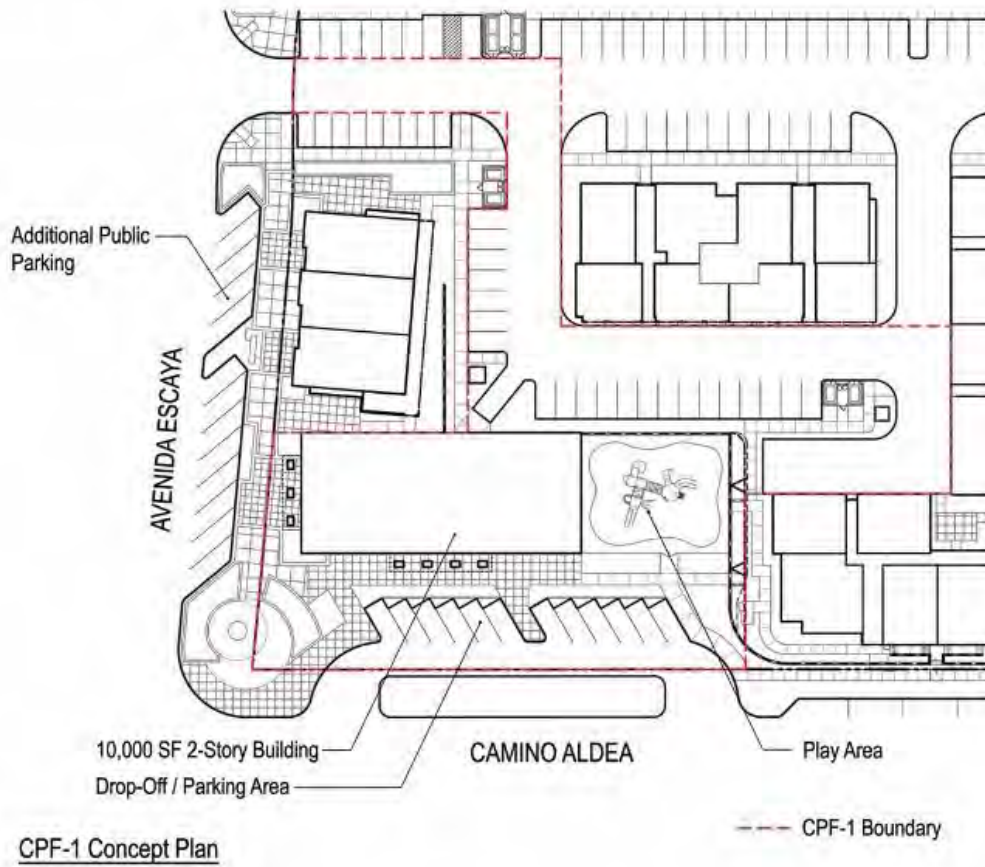


Exhibit 28

Community Purpose Facility Concept Plan (CPF-1)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

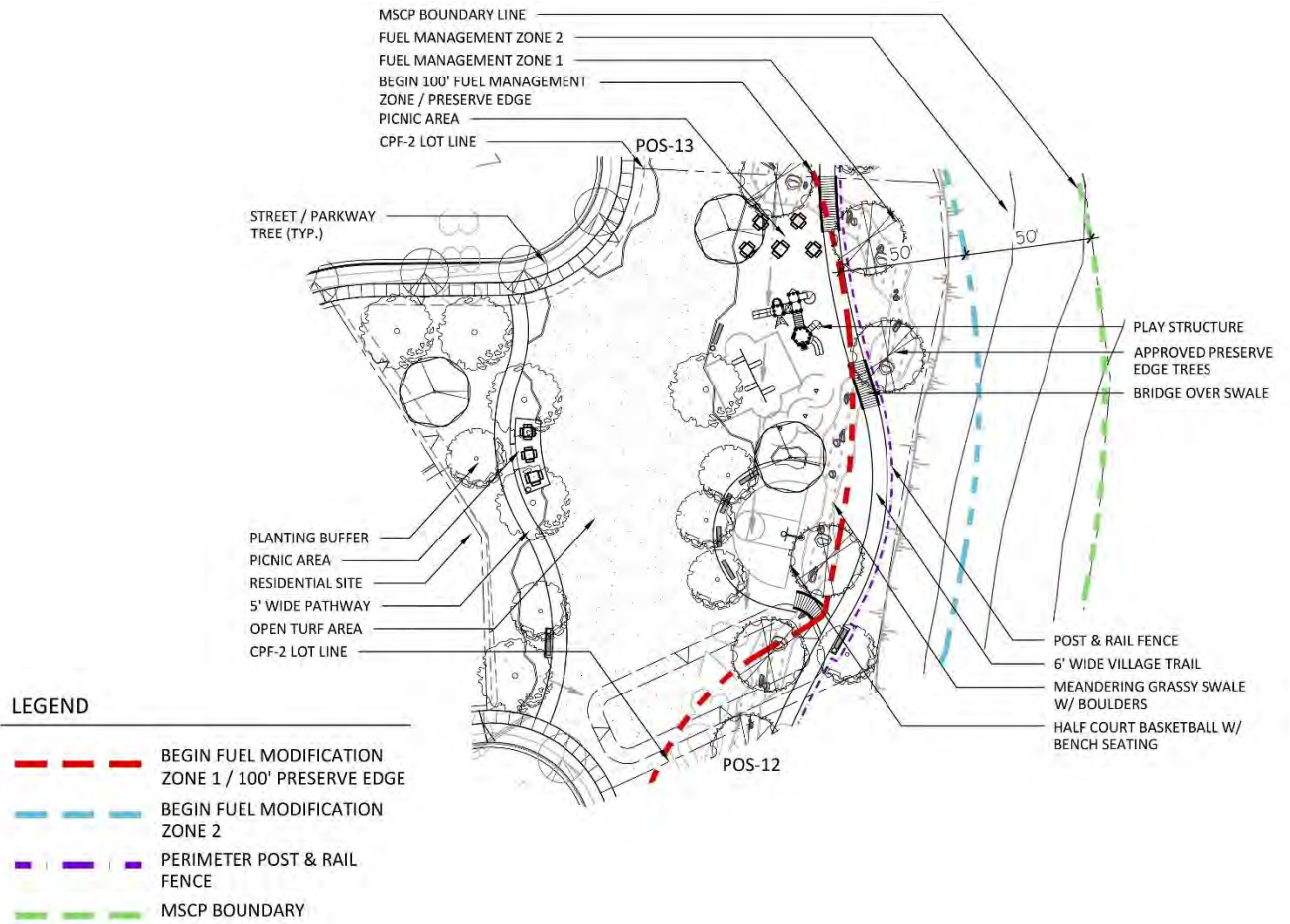


Exhibit 29

Private Recreation Facility Concept Plan (CPF-2)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

No structures other than fencing and walls shall be allowed within 100-foot Preserve Edge. Perimeter fences and walls within the 100-foot Preserve Edge shall be built and landscaped to minimize visual impacts on the Preserve and the Otay Valley Regional Park. Landscape plans for areas adjacent to the MSCP Preserve must be consistent with the “Approved Plant List” (Attachment A) and the Preserve Edge Plan landscaping and irrigation requirements. Any proposed use within the Preserve Edge shall be subject to review and approval of the Deputy City Manager / Development Services Director.

II. Village Structure

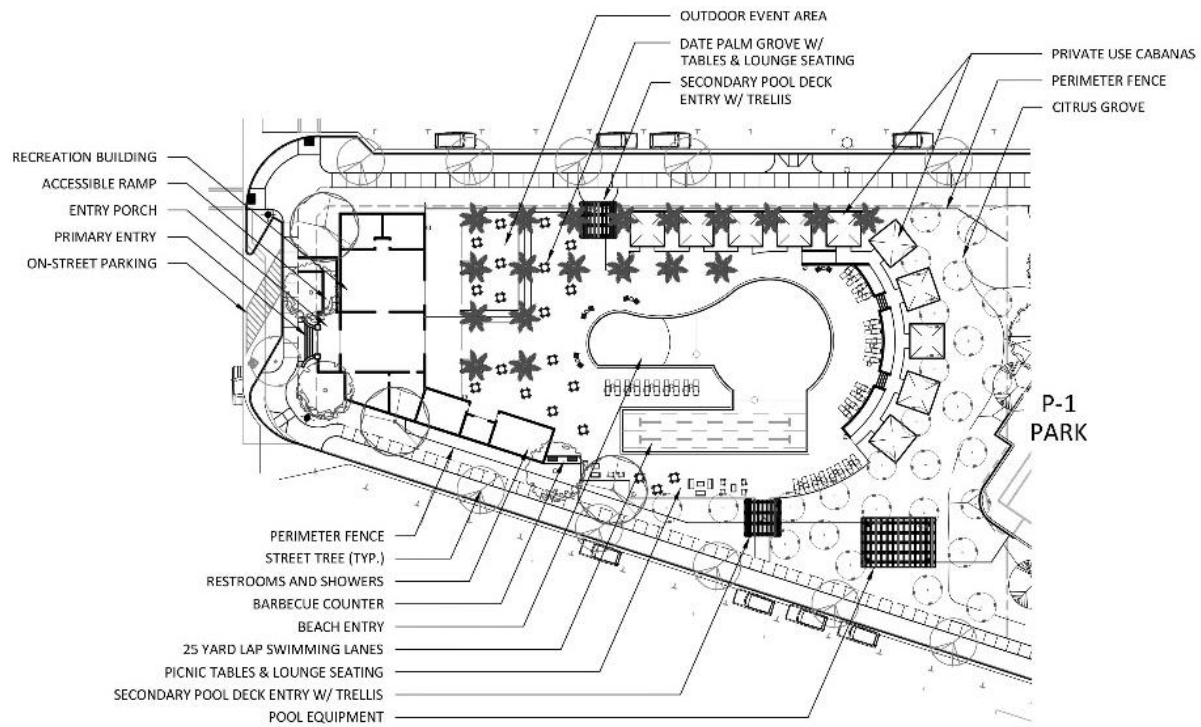


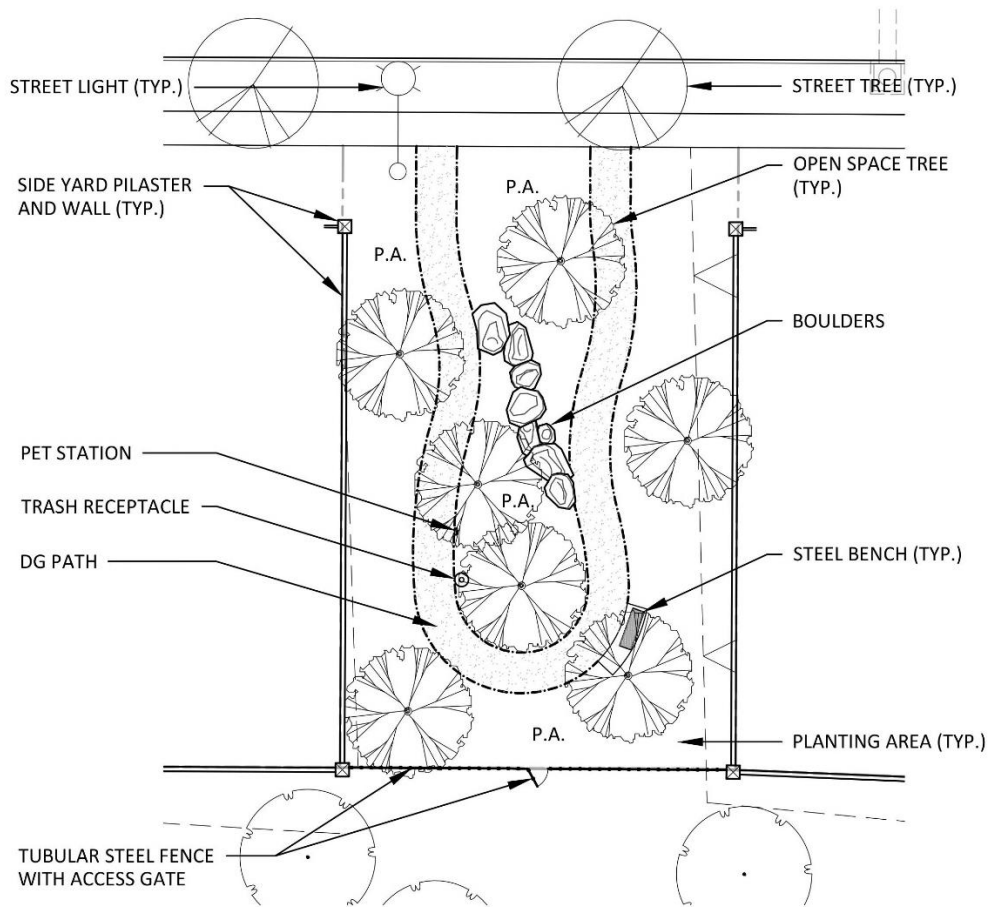
Exhibit 30
Private Recreation Facility Concept Plan (CPF-3)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

4. Private Open Space

Private Open Space areas are distributed throughout Village 3. They are located within single family neighborhoods and at the perimeter of Village 3 and may contain trails, open lawn areas, bench seating, picnic areas and/or exercise stations. Private Open Space Areas may provide Common Useable Open space requirements identified in the PC District Regulations. No structures other than fencing and walls shall be allowed within 100-foot Preserve Edge. Perimeter fences and walls within the 100-foot Preserve Edge shall be built and landscaped to minimize visual impacts on the Preserve and the Otay Valley Regional Park. Landscape plans for areas adjacent to the MSCP Preserve must be consistent with the “Approved Plant List” (Attachment A) and the Preserve Edge Plan landscaping and irrigation requirements. Any proposed use within the Preserve Edge shall be subject to review and approval of the Deputy City Manager / Development Services Director. Concept plan are provided for illustrative purposes only. Actual site development may vary from concepts depicted below.

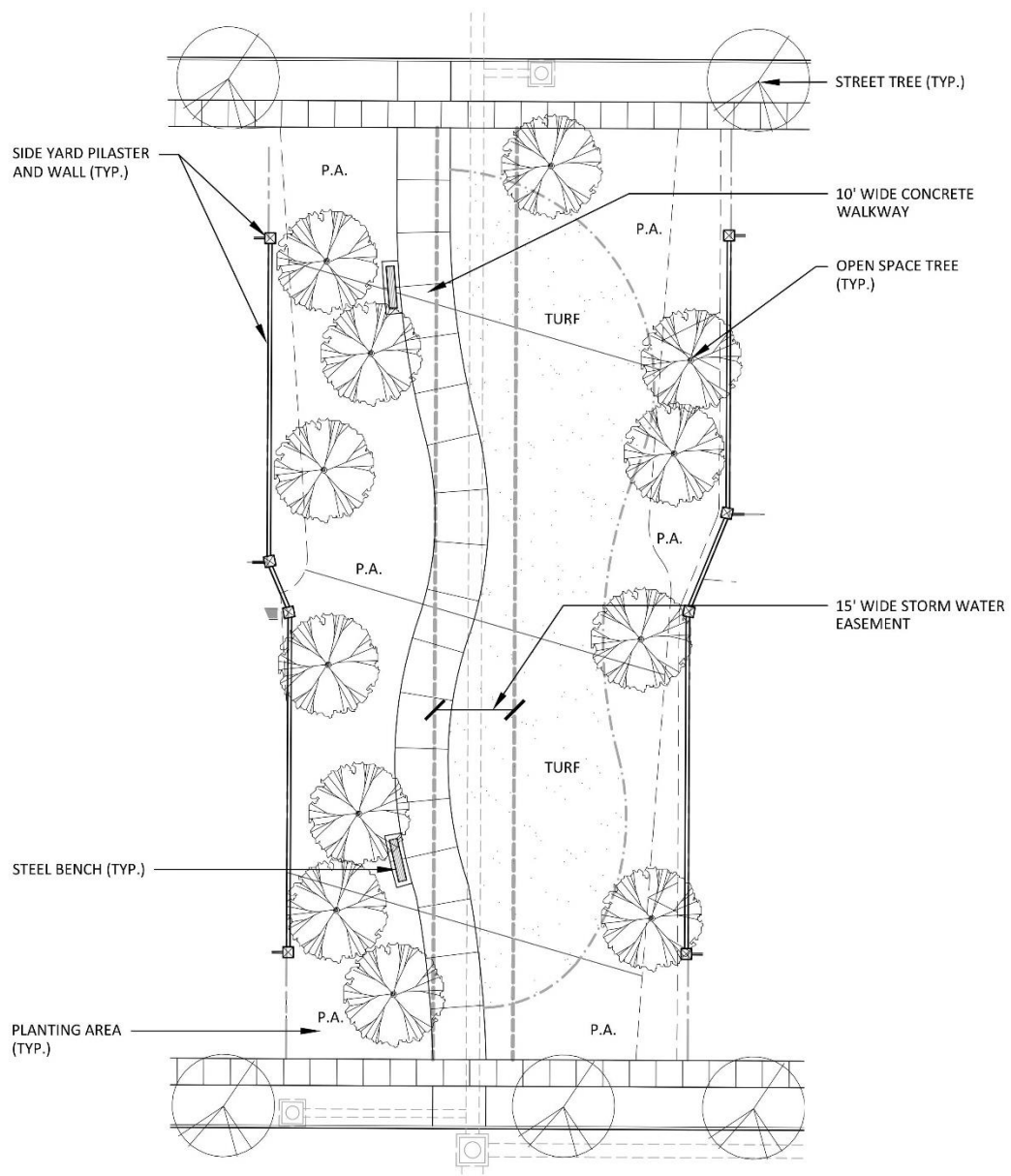


Private Recreation Facility

Exhibit 31
Private Open Space (POS-3) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure



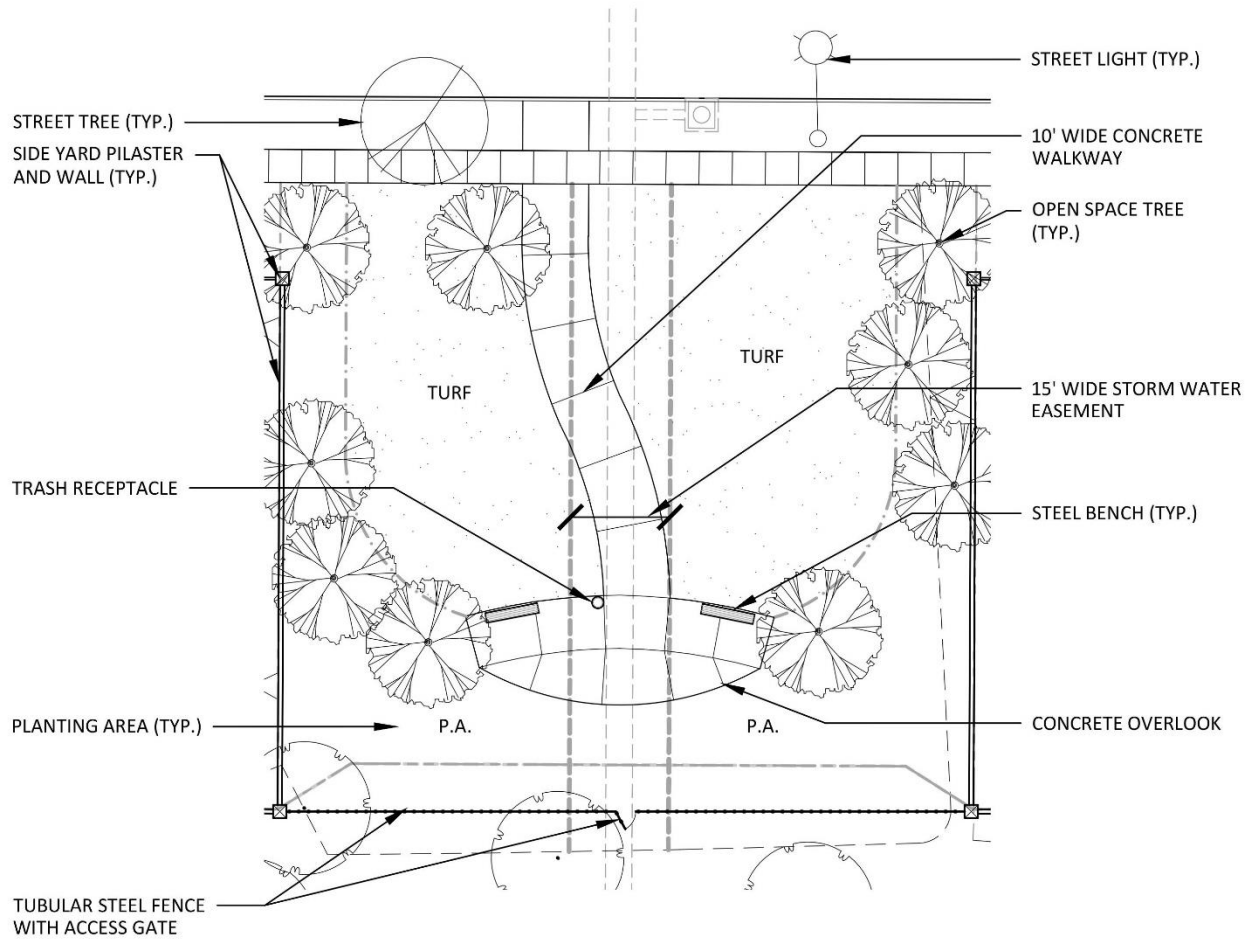
Private Recreation Facility -Paseo (Typical Segment)

