

SPA PLAN

Otay Ranch, Portion of Village Four Sectional Planning Area

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Project Application:

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SPA Plan

TABLE OF CONTENTS

<u>Section</u>	<u>Page No.</u>
1 INTRODUCTION.....	1
1.1 Background.....	1
1.2 Scope and Purpose.....	1
1.3 Document Organization.....	6
1.3.1 How to Use this Document.....	6
1.3.2 SPA Plan.....	6
1.3.3 Planned Community District Regulations.....	7
1.3.4 Village Design Plan.....	7
1.3.5 Public Facilities Finance Plan (Appendix A).....	7
1.3.6 Affordable Housing Program (Appendix H).....	8
1.3.7 Air Quality Improvement Plan (Appendix B).....	8
1.3.8 Water Conservation Plan (Appendix G).....	8
1.3.9 Non-Renewable Energy Conservation Plan (Appendix C).....	8
1.3.10 Park, Recreation, Open Space, and Trails Plan.....	8
1.3.11 Community Purpose Facility Master Plan.....	9
1.3.12 Agriculture Plan (Appendix E).....	9
1.3.13 Preserve Edge Plan (Appendix D).....	9
1.3.14 Fire Protection Plan (Appendix F).....	9
1.4 Legal Significance and CEQA.....	9
1.5 Relationship to Other Approved Plans and Documents.....	10
2 DEVELOPMENT CONCEPT.....	11
2.1 Location and Regional Setting.....	11
2.2 Design Influences.....	11
2.2.1 Site Characteristics and Visual Context.....	11
2.2.2 Surrounding Land Uses.....	11
2.3 Establishment of Zones.....	12
2.4 Site Utilization.....	12
2.5 Definition of Terms.....	16
3 CIRCULATION AND CORRIDOR DESIGN.....	17
3.1 Multi-Modal Approach.....	17
3.2 Multi-Modal Planning Principles.....	17
3.3 Existing Regional Circulation Network.....	18
3.4 Vehicular Circulation Network.....	23
3.5 Alternative Modes.....	23
3.5.1 Pedestrian Circulation Network.....	24

TABLE OF CONTENTS (CONTINUED)

<u>Section</u>		<u>Page No.</u>
	3.5.2 Bicycle Circulation Network	29
	3.5.3 Transit	29
3.6	Street and Trail Corridor Standards	30
	3.6.1 Main Street.....	33
	3.6.2 Secondary Village Entry.....	34
	3.6.3 Parkway Residential.....	39
	3.6.4 Regional Trail	39
	3.6.5 Neighborhood Trail.....	40
3.7	Accent Trees	43
3.8	Traffic Calming.....	43
4	GRADING	47
4.1	Introduction.....	47
4.2	Grading Requirements	47
	4.2.1 Otay Ranch General Development Plan	47
	4.2.2 Otay Ranch Overall Design Plan	48
	4.2.3 Steep Slope Analysis.....	48
4.3	Grading Concept	49
4.4	Grading Practices	50
	4.4.1 Landform Grading	57
	4.4.2 Erosion Control.....	57
4.5	Slope Maintenance.....	58
4.6	Grading Review	58
5	PARKS, OPEN SPACE, AND TRAILS	60
5.1	Introduction.....	60
5.2	Regulatory Framework	60
5.3	Park Requirements	64
5.4	Village Park and Recreation Program.....	65
	5.4.1 Recreation	66
	5.4.2 Trails and Bicycle Routes	69
	5.4.3 Open Space	69
5.5	Ownership and Maintenance Options.....	74
5.6	Phasing.....	74
6	COMMUNITY PURPOSE FACILITY, SPECIAL USES, AND CONDITIONS	76
6.1	Purpose.....	76

SPA Plan

TABLE OF CONTENTS (CONTINUED)

<u>Section</u>	<u>Page No.</u>
6.2	Community Purpose Facility Requirements 76
6.3	Community Purpose Facility Implementation 83
7	PUBLIC UTILITIES AND SERVICES83
7.1	Introduction..... 84
7.2	Water Supply and Master Plan 84
7.2.1	Water Supply 84
7.2.2	Potable Water Demand 87
7.2.3	Recycled Water Supply and Master Plan..... 87
7.2.4	Landscaping Water Conservation Ordinance 88
7.3	Sewer Service..... 93
7.4	Storm Drain and Urban Runoff..... 93
7.4.1	Drainage..... 93
7.4.2	Urban Runoff 94
7.5	Dry Utilities 97
7.6	Development Phasing 97
7.7	Public Schools..... 97
7.7.1	Elementary Schools 98
7.7.2	Middle Schools and High Schools 98
7.7.3	Continuing Education 99
7.8	Childcare Facilities 99
7.8.1	Family Daycare Homes..... 100
7.8.2	Facility-Based Childcare..... 100
7.9	Police, Fire, and Emergency Services..... 100
7.9.1	Police Protection 100
7.9.2	Fire Protection..... 101
7.9.3	Emergency Medical Services..... 101
7.9.4	Emergency Disaster Plan 101
7.10	Library Services 103
7.11	Civic Facilities 103
7.12	Animal Control Facilities..... 103
7.13	Integrated Solid Waste Management 103
7.14	Regional Facilities 105
7.15	Roads..... 105
7.16	Parks, Open Space, and Trails Facilities..... 105
8	GDP COMPLIANCE106

TABLE OF CONTENTS (CONTINUED)

<u>Section</u>	<u>Page No.</u>
8.1 Introduction.....	106
8.2 Land Use	106
8.3 Overall Otay Ranch Land Use Plan (GDP Part II, Chapter 1).....	106
8.4 Mobility (GDP Part II, Chapter 2)	122
8.5 Housing (GDP Part II, Chapter 3).....	129
8.6 Parks, Recreation, Open Space (GDP Part II, Chapter 4).....	132
8.7 Capital Facilities (GDP Part II, Chapter 5).....	134
8.7.1 Public Facility Plans	138
8.7.2 Social Facilities.....	143
8.7.3 Community Facility Plans.....	146
8.8 Air Quality (GDP Part II, Chapter 6).....	153
8.9 Noise (GDP Part II, Chapter 7).....	161
8.10 Safety (GDP Part II, Chapter 8).....	161
8.11 Growth Management (GDP Part II, Chapter 9)	164
8.12 Resource Protection, Conservation and Management (GDP Part II, Chapter 10)	165
8.12.1 Resource Preserve.....	165
8.12.2 Physical Resources.....	184
8.12.3 Visual Resources.....	186
8.12.4 Energy Conservation.....	187
8.12.5 Water Conservation	189
8.12.6 Astronomical Dark Skies	190
8.12.7 Agriculture	191

TABLE OF CONTENTS (CONTINUED)

Page No.

FIGURES

1.1 Vicinity Map3
2.1 Site Utilization Plan13

3.1 Existing Regional Circulation.....19
3.2 Planned Regional Circulation21
3.3 Vehicular Circulation.....25
3.4 Pedestrian Circulation.....27
3.5 Bicycle Circulation31
3.6 Main Street.....35
3.7 Parkway Residential and Secondary Village Entry37
3.8 Neighborhood Trail.....41
3.9 Bulb-outs.....45
4.1 Steep Slope Analysis.....51
4.2 Conceptual Grading Plan53
4.3 Cut and Fill Map59
6.1 Master Community Purpose Facility77
6.2 Community Purpose Facility, Site 179
6.3 Community Purpose Facility, Site 281
7.1 Conceptual Potable Water Master Plan89
7.2 Conceptual Recycled Water Master Plan89
7.3 Conceptual Sanitary Sewer Master Plan.....91
7.4 Conceptual Storm Drain Master Plan99
8.1 Otay Ranch GDP Village Four Land Use Plan (Proposed)107

TABLES

2.1 Village Four SPA Zone Definitions.....12
2.2 Site Utilization Table15
4.1 Otay Ranch Steep Slope Impacts49
5.1 GDP Park Obligation64
5.2 Estimated Conveyance Obligation.....70
7.1 School Obligation98

SPA Plan

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1 INTRODUCTION

1.1 Background

On October 28, 1993, the Chula Vista City Council and the San Diego County Board of Supervisors adopted the Otay Ranch General Development Plan/Subregional Plan (GDP/SRP) as a means of implementing the City of Chula Vista General Plan. The Otay Ranch GDP resulted from the culmination of over 5 years of planning and provides clear direction and policies regarding the type and intensity of uses that will occur within the roughly 23,000-acre Otay Ranch. Proposed land uses include a series of urban villages, a resort community, the Eastern Urban Center, industrial parks, rural residential estates, the University/Regional Technology Park with associated housing and commercial uses, and extensive open space. The proposed open space consists of approximately 11,000 acres and will complete the City of Chula Vista's greenbelt system while implementing the Chula Vista Multiple Species Conservation Program (MSCP) Subarea Plan. As the Otay Ranch area has developed over time, the Otay Ranch GDP has been periodically amended to address land use and circulation issues specific to individual villages. General Plan and General Development Plan amendments necessary to address these issues have been processed and approved for Village Four.

1.2 Scope and Purpose

As a way of background, a central component of the Otay Ranch GDP is the "village" concept. Each village is approximately 1-square mile and is defined by a Village Core. A Village Core consists of facilities and services needed to serve the everyday needs of the residents. Such uses include schools, shops, parks, and civic facilities. The highest-density residential uses occur in and around the Village Core in the form of mixed-use housing and retail, as well as high-density attached homes. Residential densities decrease near the outer edges of each village to provide diversity in housing and serve a wide range of lifestyles and economic levels. Higher residential densities at the Village Core are intended to support commercial uses by activating the Village Core during all hours of the day and promote more walkable communities by providing facilities and services within 0.25 miles of most homes. The village concept also promotes more efficient public transit and increased ridership by providing strong activity centers in each village and making transit close and convenient for most residents.

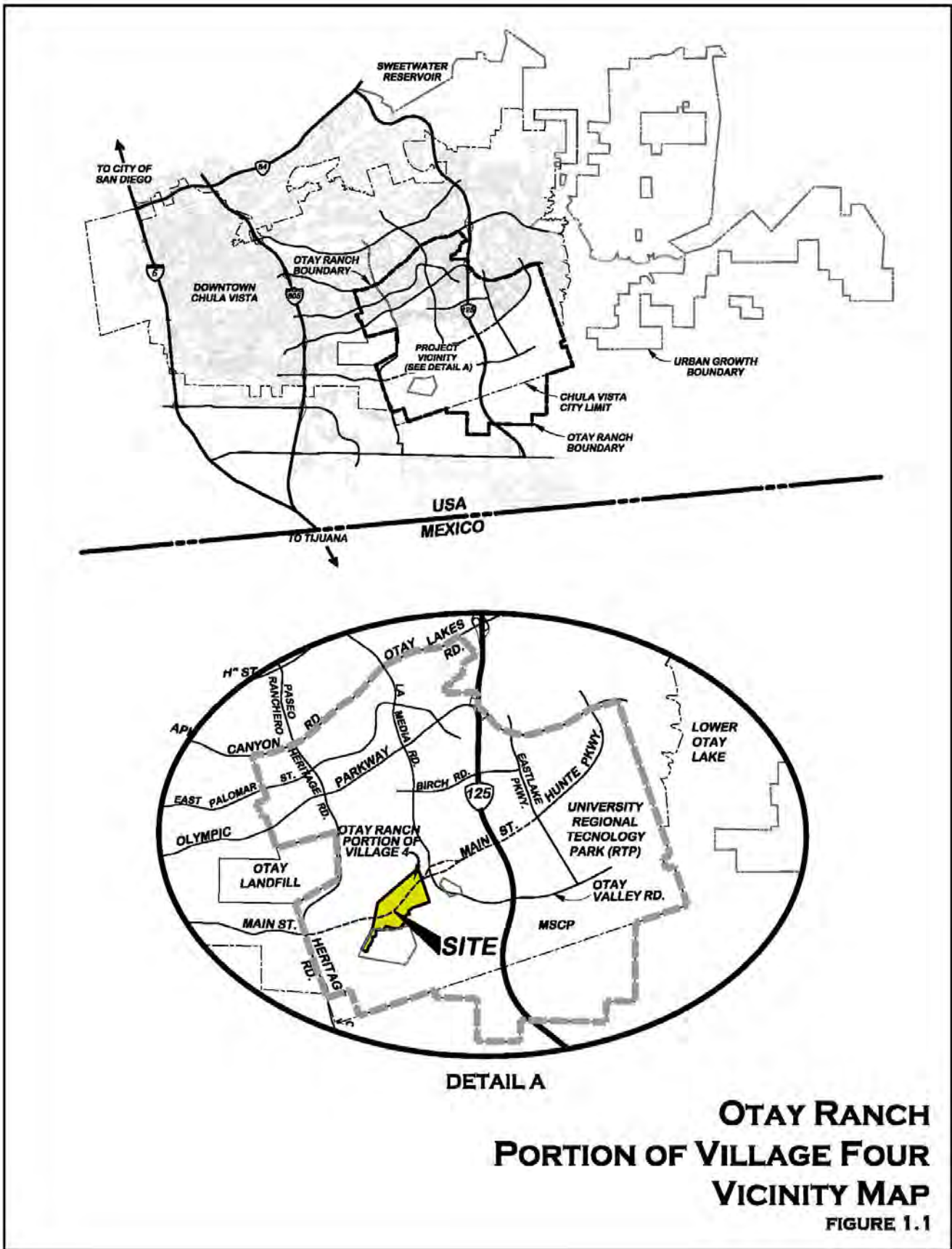
As the Otay Ranch villages have been developed over the past two decades, the original village boundaries have shifted, which has resulted in land use changes across the Otay Ranch plan. These changes have caused the size and shape of Village Four to be significantly reduced and altered. Specifically, the non-residential uses were shifted into Village Eight West; therefore, the predominant land uses assigned to Village Four via the Otay Ranch GDP include residential and preserve open space land uses, and exclude commercial, industrial, and school land uses. Based

SPA Plan

on these changes, Village Four relies upon the Village Eight West Sectional Planning Area Plan (SPA), as envisioned and approved, to provide the non-residential land uses typical of other villages within the Otay Ranch GDP. In other words, the Village Four development is an extension of the Village Eight West SPA. Village Four is defined by Wolf Canyon to the west and north, the rock quarry to the south, and the recently approved Village Eight West to the east. Figure 1.1: Vicinity Map illustrates the regional location of the SPA and its location within the Otay Valley Parcel of Otay Ranch.

The SPA Plan for Village Four refines and implements this village concept along with the remaining goals, objectives, and policies of the Otay Ranch GDP adopted in 1993, and amended in 1998, 2005, and 2014, and the 1995, City of Chula Vista General Plan as amended in 2005, and 2012. This SPA is provided as required by the Otay Ranch GDP and pursuant to Title 19: Planning and Zoning, of the Chula Vista Municipal Code (CVMC).

SPA Plan



DETAIL A

OTAY RANCH PORTION OF VILLAGE FOUR VICINITY MAP

FIGURE 1.1

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The SPA Plan defines the development parameters for Village Four in more detail, including land uses (intensity and location of development), design criteria, primary transportation patterns, open space and recreational amenities, and infrastructure and services necessary to support the community. With the approval of the Village Eight West SPA, the commercial, social, and high-density land uses are located in Village Eight West; therefore, provision of such uses in proximity is not appropriate and the Village Four SPA focuses on residential and open space land uses. The character and form of the developments will be implemented through a series of guidelines and development standards prescribed in the Planned Community (P-C) District Regulations, the Village Design Guide, and other supporting documents. The objectives of the SPA Plan are to:

- Establish pedestrian-oriented village within the Planning Area designed to complement and support the neighboring Village Eight West land uses, reduce reliance on the automobile, and promote multimodal transportation, including walking, bicycles, buses, and regional transit.
- Promote synergistic uses between Village Four and Village Eight West and the University/Regional Technology Park to balance employment, retail and educational activities, services, housing and public facilities.
- Implement the goals, objectives, and policies of the Chula Vista General Plan, the MSCP Subarea Plan, the Otay Ranch GDP, the Otay Ranch Phase 1 and Phase 2 Resource Management Plan (RMP), the Otay Ranch Facility Implementation Plan, the Otay Ranch Village Phasing Plan, and the Otay Ranch Service/Revenue Plan.
- Implement the City of Chula Vista's Growth Management Ordinance to ensure that public facilities are provided in a timely manner and financed by the parties creating the demand for, and benefiting from, the improvements.
- Foster development patterns which promote orderly growth and prevent urban sprawl.
- Develop, maintain, and enhance a sense of community identity that complements Village Eight West.
- Accentuate the relationship of the land use plan with its natural setting and the physical character of the region, and promote effective management of natural resources by concentrating development into less sensitive areas while preserving large contiguous open space areas with sensitive resources.
- Establish multi-use trail linkages to the Chula Vista Greenbelt, consistent with the Greenbelt Master Plan and Otay Valley Regional Park (OVRP) Concept Plan.
- Add to the creation of a unique Otay Ranch image and identity which differentiates Otay Ranch from other communities.
- Wisely manage limited natural resources.