Exhibit 32a

Private Open Space (POS-4, 5, 6 & 7) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

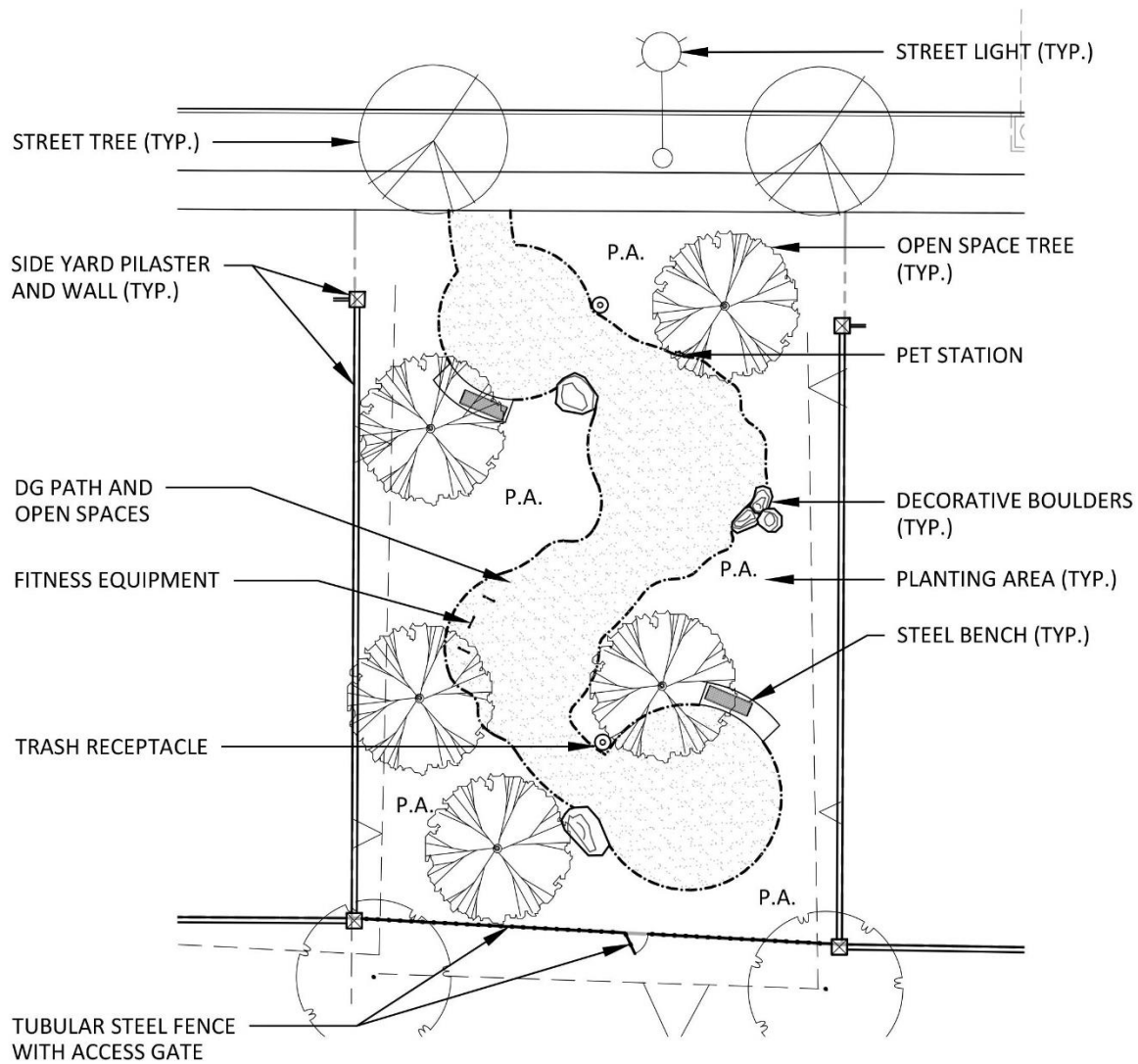


Private Recreation Facility

Exhibit 32b
Private Open Space (POS-8) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure



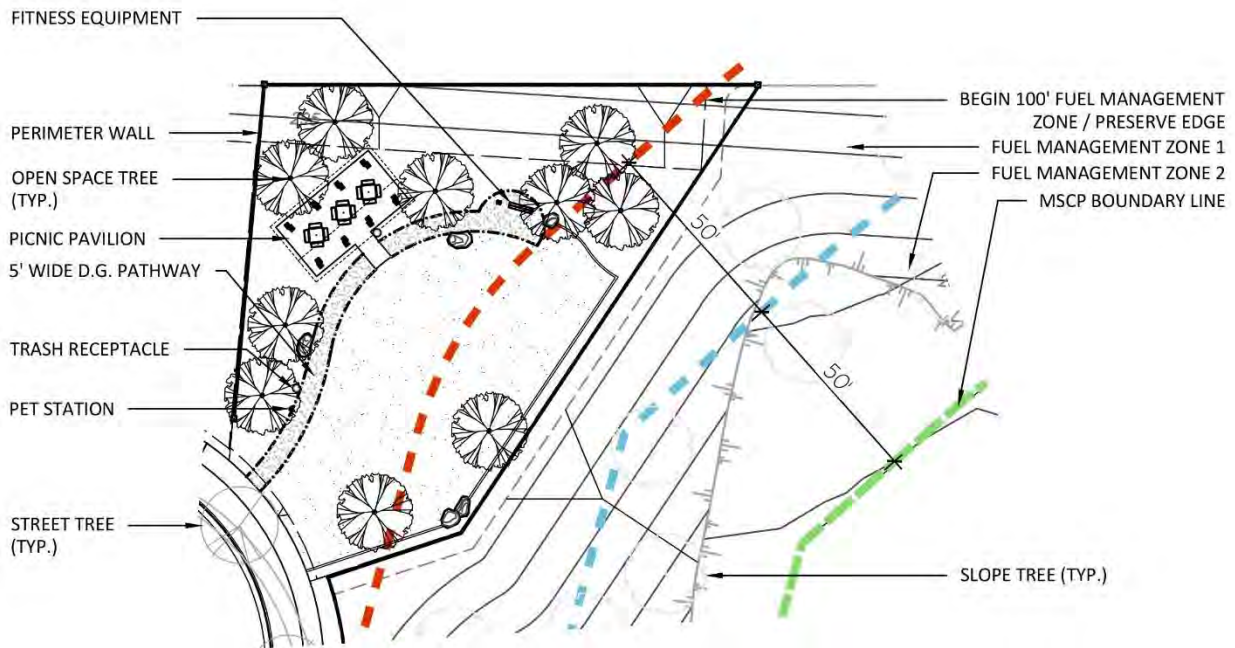
Private Recreation Facility

Exhibit 32c

Private Open Space (POS-9) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure



LEGEND

- - - - - BEGIN FUEL MODIFICATION ZONE 1 / 100' PRESERVE EDGE
- - - - - BEGIN FUEL MODIFICATION ZONE 2
- - - - - MSCP BOUNDARY

P.O.S. 10

1" = 40'-0"

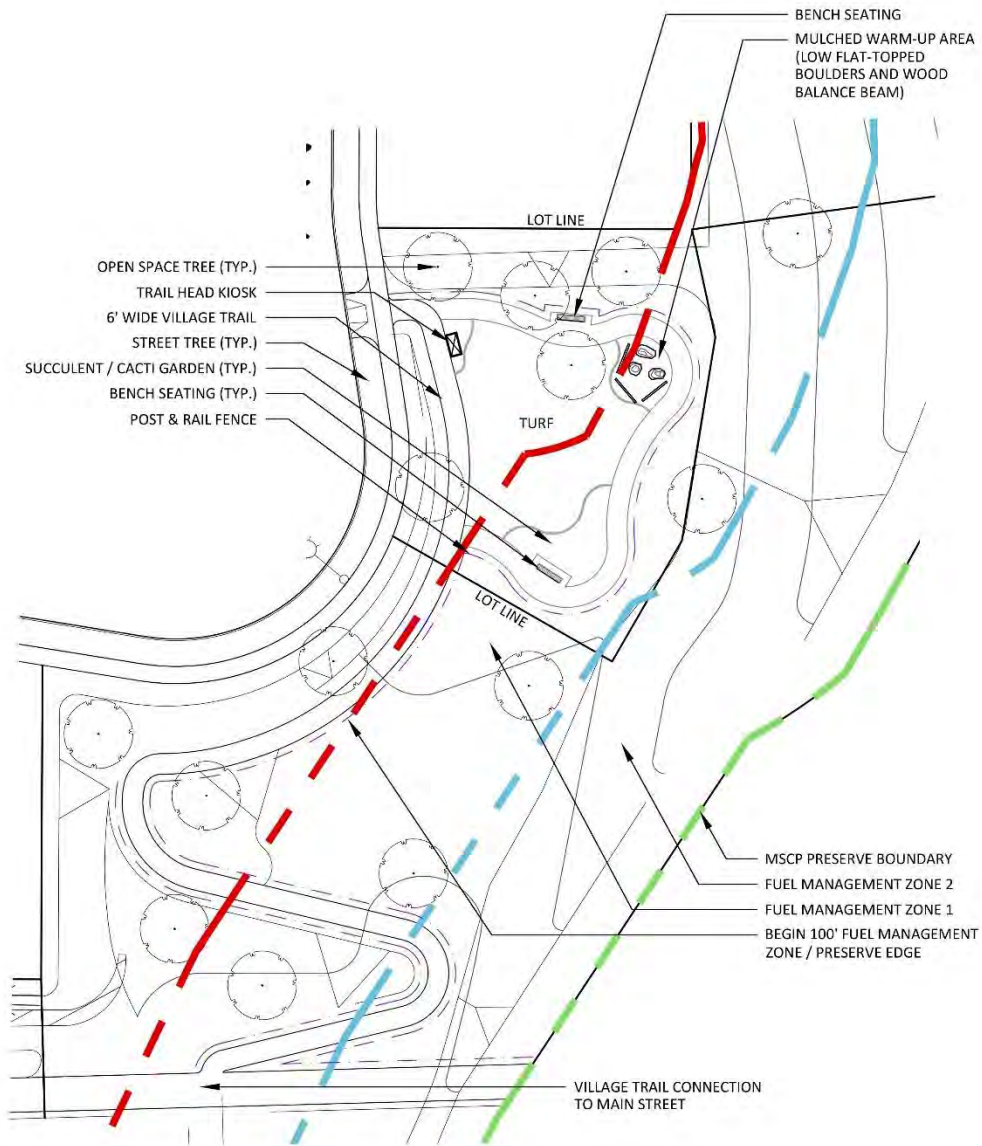
Private Recreation Facility

Exhibit 33a

Private Open Space (POS-10) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure



LEGEND

- - - BEGIN FUEL MODIFICATION ZONE 1 / 100' PRESERVE EDGE
- - - BEGIN FUEL MODIFICATION ZONE 2
- - - PERIMETER POST & RAIL FENCE
- - - MSCP BOUNDARY

TRAIL HEAD - P.O.S. 11 / OS-2

1" = 30'-0"

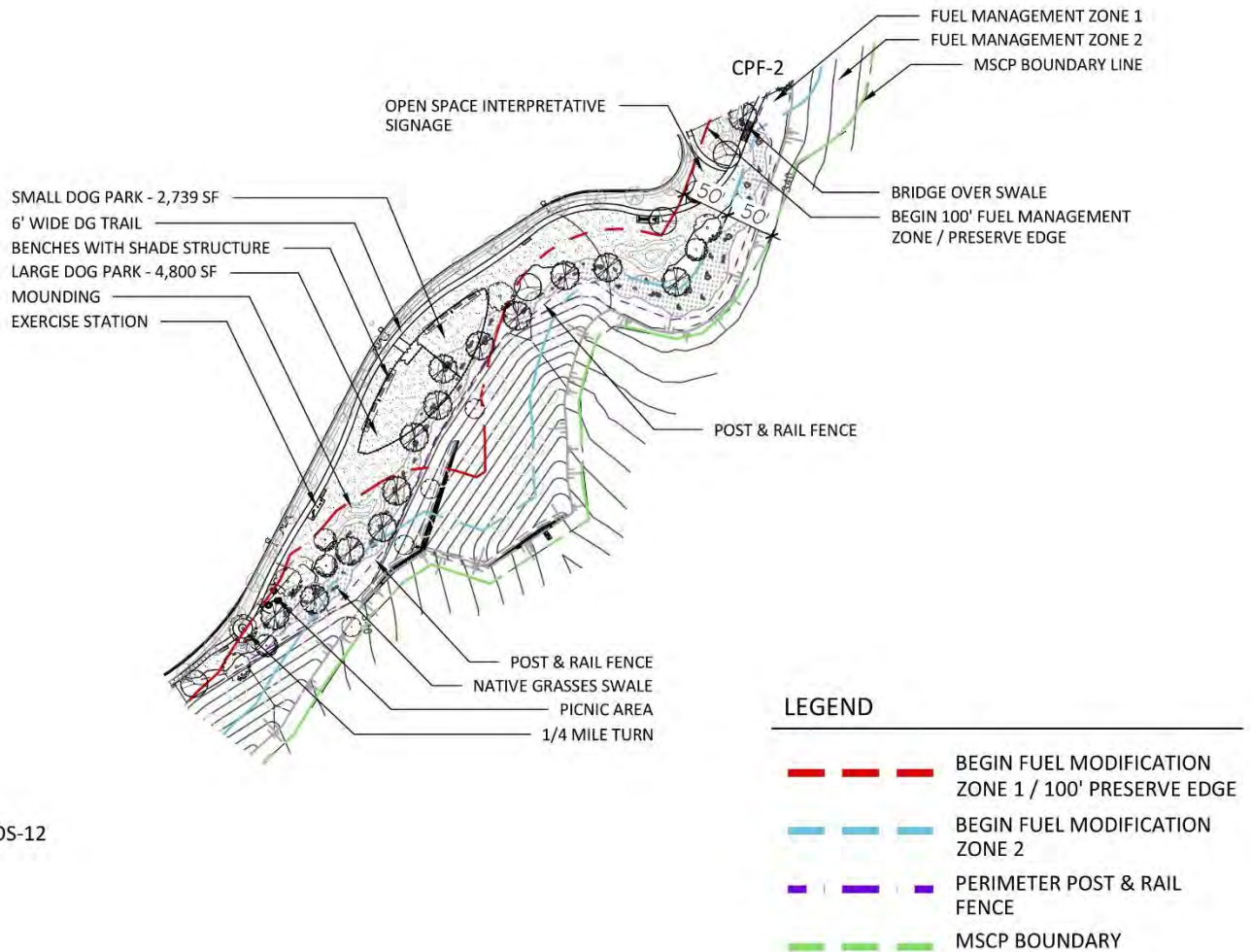
Private Recreation Facility - Trail Head

Exhibit 33b

Private Open Space (POS-11 & OS-2) Concept Plan

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure



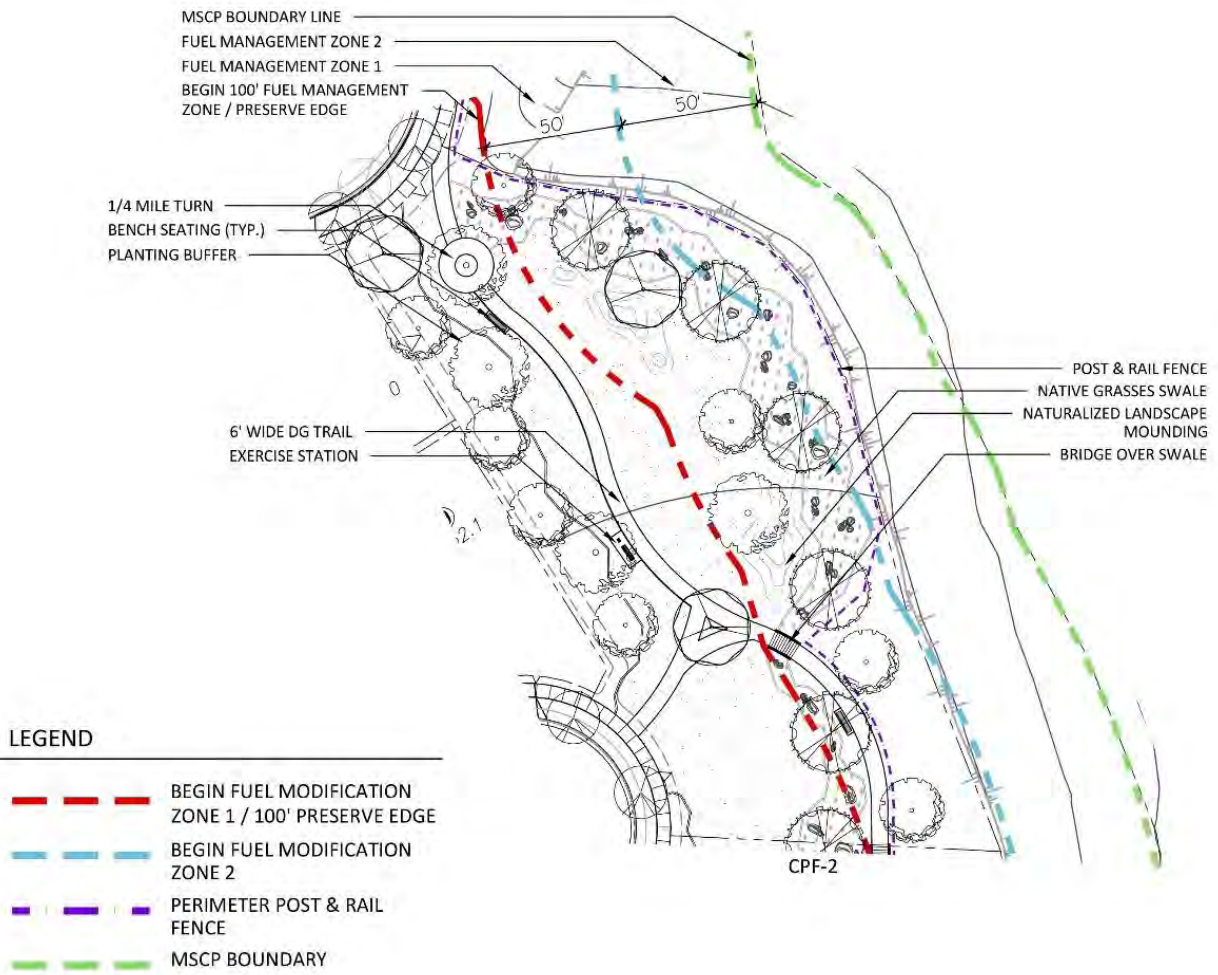
POS-12

Private Recreation Facility

Exhibit 34
Private Open Space (POS-12) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure



Private Recreation Facility

Exhibit 35a
Private Open Space (POS-13) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

II. Village Structure

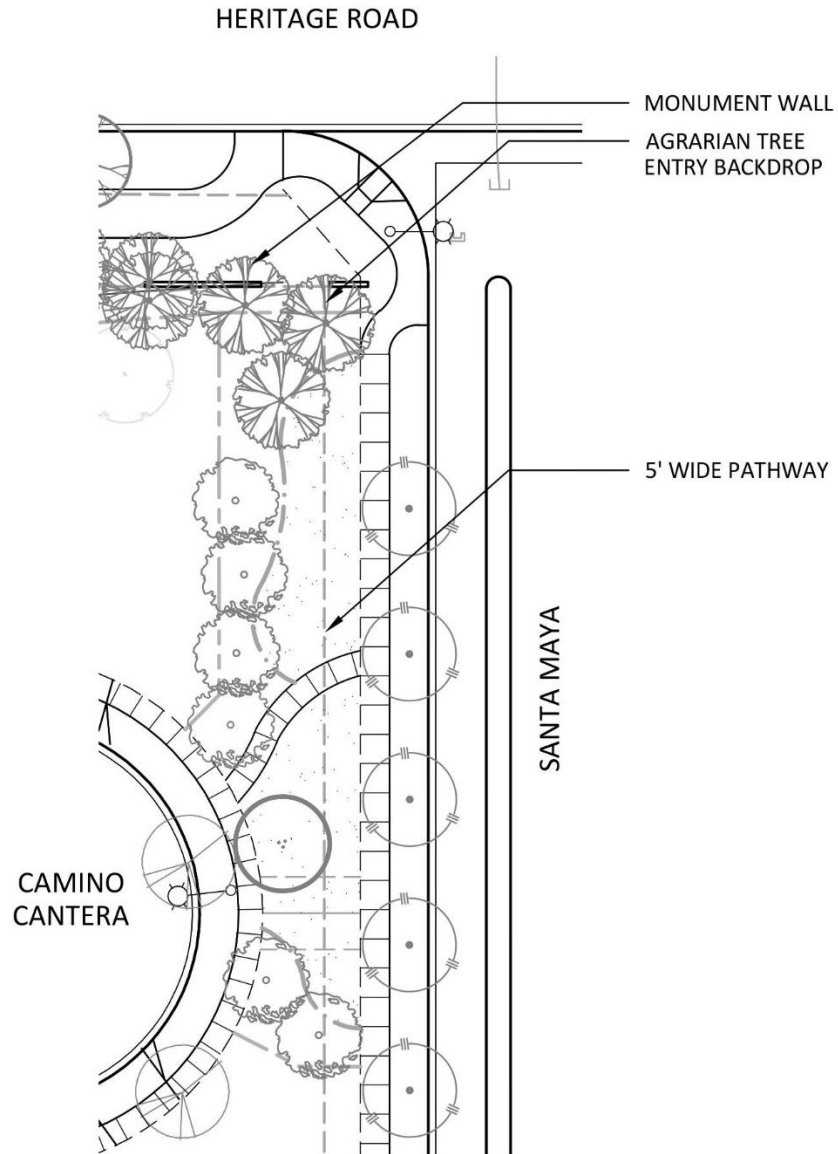
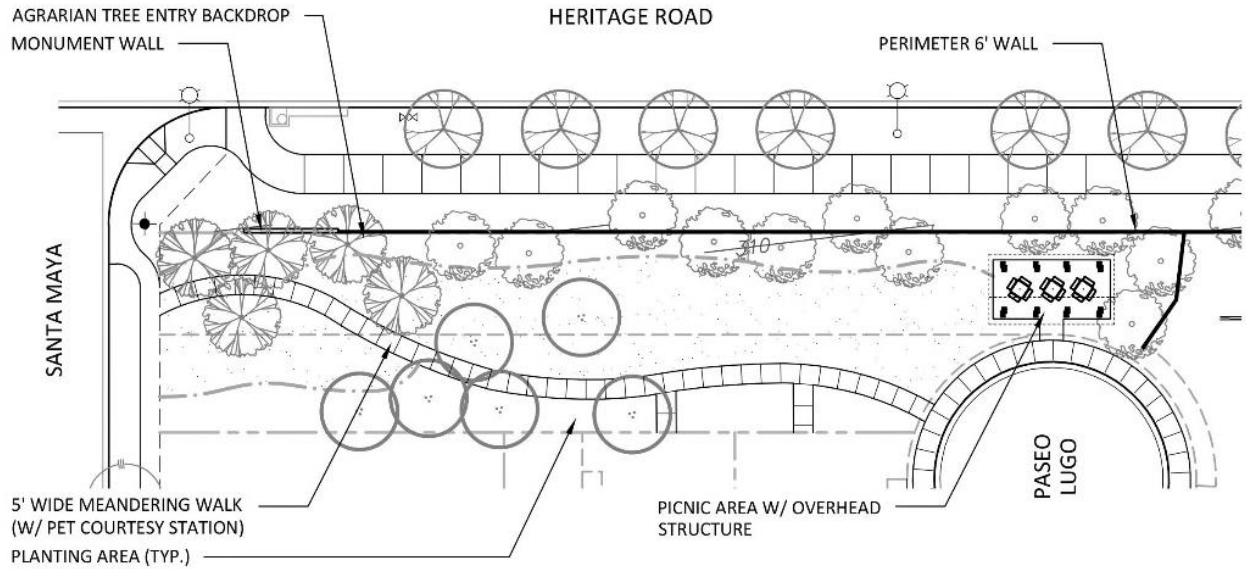


Exhibit 35b

Private Open Space (POS-14) Concept Plans

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

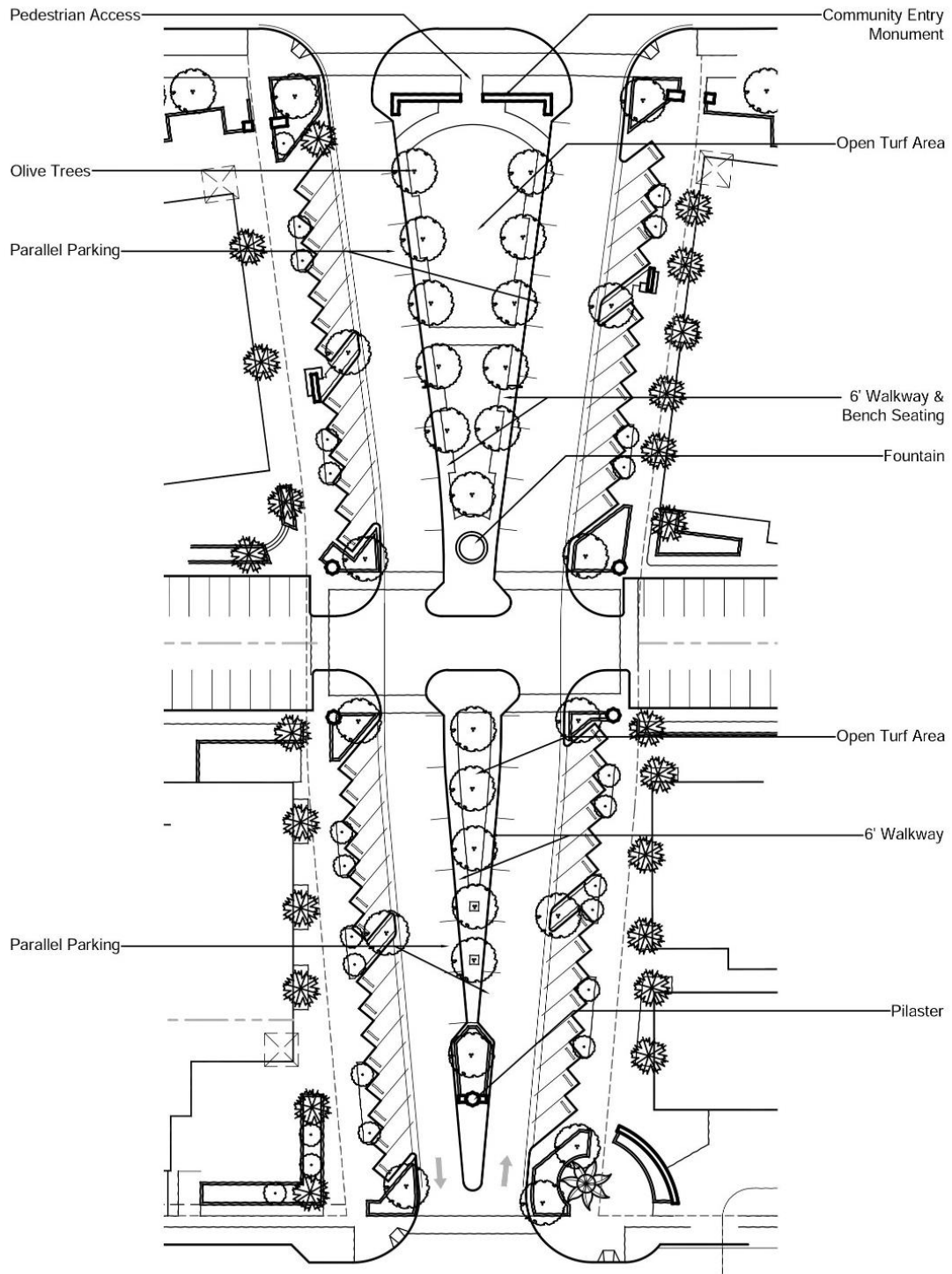
II. Village Structure



Private Recreation Facility

Exhibit 35c
Private Open Space (POS-15) Concept Plans

II. Village Structure



Private Recreation Facility - Avenida Escaya Concept Plan

Exhibit 36
Private Open Space (POS 16 & 17) Concept Plans

II. Village Structure

J. Wall and Fence Concepts

1. Community Walls

The Ranch-wide theme will be maintained through a comprehensive system of walls and fences. Walls at the Village entries will be designed to accent the entries and reflect the agrarian character. Enhanced architectural walls will be comprised of a light stucco finish and will provide screening, sound attenuation, security, and neighborhood identity. Community perimeter walls will be constructed of light colored integral color concrete block. An enhanced wall design is also proposed at key locations within the village core and at community entries. Fence and Wall Details are provided in Exhibit 38 below. Plantable retaining walls are as described beginning on Page 23.

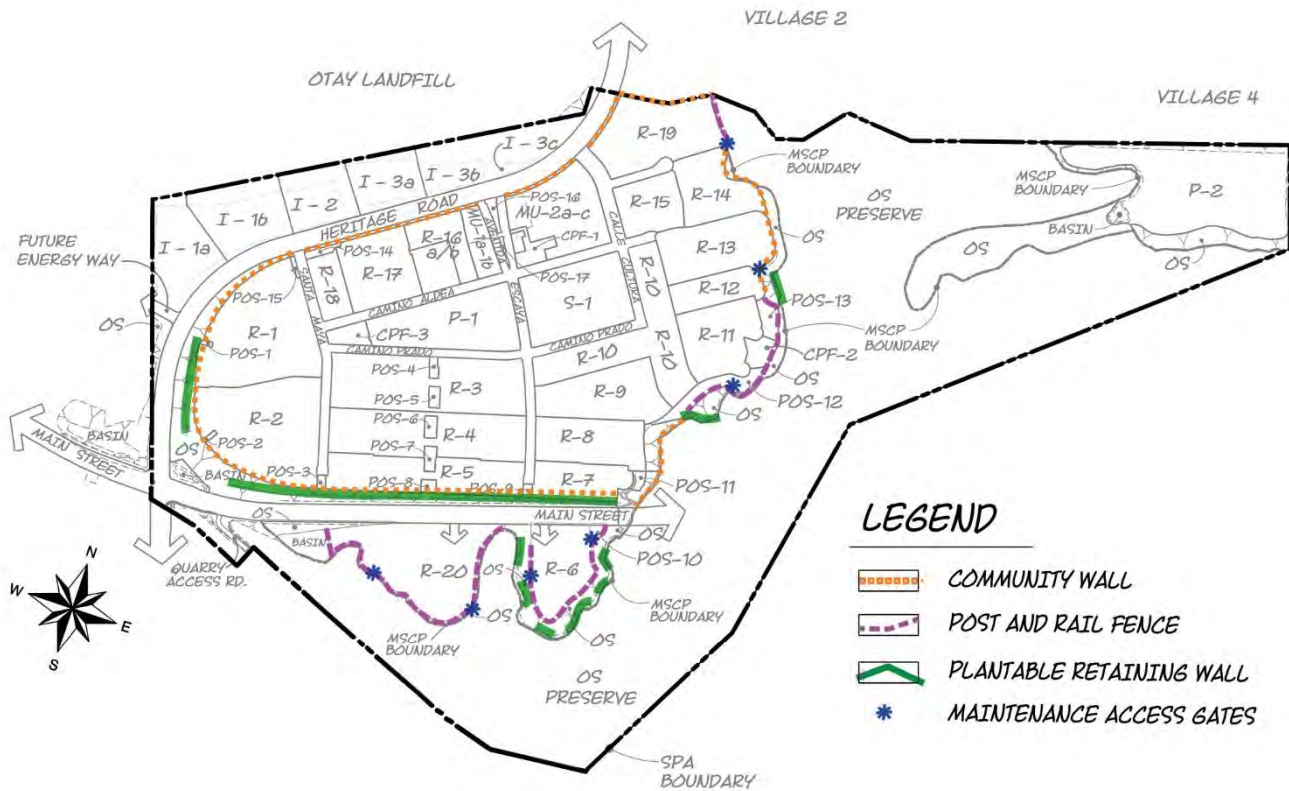
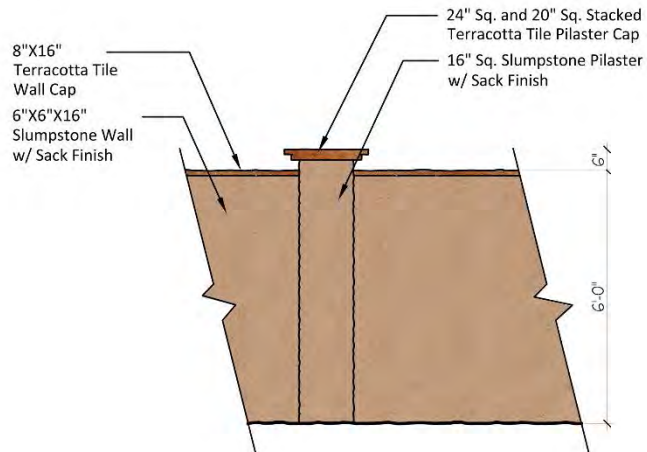
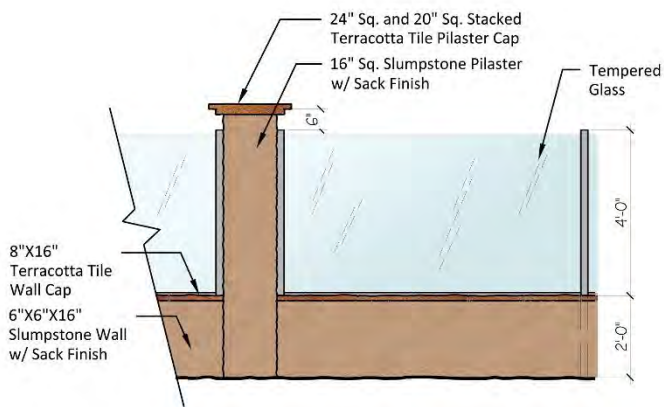


Exhibit 37
Fence and Wall Concept Plan

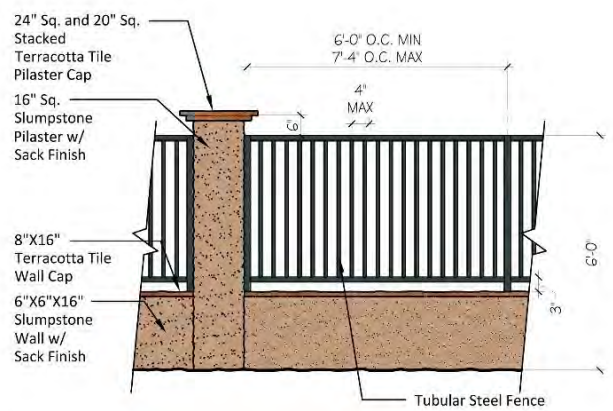
II. Village Structure



Enhanced 6' Perimeter Wall

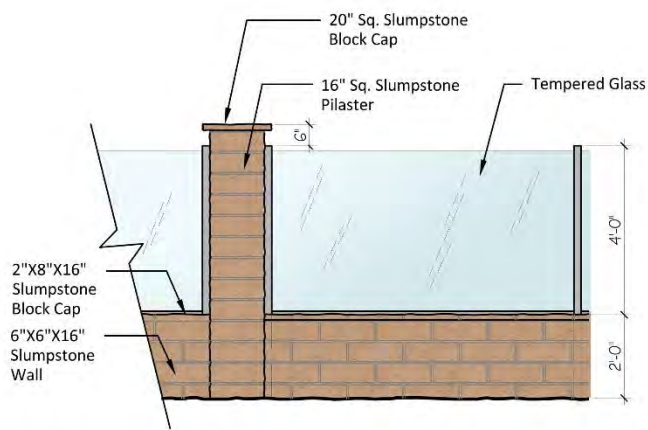


Enhanced 6' Perimeter View Wall

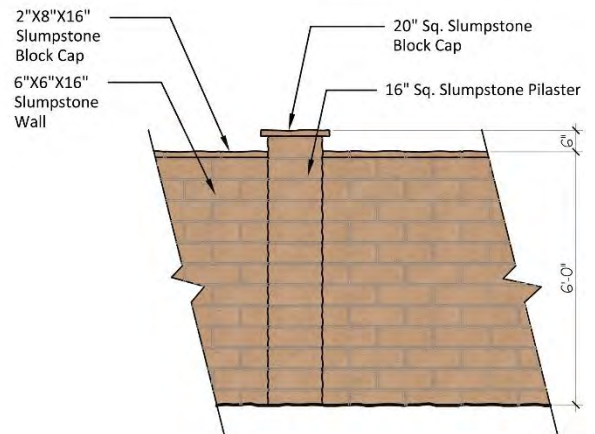


Enhanced 6' Perimeter View Fence

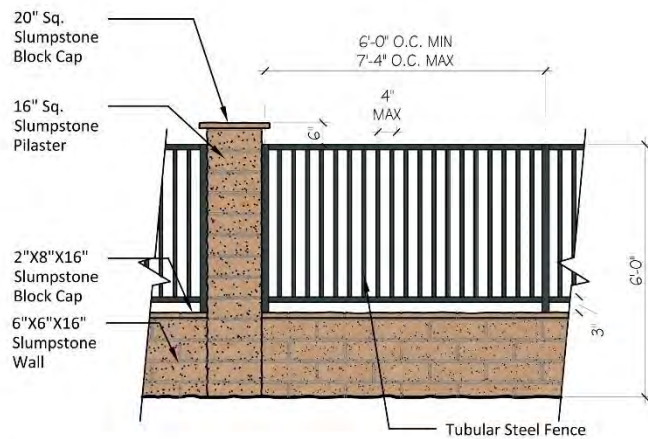
II. Village Structure



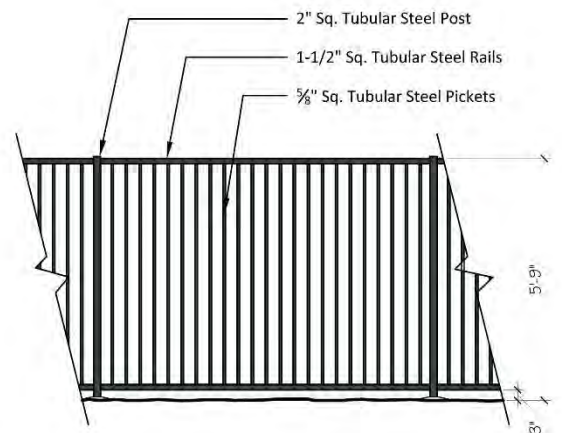
6' Perimeter View Wall



6' Perimeter Wall



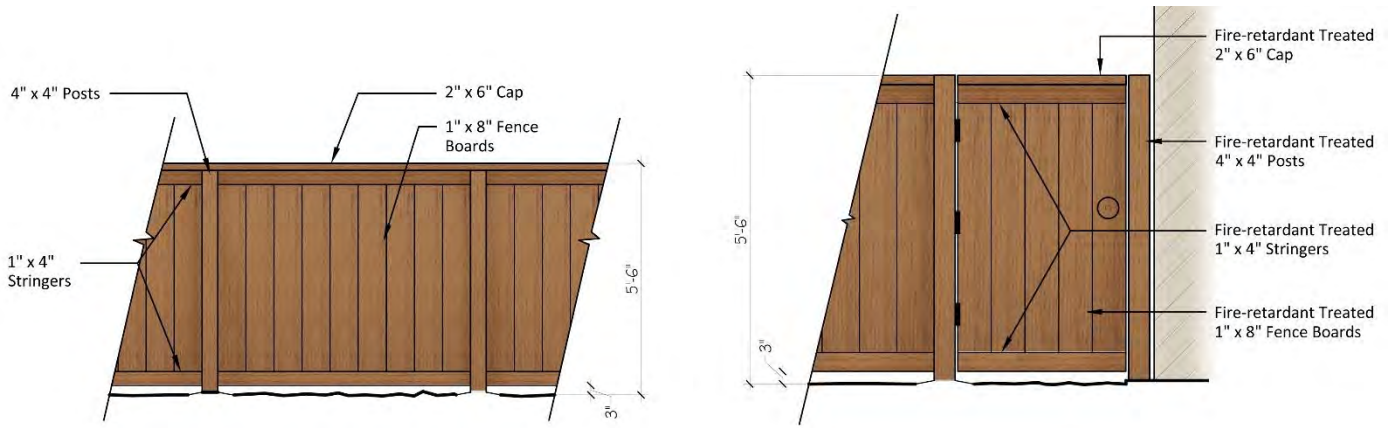
6' Perimeter View Fence



5'-9" Production View Tubular Steel Fence

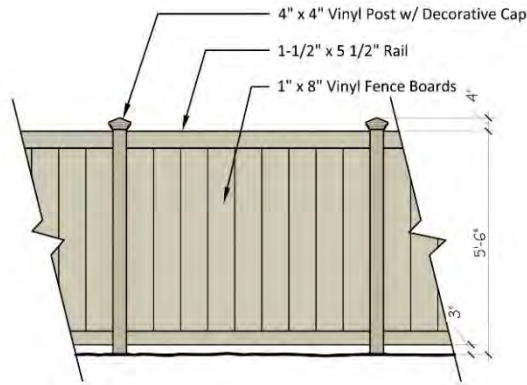
Exhibit 38 (continued)
Fence and Wall Details