SPA Plan

- Establish a land use and facility plan that assures the viability of the SPA Plan area in consideration of existing and anticipated economic conditions.
- Provide a wide variety of housing options, including affordable housing, to City residents, future students, and faculty of the planned 4-year university and employees of the Regional Technology Park, Village Eight West, and Village Nine Town Center.

This SPA Plan and supporting P-C District Regulations supplement other City regulations and function as the zoning ordinance for Village Four. If in conflict with City regulations, the SPA Plan shall apply. Where a topic is not addressed by this SPA Plan, appropriate City regulations shall apply.

1.3 Document Organization

This SPA Plan is divided into several components: the SPA Plan; P-C District Regulations; Village Design Plan; Public Facilities Finance Plan; Affordable Housing Program; Air Quality Improvement Plan; Water Conservation Plan; Non-Renewable Energy Conservation Plan; Parks, Recreation, Open Space and Trails Plan; Community Purpose Facility Master Plan; Preserve Edge Plan; and supporting Technical Studies and Plans.

1.3.1 How to Use this Document

To proceed through this document, first reference Figure 2.1: Village Four Zoning Districts Map to determine underlying zoning criteria, then refer to Figure 2.2: Site Utilization Plan to identify the organization and intensity of development proposed for each parcel within the SPA. The site utilization plan will determine if the parcel is intended for Open Space, Community Purpose Facilities (CPF), or Residential uses. Table 2.2: Site Utilization Table identifies the targeted number of units and density for each parcel. Once the site's utilization has been determined, identify the zone by referencing Figure 2.1 and reviewing the P-C District Regulations, which identifies the required permits, building setbacks and placement, parking requirements, and other development standards. The applicable architectural and landscape design guidelines are in the Design Guide. The reader should also review SPA Plan Chapter 3: Circulation and Corridor Design and Chapter 4: Grading.

1.3.2 SPA Plan

The purpose of the SPA Plan is to define, in more detail than the City's General Plan and Otay Ranch GDP, the development parameters for Village Four, including the land uses, design criteria, circulation pattern, open space and recreation concept, and infrastructure requirements to support the community.

1.3.3 Planned Community District Regulations

The P-C District Regulations are the zoning regulations for the village. These regulations implement the goals and policies of the Chula Vista General Plan, Otay Ranch GDP, and the SPA Plan by establishing land use districts and standards to classify, regulate, restrict and separate the uses of land, buildings, and structures, and regulate and limit the type, height, and bulk of buildings and structures in each land use district. These standards are established to protect the public health, safety, and general welfare of the citizens of Chula Vista; to safeguard and enhance the appearance and quality of development and to provide the social, physical, and economic advantages resulting from comprehensive and orderly planned use of land resources. The regulations provide the basis by which the City will review and evaluate the preliminary and final drawings for subsequent development applications, and provide guidance at the design review level. In the event of conflict, these zoning regulations supersede other City zoning regulations. The P-C District Regulations are adopted by Ordinance pursuant to Title 19 of the CVMC.

1.3.4 Village Design Plan

This document guides the site, building and landscape design within the village to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The Village Design Plan identifies a theme for the village and delineates that identity through streetscape and landscape design, architecture, signage programs and lighting guidelines.

1.3.5 Public Facilities Finance Plan (Appendix A)

The Public Facilities Finance Plan (PFFP) implements the City's Growth Management Program and Ordinance. The intent of the document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the Otay Ranch GDP. The PFFP ensures that development of Village Four will not adversely impact the City's Quality of Life Standards. The PFFP also contains a fiscal analysis identifying capital budget impacts on the City as well as maintenance and operation costs for each proposed phase of development. The PFFP components include an analysis of infrastructure facilities, such as water and sewer, and the provision of community services and facilities including fire protection and emergency services, law enforcement, libraries, schools, and parks. The analysis and provisions of the PFFP fulfill the Otay Ranch GDP requirements for SPA-level Master Facility Plans for most facilities associated with the development of Village Four. This plan has been provided as Appendix A of this document.

1.3.6 Affordable Housing Program (Appendix H)

The City of Chula Vista Housing Element requires that residential development with 50 or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households. Of these units, one-half (5% of the total project) is to be designated available to low income households and the remaining one-half (5% of the total project) to moderate income households. In order to guarantee the provision of affordable housing opportunities, the City requires that a specific Affordable Housing Program, consistent with the Housing Element, be prepared by the developer. The Affordable Housing Program is implemented through an Affordable Housing Agreement between the City and the developer. This Affordable Housing Program has been provided as Appendix H of this document.

1.3.7 Air Quality Improvement Plan (Appendix B)

The purpose of the Air Quality Improvement Plan is to respond to the growth management policies of the City of Chula Vista and those policies and regulations established at the broadest geographic level (state and federal) in order to minimize air quality impacts during and after construction of projects within the villages. This Air Quality Improvement Plan has been provided as Appendix B of this document.

1.3.8 Water Conservation Plan (Appendix G)

The purpose of the Water Conservation Plan is to respond to the growth management policies of the City of Chula Vista, which are intended to address the long-term need to conserve water in new developments, to address short-term emergency measures, and to establish standards for water conservation. This Water Conservation Plan has been provided as Appendix G of this document.

1.3.9 Non-Renewable Energy Conservation Plan (Appendix C)

The Otay Ranch GDP requires that each SPA plan prepare a Non-Renewable Energy Conservation Plan. This plan identifies measures to reduce the use of non-renewable energy resources through, but not limited to, transportation, building design and use, lighting, recycling, and alternative energy sources. This Non-Renewable Energy Conservation Plan has been provided as Appendix C of this document.

1.3.10 Park, Recreation, Open Space, and Trails Plan

The Otay Ranch GDP requires that all SPA Plans prepare a Parks, Recreation, Open Space, and Trails Master Plan. This plan is intended to identify locations, potential facilities, ownership, maintenance, and phasing of park, recreation, and trail facilities to be provided in the SPA.

SPA Plan

Information on parks, recreation, and open space is provided as Chapter 5: Parks, Open Space, and Trails, of this SPA Plan.

1.3.11 Community Purpose Facility Master Plan

The CVMC requires the preparation of a CPF Master Plan as a component of a SPA Plan. This CPF Master Plan identifies the location of the site, its acreage, and the allowed facilities in the village. The CPF Master Plan is provided in Chapter 6: Community Purpose Facility, Special Uses, and Conditions, of the Village Four SPA Plan.

1.3.12 Agriculture Plan (Appendix E)

The 1993, Otay Ranch Program Environmental Impact Report requires the preparation of an Agriculture Plan concurrent with the approval of any SPA affecting on-site agricultural resources. This plan describes the types of agriculture activities being allowed as an interim use including buffering guidelines designed to prevent potential land use interface impacts related to noise, odors, dust, insects, rodents, and chemicals that may accompany agricultural activities and operations. This plan has been provided as Appendix E of this document.

1.3.13 Preserve Edge Plan (Appendix D)

In accordance with the Otay Ranch RMP, a Preserve Edge Plan is to be developed for all SPAs that contain areas adjacent to the MSCP Preserve. The purpose of the Preserve Edge Plan is to identify allowable uses within appropriate land use designations for areas adjacent to the MSCP Preserve. This plan has been provided as Appendix D of this document.

1.3.14 Fire Protection Plan (Appendix F)

In accordance with the requirements of the City of Chula Vista Fire Department, Chapter 47 of the 2007, California Fire Code, or the currently adopted version, a Fire Protection Plan (FPP) has been provided for all new development in the Village Four Urban Wildland Interface. The purpose of the FPP is to identify appropriate measures that will reduce the risk of fire and protect the life, safety, and property of residents living adjacent to wildland areas that are susceptible to fire. This plan has been provided as Appendix F of this document.

1.4 Legal Significance and CEQA

The project is subject to the requirements of the California Environmental Quality Act (CEQA). The provisions of CEQA will be implemented by the City as part of the approval process for the Village Four SPA Plan. All mitigation measures and monitoring activities identified and incorporated into the project as a part of the CEQA process shall be implemented

SPA Plan

through the Village Four SPA Plan or other appropriate components of the Village Four SPA Plan. All future discretionary permits will need to be consistent with the Village Four SPA Plan.

1.5 Relationship to Other Approved Plans and Documents

The Village Four SPA Plan is consistent with the City of Chula Vista GP and the Otay Ranch GDP. A detailed description of the Village Four SPA Plan's consistency with the GDP is provided in Chapter 8: GDP Compliance of this SPA Plan.

Subdivision maps, improvement plans, and other development proposals submitted concurrently with or after the adoption of this SPA Plan will provide the necessary detailed plans for construction of the project within the SPA Plan area as described in this document. These plans, the construction process, and the ultimate uses/activities that occur within the SPA Plan area shall be consistent with the applicable provisions of the Village Four SPA Plan and related documents. In addition to the supporting documents, technical studies, and plans directly related to this SPA Plan (Sections 1.3.3: Planned Community District Regulations; 1.3.4: Village Design Plan; and 1.3.15: Technical Studies and Plans), development within the SPA Plan area shall comply with the following City-wide documents and/or be amended as needed for consistency:

1. City of Chula Vista General Plan
2. Otay Ranch General Development Plan (GDP)
3. Otay Ranch Resource Management Plan (RMP), Phases 1 and 2 (any reference to the Otay Ranch RMP herein shall mean RMP 1 and 2, unless otherwise specified)
4. San Diego County's Multiple Species Conservation Program (MSCP)
5. City of Chula Vista Parks and Recreation Master Plan
6. City of Chula Vista Greenbelt Master Plan
7. City of Chula Vista Library Master Plan
8. Site Specific Sectional Planning Area Fire Facility and Emergency Response Analysis
9. Airport Land Use Compatibility Plan for Brown Field
10. Chula Vista, California – 2010 Fire Facility/Deployment Master Plan
11. Otay Valley Regional Park (OVRP) Concept Plan, 1997

2 DEVELOPMENT CONCEPT

2.1 Location and Regional Setting

Village Four is located at the southerly edge of the Otay Valley Parcel of Otay Ranch. Village Four is located on the east side of Wolf Canyon and straddling Main Street and is surrounded by Village Three to the west, Villages Two and Four to the north, Village Eight West to the east, and Otay Valley Quarry to the south. Village Four currently consists of vacant, undeveloped land. Figure 1.1 illustrates the regional location of the SPA and its location within the Otay Valley Parcel of Otay Ranch.

2.2 Design Influences

The Chula Vista General Plan and the Otay Ranch planning documents (Otay Ranch General Development Plan, Overall Design Plan, and other SPA plans for Otay Ranch) describe the general design characteristics of the Otay Ranch Villages. The design of Village Four is based on those guiding documents, the unique on-site characteristics, the landform, existing and planned circulation patterns, and land use relationships between Village Four and surrounding development. The urban village concept described in the Otay Ranch GDP provides additional focus for the villages; however, Village Four is a residential village without the typical urban village. While general design influences are described below, design features and development requirements are addressed in the P-C District Regulations and Design Guide.

2.2.1 Site Characteristics and Visual Context

The Village Four landform consists of Rock Mountain and Wolf Canyon. The northern and western edges of Village Four are defined by Wolf Canyon which will be placed into the Preserve, in conjunction with acceptance of Final Map(s). The eastern edge is defined by Village Eight West, which will provide the bulk of non-residential activities for residents of Village Four. The southern edge of Village Four abuts the Otay Valley Quarry, which has a Conditional Use Permit and Reclamation Plan. There are view opportunities from Village Four to adjacent open space areas, including Wolf Canyon, and mountains to the east.

2.2.2 Surrounding Land Uses

The southeastern region of the City of Chula Vista is planned for the development of new communities and a future University and Regional Technology Park. The SPA Plan area is generally located in the southwestern portion of the Otay Valley Parcel of the Otay Ranch. Immediately surrounding the SPA Plan area are planned development areas. The approved Otay Ranch Village Two is located to the north of Village Four. The Otay Valley Quarry is located south of Village Four. Village Three is located west of Village Four and future Village Eight West

is located to the east. These villages/planning areas are expected to be built out by 2030. The village planning concept provides for compatible land uses between adjoining villages.

2.3 Establishment of Zones

Based upon the need to: classify, regulate, restrict, and separate the use of land, buildings, and structures; regulate and limit the type, height, and bulk of buildings and structures in the various districts; establish the areas of yards and other open space areas abutting and between buildings and structures; and regulate the density and population, the Village Four SPA is hereby divided into the zones shown on Table 2.1.

Land Use Districts and boundaries are established and adopted as shown within the Planned Community District Regulations for Otay Ranch, a Portion of Village Four. The boundaries are intended to align with physical and legal features such as property boundaries, top or toe of slopes, and streets. Refinements to these boundaries are expected during the detailed engineering design phase and will not require an amendment providing the refinement does not alter the intent.

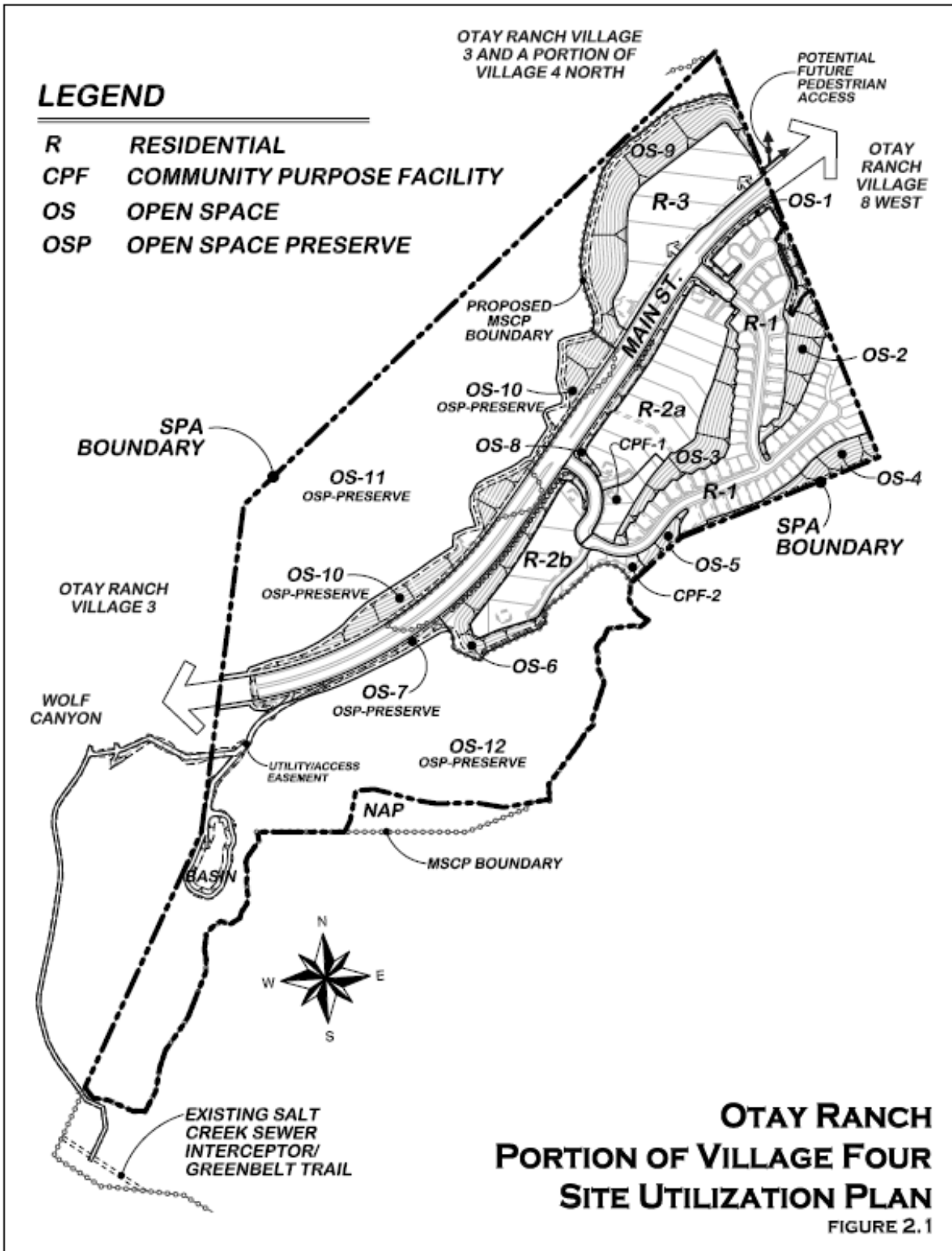
Table 2.1
Village Four SPA Zone Definitions

Symbol	General Description
SF-1	Single-Family LM: allows single-family detached housing at densities 3 to 6 units per acre.
RM-1	Multi-Family MH: allows multi-family detached and attached housing at densities 11 to 18 units per acre.
RM-2	Residential Multi-Family H: allows attached housing at densities 18 to 27 units per acre.
CPF	Community Purpose Facility: allows uses established pursuant to the Community Purpose Facilities requirements of the P-C – Planned Community Zone.
OS	Open Space: allows development of naturalized open space.
OSP	Open Space Preserve: allows natural, undisturbed, and/or restored open space that is part of the Otay Ranch Preserve.

2.4 Site Utilization

Figure 2.1: Site Utilization Plan and Table 2.2 present the land uses contemplated by the Otay Ranch GDP for this area. The Site Utilization Plan and Summary work together and assign a general utilization within Village Four. Uses include a variety of open space areas, and attached and detached residential neighborhoods. The individual planning areas are assigned a targeted number of dwelling units. These targets and ranges, as shown in Table 2.2, are only estimates.

SPA Plan



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The Village Four SPA Plan strives to create a new community oriented toward the open space of Wolf Canyon. The community is pedestrian oriented with reduced street widths, which create a more intimate streetscape, benefiting the overall appearance and environment for all users including drivers, bicyclists, and pedestrians.

The single-family neighborhoods are defined by Rock Mountain and the views of Wolf Canyon. The setbacks within the multi-family neighborhood will be defined during the site plan approval process. The main arterial through the community, Main Street, is a Scenic Corridor characterized by an average minimum landscaped setback of 20 feet and an average 75-foot buffer for the Scenic Corridor.

Table 2.2
Site Utilization Table

Residential				
<i>Single-Family Residential – 3–6 du/ac</i>				
<i>Planning Area</i>	<i>Unit Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
R-1	SF	73	15.18	4.81
<i>Single-Family Residential Total</i>		73	15.18	4.81
<i>Multi-Family (Medium-High) Residential – 11–18 du/ac</i>				
<i>Planning Area</i>	<i>Unit Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
R-2a	MF	110	7.91	13.91
R-2b	MF	40	4.24	9.43
<i>Sub-Total</i>		150	12.15	12.35
<i>Multi-Family (High) Residential – 18–27 du/ac</i>				
<i>Planning Area</i>	<i>Unit Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
R-3	MF	127	7.16	17.74
<i>Sub-Total</i>		127	7.16	17.74
<i>Multi-Family Residential Total</i>		277	19.31	14.34
Residential TOTALS		350	34.49	10.15
Other				
<i>Community Purpose Facility (CPF)</i>				
<i>Planning Area</i>	<i>Land Use Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
CPF-1	CPF	N/A	1.21	N/A
CPF-2	CPF	N/A	0.87	N/A
<i>CPF Sub-Total</i>		N/A	2.08	N/A
<i>Open Space (OS)</i>				
<i>Planning Area</i>	<i>Land Use Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
OS-1	Open Space	N/A	0.59	N/A
OS-2	Open Space	N/A	3.03	N/A
OS-3	Open Space	N/A	3.08	N/A
OS-4	Open Space	N/A	1.57	N/A
OS-5	Open Space	N/A	0.59	N/A

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**Table 2.2
Site Utilization Table**

Other				
OS-6	Open Space	N/A	3.11	N/A
OS-8	Open Space	N/A	1.35	N/A
OS-9	Open Space	N/A	6.87	N/A
<i>Total Private Open Space</i>		<i>N/A</i>	<i>20.19</i>	<i>N/A</i>
Open Space Preserve (OSP)				
<i>Planning Area</i>	<i>Land Use Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
OS-7	Preserve	N/A	1.37	N/A
OS-10	Preserve	N/A	6.67	N/A
OS-11	Preserve	N/A	44.27	N/A
OS-12	Preserve	N/A	44.89	N/A
<i>Total Preserve Open Space</i>		<i>N/A</i>	<i>97.20</i>	<i>N/A</i>
<i>Open Space Sub-Total</i>		<i>N/A</i>	<i>117.39</i>	<i>N/A</i>
Circulation				
<i>Planning Area</i>	<i>Land Use Type</i>	<i>Number of Units</i>	<i>Gross Acres</i>	<i>Target Density</i>
Main Street	Circulation	N/A	10.82	N/A
Internal Streets	Circulation	N/A	1.24	N/A
<i>Circulation Subtotal</i>		<i>N/A</i>	<i>12.06</i>	<i>N/A</i>
Other Total		N/A	131.54	N/A
Totals		350 Units	166.02	

du/ac = dwelling units per acre.

2.5 Definition of Terms

For purposes of this ordinance, certain words, phrases, and terms used herein shall have the meaning assigned to them by Title 19: Planning and Zoning, of the CVMC. A Glossary of Terms is also provided in Appendix I.

When consistent with the context, words used in the present tense include the future; words in the singular number include the plural; and those in the plural number include the singular. The word “shall” is mandatory; the word “may” is permissive.

Any aspect of zoning regulation with Village Four SPA not covered by these district regulations or subsequent plan approvals shall be regulated by the applicable section of the Chula Vista Municipal Code (CVMC).

3 CIRCULATION AND CORRIDOR DESIGN

3.1 Multi-Modal Approach

The Village Four circulation system provides a system of roadway and trail corridors to support both vehicular and non-vehicular modes of transportation to serve the community. This system includes the extension of existing and planned roads, trails, and transit from adjacent villages as well as internal systems to serve the SPA. This chapter describes how this system accommodates all users including pedestrians, bicyclists, vehicles, low speed vehicles (LSVs), and public transit.

Streets within the SPA are designed as “complete” streets. As defined by the Complete Street Coalition, complete streets are defined as roadways that are “...designed and operated to enable safe access for all users. Pedestrians, bicyclists, motorists and transit riders of all ages and abilities must be able to safely move along and across a complete street.” Benefits of complete streets include the following:

1. Improved safety for all users by providing adequate facilities for all users and reducing traffic speeds.
2. Balanced transportation systems that provide direct connections, variety of transportation choices, and reduced traffic congestion.
3. Opportunities for healthier, more active lifestyles that include walking and bicycling.
4. A potential reduction in carbon emissions and dependence on oil by shifting trips to non-motorized and alternative modes of transportation.

Corridors will also play a key role in establishing the village design theme. Corridors will be defined through the landscape palette and design themes identified by the roadway and trail standards described in this chapter, through the placement and types of buildings as regulated by Chapters 2, 3, and 4 of the P-C District Regulations, and through the landscape and architectural design of individual parcels and community elements as described in the Design Guide. Each corridor will have an identifiable landscape theme consistent with its location within the community. All these design elements work together to create superior street scenes that encourage pedestrian activity and a strong village identity.

3.2 Multi-Modal Planning Principles

The following principles led to the creation of the multi-modal transportation system described in this section:

1. Design Complete Streets that consider all modes of travel including automobiles, bicycles, pedestrians, transit, LSVs, and alternative vehicles.
2. Provide multiple connections and routes to evenly distribute traffic and reduce the need for large volume roadways, create slower speed streets that are safer for pedestrians and bicycles, and shorten distances between destinations.

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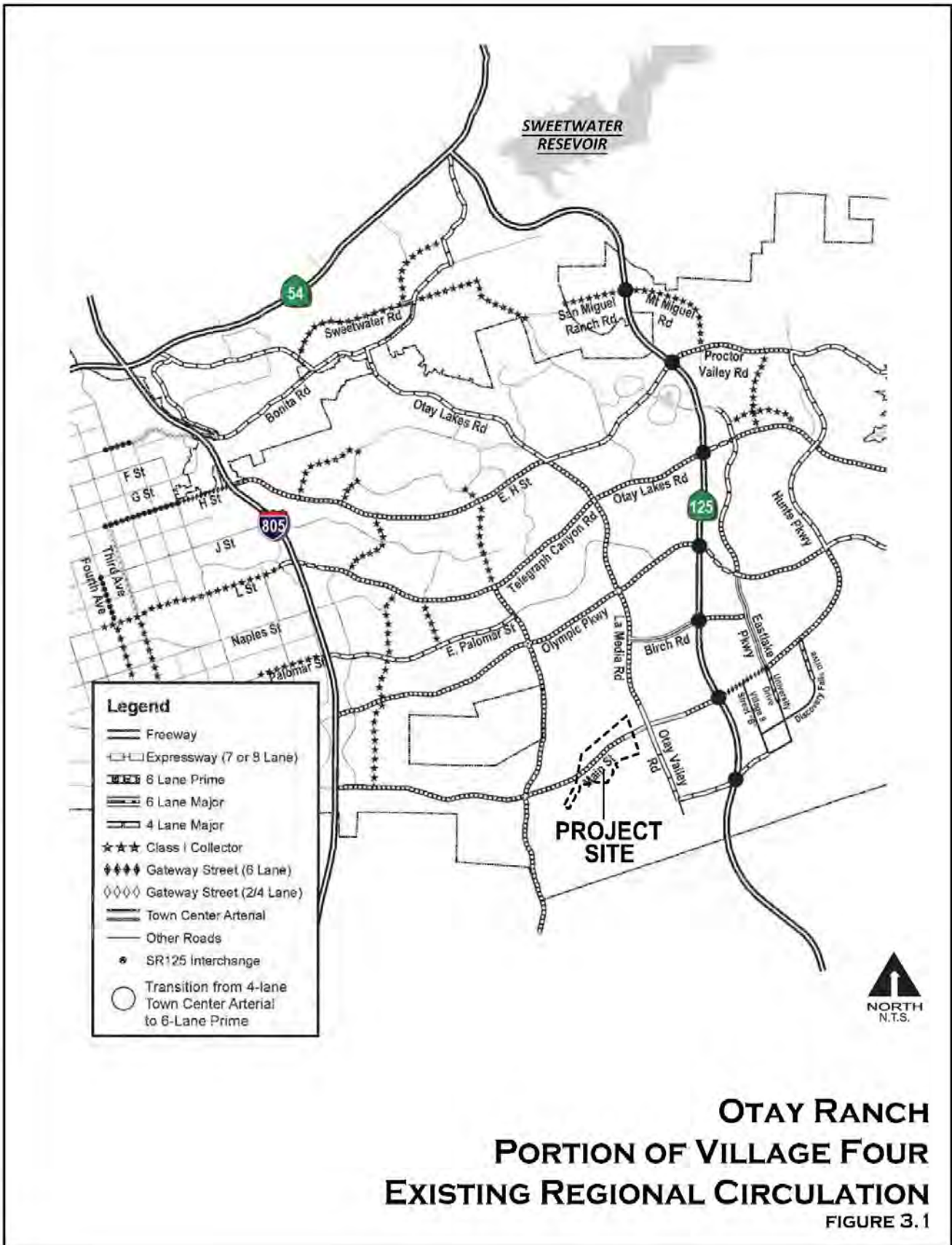
3. Where appropriate, provide room for future dedicated transit lanes or corridors to promote efficient transit.
4. Provide enhanced paving, or other traffic calming features, subject to City of Chula Vista and Fire Department approval, in areas where pedestrians and vehicles are anticipated to mix.
5. Locate transit stops near major pedestrian nodes and generators.
6. Respect the privacy of residential uses when designing pedestrian paths and selecting transit stop locations.
7. Provide shade trees along streets to provide comfortable walking and biking environments, reduce heat islands, and shade parked vehicles.
8. Locate transit stops and stations in convenient locations.
9. Provide transit stops with adequate lighting and well-designed shelters.
10. Provide convenient, secure bicycle parking for all uses including residential, commercial, parks, and active open space areas.
11. Provide on-street parking and only the minimum required off-street parking to reduce the impact of parking lots and structures on the streetscape and promote the use of bicycles, transit, and alternative modes of travel.
12. Where appropriate, provide Village Pathways, Regional Trails, and other multi-use trails including connection to the Chula Vista greenbelt and the OVRP, as identified in the Otay Ranch GDP.

3.3 Existing Regional Circulation Network

Regional vehicular access to the larger Otay Ranch area, as shown in Figure 3.1: Existing Regional Circulation, is currently provided from east via State Route 125 (SR-125) and the west via Interstate 805 and Olympic Parkway. Main Street is anticipated to be a major transportation corridor through the greater Otay Ranch community and the eastern territories. Main Street is planned to extend from SR-125, which is located approximately 1 mile east of the project site, across Wolf Canyon to the west into Village Three. Both of these connections will provide more direct access to the site. Figure 3.2: Planned Regional Circulation shows the future circulation system for the surrounding portions of Otay Ranch.

Public transportation is currently provided by Chula Vista Transit, a part of Metropolitan Transit System. Routes 713 and 709 serve the Otay Ranch villages; however, neither route currently extends service to Village Four. Currently, the nearest stop is located over 1.5 miles away.

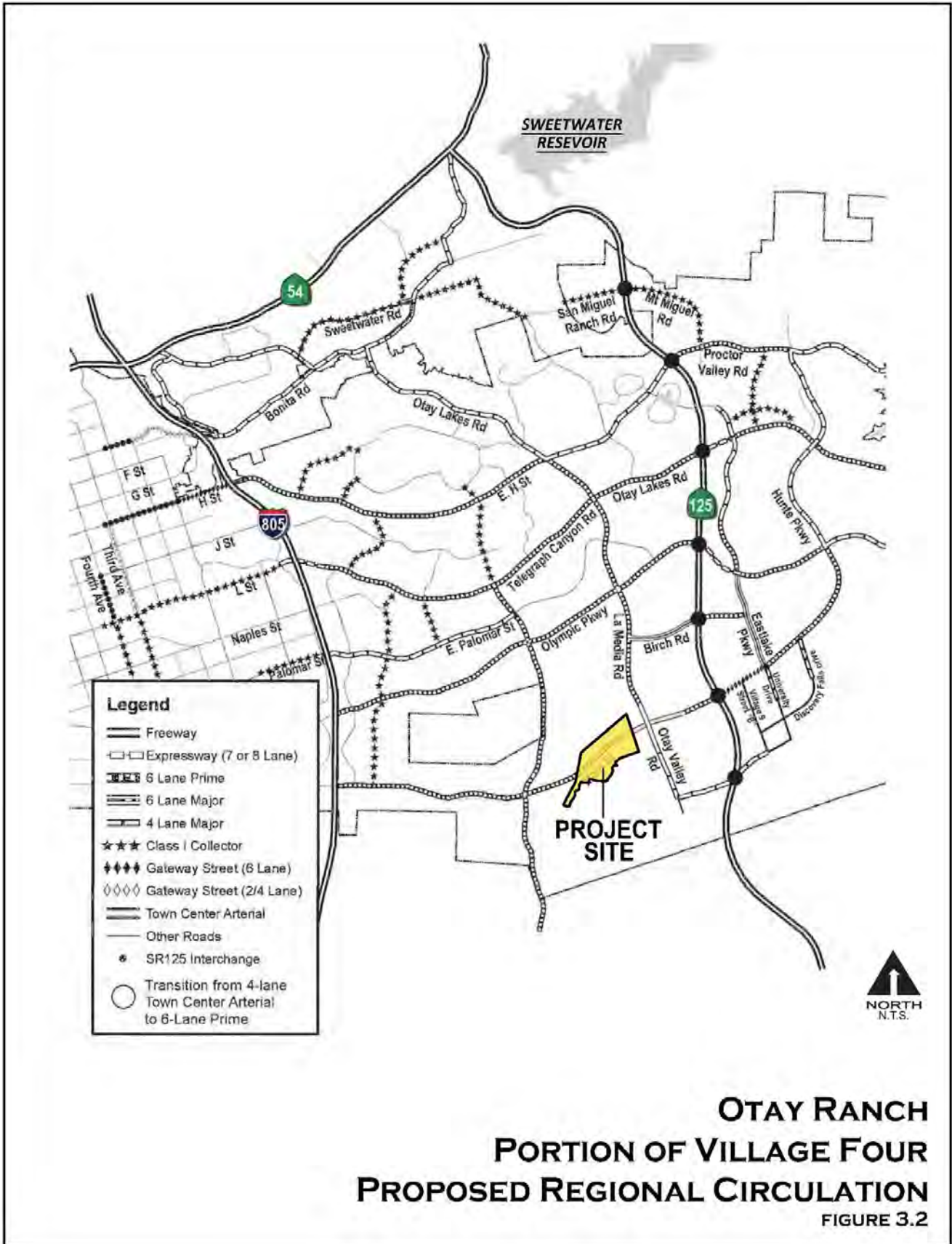
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3.4 Vehicular Circulation Network

The Village Four street pattern organizes traffic into a hierarchy of travel ways, arranged according to anticipated volumes and modes of travel. This organization is consistent with the roadway classifications established by the Otay Ranch GDP. In Village Four, roadways respond to the landform of Rock Mountain and Wolf Canyon. The southern portions of the village do not support a grid pattern of streets; however, the central and northern portions allow for modified grid pattern that promotes walkability and supports urban development in the Village Eight West Town Center. The street pattern in the southern areas is a suburban street pattern, provides a transition to the natural open space areas atop Rock Mountain, and reflects the topography of this portion of the site.