II. Village Structure

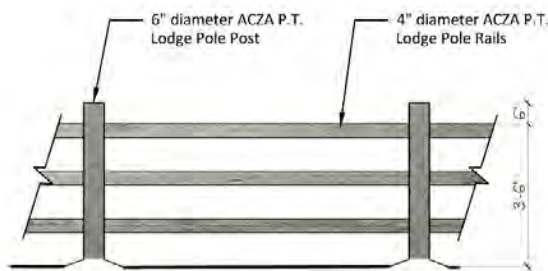


5'-6" High Production Wood Fence

5'-6" High, Fire-Retardant Wood Fence Return



5'-6" High Production Vinyl Fence



42" High Trail Fencing

Scale: 3/8" = 1'

Trail & Preserve Edge Conditions

Exhibit 38 (continued)
Fence and Wall Details

Note: All side yard fencing, including returns, are subject to the Village 3 North Fire Protection Plan and subsequent amendment requirements.

II. Village Structure

K. Lighting Concepts

The village lighting design concept depicted in Exhibit 39 below focuses on the quality of light along specific corridors and areas. Light standards must have a distinctive character to relate to the corridors they serve. Lighting along pedestrian corridors must be more human in scale, closer spaced and lower than is typically found on an urban street. Light standards should be manufactured of high-quality materials that are visually pleasing. The base, pole and light fixture must be attractive and suitable to the design theme of the village. Light fixtures shown in Exhibit 40 below are conceptual. Final fixture design will be determined in the Village 3 Master Precise Plan. The objectives for exterior lighting are as follows:

- ❖ To contribute to the safe and efficient use of all public and private areas in the village.
- ❖ To increase the perception of personal and property safety.
- ❖ To complement and reinforce the architectural and landscape character of all public and private spaces.
- ❖ To contribute to the ease of way finding through the village.
- ❖ To meet all applicable public and environmental standards, including energy conservation.
- ❖ To provide a consistent quality of lighting throughout the village.
- ❖ To avoid adverse impacts such as excessive glare and light spill.
- ❖ To reinforce the identity of each component of the village, including private and public space improvements.
- ❖ To avoid adverse impacts to sensitive biological resources within the adjacent Otay Ranch Preserve by directing light away from Preserve areas through the placement and shielding.

II. Village Structure

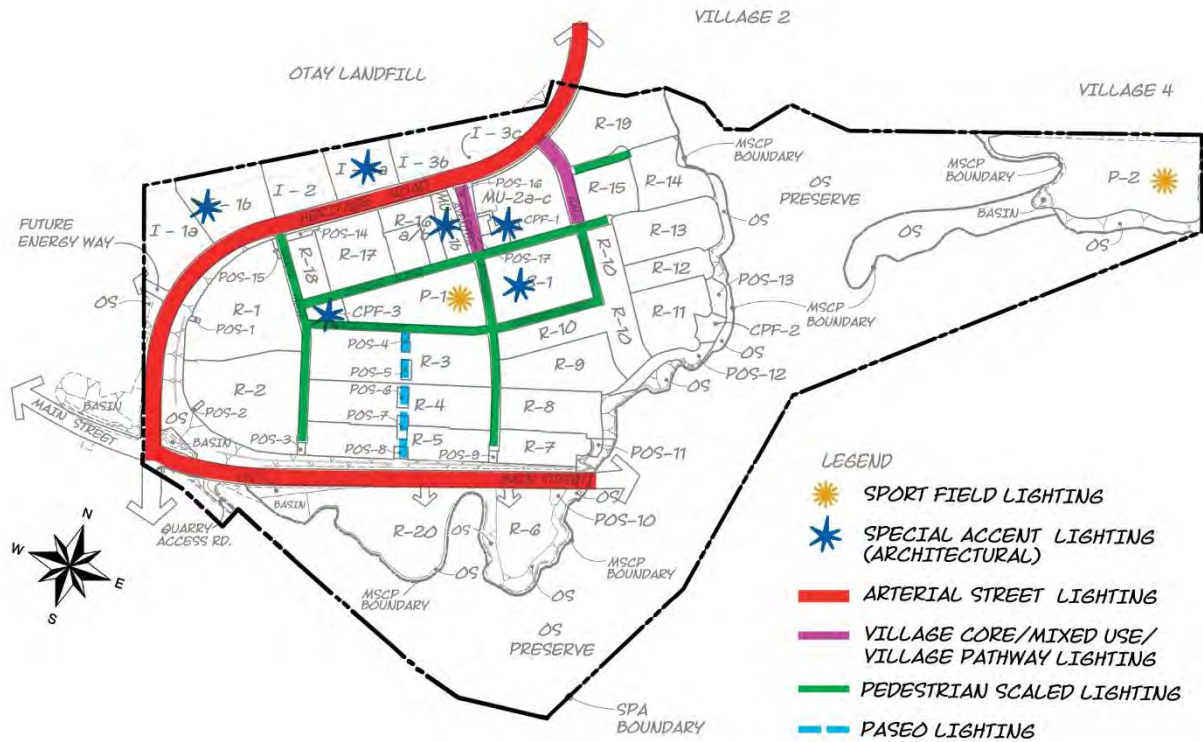


Exhibit 39
Lighting Concept Plan

II. Village Structure

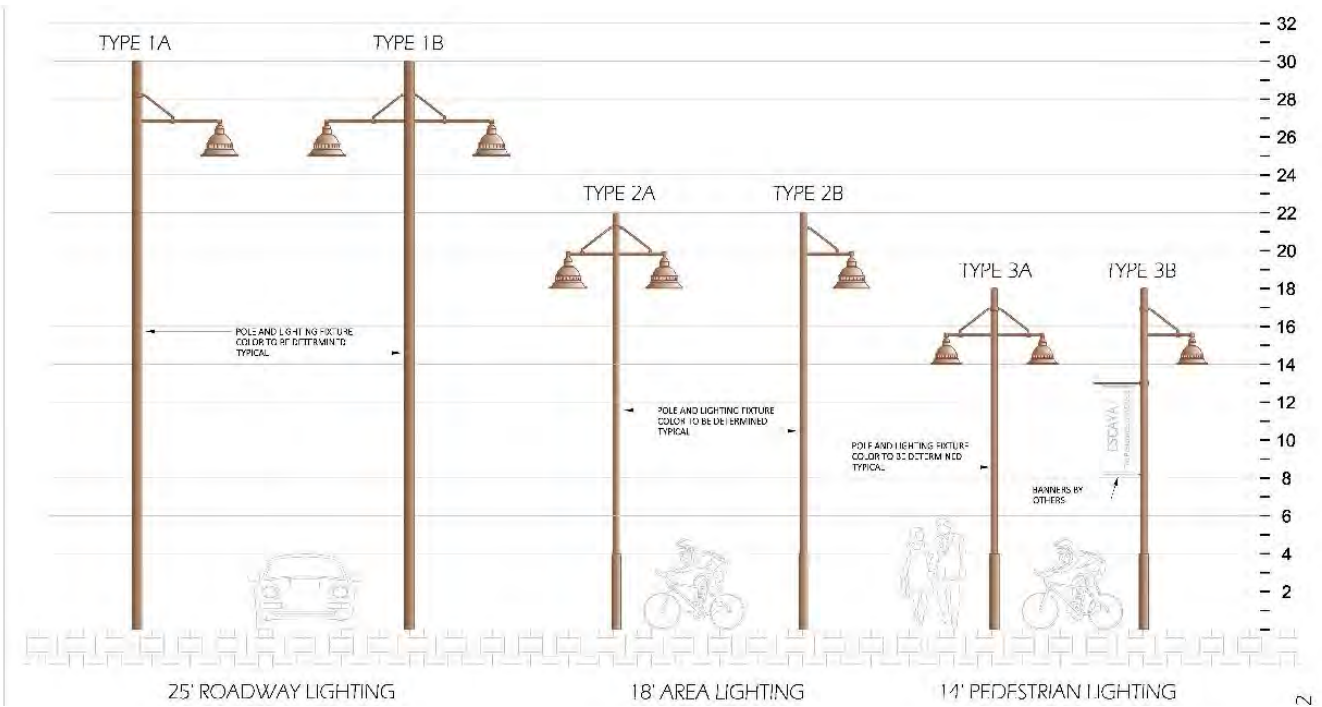


Exhibit 40
Conceptual Light Fixtures

Note: Master Developer may substitute like fixtures

- ❖ Special accent lighting may be proposed within the mixed use commercial, CPF sites and school site. Special accent lighting may include architectural, pathway and/or lighting on signage. All special accent lighting proposed within the 100' Preserve Edge must be shielded and directed away from the Preserve to minimize/avoid light spillage into Preserve areas. Detailed lighting plans will be provided at the improvement/site plan level.
- ❖ Sport field, sport court, parking lot and architectural lighting is planned within public parks, including Neighborhood Park, P-1 and Community Park P-2. Lighting within public parks must be shielded to prevent light spillage into adjacent MSCP Preserve area and other adjacent land uses. See “Public Park Lighting” on Page 104 for lighting requirements.



II. Village Structure

1. Secondary Village Entry Street Lighting

Street lighting will be from the opposite side of the street from the pathway. The pathway lighting will be illuminated by a pedestrian scale theme light source.

Pole:

Custom color concrete, approximately 22 feet tall for street lights and painted metal theme character 12 feet tall for pathway lights.

Fixture Type:

Street lights – conventional with special color fixture and custom color concrete pole.

Pathway lights – design and color complimentary to the Village design theme.

Lamp Type:

LED Lamp

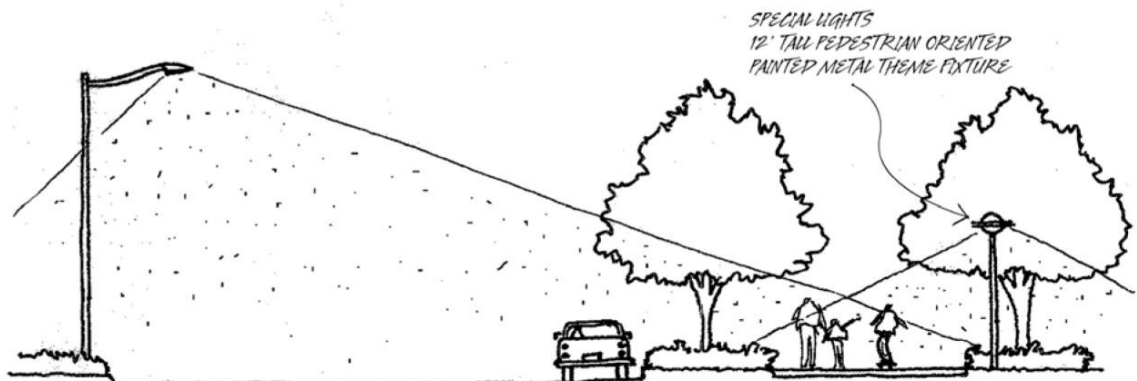


Exhibit 41
Secondary Village Entry Street Lighting

II. Village Structure

2. Promenade Streets Lighting

Promenade Streets serve automobile, pedestrian and/or bicycle traffic. Street lighting will be located on the opposite side of the street from the promenade walk. Pedestrian scale lighting will be located next to the promenade walk.

Pole:

Custom color concrete, approximately 22 feet tall for street lights and painted metal theme character 12 feet tall for pathway lights.

Fixture Type:

Cut-off feature for glare control for both lights.

Standard "Cobra Style" with cut off shield for street lights. Theme fixture for pedestrian path lights with shield.

Lamp Type:

LED Lamp

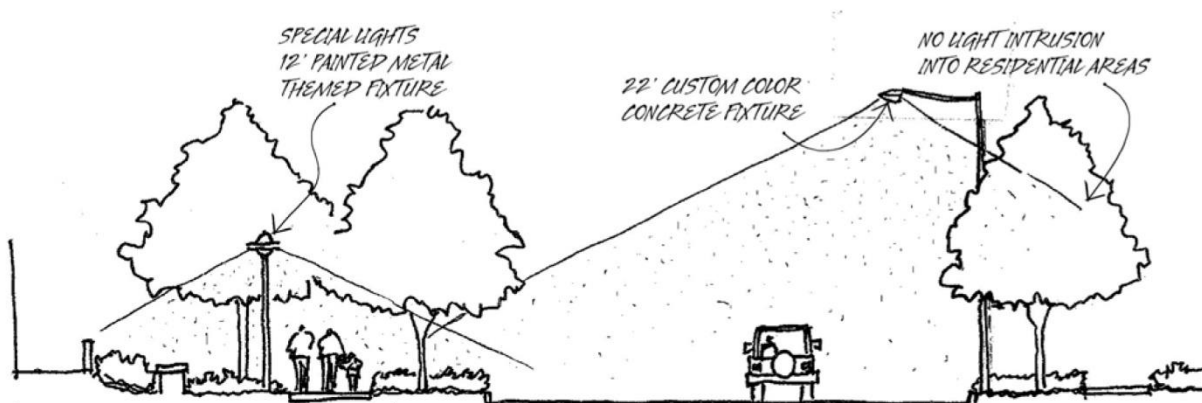


Exhibit 42
Promenade Street Lighting

II. Village Structure

3. Parkway Residential Street Lighting

Residential streets are semi-urban roads with a pedestrian scale. The streets have homes on one or both sides, with pedestrian walks and on-street parallel parking.

Pole:

Pre-cast custom color concrete approximately 22 feet tall.

Fixture Type:

Cut-off feature for glare control, either pole top or single davit mount.

Lamp Type:

LED Lamp

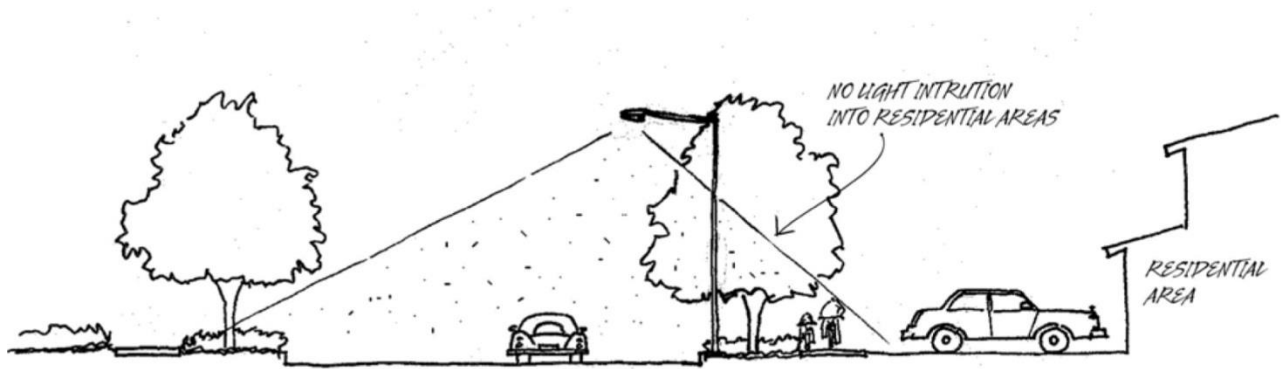


Exhibit 43
Parkway Residential Street Lighting

II. Village Structure

4. Lighting within 100' Preserve Edge



Lighting is proposed along the Residential Street and Private Street located within the 100' Preserve Edge. This single-loaded street has a home on one side of the street, with pedestrian walks on both sides of the street and on-street parallel parking permitted in front of homes. Light fixtures must be shielded to minimize light spillage (see example below) into Preserve areas. In addition, street lights must be installed on the south side of the single-loaded street, closest to the Preserve area, with light directed away from the Preserve. See Page 101 for Parkway Residential Street Light details.

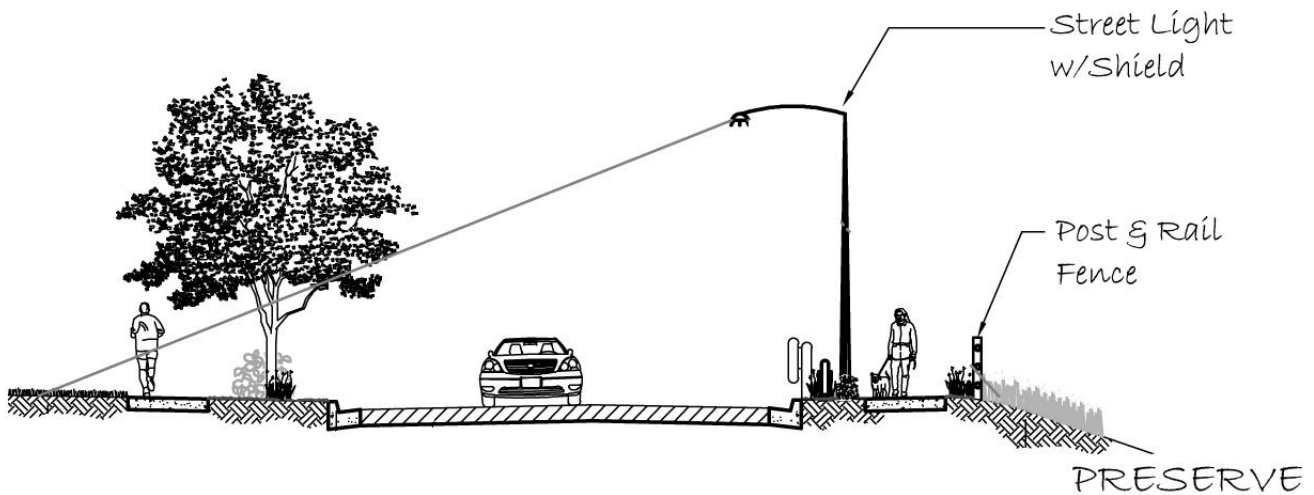


Exhibit 44
Lighting within 100' Preserve Edge

II. Village Structure

5. Public Park Lighting

Lighting is anticipated within the P-1 Neighborhood Park and P-2 Community Park. Sport court and field lighting will be provided to accommodate night-time use of sports fields and courts within public parks. In addition to sport court and field lighting, pathway/sidewalk, parking lot and architectural lighting may also occur within public parks. Light fixtures must be shielded to minimize light spillage into Preserve areas and other adjacent land uses. Specific lighting fixtures and lamps will be determined during the park master planning process.