Main Street is an east–west arterial that serves as the major roadways for Otay Ranch. Main Street will provide the main east–west connection (see Section 3.6.1: Main Street) for residents and visitors. Figure 3.3: Vehicular Circulation illustrates the location of Main Street transition from a six-lane Prime Arterial to a split four-lane Arterial. Main Street will be extended east to provide a future connection into/through Village Eight West to the interchange at SR-125 and west into/through Village Three.

La Media Road is a north–south Arterial that crosses portions of Village Eight West. It will be extended from its existing terminus just north of the Village Eight West and will become Otay Valley Road within the Town Center. Otay Valley Road will extend south and then curve to the east, providing a future connection to Village Eight East and a future Otay Valley Road interchange at SR-125.

B and C Streets provide egress and ingress from the southern residential area (see Section 3.6.2: Secondary Village Entry). B Street provides a connection to the multi-family neighborhood on the north side of Main Street.

The balance of the roadway system for Village Four is made up of Parkway Residential Streets (see Section 3.6.3: Parkway Residential). These streets provide direct access to single-family homes in the southern portion of the SPA Plan area. The street alignments are shown on the Tentative Map and subject to final engineering during the processing of the Final Maps for Village Four. Additional private streets and lanes will be provided for the multi-family planning areas, as part of the site plan review for the multi-family neighborhoods. The design of these street sections will be determined by the site plan and shall be subject to design review.

3.5 Alternative Modes

Alternative modes of transportation including bicycles, walking, and transit contribute to healthier and more vibrant communities by providing a variety of alternatives to the car. Providing alternative modes allows people to get out of their cars and into the public realm where they can interact with one another as a community. Main Street is anticipated to include a Rapid Transit line; however, transit routes and

operations are determined by Metropolitan Transit System. Should transit service be implemented on Main Street and since pedestrian circulation is closely related, a potential transit stop is shown. Alternative modes also promote healthier lifestyles by encouraging increased physical activity and potentially reducing vehicle use and the associated air pollutants.

The following section describes the major alternative transportation modes accommodated within Village Four. These include pedestrian, bicycle, LSVs, and public transit.

3.5.1 Pedestrian Circulation Network

The pedestrian circulation network includes interconnected sidewalks, as illustrated in Figure 3.4: Pedestrian Circulation. The following includes a brief description of each type of pedestrian corridor:

1. **Regional Trail** – A Regional Trail is anticipated to be located on the north side of Main Street. The Regional Trail is designed to be a 10-foot-wide multipurpose trail that connects the villages of Otay Ranch. In addition, a Regional Trail is located off site in Village Eight West. The Regional Trail is located on the west side of La Media Road and currently terminates at the northern boundary of Village Eight West. With the development of Village Eight West, the trail will be extended through the Village and connect to OVRP and villages to the east. Residents of Village Four can use the Regional Trail (to the east) via Main Street to connect to the OVRP.
2. **Sidewalks** – All streets include sidewalks, providing connections between destinations including residential neighborhoods, the Village Eight West Town Center, schools, parks, and rural trails through open space.
3. **Neighborhood Trails** – Neighborhood Trails are off-street trails that provide pedestrian connections between neighborhoods. They typically occur on slopes, at the end of cul-de-sacs, or where other site conditions do not allow full roadway connections. The intent is to promote walkability by providing more direct pedestrian connections than would otherwise occur along public roadways. The SPA Plan and Tentative Map include a connecting Neighborhood Trail, 15 feet wide, from Main Street to the east end of the D Street cul-de-sac, then into Village Eight West. The final location and alignment of the trail will be determined by the Final Map(s).
4. **Public Pathways** – Not illustrated on Figure 3.3 are pathways within Planning Areas RM-1A, RM-1B, RM-2 that will provide direct pedestrian connections through the Planning Area and into the surrounding Planning Areas in Village Four and to the adjacent villages. The alignment of the pathways will be determined by the Landscape Master Plan and the site plan(s) for individual Planning Area.

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3.5.2 Bicycle Circulation Network

Bicycles are accommodated as illustrated in Figure 3.5: Bicycle Circulation and as described below:

1. **Regional Trail** – The Regional Trail, which currently terminates at the south end of Magdalena Avenue, is planned to be extended through Village Eight West along Main Street. Village Four will continue the pathway on the north side of Main Street to the western boundary of Village Four. Regional Trails in Otay Ranch are intended to provide an off-street, interconnected multi-use trail that allows bicycles and pedestrians to travel between Village Cores and Town Centers. These 10-foot-wide paved trails run parallel to public roadways.
2. **Bike Lanes** – Main vehicular thoroughfares include dedicated, striped, on-street Class II bike lanes as shown in the cross-section for Main Street (see Figure 3.5).
3. **Local Streets** – Although no dedicated lanes are provided for bicycles, the traffic volumes on parkway residential streets will be low enough to accommodate bicycles as well as vehicles.
4. Bicycle facilities shall be designed pursuant to the Chula Vista Bikeway Master Plan except as described herein.

3.5.3 Transit

Village Four has been designed to be transit ready for future extension of transit service into the area. Transit service will be provided by one or more of the various transit service types described in this section. The final route, type of service, and timing of service will ultimately be determined by the Metropolitan Transit System. All transit stops shall be designed to be ADA compliant and shall meet the design criteria of the transit service provider. A Rapid Bus route is planned by the San Diego Association of Governments (SANDAG) in the 2035 revenue-constrained Regional Transportation Plan along Main Street.

A. Bus Rapid Transit

Bus Rapid Transit (BRT) is the highest level of transit service being considered for the Otay Ranch area. BRT is designed to provide longer-distance, higher-speed (45 to 60 mph average), regional trips along high-capacity corridors such as arterial roads and freeways. Standard all stop service can be supplemented with express service during peak commute hours to provide direct nonstop service between major residential, employment, and activity centers. BRT combines a series of transit-only lanes with mixed-flow lanes that are shared with normal auto traffic. In mixed flow conditions, BRT vehicles typically receive priority at signalized intersections. BRT systems include high-quality, rubber-tired, low-floor buses that offer speed, comfort, and amenities with the flexibility of a non-fixed track. Stops are typically spaced 0.5 miles to 1 mile apart along

arterials and 4 to 5 miles apart along highways. BRT has a ridership capacity of 50 to 80 seated plus standees.

B. Rapid Bus

Rapid Bus provides a service level option between BRT and High-Frequency Local Bus service. Rapid Bus also provides higher speed service (averaging 35 mph) along high volume arterial corridors. Rapid Bus combines short segments of transit-only lanes with mixed flow lanes that are shared with normal auto traffic. In mixed flow conditions, rapid bus vehicles typically receive priority at signalized intersections. Rapid Bus can be upgraded to BRT over time as warranted. Rapid Bus includes high-quality, rubber-tired, low-floor buses that offer speed, comfort, and amenities with the flexibility of a non-fixed track. Stops are typically spaced 0.5 miles to 1 mile apart. Rapid Bus has a ridership capacity of 40 seated plus standees. Potential Rapid Bus service could be accommodated on Main Street.

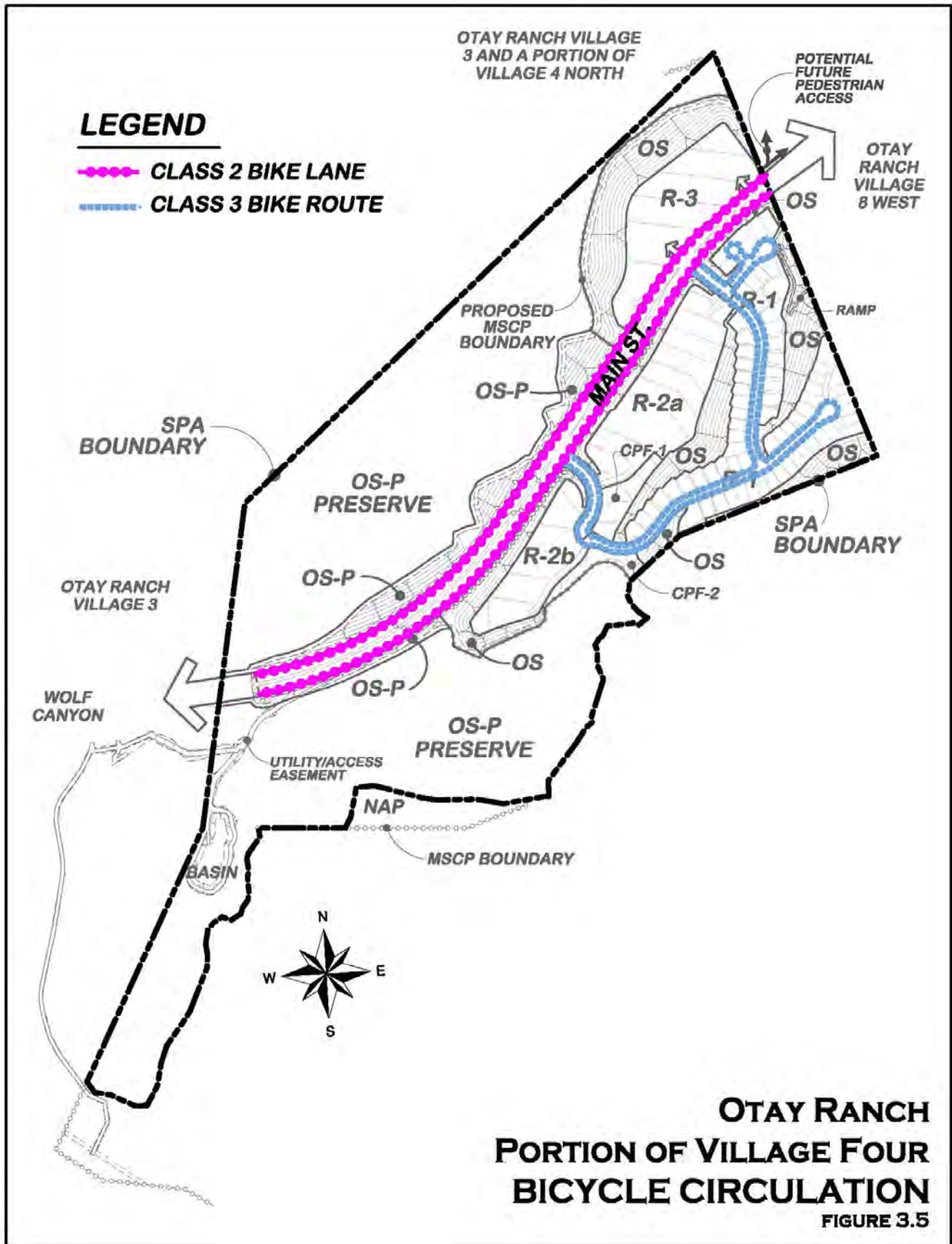
C. High-Frequency Local Bus

High-Frequency Local Bus provides mid-to-short distance trips between key local activity centers and neighborhoods. Buses consist of typically standard and single articulated buses with low floor design. High-Frequency Local Bus integrates with normal auto traffic. Buses travel at speeds up to the posted limit of the streets they operate on; however, due to the frequent stops, the average speed is approximately 13 mph. Stops are spaced approximately one to four blocks apart. Typical passenger capacity is 37 to 57 seated plus standees.

3.6 Street and Trail Corridor Standards

The following sections provide a detailed description of each public street, and trail corridor, and their components. Each section addresses the dimensions, modes of travel, landscaping, and building setbacks. Any other streets, such as smaller streets that provide internal circulation to planning areas shall be designed and reviewed as part of the Site Plan for the multi-family area and shall be subject to City approval and the requirements of the Village Four Storm Water Quality Management Plan.

All street sections shown herein are conceptual. Final design are shown on the Tentative Map but may be modified without a SPA amendment at final map.



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3.6.1 Main Street

Main Street serves as the primary east–west connection through Village Four, providing connections to the adjacent neighborhoods and SR-125. Main Street is considered a Scenic Corridor, which requires an average development setback of 75 feet. The Village Four SPA Plan exceeds this required setback (see Figure 3.6: Main Street). Through the Village, Main Street is a conventional six-lane Arterial roadway; however, it transitions to a split four-lane configuration on the east side of B Street.

A. GDP Classification:

- Six-Lane Prime Arterial (see Figure 3.6)

B. General Dimensions

1. **Right-of-Way:** 124 feet, west of B Street
Between 94 feet and 106 feet, east of B Street
2. **Curb-to-Curb:** 100 feet, west of B Street
Between 70 feet and 82 feet, east of B Street
3. **Median:** Raised

C. Modes

1. **Vehicles:** West of B Street six lanes (three lanes each direction)
East of B Street transition to four lanes (two lanes each direction)
2. **Parking:** No
3. **Bike:** Class II bike lane (both sides)
4. **Pedestrian:** Sidewalks (both sides)
Regional Trail (north side)
5. **Transit:** Future transit reserve (both sides)
6. **Low-Speed Vehicles:** Permitted in vehicle travel lanes, if speed is less than 35 mph

D. Landscaping

- See the Design Guide (Section 1.14: Village Four Approved Master Plant Lists) for the landscape plant palette

3.6.2 Secondary Village Entry

The Secondary Village Entry streets are public streets that provide access to the residential neighborhoods south of Main Street, as indicated by the hatch pattern on the key map. The alignments of these streets (B and C) are shown on the Tentative Map (CVT 15-03) for each area. The residential street pattern is designed to provide access into the neighborhoods and promote walkability. Figure 3.7: Parkway Residential and Secondary Village Entry illustrates this section. Residential streets shall be reviewed as part of the site plan review of individual projects.

A. GDP Classification

- Secondary Village Entry

B. General Dimensions

1. **Right-of-Way:** 73 feet
2. **Curb-to-Curb:** 46 feet
3. **Median:** No

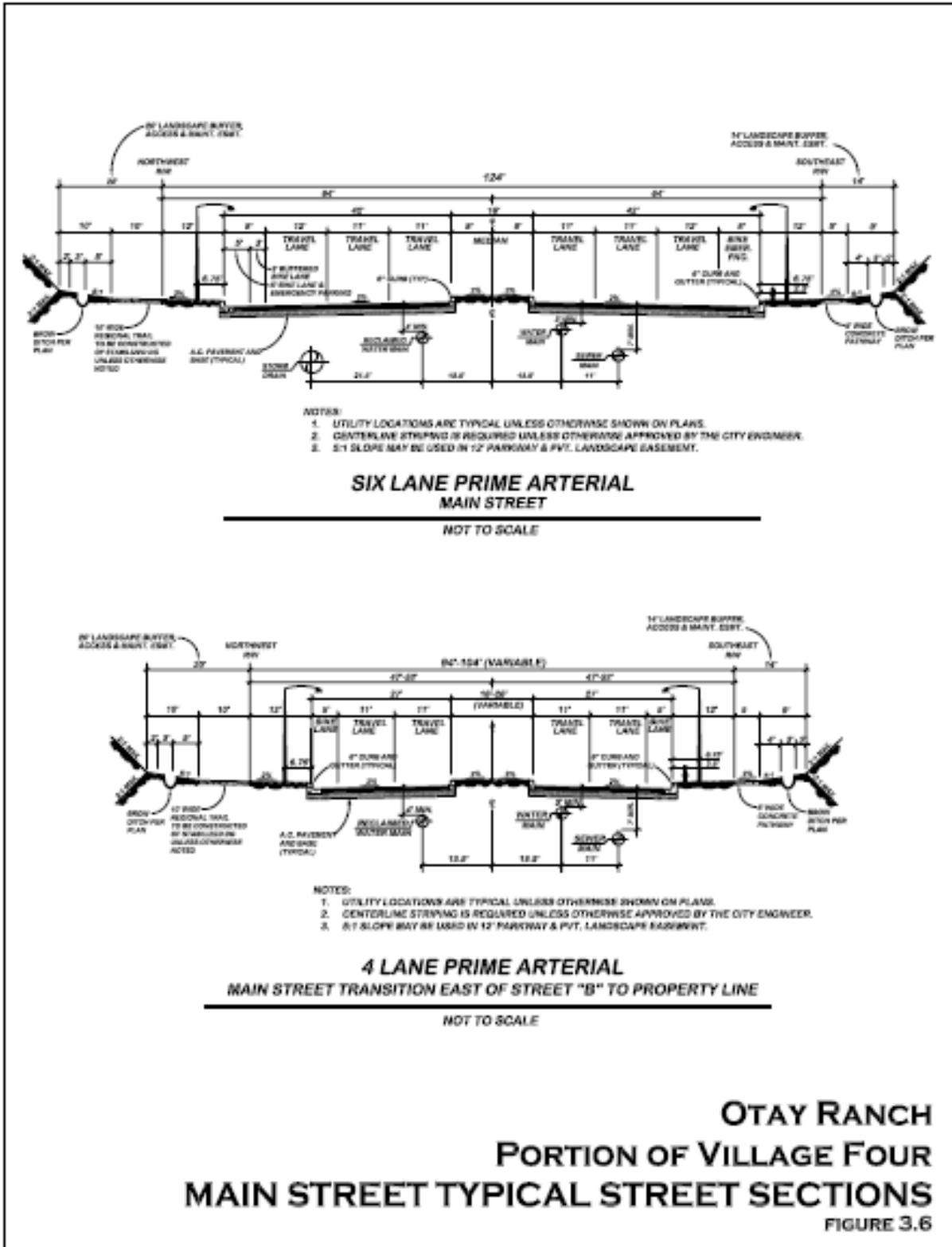
C. Modes

1. **Vehicles:** Three lanes (one southbound, one left-turn, and one northbound)
2. **Parking:** Parallel parking lanes (both sides)
3. **Bike:** Shared with vehicle lanes
4. **Pedestrian:** Sidewalk (both sides)
5. **Transit:** None proposed
6. **Low-Speed Vehicles:** Permitted in vehicle travel lanes, if speed is less than 35 mph

D. Landscaping

- See the Design Guide (Section 1.14) for the landscape plant palettes

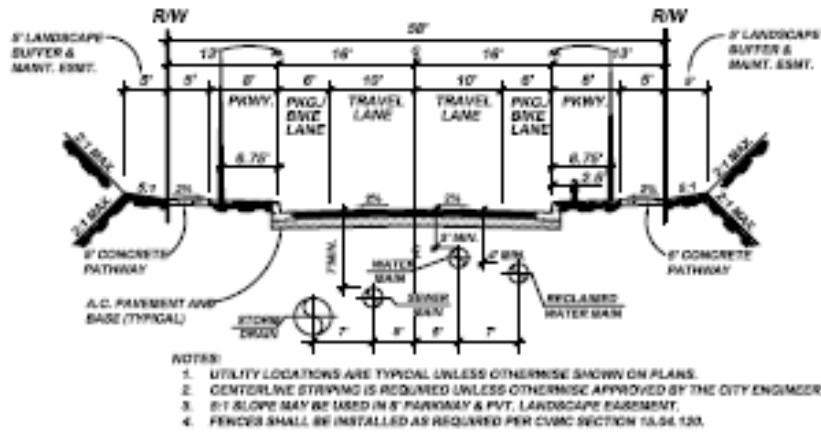
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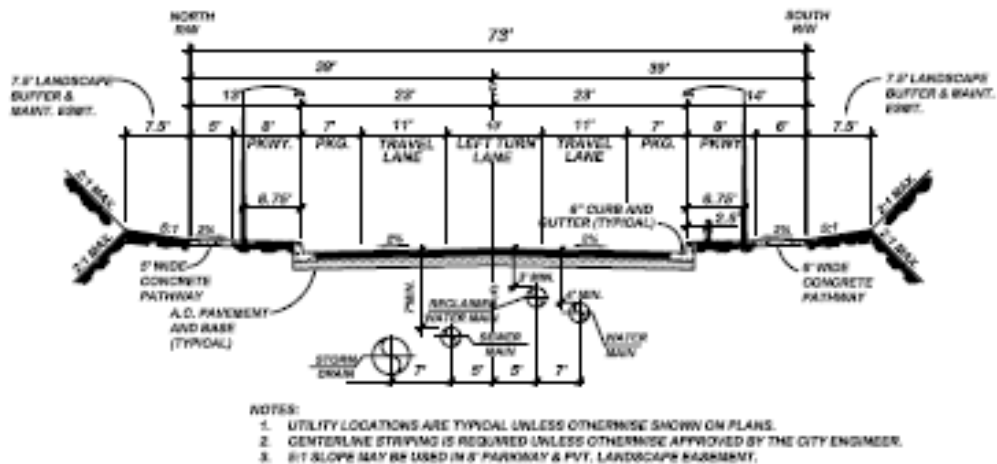
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PARKWAY RESIDENTIAL
PUBLIC STREET "A",
PORTION OF PUBLIC STREET "B" (SE OF PUBLIC STREET "D"),
PUBLIC STREET "D",
PUBLIC STREET "E"

NOT TO SCALE



SECONDARY VILLAGE ENTRY
PORTION OF PUBLIC STREET "C" (NW OF PUBLIC STREET "A"),
PORTION OF PUBLIC STREET "B" (NW OF PUBLIC STREET "D")

NOT TO SCALE

OTAY RANCH
PORTION OF VILLAGE FOUR
TYPICAL STREET SECTIONS

FIGURE 3.7

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3.6.3 Parkway Residential

Parkway residential streets are public streets that occur in the SF-1 neighborhood as indicated on Figure 3.3. The alignment of these streets (A, B, D, and E) are shown on the Tentative Map (CVT 15-03) for each area. The parkway residential street pattern is designed to maximize connectivity within individual neighborhoods and promote walkability. Cul-de-sacs are designed to provide pedestrian connections between dead-end streets and adjacent planning areas or open space trails as appropriate to site conditions. Figure 3.7 illustrates this section. Private residential streets shall be reviewed as part of the site plan review of individual projects.

A. GDP Classification

- Parkway Residential

B. General Dimensions

1. **Right-of-Way:** 58 feet
2. **Curb-to-Curb:** 32 feet
3. **Median:** No

C. Modes

1. **Vehicles:** Two lanes (one in each direction)
2. **Parking:** Parallel parking lanes (both sides)
3. **Bike:** Shared with vehicle and parking lanes
4. **Pedestrian:** Sidewalk (both sides)
5. **Transit:** None proposed
6. **Low-Speed Vehicles:** Permitted in vehicle travel lanes, if speed is less than 35 mph

D. Landscaping

- See the Design Guide (Section 1.14) for the landscape plant palettes

3.6.4 Regional Trail

A Regional Trail is anticipated to be located on the north side of Main Street. The Regional Trail is designed to be a 10-foot-wide multi-purpose trail (see Figure 3.6) that connects the villages of Otay Ranch. In addition, a Regional Trail is located off site in Village Eight West. The Regional Trail is located on the west side of La Media Road and currently terminates at the northern

boundary of Village Eight West. With the development of Village Eight West, the trail will be extended through the village and connect to OVRP and villages to the east. Residents of Village Four can use the Regional Trail (to the east) via Main Street to connect to the OVRP.

3.6.5 Neighborhood Trail

The Neighborhood Trail connects Main Street to the cul-de-sac of D Street, then connects Villages Four and Eight West. Specifically, the trail begins at Main Street at the boundary between the villages, extends into Village Four up to the northerly single-family cul-de-sac (D Street) in R-1, then southeasterly into Village Eight West. The trail is accomplished through cooperative grading between the villages, which results in lower interior slopes. The intent of the trail is to promote walkability by creating shorter travel distances between neighborhoods and enjoyable recreational opportunities separated from vehicles. The Neighborhood Trail is illustrated on Figure 3.8.

Additionally, should the Village Eight West include a Neighborhood Trail between Main Street and the Community Park, then a connecting trail within Village Four shall be provided, prior to approval of the RM-2 Site Plan.

A. GDP Classification

- Not identified at the GDP level

B. General Dimensions

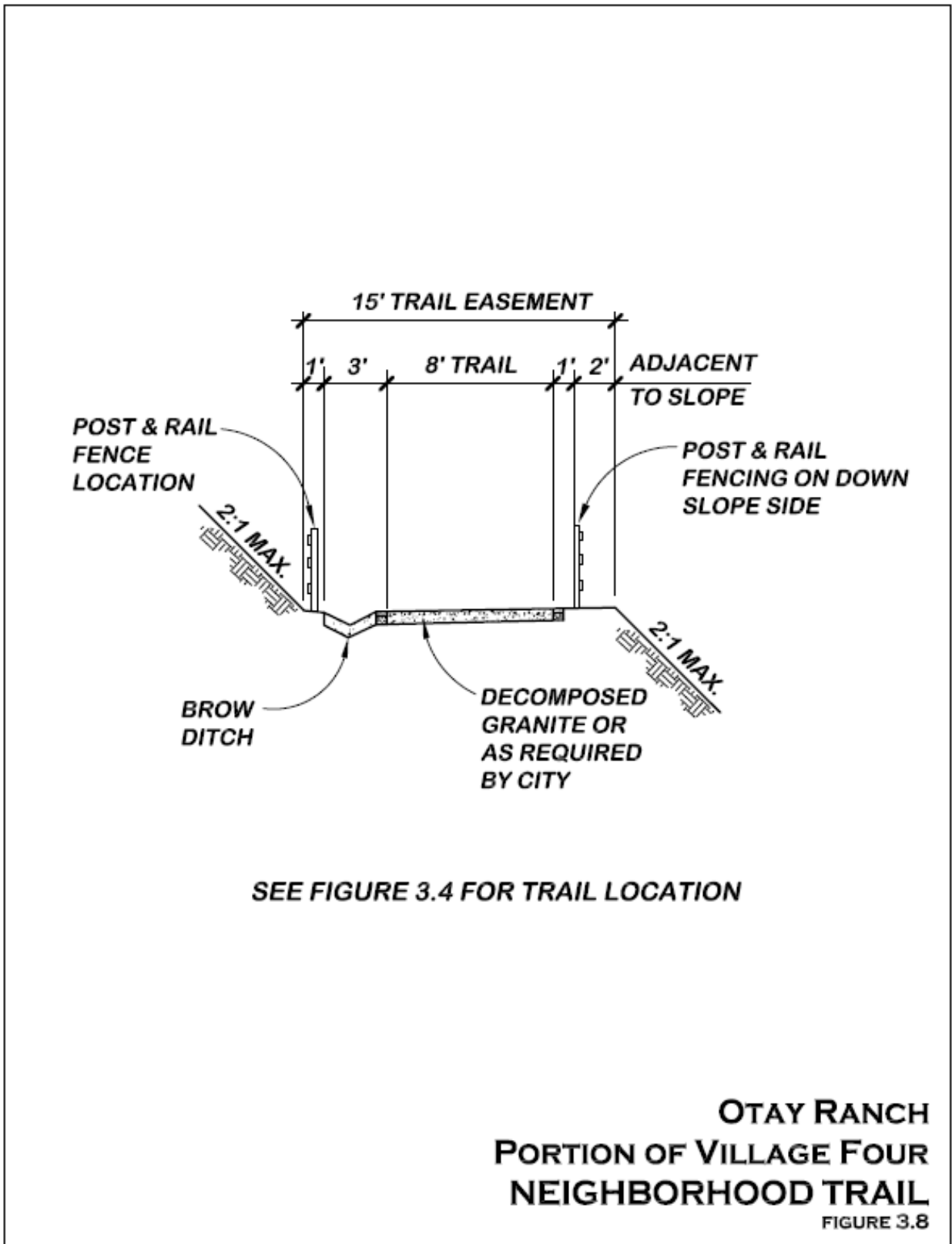
- 8-foot minimum width

C. Modes

1. **Vehicles:** No
2. **Bike:** Yes
3. **Pedestrian:** Yes
4. **Transit:** No

D. Landscaping

- See the Design Guide (Section 1.14) for the landscape plant palettes



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3.7 Accent Trees

Accent trees will be used to reinforce the community character of Village Four. These trees have an informal character and will provide color and a sense of seasons. All accent trees shall be coordinated with the appropriate City departments and shall comply with the Village Four Preserve Edge Plan, and the Village Four FPP.

3.8 Traffic Calming

Traffic calming measures promote pedestrian and bicycle safety as well as vehicle safety by controlling the speed and distribution of vehicles traveling through the SPA Plan area. All proposed traffic calming features shall require City and Fire Department approval prior to installation. Traffic calming measures implemented in Village Four include the following:

A. **Intersection Bulb-Outs**

Intersection bulb-outs are described as intersections where the face of curb is projected into the parking lane to narrow the through travel way at the intersection. Bulb-outs are incorporated into the residential street design by replacing parking at the intersection with sidewalk and planting areas. Specifically, they occur at the intersections of B and D Streets, B and A Streets, and A and C Streets, per Figure 3.9: Bulb-Outs. This configuration creates a narrowing of the travel way and tighter turning movements, forcing the driver to slow down. In addition, bulb-outs improve pedestrian visibility and shorten crossing distances, furthering pedestrian safety.

B. **Narrow, Multi-Modal Streets**

Narrow, multi-modal streets calm traffic by changing the perception of the vehicle driver. Narrow vehicle lanes and the presence of bicycles and buses on the roadways, typically, causes car and truck drivers to reduce speed and drive more cautiously. This creates a safer environment for all modes of transportation, including pedestrians, by heightening the driver's awareness.