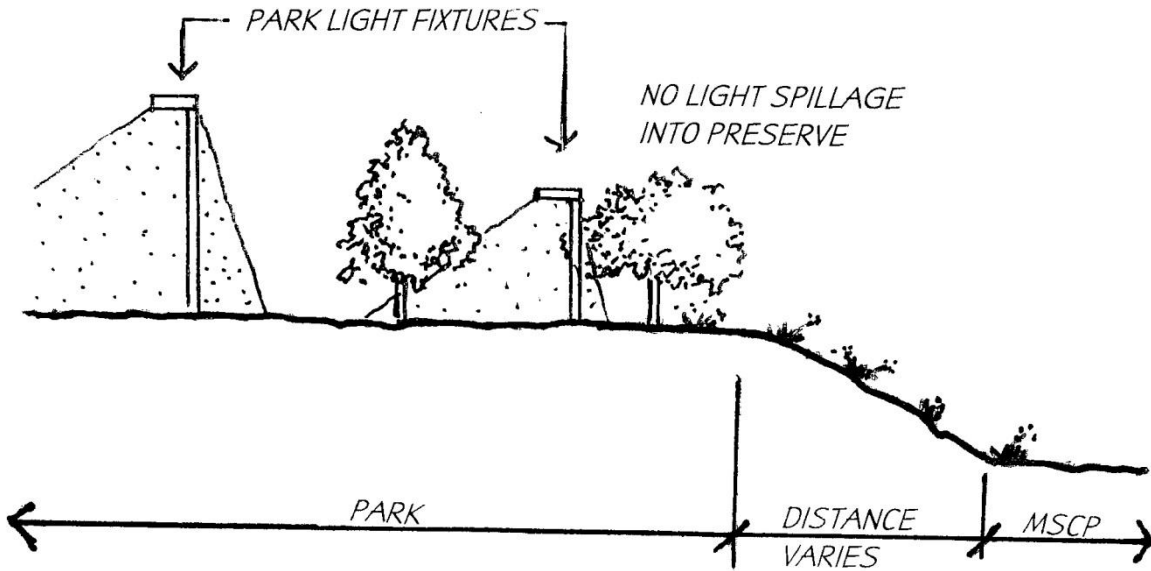


Exhibit 45
Public Park Lighting

II. Village Structure

6. Parking Lot Lighting

Parking lot lighting is consistent throughout the village, in terms of fixture height, spacing, light source and performance characteristics. Fixture style may differ between projects if necessary. Parking lots should be adequately lighted with pole mounted fixtures. Parking lot lighting adjacent to residential uses should be located to minimize light intrusion and be adequately shielded.

Pole:

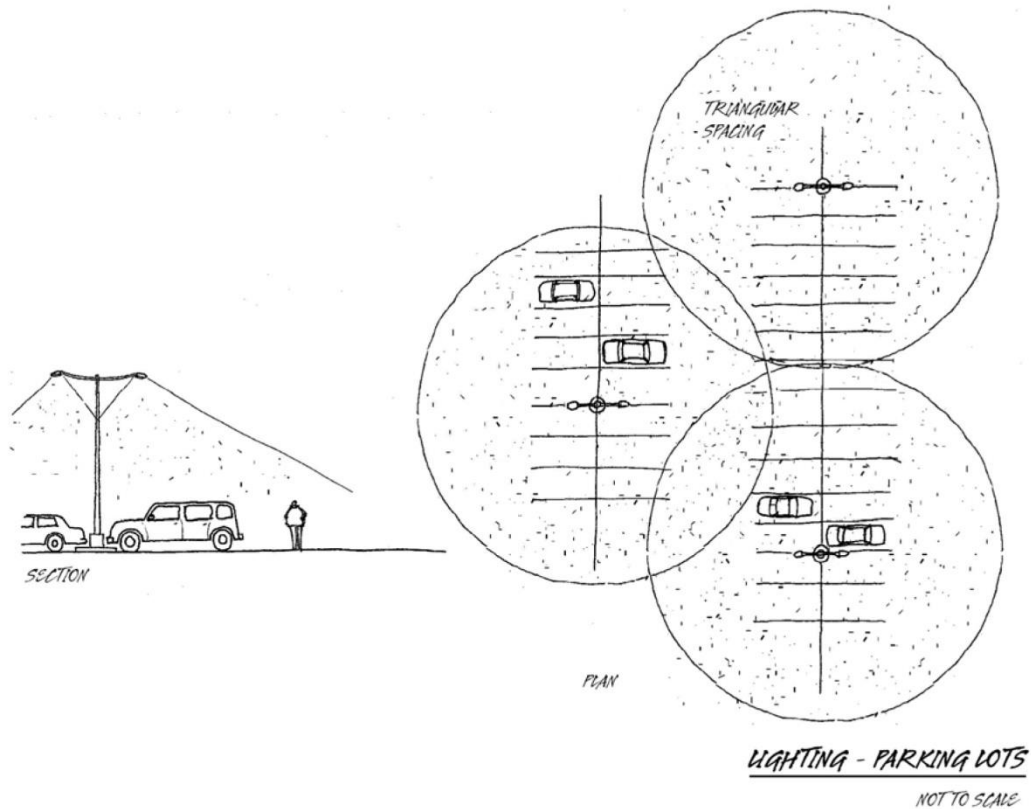
Painted metal, 20 feet tall, triangularly spaced.

Fixture Type:

Single or double mount, full cut-off fixtures.

Lamp Type:

LED



Lamp

Exhibit 46
Parking Lot Lighting

III. Village Core Guidelines



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III. Village Core Guidelines

A. Village Core Design Concept

The primary feature of the village is the Village Core. The village core is composed of a variety of land uses that form the social, commercial and recreational focus for the village. The land uses that form the Village 3 core include a neighborhood park, an elementary school, mixed-use commercial/retail/residential and a variety of higher density residential housing types. Exhibit 47, Village Core Illustrative depicts the conceptual layout of the Village Core and Exhibit 47, Avenida Escaya Corridor Concept Plan provides conceptual depictions of the organization and structure of the heart of the village core. The design objectives for creating the Village Core are:

- ❖ Create a sense of place with a highly identifiable character.
- ❖ Create a pedestrian friendly environment with activity, enclosure, and comfort in specific areas.
- ❖ Maximize connections to the Village Core from secondary area residential development with pedestrian and bicycle routes.
- ❖ Implement a "Main Street" concept for the commercial/retail/residential mixed-use area.
- ❖ Balance parking and vehicle access needs of commercial uses with the pedestrian focus within the village.
- ❖ Encourage a unified architectural style within the commercial core that can accommodate pedestrian oriented urban design concepts consistent with the village character.

In order to achieve these objectives, a conceptual plan has been developed. The plan addresses the arrangement and connection of uses in the Village Core and conceptually depicts the siting of buildings and parking. The unique character intended within the Village Core precludes the use of fixed or mandated design solutions. Instead, the critical elements of the Village Core, general character statements and identification of important design and site planning features are utilized to convey a qualitative description. Additionally, design flexibility is necessary to respond to changing market conditions that may occur between initial project planning and final building.

A Village Core Master Precise Plan(s) was prepared and approved by the City Council in 2016. The Master Precise Plan(s) expands on the design concepts and themes of this document and provides more detailed guidelines for architecture, signage, lighting, street furnishings and landscape. The Master Precise Plan was amended to reflect the land use change from office to residential within the northeast portion of the Village Core area.

III. Village Core Guidelines

B. Village Design Features

This section highlights important features of the Village Core Concept Plan and provides guidelines in four design areas: site planning and building orientation, pedestrian and vehicular access, urban character (landscape and/or hardscape) and lighting, signing and street furnishings.



III. Village Core Guidelines



AMENITY LIST

- ① 3' High themed wall with vista opening to look down upon open turf area; backside of wall to have tile mural
- ② Decorative plaza area (typ.)
- ③ Open grass area framed by mature olive trees with seating nodes
- ④ Enclosed dog park
- ⑤ 20" raised planters
- ⑥ Village fountain; provides destination point to open grass area and marks center of retail core
- ⑦ Large icon pilaster
- ⑧ Decorative retail paving with interior planters and seating opportunities
- ⑨ Pool with large sun deck and shade structure
- ⑩ Restroom building with large California outdoor room
- ⑪ Entertainment terrace with central fire table
- ⑫ Lower wood deck/patio gym with an integrated rubber yoga panel and rock climbing wall behind
- ⑬ Elevated wood tile sundeck
- ⑭ Covered bar
- ⑮ Sunken garden with open play turf and meandering garden
- ⑯ BBQ node with pedestal gas BBQ and picnic tables (typ.)
- ⑰ Interior "semi-private" courtyards with decorative paving
- ⑱ Retaining wall; split face block with pre-cast cap; stairs and /or ramp access provided to maintain interior pedestrian circulation and connection with village
- ⑲ Trash enclosures (typ.)
- ⑳ Landscape per village master developer
- ㉑ On-site landscaping

Exhibit 48
Avenida Escaya Corridor Concept Plan

Note: All amenities are not represented on this focused exhibit.

III. Village Core Guidelines

- ❖ Shaded areas and a sense of enclosure will encourage visitors to linger and enjoy the defined areas within the Village Core. Features such as canopies, arcades and roof overhangs can achieve these objectives and also provide weather protection when necessary.
- ❖ In general, the exterior building elevations should incorporate a range of scale defining elements that relate larger building masses to the pedestrian scale. Examples include columns, archways, doorways, upper floor windows and balconies.



2. Pedestrian and Vehicular Access

- ❖ Vehicle access should be clearly secondary to pedestrian access through street design that incorporates narrow travel lanes and minimal driveways and curb cuts. Parking lots should be located behind buildings which front onto pedestrian-oriented streets.
- ❖ Broad sidewalks should be located along pedestrian streets to allow groups to comfortably pass each other. Frequent opportunities to sit, relax and observe should be provided with the inclusion of benches, steps, planters and low walls within and adjacent to the pedestrian walk.
- ❖ Pedestrian and bicycle routes should be maximized and well-marked.



3. Landscaping Design Guidelines

- ❖ Design landscape and open space areas shall be an integral part of the overall site plan design, with a style and amenity level consistent with the surrounding environment and Preserve Edge Plan.

III. Village Core Guidelines

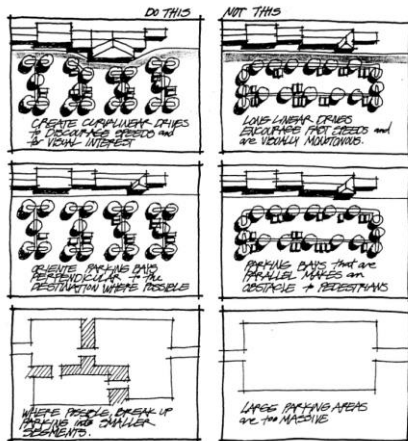
- ❖ Trees shall be used to define and enclose exterior spaces and to provide physical protection from the sun and wind.
- ❖ Street tree planting shall comply with the City of Chula Vista Shade Tree Policy Number 576-19. The objective is to maximize shade cover to the greatest extent possible.
- ❖ The design of landscaped open space areas shall enhance the building design, create meaningful viewsheds and provide buffers and transitions between adjacent uses.
- ❖ Trees, shrubs and vines shall be used to conceal walls, building elevations and parking facilities.
- ❖ Plant materials shall not interfere with security lighting or restrict access to emergency equipment such as fire hydrants or fire alarm boxes.
- ❖ Any structures surrounding mailboxes should match the style of the homes/business where they are located.
- ❖ The pedestrian ground plane should be well defined with a hard surface that is textured or accented to identify focal areas.
- ❖ Grade separations should use structures rather than landscape banks to emphasize the urban character of the village and to serve as seating areas.
- ❖ Landscaping should reinforce the urban character of the area and reflect ordered, formal plantings rather than random, natural appearing materials. Trees should be incorporated into the pedestrian path, planted flush to ground level with overhead branches to create overhead canopies.



4. Surface Parking Area Landscape Guidelines

- ❖ Surface parking lots shall be landscaped and maintained with a combination of trees, shrubs and groundcover.
- ❖ Surface parking lots shall utilize “Orchard Style” tree planting for shade and screening purposes. Island finger planters shall include at least 2 trees (one tree on each end of the island) and shall be at least 8 feet in width and 18 feet in length.

III. Village Core Guidelines



❖ Trees shall be distributed throughout the surface parking area.

❖ Ensure through tree choice and maintenance that the lowest tree branches are more than eight feet above the finish grade at the base of the tree to prevent damage from and to automobiles, pedestrians and bicyclists.

❖ Shade trees shall be provided for all new parking lots that

will achieve 50% canopy cover over the parking stall areas five to 15 years after planting, pursuant to Chula Vista Shade Tree Policy Number 576-19 (May 22, 2012)



5. Landscape Paving Design Guidelines

These guidelines for paving apply to pedestrian-oriented areas within the Village. Pedestrian pavements may include, but are not limited to, sidewalks, paths, walkways, courtyards and plazas. Enhanced paving may be utilized within key vehicular areas as well.

❖ Paved surfaces intended for pedestrian and/or bicycle use shall have the following qualities:

- A surface texture rough enough to prevent slipping, but smooth enough to prevent trip hazards;
- Maintenance-free and/or low maintenance;
- Stain-resistant;
- Fade resistant; and
- Non-reflective

❖ The following pedestrian paving materials meet these criteria:

- Colored concrete; broom finished; salt finished, heavy sandblasted and top cast (exposed aggregate).
- Stamped and saw-cut concrete and tile, provided pavers do not have joints or score lines that catch high heels or cause tripping.
- Concrete and stone pavers



6. Lighting, Signing and Street Furnishings

III. Village Core Guidelines

- ❖ The mixed-use/commercial streetscape should be well lit to encourage evening use. Street lighting fixtures should relate to the pedestrian scale.
- ❖ Architectural accent lighting is encouraged.
- ❖ Illumination of walkway/trail connections should be provided through the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- ❖ Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundaries/enclosure. Lighting should be designed to minimize glare and intrusion into neighboring land uses.
- ❖ A Comprehensive Sign Program will be developed to establish specific design parameters for all signage and related theme lighting and street furnishings within the Village Core. Signage should inform and direct but not dominate the visual character of the area. See Village 3 Core Master Precise Plan for additional details regarding street furnishings.



IV. Residential Guidelines



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IV. Residential Guidelines

A. Single Family Residential Guidelines

These guidelines address the design elements that contribute to the Village planning concepts for pedestrian-oriented design. Guidelines are provided for architectural styles, façade elements, garage location and design and landscape themes.

1. Architecture

The Village 3 Design Plan community thematic architecture is influenced by Transitional Spanish, Farmhouse and Ranch styles, cleaned up and reinterpreted in a more contemporary way. Simple forms with an earthy palette – with colored stucco connected to stone, clay tile and wood. Emphasis is placed on proportions, materials and color. These styles are attractive, compatible with one another, and can be easily integrated into the individual style and scale of each neighborhood. It is important to note that these styles are intended for modern adaptation, not recreation of historic homes. The architecture is expected to be somewhat simplified, yet still maintain the unique characteristics that exemplify the style. The following architectural styles and their individual elements are provided to guide builders/architects during preparation of architectural elevations. A brief description of the architectural styles is provided in this section with pedestrian-oriented elements appropriate to each style.



IV. Residential Guidelines

a. Spanish

The Spanish style includes reference elements borrowed from Moorish, Spanish and Mission Revival architecture, and reinterpreted with a more contemporary character. The building massing is varied and decorative features are incorporated to add interest and detail. Pedestrian oriented features of the Spanish style may include courtyard patio entries, porches supported by arched forms, and a front-facing large arched window.



IV. Residential Guidelines

b. Farmhouse

The Farmhouse style encompasses a range of variations, lending itself to a wide range of interpretation. Fundamentally this style is defined by simply detailed, understated, and utilitarian features that reflect the concept of a simple back-to-nature lifestyle. Homes are often simple in massing and can include a covered porch element, gable roof forms, and wood columns and posts. Contemporary interpretations of the Farmhouse may use more asymmetrical massing and forms combined with a palette of contemporary and traditional materials. Corrugated roofing, stone veneer and vertical board and batten siding are typical to this style



IV. Residential Guidelines

c. Ranch

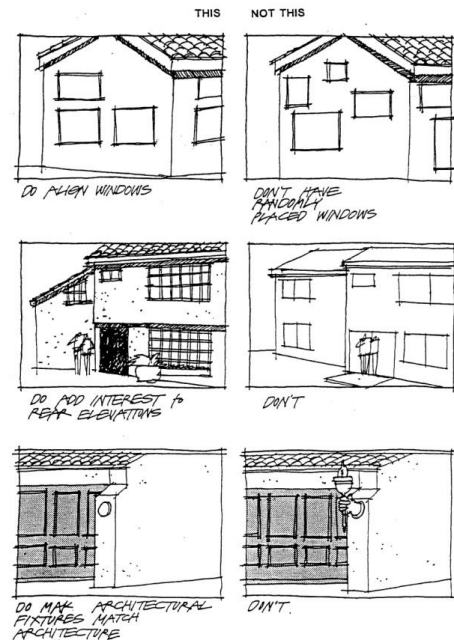
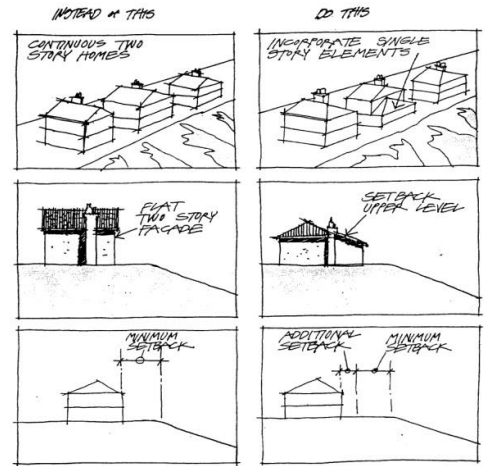
The Ranch style is notable for its use of simple wall planes, clean lines and natural material resources. The architecture evokes a lifestyle of simple elegance and informality. This style bridges the organic and the man-made with an emphasis on pared-down forms, contemporary patterns, natural materials and a seamless flow between indoors and out to create a medley of functional comfort and chic style. Architectural features often include exposed post and beam construction, extensive glass, and open floor plans.



IV. Residential Guidelines

2. Pedestrian-Oriented Design

Pedestrian-oriented neighborhood design emphasizes a sense of neighborliness and community through aesthetically pleasing site planning and architecture. Essential elements include attractive architecture, inviting entries and a minimization of utilitarian areas facing the street. The structure of a neighborhood must be understood to better promote its pedestrian-orientation. The area between the street and residence contains a hierarchy of public to private spaces. The street, sidewalk and parkway are perceived as public, common neighborhood use areas. Residential front yards provide a transition space between the public spaces of the sidewalk and street, and the private spaces of the home. The residential entry is the final demarcation area between public and private spaces. The design of residential neighborhoods can complement that orientation by borrowing elements from traditional neighborhoods, such as porches, and minimizing the influence of the automobile. The following sections describe three primary areas of design that will facilitate the creation of pedestrian-oriented neighborhoods: site planning, façade elements and garage and driveway design.