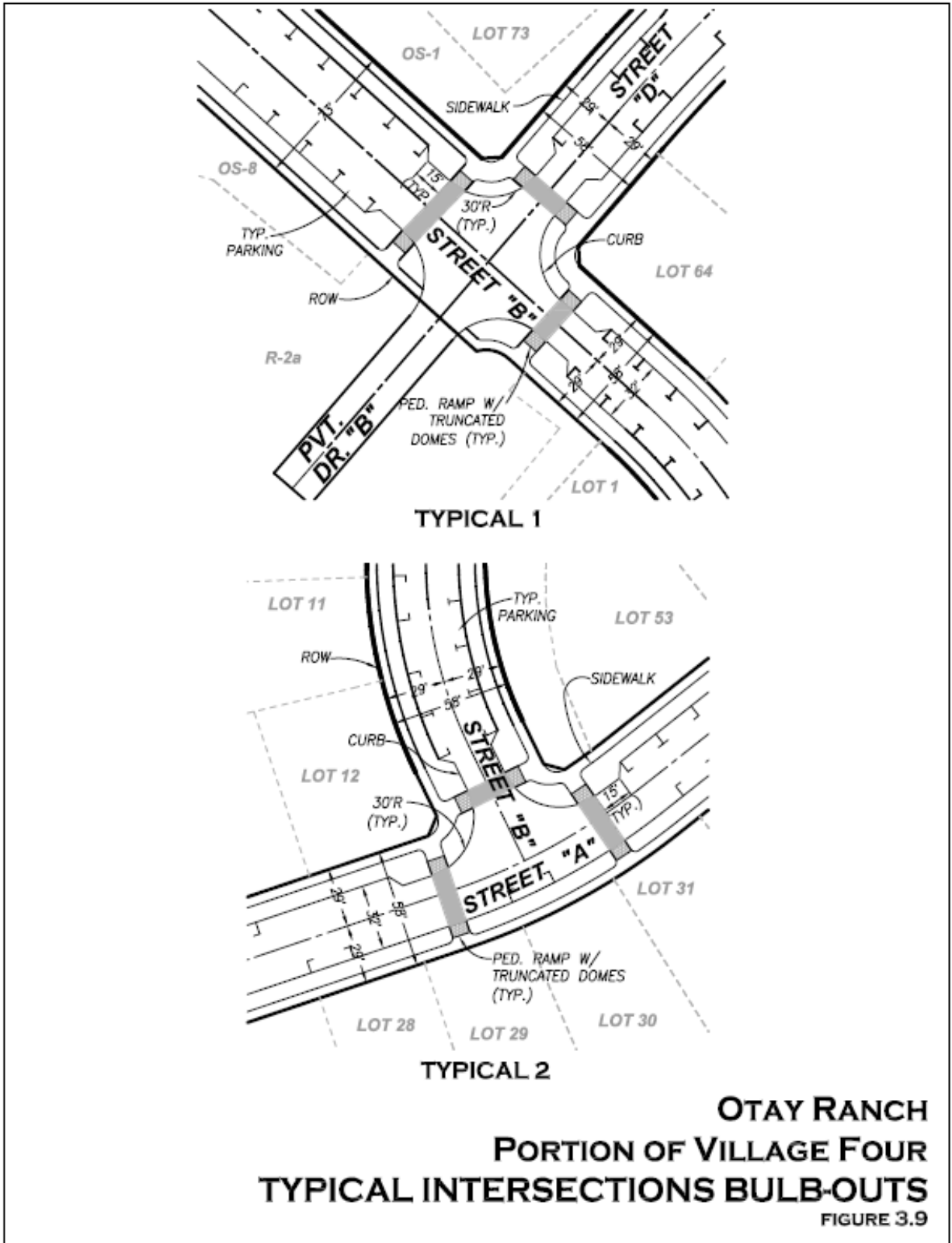
C. **On-Street Parking**

On-street parking contributes to traffic calming by slowing traffic down as drivers search for available parking spaces and enter or leave on-street parking spaces. On-street parking also contributes to pedestrian safety and comfort by creating a buffer between moving traffic and pedestrians, reducing the level of perceived noise on the sidewalk, and reducing the need for alternative parking locations such as surface lots and parking garages. Finally, on-street parking promotes pedestrian activity by providing convenient and efficient access to parking and increased activity tends to require drivers to slow down and be more alert of potential conflicts with pedestrians.

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4 GRADING

4.1 Introduction

The Land Use and Transportation Element of the Chula Vista General Plan states that the mesas, hilltops, and gently rolling topography in the Chula Vista area offer the best conditions for development. Steeply sloped hills and valleys can serve as resources, linking the developed regions and the important natural features in the area. The goal of the Otay Ranch GDP is to concentrate urban development on the flatter areas and retain the sensitive natural topographic features.

4.2 Grading Requirements

In order to ensure that subsequent grading plans manifest the intent of the City's policies regarding landform grading and hillside development, tentative maps, tentative parcel maps, and final grading plans shall be consistent with the grading design concepts of the Village Four Conceptual Grading Plan, and shall adhere to the grading standards and policies described herein.

4.2.1 Otay Ranch General Development Plan

The Otay Ranch GDP also contains specific criteria to guide grading in the overall Otay Ranch area. Final grading designs implementing the SPA grading concept are required to incorporate the following:

1. Grading within the SPA shall be subject to Chapter 15.04: Excavation, Grading, Clearing, Grubbing and Fills of the CVMC.
2. Ranch-wide, there shall be preservation of 83% of the existing steep slopes (property with gradients of 25% or greater) pursuant to Resource Management Plan (RMP) Phase II.
3. Geotechnical investigations shall be provided with each SPA Plan.
4. Grading within each village is intended to minimize earthmoving distances and to facilitate phased grading.
5. Naturalized buffering shall be provided as a transition between development and significant existing landforms.
6. Manufactured slope faces over 25 feet in height shall be varied to avoid excessive "flat planned" surfaces.
7. Variable slope ratios not exceeding 2:1 should be used when developing grading plans.
8. To complement landform grading, landform planting techniques will be used. As in a natural setting, major elements of the landscape are concentrated largely in the concave "drainages," while convex portions are planted primarily with ground cover and minor materials.

4.2.2 Otay Ranch Overall Design Plan

The Otay Ranch Overall Design Plan provides additional guidelines for grading in the project area:

1. When grading in any of the defined scenic corridors, contours shall be carefully modulated and softened to blend with existing natural slopes to create a more natural and irregular appearance.
2. Excessively long, uniform slopes shall be avoided.
3. Contours should be rounded and blended without sharp or unnatural corners where cut or fill slopes intersect a natural canyon or slope.
4. Transitions between new cut and fill slopes and natural slopes should be made by rolling the top or bottom of the new slope to integrate the two conditions.
5. When grading for development or where roadways intersect a natural slope without cut or fill slopes (daylight condition), a rounded top or bottom of the slope should be retained to blend the natural slope with the building pad or road.
6. Create road alignments to meet the natural contours with minimal grading and blending of cut/fill slope with natural topography is required.
7. When feasible, divided roads may be split vertically to soften the impact of grading and to maximize potential scenic views.
8. Landscape graded slopes with native and indigenous plant materials to blend with existing planting when adjacent to new landscaping.

4.2.3 Steep Slope Analysis

The Otay Ranch GDP and RMP establish a Ranch-wide standard for landform modification that 83% of steep slopes (slopes with gradients of 25% or greater) shall be preserved within the Otay Ranch. Based on current data collection and updated modeling results, Otay Ranch contains 9,821 acres of land with gradients of 25% or greater. Applying the GDP/RMP requirement for 83% Ranch-wide steep slope preservation equates to 1,670 acres of steep slopes Ranch-wide that could be impacted.

As depicted in Table 4.1, it is anticipated that if all slopes within the remaining villages to be developed are impacted, approximately 1,680 acres of Otay Ranch's steep slopes will be encroached upon. This is slightly more than the 1,670 acres of preservation required by the Otay Ranch GDP and RMP. However, the estimates assume that 100% of steep slopes within the remaining villages will be developed. It also assumes that Villages Fifteen and Seventeen, which have been purchased by the Wildlife Agencies for conservation purposes, will be developed in the

SPA Plan

future. If acreages for Villages Fifteen and Seventeen were subtracted (560 acres), Otay Ranch would be well under the 83% requirement.

Implementation of the Village Four Land Plan will impact approximately 17.5 acres of steep slopes. The existing steep slopes, slope impacts, and impact table are illustrated on Figure 4.1: Steep Slope Analysis.

Table 4.1
Otay Ranch Steep Slope Impacts

Parcel	Existing Steep Slopes (Slope Gradient $\geq 25\%$)	Steep Slope Impacts (City of Chula Vista)	Projected Steep Slope Impacts (County of San Diego)
Otay Valley Parcel <u>Approved SPA Plans:</u> Villages One and One West, Two, Four (Park Portion), Five, Six, Seven, Eight East, Eight West, Nine, Ten, Eleven, and Planning Area Twelve (Eastern Urban Center and Freeway Commercial) <i style="float: right;">Subtotals</i>	630.9	445.0	—
Portion of Village Four <i style="float: right;">Subtotals</i>	45.0	17.5	—
<u>Remaining SPA Plans:</u> Village Four (Remainder), University, and Planning Areas Eighteen and Twenty <i style="float: right;">Subtotals</i>	50.4	85.6(1)	—
Proctor Valley <u>Remaining SPA Plans:</u> Villages Thirteen, Fourteen, Sixteen, and Nineteen <i style="float: right;">Subtotals</i>	486.3	—	569.7
San Ysidro Mountains <u>Remaining SPA Plans:</u> Villages Fifteen and Seventeen <i style="float: right;">Subtotals</i>	560.1	—	560.1
Outside Development Areas <i style="float: right;">Subtotals</i>	8,048.6	0	0
<i>Ranch-Wide Subtotals</i>	<i>9,821.3</i>	<i>548.1</i>	<i>1,129.8</i>
Ranch-Wide Totals	9,821.3	1,677.9	

Notes:

- Slope impacts are based on best available data including currently proposed projects (SPA Plans/Tentative Maps) and current Otay Ranch GDP/SRP development areas.

4.3 Grading Concept

Figure 4.2: Conceptual Grading Plan provides a preliminary grading concept identifying major slope locations, both on and off-site, required to implement the Village Four SPA. Grading limits

SPA Plan

cannot extend outside the areas shown on the grading plan without further environmental study. However, grading may occur within the MSCP Preserve where it is necessary to support Planned and Future Facilities (e.g. Main Street and the project's sewer improvements). Further details regarding grading impacts within the MSCP Preserve can be found in the project's Biological Technical Report.

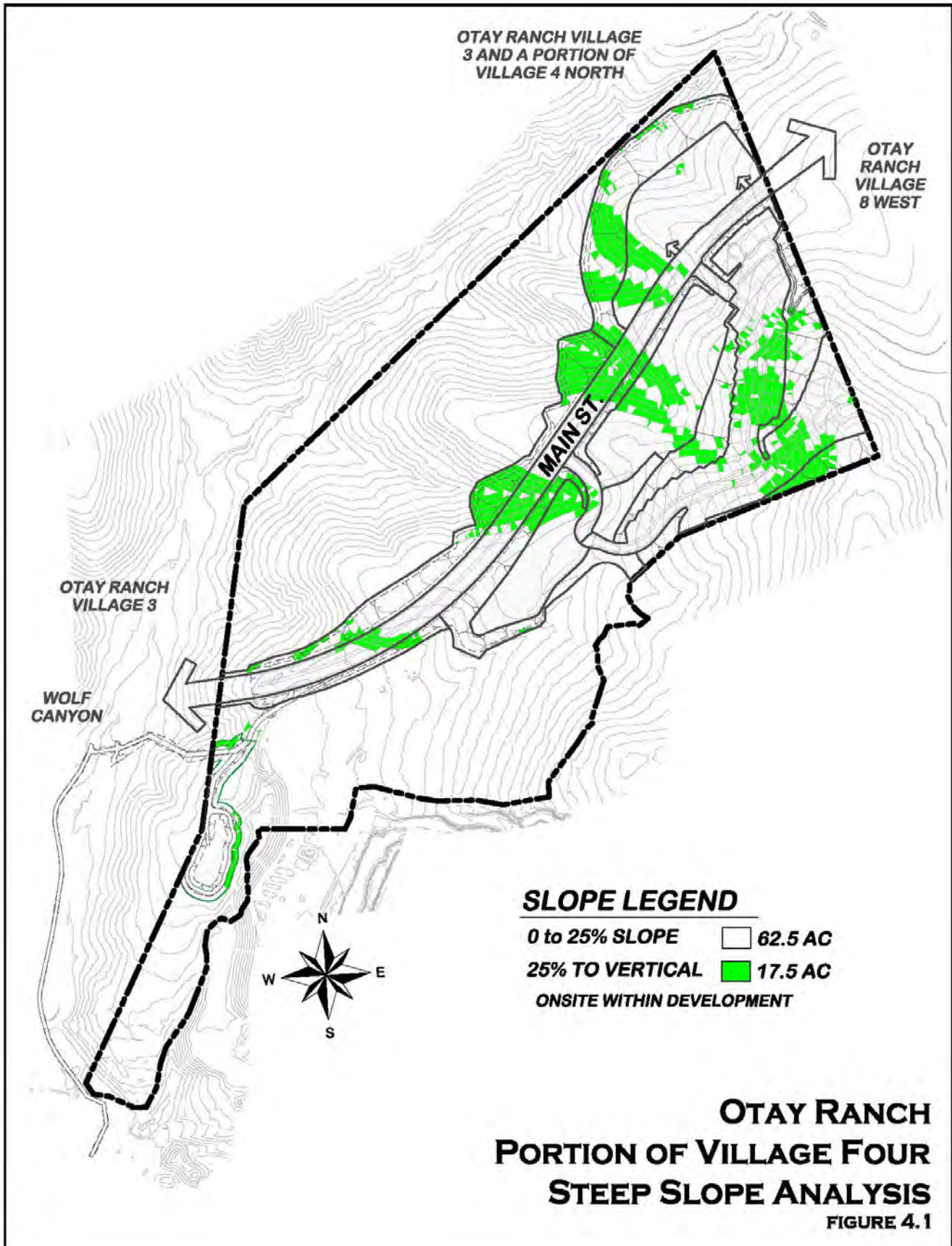
The preliminary grading design is illustrated on the Conceptual Grading Plan. The grading concept is based on the following objectives:

1. Create efficient man-made landforms that visually respond to natural terrain characteristics by including slope gradients that vary along the length of the slope and slopes that undulate horizontally (curvilinear).
2. Avoid slopes in excess of 2:1 gradient and slopes that do not use landform grading in areas that are clearly visible to the public where practical.
3. Create and maintain on- and off-site views in areas where grading will not cause adverse visual, public safety, and environmental impacts.
4. When significant landforms are modified for project implementation, round the landform as much as possible to blend into the natural grade.
5. With the approval of the City Engineer, round the tops and toes of slopes to blend with adjacent topography. When slopes cannot be rounded, use vegetation to alleviate sharp angular appearances.
6. Create usable areas that provide for a variety of residential housing types.
7. Minimize, where feasible, impacts to sensitive areas adjacent to Wolf Canyon and the Otay River Valley.

4.4 Grading Practices

Preliminary soils and geotechnical reports have been prepared for Village Four and have identified the site as being suitable for development. The proposed raw grading quantity for the Village Four project is approximately 1,204,800 cubic yards of cut and approximately 1,069,600 cubic yards of fill material. This raw quantity is exclusive of remedial measures that may be required by the soils engineer. Actual quantities will be based on more detailed engineering at the tentative map, grading plan, and final map stages. Specifically, the "corrective" grading volumes are anticipated to be approximately 1,395,000 cubic yards of cut and approximately 1,135,500 cubic yards of fill. The above grading volumes include the off-site grading for the sewer and storm drain facilities.