IV. Residential Guidelines

3. Site Planning

Appropriate site planning and building plotting are fundamental to creating a pedestrian-oriented neighborhood. Variety is the key to creating a vibrant neighborhood and promoting individual residential identity. Site planning and building plotting in single-family residential neighborhoods should be based upon the following criteria:

- ❖ Single-family detached residential lots and setbacks shall encourage variety in the design, orientation and placement of homes, wherever practical.
 - ❖ Front yard building setbacks shall be varied, where possible, to avoid a monotonous pattern of houses.
 - ❖ Where slopes in side yards allow for varied side yard setbacks, provide more useful private open space in side yards and avoid a monotonous pattern of houses.
-
- ❖ A minimum of three housing plans shall be provided for compatibility with different lot configurations (interior and corner lots) and variety of designs for entry and garage designs.
 - ❖ Side entry floor plans may be used on corner lots, provided that the entry is clearly defined, and the front elevation includes front-facing bay windows, porches or other pedestrian-oriented design features.
 - ❖ Housing plans used on corner lots shall provide for architectural features, such as porches or entry trellises to wrap around the street-facing corner.
 - ❖ Production wall fencing shall be integrated into the design of corner lots to provide for reduced wall length and other enhancements to side yards.
 - ❖ Where the rear of a lot abuts a street, the design shall provide for a privacy wall and landscaping consistent with the village streetscape theme and enhanced architectural features.
 - ❖ Grade differentials within neighborhoods shall be used to add variety and enhance the sense of open space between residences.
 - ❖ Housing plans shall provide a variety of designs for garage locations and treatments.
 - ❖ Housing plans shall provide for a variety of designs for entry features.

IV. Residential Guidelines

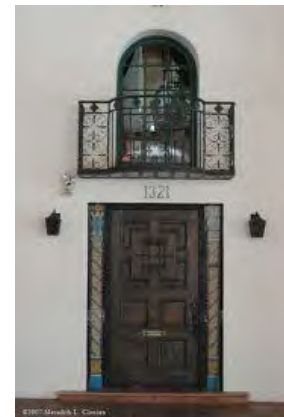
4. Building/Lot Schematics

The following illustrations are options for site planning and building plotting on alley and courtyard lots. These are possible prototypical concepts and are not intended to constrain more creative solutions. The examples provide minimum setbacks and do not address special lot configurations, such as non-perpendicular lot lines, allowances for easement and slopes or other constraints.



Single Family Plotting Guidelines:

- ❖ Optimize architecture on the street frontage.
- ❖ De-emphasizes garages through varied plotting design.
- ❖ Provide for undulated building massing and varied setbacks appropriate to architectural style.
- ❖ Provide for varied roof pitches and directions.
- ❖ Orient front doors and entries toward street where possible.
- ❖ Provide for private, usable rear yards/driveway side yard.
- ❖ Curb separated sidewalks provides a traditional tree-lined foreground for homes.
- ❖ Garage Plotting Options
 - 2 or 3 car garages
 - Shallow recessed
 - Deep recessed
 - Side entry
 - Split
 - Tandem (3 car garage configurations)



See Village 3 and a Portion of Village 4 SPA Plan, PC District Regulations for lot size, zoning, setback and plotting for single family lots.

IV. Residential Guidelines

Corner Lots

Homes built on corner lots are often the most visible within the neighborhood. Due to the visibility, the architectural treatment of corner lot homes defines the character of the neighborhoods. It is important for each neighborhood to include one house plan that can be used in both interior and corner designs. Variety in architectural styles and treatments should also be included to create interest and individual home identity for corner lots.



Architectural treatments for corner lots include “wrap around” architecture such as porches, siding, roof treatments, door and window trim and other embellishments. These features enhance the front façade of the home and continue with equal emphasis on the forward side of the house. Variation in the wall planes or a single component of building mass may be oriented toward the corner. Entries, windows, garages, landscaped trellises and decorative privacy walls may also be located toward the corner or the side of the house.

Alley Plotting Guidelines

- ❖ Optimize architecture on the street frontage.
- ❖ Garages access provided via alley at the rear elevation.
- ❖ Provide for undulated building massing and varied setbacks appropriate to architectural style.
- ❖ Provide for varied roof pitches and directions.
- ❖ Orient front doors and entries toward street or to private open space areas.
- ❖ Provide for private, usable side yards.
- ❖ Curb separated sidewalks provides a traditional tree-lined foreground for homes.



IV. Residential Guidelines

Conceptual Alley Elevations



IV. Residential Guidelines

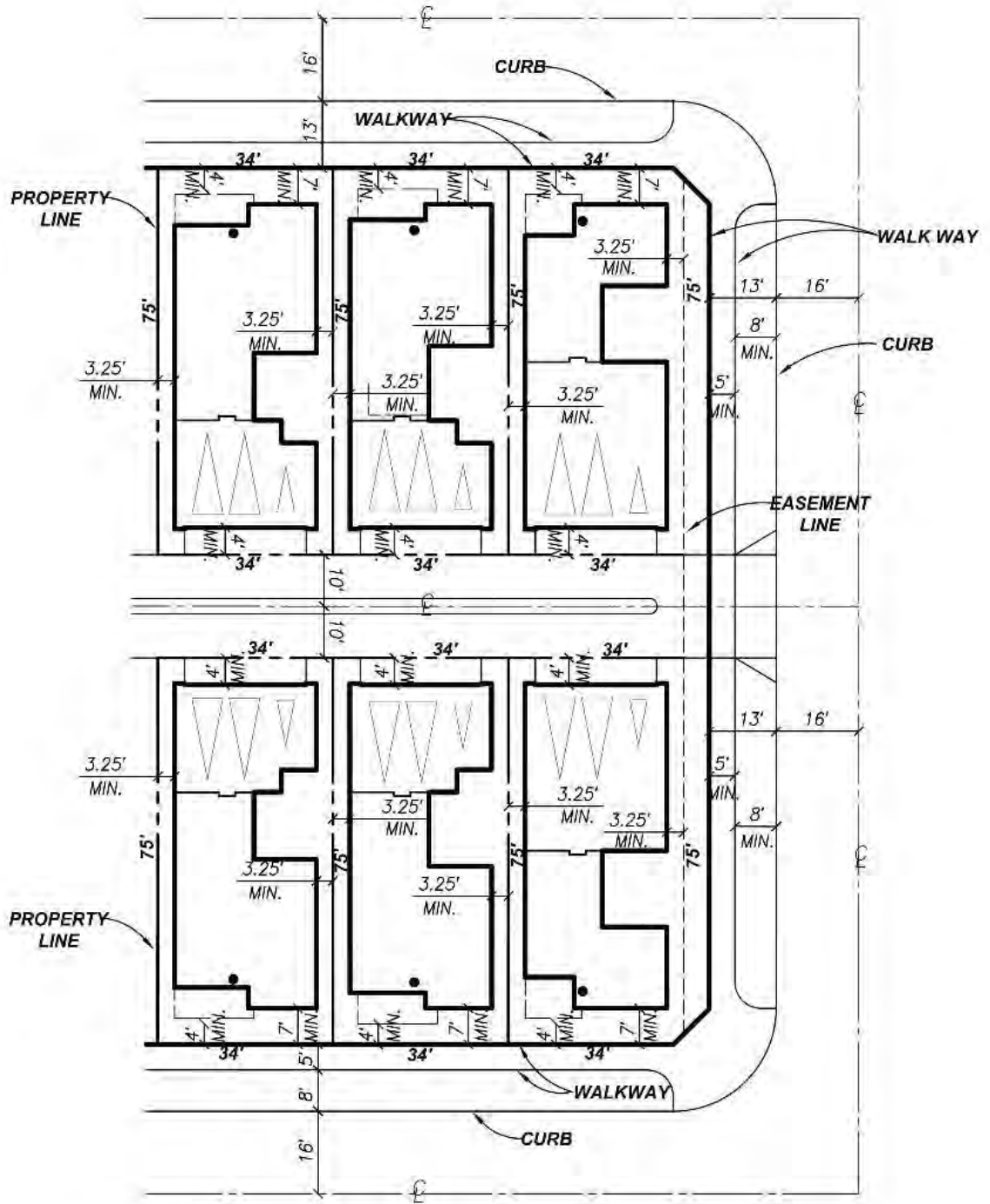


Exhibit 49
34' X 75' Typical Alley Plotting

IV. Residential Guidelines

Courtyard Plotting Guidelines

- ❖ Optimizes architecture on the street frontage.
- ❖ Garages via courtyard driveway
- ❖ Provide for undulating building massing, including single story elements
- ❖ Provide for varied roof pitches and directions
- ❖ Orient front doors and entries on street-fronting courtyard plotted lots toward public or private streets
- ❖ Provide for useable, private rear yards
- ❖ Curb separated sidewalks provided along adjacent public street
- ❖ Curb adjacent sidewalks provided along private street



Conceptual Elevation @ Street

IV. Residential Guidelines



Conceptual Elevation @ Courtyard

IV. Residential Guidelines

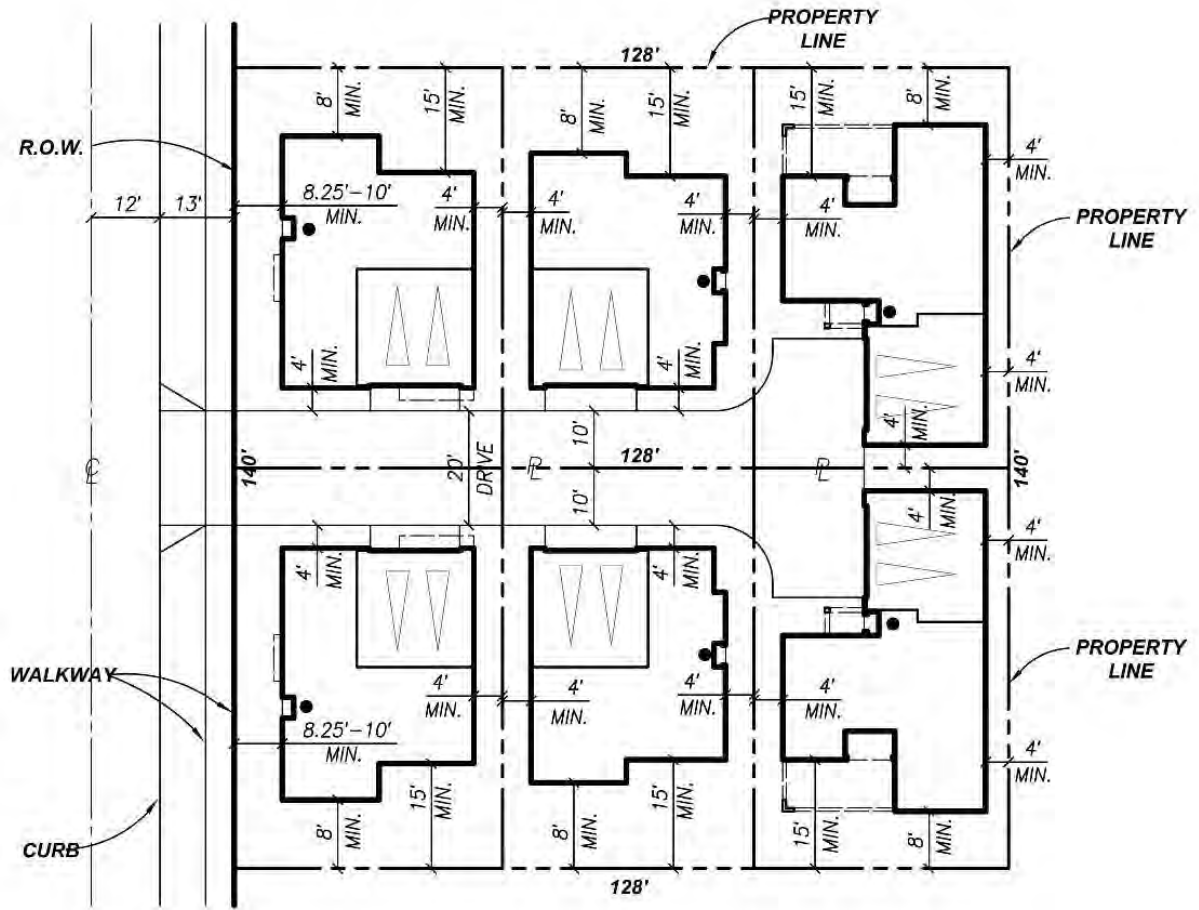


Exhibit 50
Typical Courtyard Plotting

IV. Residential Guidelines

5. Facade Elements

Residential building facades should be attractively designed with varied features for individual identity and neighborhood interest. Façade features should be pedestrian-oriented to provide a connection between the public street and sidewalk and the private residence. Façade treatments may include:

- ❖ Variation in architectural style.
- ❖ Undulating building mass and roof planes.
- ❖ Vertical and horizontal stepped massing.
- ❖ Visually minimized garages.
- ❖ Entry features such as doors, windows, porches, patios, courtyards and trellises oriented towards the street and appropriate to the architectural style.
- ❖ Facades that are visible from public view areas (open spaces, streets, parks, etc.) shall be articulated to avoid monotony.



6. Garages and Driveways

The pedestrian-orientation of a neighborhood places emphasis on the home and front yard rather than the garage. This section describes building massing and plotting techniques, as well as specific solutions for garage placement and façade design. Designers are encouraged to explore additional methods to meet the objective of minimizing the visual dominance of garages in neighborhoods. Basic guidelines for garage design are:

- ❖ Minimize the impact of garages facing the street by techniques such as varying garage door patterns and utilizing deep recessed doors, varying colors, splitting one large door into two single doors, and integrating door windows and coach lights.
- ❖ Vary the garage setbacks; the preferred design is for the garage wall to be set back farther than the front wall of the home.
- ❖ Provide variety through the use of alternative garage configurations such as split, swing-in, and mid to deep recess garage.
- ❖ Do not place front facing garages forward of front building wall.
- ❖ Vary the garage setback from the back of sidewalk.

IV. Residential Guidelines

B. Multi-Family Residential Guidelines

1. Architectural Theme

The multi-family residential neighborhoods are located within the Village 3 core area. As a fundamental component of the village core, the architecture of the multi-family development is focused primarily on the agrarian architectural design theme, including Transitional Spanish, Farmhouse and Ranch styles.



Multi-family residential in Village 3 may include a variety of housing types, ranging from small lot, detached homes, medium to medium high-density townhouses, triplexes and flats. These guidelines address the design elements that contribute to the Village planning concepts: pedestrian-oriented design, façade elements, parking and garage location and design and landscape themes. Specific building architectural styles should be complementary to the agrarian architectural design theme for the Village.



The pedestrian-oriented Village concept is enhanced by the intensity of multi-family development in the Village Core located in proximity to public transit, shopping, and community facilities. It is anticipated that residents of multi-family developments will take advantage of the available opportunities to walk to schools, parks and shopping areas. Pedestrian access and amenities are fundamental components of the Village. The siting, access, entries and architecture of multi-family development should complement the pedestrian orientation of the Village.

Multi-story attached developments, such as townhomes and apartments are the primary focus of the guidelines in this section. The small lot detached residential developments within the multi-family category shall adhere to the guidelines for single-family residential development.

IV. Residential Guidelines

*Multi-Family Conceptual Architecture
3-Story Stacked Flat*



2-Story Triplex



IV. Residential Guidelines

2-Story Row Townhomes



2. Site Planning and Building Plotting

The site planning and plotting of multi-family residential buildings will contribute to the pedestrian-oriented Village concept. Site planning which focuses on the pedestrian includes designs that orient entries toward Village streets and minimize views to garages and parking areas. The following guidelines are provided for siting and building plotting of multi-family developments.

- ❖ Developments fronting onto Village Pathway and Promenade and private streets shall be oriented toward the street with reduced setbacks, multiple entries and pedestrian connections to ground floor units.

IV. Residential Guidelines

- ❖ Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways in the agrarian architecture-inspired Village design theme.
- ❖ Building orientation should consider indoor and outdoor privacy, noise, solar access and overall aesthetic appearance.
- ❖ Where grade differentials occur between the street and a development, the differential may be used to create separation between the public street and private living space. Interesting entries incorporating steps, porches or landings may be integrated into the design.
- ❖ Developments adjacent to major streets surrounding the Village and adjacent to Village Entry Streets may be buffered with sound and privacy walls. Walls and view fences located along village entry streets shall incorporate inviting entry openings for both pedestrians and cars.
- ❖ Buildings shall create “pedestrian edge” along streets by orienting front doors, porches, balconies, patios, and courtyards on streets throughout the village core.
- ❖ Building architecture that is visible beyond sound and privacy walls shall be well-articulated with pedestrian-oriented features, such as second story windows and balconies.
- ❖ On village streets within the core area, the use of solid masonry walls should be minimized and used primarily between buildings to screen parking areas or to enclose private entries and courtyards.
- ❖ A wide variety of housing types are suitable for Village 3 and creative site planning solutions are encouraged. The following exhibits illustrate site planning and building plotting for alley homes, row town home, court yard and apartment developments. These examples are not intended to be all-inclusive or restrictive. Minimum setbacks may be reduced or modified through the Design Review process. That process provides for consideration of unique site planning and architectural solutions for multi-family housing.
- ❖ Site planning for multi-family neighborhoods adjacent to the Preserve are subject to MSCP adjacency guidelines, the Preserve Edge Plan and Fire Protection Plan. Any uses proposed within the 100’ Preserve Edge will be reviewed in conjunction with the Major Design Review process and are subject to review and approval of the Development Service Director.

IV. Residential Guidelines

Multi-Family Site Planning guidelines include the following:

- ❖ Optimizes architecture on the street frontage.
- ❖ Garages located in alleys or parking courts.
- ❖ Provides for undulated building massing and varied setbacks appropriate to architectural style.
- ❖ Provides for varied roof pitches and directions.
- ❖ Orients entries toward street or interior pedestrian courtyards or walkways.
- ❖ Provides for private open space.



Multi-family residential development should be designed to promote variety and enhance the human-scaled pedestrian activity of the Village. The following guidelines suggest methods for creating vital, interesting architecture:

- ❖ Developments should be unique but share fundamental architectural characteristics consistent with the Village theme.
- ❖ Building elevations that are visible from public view areas (all Village streets, surrounding arterial streets and public open spaces) shall be articulated with elements such as wall offsets, balconies, and windows, appropriate to the architectural style.
- ❖ The architectural style along the same street or within an individual development shall be compatible through the use of similar building heights, materials, window or door style, detailing, porches, arcades, overhangs, roof materials or colors.
- ❖ Varied building elements, roof pitches, and setbacks should be employed to avoid monotony.
- ❖ Each development shall provide a well-articulated, identifiable pedestrian entry oriented toward the village street.
- ❖ Distinctive building elements shall be oriented toward the corners of prominent village core and entry street intersections.
- ❖ Street facing facades shall incorporate a range of scale-defining elements that relate larger building masses to the scale of the pedestrian. Elements may include trellises, columns, archways, doorways, porches or patios and upper floor balconies and windows.

IV. Residential Guidelines

- ❖ Individual residential unit entries shall be oriented towards the village streets wherever possible.
- ❖ Internal residential units shall be connected to the village streets by courtyards or landscaped walkways wherever possible.
- ❖ Stairs shall be sensitively designed and integrated into the overall building design.
- ❖ Utilitarian areas, including parking, loading, mechanical equipment and trash enclosures, shall be screened from view from public views to the extent possible.

3. Parking, Carport and Garage Design

Views of parking areas, carports and garages should be minimized to create the pedestrian-oriented Village. The following guidelines provide direction for location and design of multi-family parking facilities:

- ❖ Parking and vehicular access shall be located to the rear or within each development and separated from the pedestrian-oriented street frontage.
- ❖ Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors.
- ❖ Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.
- ❖ All surface and covered parking within multi-family areas shall be separated from Village streets, tops or toes of slopes, patios or courtyards with a landscaped buffer. The buffer shall include screening elements such as low walls or masses of shrubs to screen headlights and glare from reflective car surfaces.

4. Landscape

Landscape in multi-family developments shall adhere to the Chula Vista Design Manual and Landscape Manual. The front and side yard landscaping shall be complementary to the streetscape and adhere to the overall Village design theme. The interiors of multifamily residential projects shall provide for common and private outdoor spaces that are functional and aesthetically pleasing. Interior landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the Village design theme. The following guidelines are for multi-family landscapes:

- ❖ The landscape is to be comprised of trees, shrubs, vines, and ground covers that are consistent with the overall Village theme.

IV. Residential Guidelines

- ❖ Tree plantings in the front yard areas shall be varied to provide interest in the landscape.
- ❖ Side and rear yard areas shall be landscaped to soften the architecture and provide privacy for residential units.
- ❖ The landscape should be simple, bold and easy to maintain which incorporates many drought-tolerant non-toxic plant materials.
- ❖ Landscape elements on multi-family parcels visible from the public right-of-way should blend with and appear to be an extension of the public right-of-way landscaping.
- ❖ All permanently landscaped areas shall be irrigated with permanent underground irrigation systems.
- ❖ Transformer and cable box locations are to be carefully planned and coordinated with both the utility company and the landscape architect. Transformers and cable boxes should be located to be unobtrusive and screened from view with plantings where possible.
- ❖ Mailboxes and mailbox structures are to be designed to complement the architectural style of the development for which they are intended. Ganged mailboxes are to be used with a maximum of 4 boxes per cluster. Only Postmaster approved boxes will be allowed.
- ❖ Trash enclosures shall be designed to complement the architectural style of the development for which they are intended. Provisions for trash and recycling shall be in conformance with the Chula Vista Municipal Code.
- ❖ Large expanses of asphalt paving shall be avoided, and the appearance softened by landscape screening where possible.

Typical Plotting for the following multi-family products that may be developed within Village 3 are provided:

- ❖ 2-Story Townhomes
- ❖ 3-Story Flats
- ❖ 3-Story Townhomes
- ❖ 3-Story Apartment Homes
- ❖ 5-Story Wrap
- ❖ 4-Story Podium

IV. Residential Guidelines

Two and Three Story Townhouses (15 – 22 DUs/ac)

Design Characteristics:

- ❖ Optimizes architecture on street frontage
- ❖ Garages located in alleys or parking courts
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Orients entries toward street or interior pedestrian green courts or walkways
- ❖ Private open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ Architectural relief at internal walkways

Garage Options:

- ❖ Alley Entry
- ❖ Internal Private Street
- ❖ Carport

IV. Residential Guidelines

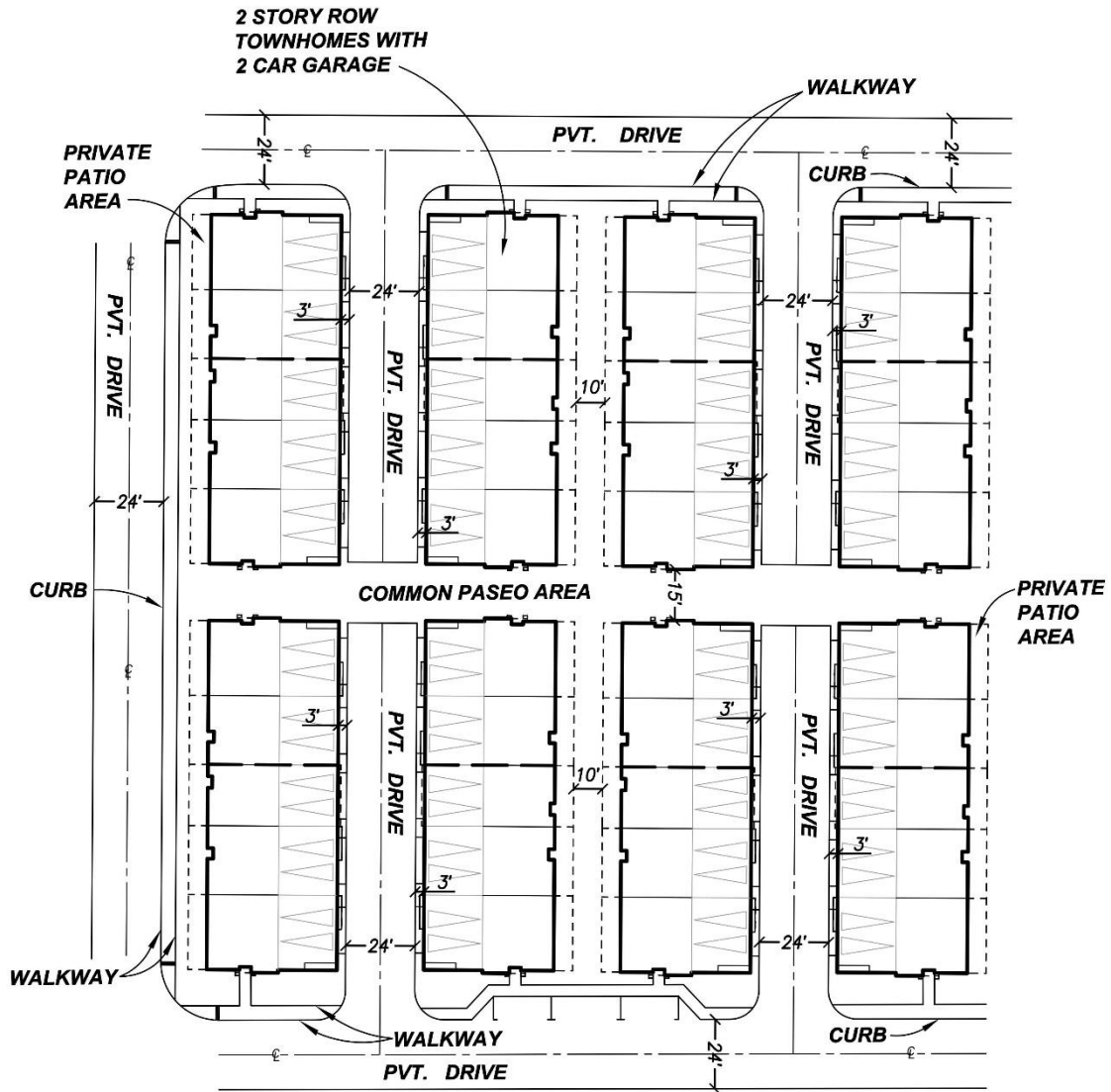


Exhibit 51
Typical Two-Story Townhome Plotting

IV. Residential Guidelines

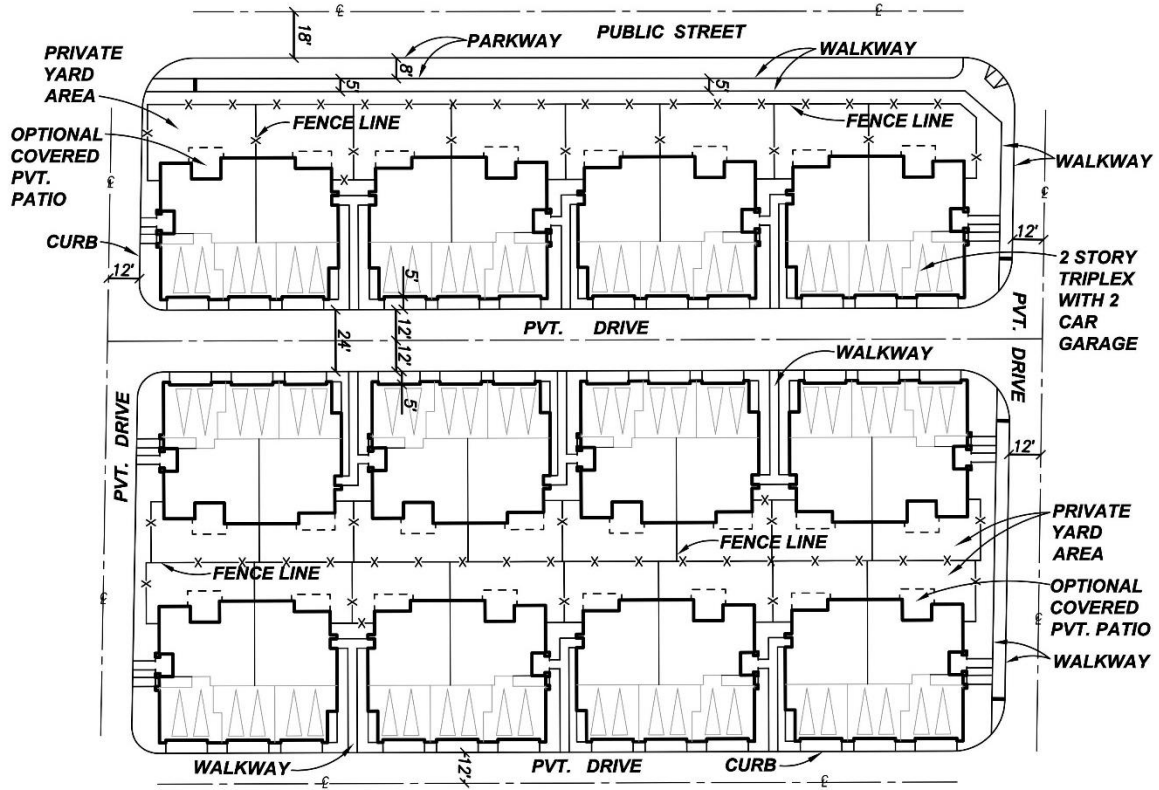


Exhibit 52
Typical Two-Story Triplex Home Plotting

IV. Residential Guidelines

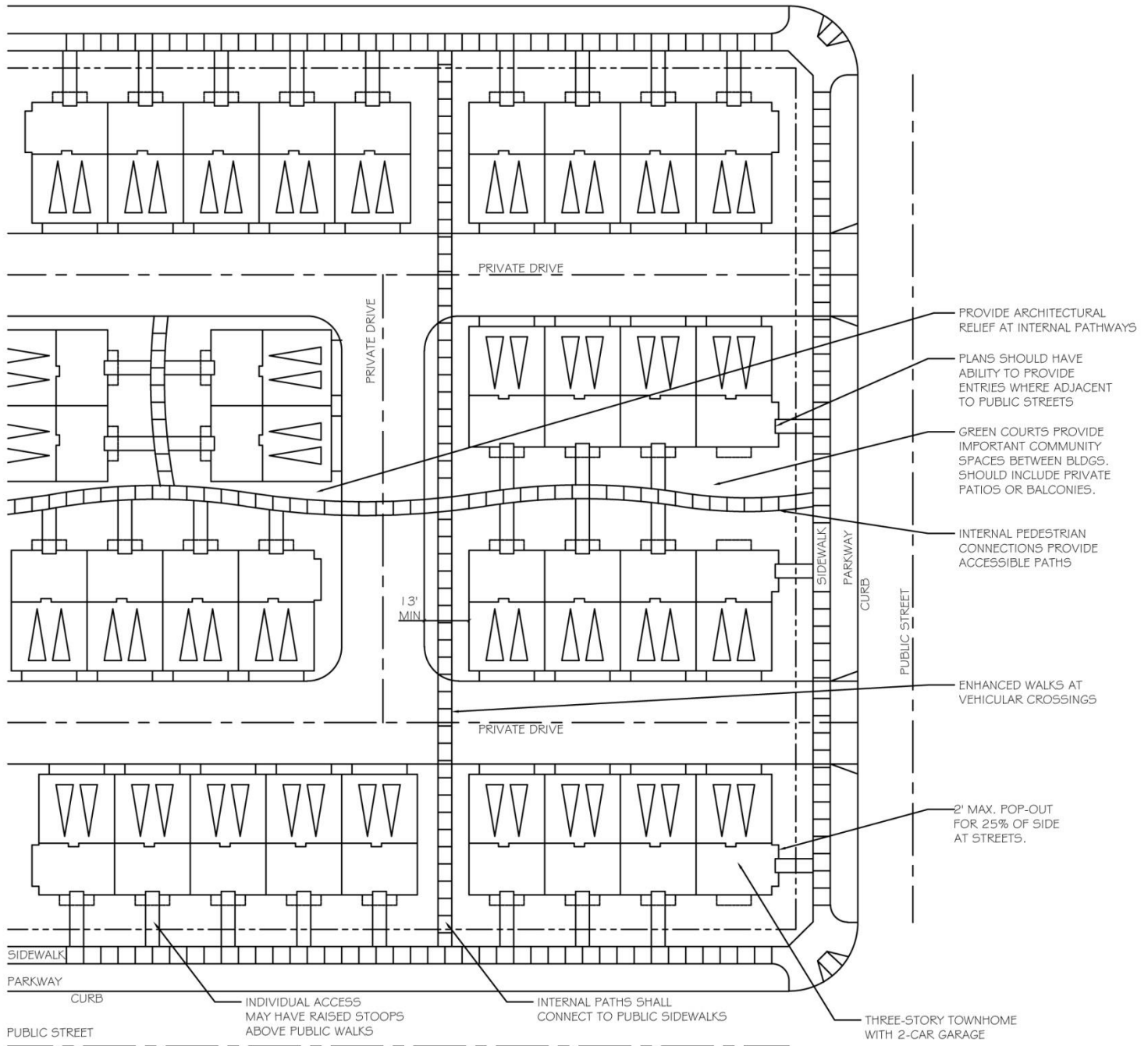


Exhibit 53
Typical Three-Story Townhome Plotting

IV. Residential Guidelines

Three Story Stacked Flats (25 – 30 DUs/ac)

Design Characteristics:

- ❖ Optimizes architecture on street frontage
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Residential entries, porches and balconies oriented toward street or interior pedestrian green courts or walkways
- ❖ Private open space and common useable open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ Architectural relief at internal walkways

Garage Options:

- ❖ Alley/Parking Court Entry
- ❖ Internal Private Street
- ❖ Carport
- ❖ Garages screen from public street

IV. Residential Guidelines

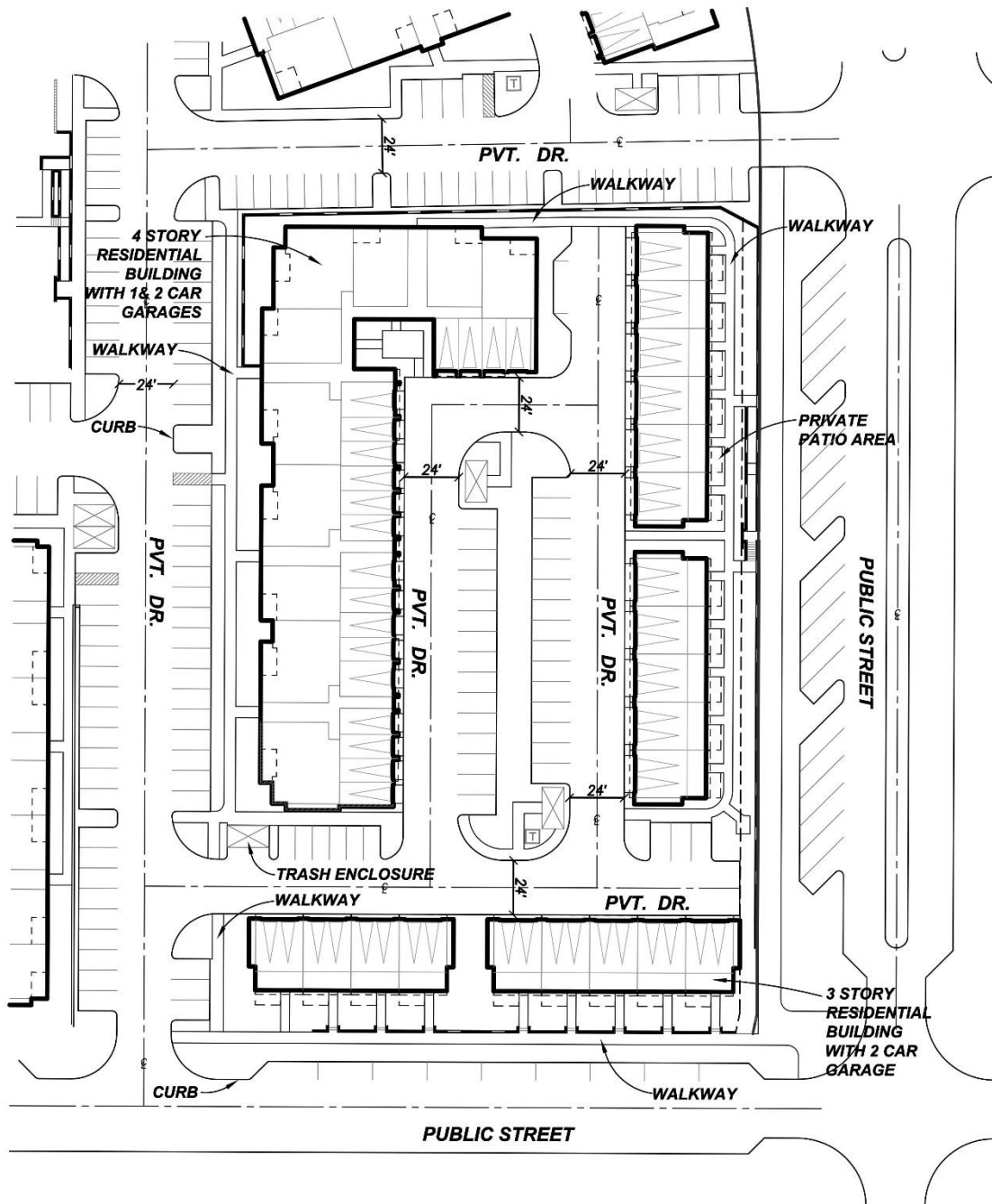


Exhibit 54
Typical Three/Four-Story Flats and Townhome Plotting

IV. Residential Guidelines

Five Story Wrap Multi-Family (40-50 DUs/ac)

Design Characteristics:

- ❖ Five story residential buildings at street level
- ❖ Optimizes architecture on street frontage
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Residential entries, porches and balconies oriented toward street
- ❖ Private open space and common useable open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ Typical ground level recreation amenity with residences above

Garage:

- ❖ Four or five level parking structure
- ❖ Screened from public view

IV. Residential Guidelines

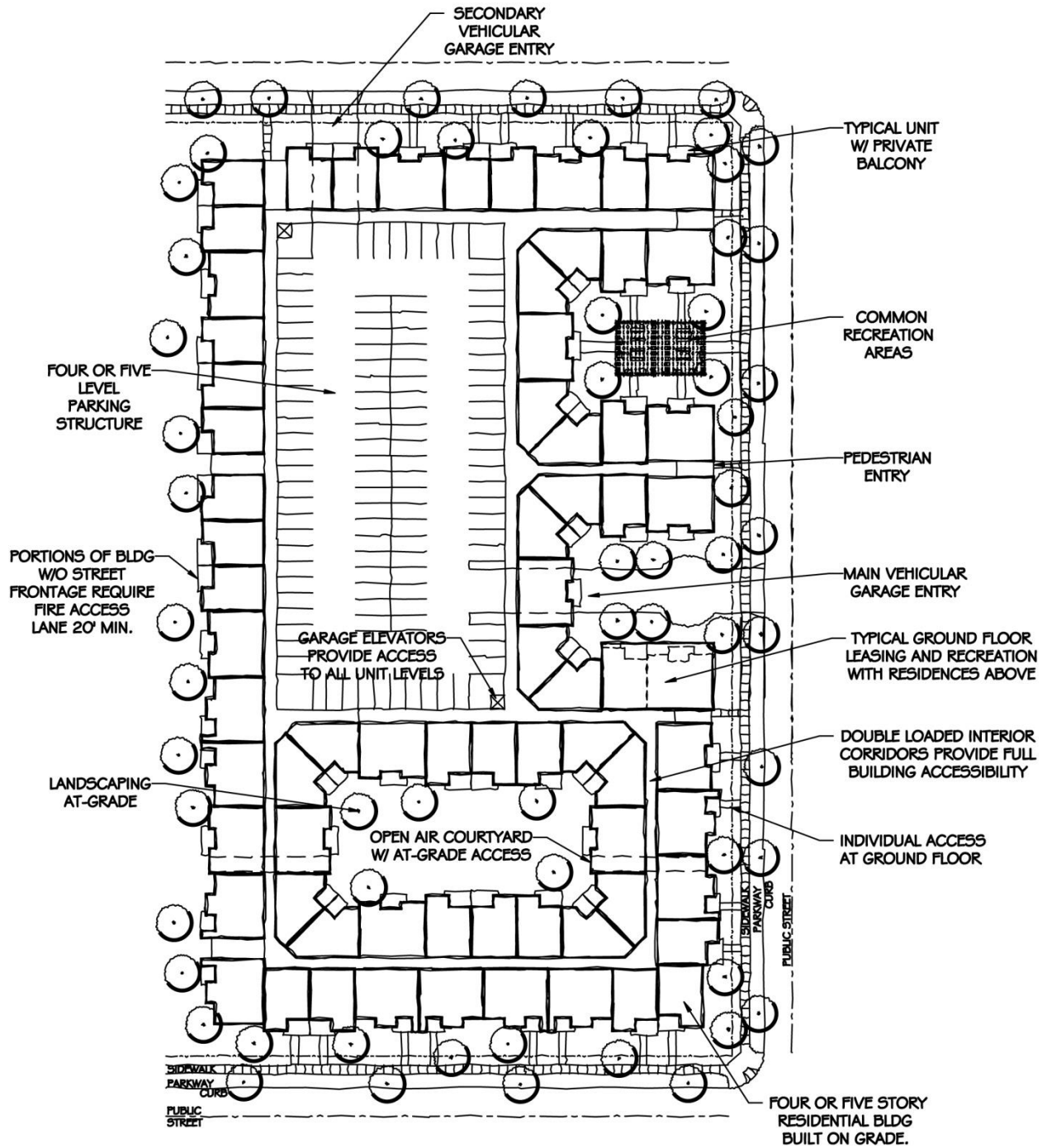


Exhibit 55
Typical Five Story Wrap Plotting

IV. Residential Guidelines

Four Story Podium Multi-Family (50+ DUs/ac)