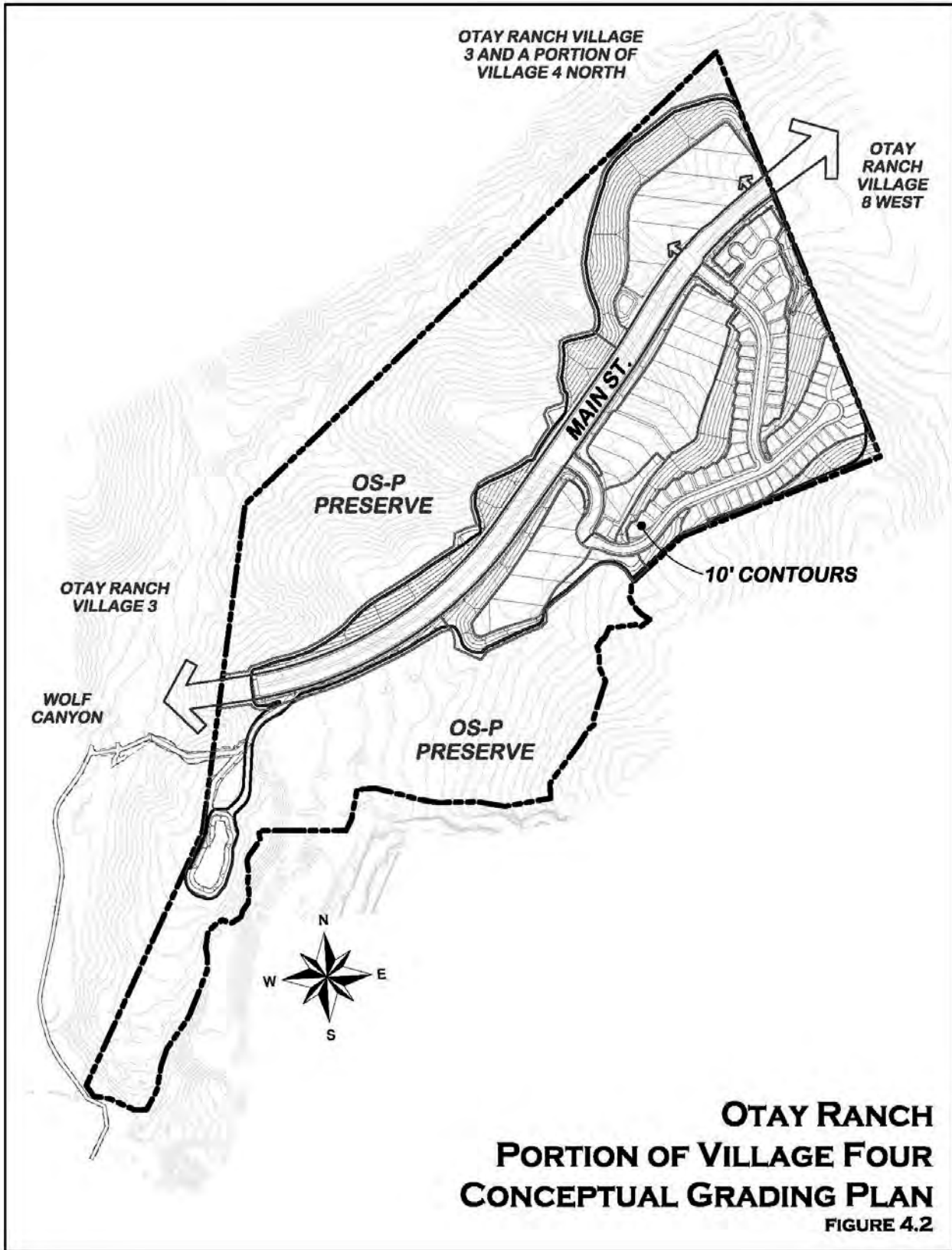
Figure 4.3: Cut and Fill Map illustrates the estimated locations of cut and fill. At no time shall disturbed soil area of the project site be more than 100 acres for an individual grading permit or a



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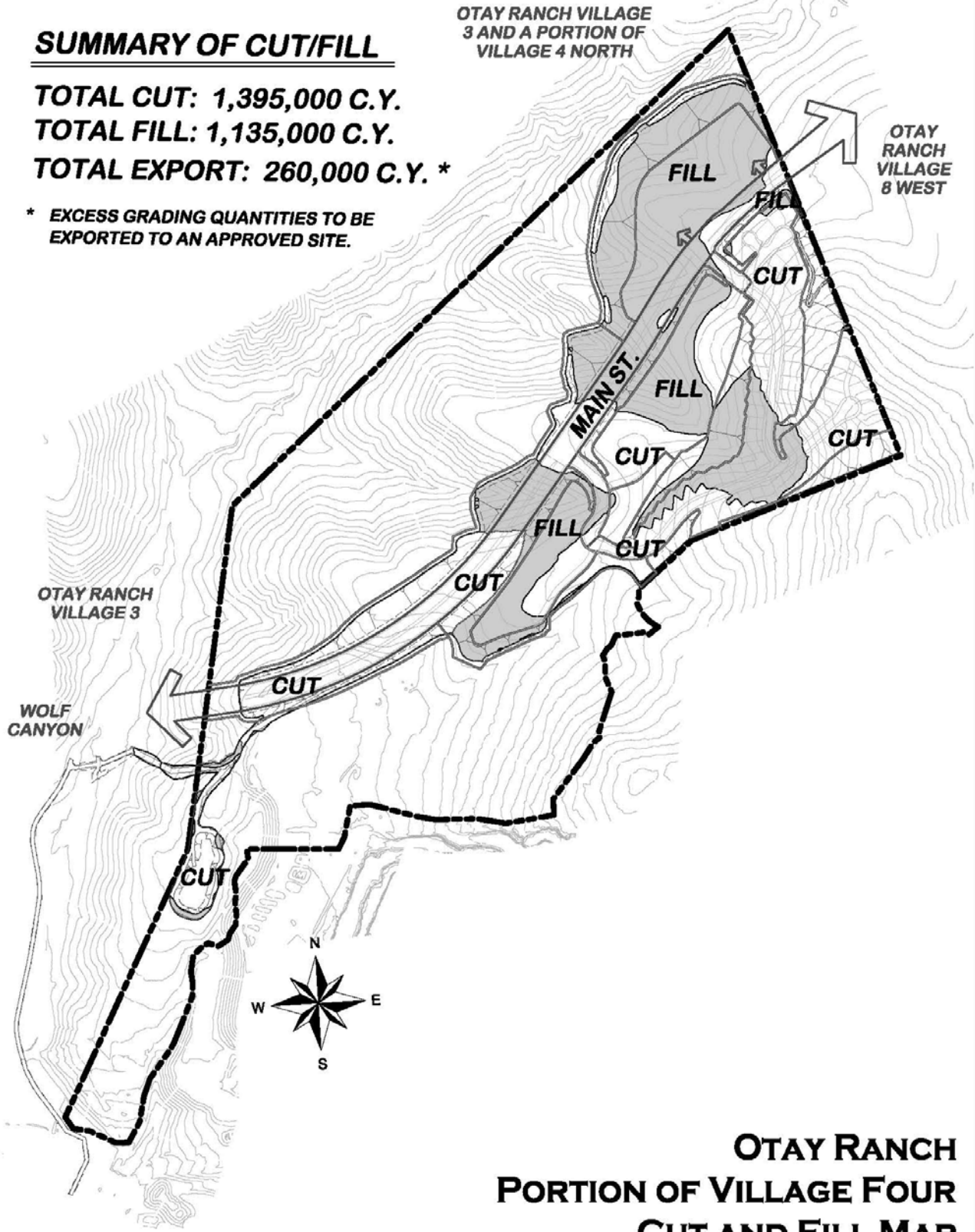
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SUMMARY OF CUT/FILL

TOTAL CUT: 1,395,000 C.Y.
TOTAL FILL: 1,135,000 C.Y.
TOTAL EXPORT: 260,000 C.Y. *

* EXCESS GRADING QUANTITIES TO BE EXPORTED TO AN APPROVED SITE.



**OTAY RANCH
PORTION OF VILLAGE FOUR
CUT AND FILL MAP
FIGURE 4.3**

SPA Plan

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combination of grading permits under associated Tentative Map unless approved by the City Engineer on a case-by-case basis.

4.4.1 Landform Grading

Prior to approval of grading plans, the applicant shall prepare grading in accordance with the Otay Ranch GDP, the General Plan and Grading Ordinance 1797, and CVMC 15.04: Excavation, Grading, Clearing, Grubbing and Fills, which includes slope rounding and blending standards. The plans shall be prepared to the satisfaction of the Director of Development Services and the City Engineer. These plans and guidelines shall provide the following that serve to reduce the aesthetic impacts:

1. Grading concepts that ensure manufactured slopes that are contoured, blend with, and mimic adjacent slopes.
2. Landscape designs that conform to Design Guide Chapter 1.3.2: Perimeter and Interior Slopes.

4.4.2 Erosion Control

Based on actual conditions at the time of construction, control measures such as berms, interceptor ditches, and vegetation will be used to minimize erosion and protect nearby open spaces and watersheds. All control measures will be consistent with BMPs and shall be subject to all applicable federal, state, and local regulations.

Based on actual field conditions, the erosion potential of slopes will be reduced with erosion control measures such as the following:

A. Construction Measures

1. Schedule construction activities to reduce the amount and duration of soils exposed to wind, rain, runoff, vehicle tracking.
2. Preserve existing vegetation to the maximum extent practicable.
3. Apply hydraulic mulch, hydro-seed, soil binders, straw mulch, geotextiles, or wood mulch to disturbed soils until permanent stabilization measures can be implemented.
4. Create temporary earthen dikes and swales to divert run-off from stabilized and disturbed areas.
5. All grading and/or construction activities shall be conducted in accordance with the required mitigation measures outlined in the Environmental Impact Report and associated Mitigation, Monitoring, and Reporting Program prepared for Village Four.

B. Permanent Measures

1. Install berms at the tops of all slopes.
2. Include concrete brow ditches in slope design.
3. Provide energy dissipation devices at storm drain outlet points.
4. Landscape slopes and irrigate appropriately to minimize runoff.

Erosion control will be in accordance with BMPs. Project grading permits will provide assurances acceptable to the City Engineer that landscaped slopes will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slopes that exceed 10 feet in height will be maintained by a homeowners' association (HOA) or a landscape maintenance district.

4.5 Slope Maintenance

All slopes within Village Four shall be maintained to improve the appearance of the community, ensure the long-term stability of man-made slopes, and allow for the continued viability of landscaping as specified by the project's grading permits. Slopes shall be maintained by various entities as follows:

1. Private lots – Private Property Owner.
2. Publicly owned lands with slopes exceeding 10 feet in height – HOA, landscape maintenance district, or a landscape maintenance community facilities district.
3. Publicly owned lands with slopes 10 feet in height or less – City of Chula Vista Community Facilities District.

4.6 Grading Review

Final Maps and Grading Plans will require conformance with the grading concepts and requirements contained in this SPA, and to all applicable City policies and ordinances.

Prior to grading plan approval by the City Engineer, all grading will be subject to the requirements of the CVMC, Grading Ordinance No. 1797, Storm Water Management and Discharge Control Ordinance No 2854, the City of Chula Vista Subdivision Manual, Design and Construction Standards of the City of Chula Vista, San Diego Area Regional Standard Drawings, and Standard Specifications for Public Works Construction.

Prior to issuance of any land development permits including clearing, grubbing, and/or grading, the project proponent shall also comply with applicable mitigation measures outlined in the

SPA Plan

Environmental Impact Report and the associated Mitigation, Monitoring, and Reporting Program prepared for Village Four.

5 PARKS, OPEN SPACE, AND TRAILS

5.1 Introduction

This chapter serves as the Parks, Open Space, and Trails Master Plan required by the Otay Ranch GDP. The Parks, Open Space, and Trails Master Plan addresses the GDP requirements relative to parks, open space, and trails related to the Village Four SPA. This plan implements the goals, objectives, policies, and implementation measures of the GDP and the City of Chula Vista Parks and Recreation Master Plan. The Village Four open spaces define the community's character while raising the quality of life for both residents and visitors. Trails linking these open space areas are discussed in Chapter 3: Circulation and Corridor Design.

The City of Chula Vista requires a variety of parks, recreational uses, and open spaces to preserve natural resources and meet the social and recreational needs of the community. Permitted uses for the open space areas are discussed in Chapter 2 of the P-C District Regulations. Open space areas are subject to the zone requirements for Open Space Preserve (OSP) and Open Space (OS). This section also describes in detail the requirements for parks, open space, and slopes and relates how these requirements have been met through this SPA Plan.

5.2 Regulatory Framework

The provision and implementation of parks and open space in the SPA Plan area is regulated by the following:

Chula Vista Municipal Code – SPA Plans

Section 19.48.090 (P-C – Planned Community Zone) of the CVMC establishes Sectional Planning Area Plans, Requirements, and Content. Subsection C.1 requires the following information to be contained in a SPA site utilization plan:

- Land Use
- Parks
- Open Space

Chula Vista Municipal Code – Park Lands and Public Facilities

Chapter 17.10: Parklands and Public Facilities of the CVMC establishes the requirements for dedication of land, development of improvements, parkland criteria, in-lieu fees for land dedication and development improvements, commencement of park development, and collections and distribution of park fees.

SPA Plan

Otay Ranch GDP

The Otay Ranch GDP requires specific identification of park, recreation, and open space provisions at the SPA Plan level. The SPA requirements are:

- Provide a Parks Master Plan.
- Identify and reserve specific sites.
- Identify equipment needs.
- Identify alternative financing methods.
- Identify alternative maintenance entities and funding.
- Identify phasing.
- Identify plans for the use of reclaimed water, as appropriate.
- Review need for special purpose parks.

Otay Ranch Goals and Policies

The Otay Ranch parks and recreation goals, objectives and policies provide for a variety of parks and recreation amenities. Otay Ranch provides the opportunity for a full range of passive and active recreational opportunities both locally and on a regional basis. Otay Ranch GDP goals, objectives, and policies related to park and recreation facilities include the following:

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Policy: Provide local and regional trails which run through and/or connect open space areas in: Otay River Valley, Poggi Canyon, Wolf Creek Canyon, Salt Creek Canyon, Mt. Miguel, Jamul Mountain, Otay Mountain, Otay Lakes and BLM Land.

Policy: Encourage joint use of utility easements with appropriate and compatible uses, including, but not limited to, open space, agriculture, parking, and trails.

Objective: Maximize conservation, joint uses, and access and consider safety in the design of recreational facilities.

SPA Plan

- Policy:** Commercial recreation opportunities may be permitted within Town Square, community and regional parks to generate revenue to defray park operational expenses.
- Policy:** Utilize conservation measures including reclaimed water, efficient irrigation systems, and drought tolerant plant material in the development of public and private parks where allowed.
- Policy:** Minimize park operation and maintenance costs and identify funding sources for continued operation and maintenance of all Otay Ranch park, and open space land.
- Objective:** Provide neighborhood and Community Park and recreational facilities to serve the recreational needs of local residents.
- Policy:** Provide a minimum of 3 acres of neighborhood and Community Parkland (as governed by the Quimby Act) and 12 acres per 1,000 Otay Ranch residents of other active or passive recreation and open space area.
- Policy:** Encourage the design of park sites adjacent to public schools and other public lands where co-location of facilities is feasible. Joint use agreements with school districts are encouraged.”

Open space lands indicated on the Village Four Site Utilization Plan (see Figure 2.2) will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to an HOA. Uses will be strictly controlled through the P-C District Regulations. This SPA Plan adheres to the following adopted Otay Ranch GDP policies that guide the design of open spaces:

- Natural open space areas adjacent to Wolf Canyon identified on the GDP/SRP Land Use Map shall be preserved outside of individual private lots. Natural open space character along the canyon shall be based upon the concepts developed in the Overall Ranch Design Plan and revised in the Village Design Plan for this village.
- Pedestrian trails shall link the village to the Otay Valley Regional Park.
- Contour grading shall be required adjacent to Wolf Canyon. Landform grading guidelines shall be developed as part of the Overall Ranch Design Plan and will be further refined in the Village Design Plan at the SPA level.

Chula Vista Parks Master Plan

The Chula Vista Parks Master Plan contains goals and policies that serve as the blueprint for creating a quality park system. The Plan establishes goals for the creation of a comprehensive

SPA Plan

parks and recreation system that meets the needs of the public by effectively distributing park types and associated recreation facilities and programs throughout the City.

Chula Vista Greenbelt Master Plan

The Chula Vista Greenbelt Master Plan implements an open space and trails concept which consists of connected open space surrounding the City of Chula Vista that includes the Sweetwater Valley and Otay Valley, connected by the Otay Lakes on the east and the San Diego Bay on the west. A primary trail system within the Greenbelt will consist of multi-use and rural paths which will total approximately 28 miles surrounding the City. The Greenbelt Master Plan addresses existing and potential trail locations, trail, and staging area development standards and maintenance responsibilities. Portions of the Greenbelt include open space conservation areas established through the MSCP Program and the San Diego National Wildlife Refuge.

Otay Valley Regional Park Concept Plan

The OVRP is a multi-jurisdictional planning effort by the City of Chula Vista, County of San Diego, and City of San Diego. The OVRP will provide residents and visitors recreational opportunities ranging from playing fields and picnic areas to hiking, biking, and horse trails while protecting open space, wildlife, historic, agricultural, and archaeological resources. The OVRP links south San Diego Bay with Upper and Lower Otay Lakes.