Design Characteristics:

- ❖ Three or four story residential buildings over one or two level parking structure
- ❖ Optimizes architecture on street frontage
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Residential entries, porches and balconies oriented toward street
- ❖ Private open space and common useable open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ On-site recreational amenities
- ❖ On-site leasing offices

Garage:

- ❖ Semi-subterranean Parking Structure

IV. Residential Guidelines

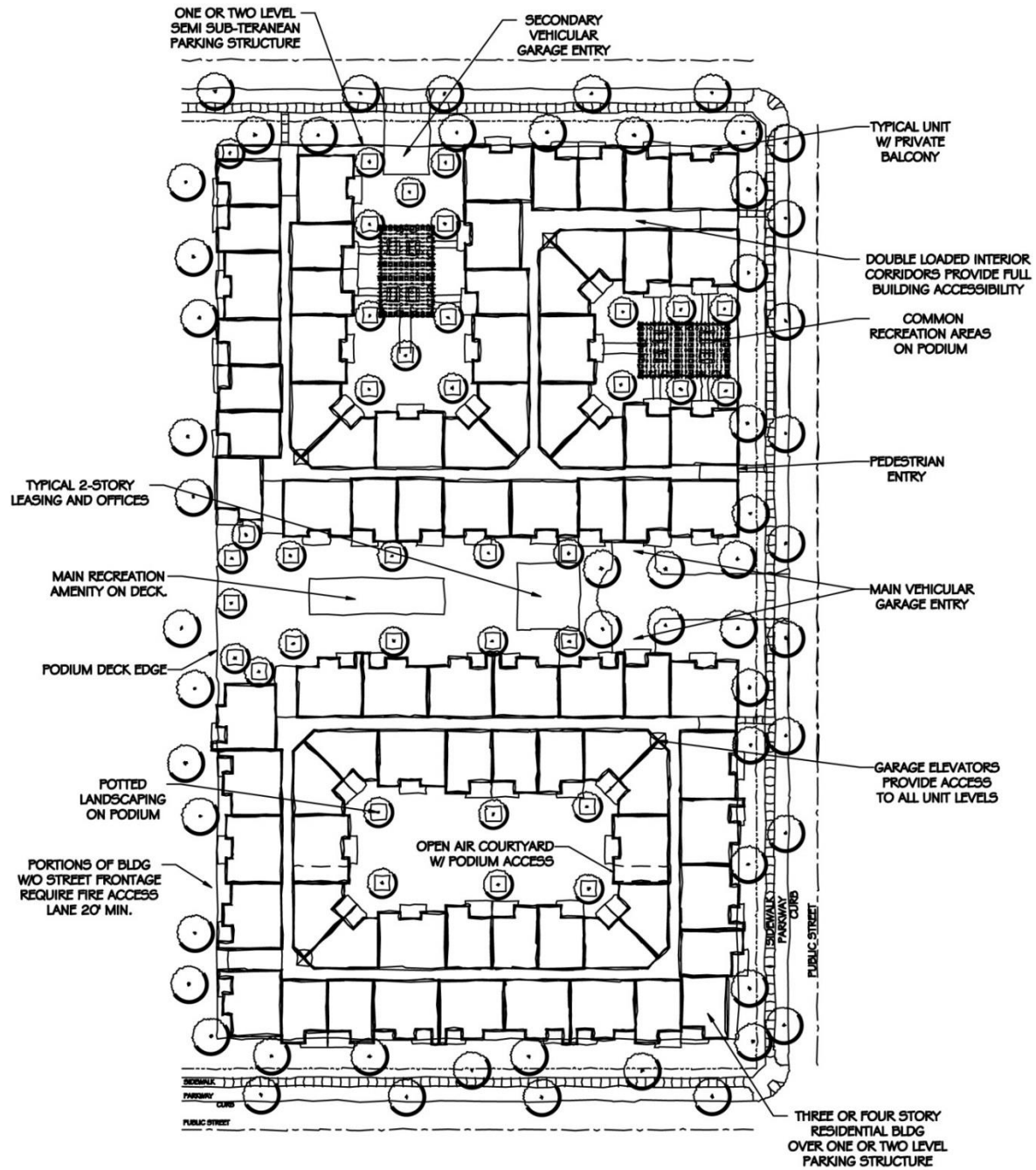


Exhibit 56
Typical Four Story Podium Plotting

IV. Residential Guidelines

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V. Crime Deterrence Design Guidelines



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V. Crime Deterrence

A. Overview

Both safety and security are key components of a quality lifestyle. Proper design and effective use of the built environment can reduce the fear and incidence of crime and thereby improve the overall quality of life. Safety must be incorporated into the community design by creating friendly streetscapes, facilities and a perceivable social infrastructure. Crime Prevention through Environmental Design (CPTED) offers a framework that complements the Otay Ranch neo-traditional principals for planning, designing and building a safer community and to creating livable communities. This approach to crime prevention is much more far-reaching than dead bolts on doors and locks on windows. CPTED principles can be applied easily and inexpensively to new communities and have been successfully implemented across the nation. Creating a design that eliminates or reduces criminal behavior and at the same time encourages people to “keep an eye out” for each other is the key to crime prevention. The CPTED strategies and design objectives for the Resort Village include:

B. Natural Surveillance

Natural Surveillance is a design concept directed primarily at keeping intruders easily observable. Promoted by features that maximize visibility of people, parking areas and building entrances; doors and windows that look out onto streets and parking areas; pedestrian friendly sidewalks and streets; front porches; and adequate nighttime lighting. Natural Surveillance design objectives include:

- ❖ To the maximum extent practicable, locate high activity uses to the front of buildings.
- ❖ Place windows overlooking sidewalks and parking lots.
- ❖ Leave window shades open.
- ❖ Use passing vehicular traffic as a surveillance asset.



- ❖ Create landscape designs that provide surveillance and avoid screening, especially in proximity to walkways and designated points of entry and opportunistic points of entry.
- ❖ Use the shortest, least sight-limiting fence appropriate for the situation.

V. Crime Deterrence

- ❖ When creating lighting design, avoid poorly placed lights that create blind spots for potential observers and miss critical areas. Ensure potential problem areas are well lit (pathways, stairs, entrances/exits, parking areas, ATMs, phone kiosks, mailboxes, bus stops, children’s play areas, recreation areas, pools, laundry rooms, storage areas, dumpster and recycling areas, etc.)
- ❖ Avoid too-bright security lighting that creates blinding glare and/or deep shadows, hindering the view for potential observers. Eyes adapt to night lighting and have trouble adjusting to severe lighting disparities. Using lower intensity lights often requires more fixtures.
- ❖ Use shielded or cut-off luminaries to control glare.
- ❖ Place lighting along pathways and other pedestrian use areas at proper heights for lighting the faces of the people in the space.



C. Natural Territorial Reinforcement

Territorial reinforcement promotes social control through increased definition of space and improved proprietary concern. An environment designed to clearly delineate private space accomplishes two things. First, it creates a sense of ownership. Owners have a vested interest and are more likely to challenge intruders or report them to the police. Second, the sense of owned space creates an environment where “strangers” or “intruders” stand out and are more easily identified. By using buildings, fences, pavement, signs, lighting and landscape to express ownership and define public, semi-public and private space, natural territorial reinforcement occurs. Natural Territorial Reinforcement design objectives include:



- ❖ Maintain premises and landscaping such that it communicates an alert and active presence occupying the space.
- ❖ Provide trees in residential areas. Research results indicate that outdoor residential spaces with more trees are seen as significantly more attractive, safer, and more likely to be used than similar spaces without trees.
- ❖ Restrict private activities to defined private areas.
- ❖ Display security system signage at access points.
- ❖ Place amenities such as seating or refreshments in common areas in a commercial mixed use setting to attract larger numbers of desired users.

V. Crime Deterrence

- ❖ Schedule activities in common areas to increase proper uses, attract more people and increase the perception that these areas are controlled.

Territorial reinforcement measures make the normal user feel safe and make the potential offender aware of a substantial risk of apprehension or scrutiny.

D. Natural Access Control

Natural access control limits the opportunity for crime by taking steps to clearly differentiate between public and private space. By selectively placing entrances and exits, fencing, lighting and landscape to limit access or control flow, natural access control occurs. Natural Access Control design objectives include:

- ❖ Use a single, clearly identifiable point of entry.
- ❖ Use structures to divert visitors to reception areas.
- ❖ Use low, thorny bushes beneath ground level windows.
- ❖ Avoid design features that provide access to roofs and upper levels.
- ❖ In the front yard, use waist-level, fencing along residential property lines wherever possible to control access and encourage surveillance.
- ❖ Use a locking gate between front and backyards.
- ❖ Use shoulder-level, open type fencing along lateral residential property lines between side yards. They should be sufficiently unencumbered with landscaping to promote social interaction between neighbors.
- ❖ Use substantial, high, closed fencing between backyards and a public alley.
- ❖ Natural access control is used to complement mechanical and operational access control measures, such as target hardening.



V. Crime Deterrence

E. Community Based Organizations



In the final analysis, government, planners and builders can only create the physical environment within which a neighborhood operates. Over time, neighbors own the neighborhood and they are responsible for the neighborhood character sense of community and safety. A community based formal and/or informal organization can play the decisive role. Implementation of a safe community requires constant attention to the changing needs of the residents. A Master Homeowner's Association (or similar community organization) is the natural catalyst to bring residents together in a productive atmosphere of community involvement. Activities, clubs, events and services including a monthly newsletter, holiday displays, sports programs, etc. can facilitate interaction and reinforce relationships. The following design guidelines should be considered for the Resort Village:

- ❖ The neighborhood is designed with human scale foremost
- ❖ Neighborhood design fosters interaction
- ❖ Neighborhood design creates a sense of ownership and responsibility
- ❖ Real and symbolic resident control within the neighborhood can be provided through signage, paving, landscaping and street furnishings

Attachment “A”
“Approved Plant List”

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**UNIVERSITY VILLAGES
VILLAGE 3 AND A PORTION OF VILLAGE 4
APPROVED MASTER PLANT LIST
JUNE 2021**

FUEL MODIFICATION ZONE 1

NOTES

BOTANICAL NAME

COMMON NAME

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation. Notes provided below must be adhered to and planting must be implemented in accordance with the Chula Vista Fire Department’s fuel modification guidelines summarized in the Village 3 North and a Portion of Village 4 Fire Protection Plan and subsequent amendments.

Trees:

Heteromeles arbutifolia	Toyon	May be planted within Fuel Management Zone 1 up to 10% of the plant palette mix. No single mass shall exceed 400 sf. These shall be spaced such that the nearest shrub is no closer than the tallest shrub height (at maturity)
Metrosideros exelsus (un-cut leader)	New Zealand Christmas Tree	
Plantanus racemosa	California Sycamore	
Quercus agrifolia	Coast Live Oak	
Rhus lancea	African Sumac	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)

Shrubs, Cacti & Groundcovers:

Acalypha californica	California Copperleaf	
Agave Shawii	Coastal Agave	
Arctostphylos ‘Emerald Carpet’	Emerald Carpet Mazanita	
Baccharis Pilularis	Coyote Brush	Only local native shrub species will be utilized. No cultivars shall be permitted.
Bloomeria Crocea	Common goldstar	
Ceanothus verrocousus	Wartystem Ceanothus	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Comarostaphylis diversifolia	Summer Holly	
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster	
Cotoneaster horizontalis	Rock Cottoneaster	
Cylindropuntia prolifera	Coast Cholla	
Dudleya pulverulenta	Chalk Lettuce	
Encielia californica	California Encelia	
Epilobium californicum	California Fushcia	
Euphorbia misera	Cliff Spurge	
Galvezia speciosa	Bush Snapdragon	
Helianthemum scoprium	Sun Rose	
Isomeris arborea	Bladder Pod	
Iva hayesiana	San Diego Marsh Elder	
Lupinus succulentus	Arroyo Lupine	
Lycium californicum	Box Thorn	
Malachothamnus fasciculatus	Chaparrel Bushmallow	
Malamosa laurina	Hollyleaf Cherry	
Nassella pulchra	Purple Needlegrass	
Opuntia littoralis	Coastal Prickly Pear Cactus	Plants must be locally sourced
Opuntia oricola	No Common Name	Plants must be locally sourced
Rhamnus crocea	Redberry	
Rhus Integrifolia	Lemonade Berry Fuschia Flowering	
Ribes speciosum	Gooseberry	
Salvia apiana	White Sage	May be planted in limited quantities and must be properly spaced. <i>S. mellifera</i> is a prohibited species
Simmondsia chinesnsis	Jojoba	May be planted in limited quantities and must be properly spaced
Sisyrinchium bellum	Blue-Eyed Grass	
Thymus serphyllum 'Reiters'	Creeping Thyme	Restricted to 30% of area at time of planting. Use in irrigated areas only
Yucca schidigera	Mojave Yucca	
Yucca whipplei	Our Lord's Candle	

Hydroseed Mix:

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Baccharis Pilularis	Coyote Brush	Only local native shrub species will be utilized. No cultivars shall be permitted.
Ceanothus verrocusos	Wartystem Ceanothus	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
Encielia californica	California Encelia	
Hazardia squarrosa	Sawtooth Goldenfields	
Isomeris arborea	Bladder Pod	
Iva hayesiana	San Diego Marsh Elder	
Layia platyglossa	Tidy tips	
Lupinus succulentus	Arroyo Lupine	
Malachothamnus fasciculatus	Chaparrel Bushmallow	
Malamosa laurina	Hollyleaf Cherry	
Nassella pulchra	Purple Needlegrass	
Phacelia campanularia	California Blue Bells	
Rhamnus crocea	Redberry	
Rhus Integrifolia	Lemonade Berry	
Salvia apiana	White Sage	
Sisyrinchium bellum	Blue-Eyed Grass	
Viguiera laciniata	San Diego Sunflower	
Yucca whipplei	Our Lord's Candle	

Hydroseed Mix (Plantable Retaining Walls):

Baccharis Pilularis	Coyote Brush	Only local native shrub species will be utilized. No cultivars shall be permitted.
Camissonia cheiranthifolia	Beach Evening Primrose	
Ceanothus verrocusos	Wartystem Ceanothus	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
Clarkia bottae	Botta's Clarkia	
Eriophyllum confertiflorum	Golden Yarrow	
Hazardia squarrosa	Sawtooth Goldenfields	
Lasthenia californica	California Gold Rush	
Mimulus aurantiacus	Sticky Monkey Flower	Plants must be locally sourced

BOTANICAL NAME

COMMON NAME

NOTES

Salvia apiana

White Sage

May be planted in limited quantities and must be properly spaced. *S. mellifera* is a prohibited species

Sisyrinchium bellum

Western Blue-Eyed Grass

Viguiera laciniata

San Diego Sunflower

Yucca whipplei

Our Lord's Candle

FUEL MODIFICATION ZONE 2

BOTANICAL NAME

COMMON NAME

NOTES

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation

Trees:

Quercus agrifolia

Coast Live Oak

Shrubs, Cacti & Groundcovers:

Acalypha californica

California Copperleaf

Agave shawii

Coastal Agave

Aristida purpurea

Purple Three-Awn

Chlorogalum parviflorum

Smallflower Soap Plant

Cotoneaster dammeri
'Lowfast'

Bearberry Cotoneaster

Cylindropuntia prolifera

Coast Cholla

Deinandra fasciculata

Fascicled Tarplant

Dodonaea viscosa

Hop Bush

Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)

Dudleya pulverulenta

Chalk Lettuce

Encelia californica

Coastal Sunflower

Epilobium californicum

California Fuschia

Euphorbia misera

Cliff Spurge

Grindelia robusta

Gum Plant

Helianthemum scoparium

Sun Rose

NOTES

BOTANICAL NAME

COMMON NAME

Isomeris arborea

Bladderpod

Lupinus succulentus

Arroyo Lupine

Lycium californicum

Box Thorn

Malachothamnus fasciculatus

Chaparral Bushmallow

Mirabilis californica

Wishbone Bush

Nassella pulchra

Purple Needlegrass

Opuntia littoralis

Coastal Prickly Pear
Cactus

Plants must be locally sourced

Opuntia oricola

No Common Name

Plants must be locally sourced

Prunus ilicifolia

Hollyleaf Cherry

Rhamnus crocea

Redberry

Rhus integrifolia

Lemonade Berry

Fuschia Flowering

Ribes speciosum

Gooseberry

May be planted in limited quantities and must be properly spaced. *S. mellifera* is a prohibited species

Salvia apiana

White Sage

Simmondsia chinensis

Jojoba

Sisyrinchium bellum

Western Blue-Eyed
Grass

Yucca schidigera

Mojave Yucca

Yucca whipplei

Foothill Yucca

Hydroseed Mix:

Bloomeria crocea

Common Goldstar

Encelia californica

Coastal Sunflower

Eriophyllum confertiflorum

Golden Yarrow

Gnaphalium bicolor

Bicolor Cudweed

Hazardia squarrosa

Sawtooth Goldenfields

Heteromeles arbutifolia

Toyon

Isomeris arborea

Bladderpod

Isocoma menziesii

Coast Goldenbush

Lasthenia californica

Goldfields

Layia platyglossa

Tidy tips

Lupinus bicolor

Miniature Lupine

Lupinus succulentus

Arroyo Lupine

Nassella pulchra

Purple Needlegrass

Phacelia campanularia

California Blue Bells

NOTES

BOTANICAL NAME

COMMON NAME

Plantago erecta	Dot-Seed Plantain
Rhamnus crocea	Redberry
Rhus integrifolia	Lemonade Berry

Salvia apiana	White Sage
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May be planted in limited quantities and must be properly spaced. *S. mellifera* is a prohibited species

Sisyrinchium bellum	Blue-Eyed Grass
Sphaeralcea ambigua	Desert Mallow
Viguiera laciniata	San Diego Sunflower
Yucca whipplei	Foothill Yucca

Hydroseed Mix (Plantable Retaining Walls - irrigated):

Clarkia bottae	Botta's Clarkia
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Hazardia squarrosa	Sawtooth Goldenfields
Lasthenia californica	Goldfields
Mimulus aurantiacus ⁴	Sticky Money Flower
Sisyrinchium bellum	Blue-Eyed Grass
Viguiera laciniata	San Diego Sunflower