The OVRP Concept Plan was adopted in 2001 and provides policy direction to the jurisdictions for coordinated land acquisition and development of the regional park within this framework of private property rights. The Concept Plan does not change existing zoning, land use plans or add new development regulations. In addition, it does not preclude private development. The OVRP Concept Plan does not call for specific types of recreational development or provide detailed design plans for specific areas. These development decisions will be made as master plans and site specific development plans such as SPA Plans are prepared. Village Four connects to the OVRP through Village Eight West, which has a direct trail connection to OVRP.

SPA Plan Public Facilities Finance Plan

The Municipal Code establishes, as a condition of SPA approval, the preparation of a Public Facilities Finance Plan (PFFP). The PFFP must show how and when facilities and services necessary to accommodate the development will be installed and financed, including a phasing schedule to ensure that facilities are provided in a timely manner and that one area will not use more than the area's fair share of facility or service capacity.

SPA Plan

Entitlement Documents

Park, recreation, and open space provisions are further defined as development entitlements are processed as follows:

Tentative Map Requirements

- Identify funding for local parks and determine a schedule for the payment of PAD fees
- Review existing or proposed trails on adjacent properties to ensure linkages

Subdivision Landscape Master Plan Requirements

- Include all principal landscape design concepts (same size/scale as Tentative Map)
- Include all open space and trails
- Identify ownership and maintenance responsibilities

Final Map Requirements

- Assure funding for local parks
- Implement design guidelines

Building Permit Requirements

- Pay impact fee

5.3 Park Requirements

According to the Otay Ranch GDP and the Quimby Act, this Portion of Village Four is obliged to provide 3 acres of parkland for every 1,000 residents. (see Table 5.1).

**Table 5.1
GDP Park Obligation**

Unit Type	Target Number of Units	Park Area/DU	Total Acreage
Single Family	73	460	0.77
Multi-Family	277	341	2.17
Total	N/A		2.94

N/A = not applicable.

In Village Four, the park obligation is addressed by the payment of the Park In-Lieu fee per CVMC Chapter 17.10: Parklands and Public Facilities, Section 17.10.120. These contributions cover the entire

SPA Plan

Village Four SPA park obligation. Actual park acreage requirements will be based on the number of residential units (and projected population) approved on all Village Four final maps.

The City of Chula Vista Parks and Recreation Master Plan establishes goals for the creation of a comprehensive parks and recreation system that meets the needs of the public by effectively distributing park types and associated recreation facilities and programs throughout the City. Consistent with the Parks and Recreation Master Plan, the Otay Ranch GDP identifies a large-scale Otay Ranch Community Park within the western sector of the Otay Ranch Otay Valley Parcel. Partially located within Villages Two, Four, and Eight West, the Otay Ranch community park represents the aggregation of park obligation from area villages.

City of Chula Vista Landscape Manual

Part Three of the Chula Vista Landscape Manual addresses the requirements and criteria of public projects, including parks, open space, and streetscapes (whether a City Public Works project or a private “turnkey” project). The Landscape Manual provides the requirements for submittals, graphics and standards, design standards and criteria, landscaping, irrigation and trails. The Landscape Manual requires the preparation of concept plans, master plans, design development, construction documents, and maintenance responsibility maps for parks, public open space, and streetscapes (medians and parkways).

SPA Plan

The Otay Ranch GDP requires that the SPA-level planning define the location, acreage, and boundaries of neighborhood and Community Parks and open space. The PFFP further analyzes and determines park requirements and phasing. As noted above, the Park requirement for the Portion of Village Four SPA is 2.9 acres, which will be satisfied through the payment of an in-lieu fee as specified in the PFFP.

5.4 Village Park and Recreation Program

The Otay Ranch Parks and Recreation Facility Implementation Plan (adopted by the City Council on October 28, 1993) identifies the parks facility improvement standards for Otay Ranch. The City of Chula Vista Recreation Department and Parks Division of Public Works Department conducted subsequent facilities needs assessments and proposed some modifications to the adopted Otay Ranch Plan. This SPA Park Master Plan strives for consistency with the Otay Ranch Plan and the current proposed plans and policies of the Parks and Recreation Department. This SPA Park Master Plan identifies the proposed types, quantities, and location of the facilities provided at each park site in the SPA Plan area. In addition to identifying specific facility needs and requirements, the goal of the SPA Park Master Plan is to describe the elements necessary to ensure a rich variety of recreational opportunities, while satisfying identified recreation needs. The variety of recreational elements proposed and the recreational opportunities envisioned are discussed below.

5.4.1 Recreation

The village concept organizes land uses to create a cohesive, pedestrian friendly community, encourage non-vehicular trips and foster interaction between residents. The SPA Park Master Plan provides a variety of recreational opportunities to support the village concept. The recreational plan is based on the following principles:

- Recreation standards such as total parks and recreation acreage, minimum park size, and facility design shall conform to the City of Chula Vista requirements.
- Progressive parks and recreation concepts shall be employed with programs tailored to people rather than people to programs.
- Standards for size and design of activity areas and facilities shall be reviewed periodically and adapted to the changing needs of the population served.
- Logical site selection criteria to distinguish between “Community” and “Neighborhood” Parks. Recreational considerations such as active versus passive, big-muscle versus small motor muscle, family-oriented versus adult-oriented shall be considered in the context of overall land planning.
- Ownership and maintenance responsibilities for parks and recreation facilities within the villages shall be analyzed to appropriately reflect areas of benefit, public funding limitations and fiscal impact.
- Major parks and recreation facilities shall be linked by a trail system for pedestrians and bicycles.

To the extent practical, Community and Neighborhood Parks shall be located near school sites to increase the potential for shared use of facilities. Joint planning and design of adjacent school/park facilities is encouraged. Village Four will pay an in-lieu fee for parks.

Parks and Recreational Activity Categories and Accommodations

A variety of recreation opportunities contribute to the quality of life of residents of Village Four and the Otay Ranch community. The following is a list of recreational activity categories that will be provided through recreational programming in the village and the Otay Ranch parks and recreation system:

- Big muscle (playground equipment, sports fields, aquatic facilities, tennis, wheeled sports)
- Nature learning (hiking, bird watching, environmental education)
- Hand-intellect (art/crafts and scientific activities, vocational/special interest classes)

SPA Plan

- Informal play (open space play areas)
- Creative play (adventure playgrounds, specially equipped parks)
- Informal social activities (conversation areas, informal seating arrangements)
- Relaxation (hobby-oriented such as fishing, gardening and picnicking)
- Rhythm and music (indoor and outdoor facilities for live music and dancing/classes)
- Drama (performance facilities/classes)
- Social activities (neighborhood group, social dance, club meeting facilities) Service (volunteer program, club, committee meeting facilities)
- Accommodations for recreational activity for Village Four residents will be provided through the following parks and recreational facilities:

Regional Park

Regional parks may include recreational activities such as riding and hiking trails, picnic areas, golf course, active and informal play areas, and natural open areas. The OVRP, located south of Village Four and the Otay Valley Quarry, is planned to include a trails system, including the Chula Vista Greenbelt Trail, and active recreation and staging areas. Trail access to OVRP will be through Village Eight West.

Active Recreation Areas

Active recreation areas are identified in the OVRP Concept Plan and the Chula Vista MSCP Subarea Plan. The areas outside the MSCP and Otay Ranch Preserve with are suitable for more active recreational opportunities. There are no Active Recreation Areas within the Village Four SPA boundaries.

Community Park

Recreational facilities in Community Parks include lighted ball fields and courts, recreation complexes (buildings and swimming pools), security lighting and areas for children's play, informal play, and picnicking. A Community Park is provided north of Village Four on the west side of La Media Road and incorporates connections to the Chula Vista Greenbelt trail system.

Neighborhood Park

Recreational facilities may include ball fields and lighted sport courts, security lighting children's play equipment/tot-lots, informal play and picnic areas. Neighborhood parks are available in the adjoining villages.

SPA Plan

Private Recreation Facilities

Private recreation facilities emphasize informal social and recreational activities. Facilities may include informal play areas, tot lots and seating areas. The Private Recreation Facilities may be credited as Community Purpose Facilities (CPF), and as such, are described in the CPF Master Plan provided in Chapter 6 of this SPA Plan.

Town Squares

Town squares are the focal points of the neighborhood Village Cores and provide the opportunity to create social centers in the villages. Facilities may include plazas or open areas for village events and performances, seating areas, tot lots and play areas. Village Four does not follow the traditional Otay Ranch village plan and is composed of residential uses; therefore, it relies on the town square in Village Eight West.

Public Schools

Public school buildings and outdoor play areas provide an opportunity for recreational activities within a village. The location of schools adjacent to parks enhances both uses and may allow for shared use of facilities. Village Four is largely composed of residential uses; therefore, it relies on the public schools in the adjoining villages.

Commercial Centers

Commercial areas within a village can provide recreational opportunities in the form of outdoor seating and eating areas. Businesses such as cafes, bookstores, and bike shops promote leisure and recreational activities. Village Four is largely composed of residential uses; therefore, it relies on the commercial centers in the adjoining villages.

Community Purpose Facilities

Recreational activities that serve the village may be provided by a CPF such as a church, Boys and Girls Club, or similar non-profit entity. Facilities may include swimming pools, senior or teen centers, and meeting rooms. Village Four has a Master CPF Plan.

Private Open Space

Private Open Space areas are intended to serve residents in neighborhoods where individual lots may not meet the minimum Private Usable Open Space or common usable open space requirements identified in the P-C District Regulations. Facilities may include, but are not limited to, open lawn areas, ball fields and courts, tot-lots/play areas, picnic areas, paseos, and swimming pools.

SPA Plan

Paseos

Paseos are intended to provide pedestrian and/or bicycle linkages through residential neighborhoods to the Village Trail/Maintenance Access Road network. Paseos typically include a wide, meandering walkway with landscaping on both sides. Village Four does not include any paseos.

Common Usable Open Space

Common Usable Open Space sites, as defined in the P-C District Regulations, may be sited within multi-family and single-family neighborhoods. These sites will be designed with recreational uses including both passive (landscaping) and active amenities (tot-lots, picnic areas, etc.).

Trails

Special pedestrian and bicycle routes, including the Chula Vista Regional Trail, Greenbelt/OVRP, Greenbelt Connector, Village Pathway, Village Trail/Maintenance Access Road, and Promenade Trail provide opportunities for expanded recreation and for conveniently traveling to parks or other recreational sites within a village. Village Four includes a Regional Trail and Neighborhood Trail, which connect to the adjacent villages and the Region.

5.4.2 Trails and Bicycle Routes

The SPA Plan area has been designed to accommodate the trails program described in the Otay Ranch Overall Design Plan, the OVRP Concept Plan, and the City's Greenbelt Master Plan. This SPA plan recognizes that the provision of bicycle and pedestrian circulation is fundamental to creating an urban village. All circulation elements within the SPA Plan area have been located and designed to be as accessible as possible, however, the off-street trails contain steep topography that may limit bicycle travel. The Trails Plan is illustrated in Chapter 3: Circulation and Corridor Design, of this SPA Plan.

5.4.3 Open Space

In accordance with the Otay Ranch RMP, the development of each Otay Ranch Village requires an open space (OSP) contribution to the Otay Ranch Preserve. The Otay Ranch GDP defines the requirement as equal to 1.188 acres of open space conveyance per acre of development less the acreage of “common use lands”; i.e., local schools, parks, arterial roads, and other lands designated as public use areas. Therefore, the residential districts, non-arterial roadways, and slopes are considered “development areas” and are subject to the calculation of the conveyance lands. At 1.188 acres of conveyance per developed acre, the anticipated conveyance obligation for Village Four is approximately 68.90 acres (gross), as shown in Table 5.2. This acreage is an estimate only; actual acreages shall be determined at the time of Final Map.

SPA Plan

**Table 5.2
Estimated Conveyance Obligation**

Village Four	Acres (Gross)
Village Four Total Acres	166.02
<i>Common Use Lands</i>	
Preserve Open Space	97.20
Main Street (Arterial Roadway Rights-of-Way)	10.82
Total Common Use Lands	108.02
Development Area	58.00
Per Acreage Conveyance	x 1.188
Village Four Conveyance Obligation	68.90*

* Note: Actual preserve conveyance obligation to be determined by the City Engineer at Final Map.

Approximately 97.20 acres of Open Space Preserve (Parcels OS-7, OS-10, OS-11, and OS-12) are available on site for conveyance obligation; however, 80.29 acres of the Preserve are obligated as conveyance land to satisfy the Quarry Reclamation plan requirements. The Quarry is obligated to convey 89.79 acres to satisfy the Quarry Reclamation Plan requirements, of which 9.5 acres are within the boundary of the Quarry, and 80.29 acres are within this Open Space Preserve Area. Therefore, only 16.91 acres are available for on-site conveyance into the MSCP Preserve with the Village Four SPA and Tentative Map/Final Map. The remaining conveyance obligation acreage (approximately 51.99 acres) will be provided off site in Village Fourteen, in accordance with the RMP requirements concurrent with recordation of the Final Map. Section 3.3 of the P-C District Regulations provides design standards for open space preserve areas within the SPA.

An additional 9.98 acres of open space is provided as perimeter slope (OS-6 and OS-9) and consists of the Preserve Edge. The actual location of perimeter slopes, internal slopes, and the Preserve Edge is shown on the tentative map which is being concurrently processed and will be provided on Final Map(s).

Open Space Preserve

Open Space Preserve includes all land designated as OSP (lot OS-7 and lots OS-10 through OS-12), which will be dedicated to the Preserve Owner/Manager composed of the City of Chula Vista and the County of San Diego. Land use and design of these areas is regulated by the MSCP Subarea Plan, the RMP, and as discussed in this chapter. These areas are intended to remain unimproved, with any uses highly restricted. Vegetation will consist of native plants that already occur on site. The Preserve Owner/Manager is responsible for overseeing the day-to-day and long-range preserve management activities within the MSCP Preserve in accordance with the Otay Ranch RMP.

Planning Area	Gross Acres
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SPA Plan

OS-7 and OS-10 – OS-12	97.20
Total	97.20

Appropriate Amenities and Facilities

Only under limited circumstances may certain amenities and facilities, as determined by the City to be compatible with the goals and objectives of the City’s MSCP Subarea Plan and Otay Ranch RMP, be permitted within the Preserve. Any proposed amenities or facilities within the Preserve shall be subject to the prior review and approval of the Director of Development Services.

Perimeter Slopes

Perimeter slopes refer to the slopes that occur at the edges of development within the SPA (lots OS-6 and OS-9). The portions of these slopes that are located within 100 feet of the MSCP Preserve are part of the Preserve Edge (see Appendix D) and shall be subject to the requirements of Appendix D: The Village Four Preserve Edge Plan. The intent of the Preserve Edge is to create a buffer zone between proposed development and the Otay Ranch Preserve, thereby protecting the Preserve from human activity and non-native species. This area also includes dedicated right-of-way for a future access road to the OVRP, and perimeter slopes shall be subject to the following requirements:

Planning Area	Gross Acres
OS-6 and OS-9	9.98
Total	9.98

A. *Appropriate Amenities and Facilities*

1. No structures other than walls and fences are permitted; all walls and fences shall be built and landscaped to minimize visual impacts to the Preserve, OVRP, public rights-of-way, and views to open space.
2. Amenities and facilities within the Preserve Edge shall be restricted to types that are least likely to impact adjacent biological resources as further described in the Village Four Preserve Edge Plan (Appendix D).

B. *Landscaping*

1. The plant list contained in the “Wildland/Urban Interface: Fuel Modification Standards” Appendix L of the City’s MSCP Subarea Plan must be reviewed and used to the maximum extent practicable.

SPA Plan

2. Within the Preserve Edge, plants shall consist of those specified within Appendix D: The Village Four Preserve Edge Plan.
3. Plants shall have an informal character consistent with neighboring planning areas.
4. Planting techniques such as clustering of trees and shrubs shall be used to screen or breakup large slope areas.
5. Native and drought-tolerant species are preferred.
6. Turf shall not be permitted.
7. See CVMC Chapter 20.12: Landscape Water Conservation Ordinance.
8. Landscaping shall be designed to minimize erosion, stabilize slopes, and provide a buffer between development and the MSCP.
9. Grading techniques shall conform to the requirements of Chapter 4 of the SPA Plan (Grading).

C. *Paving and Surfaces*

1. All grading of trails shall meet the requirements set forth in Chapter 4 of the SPA Plan (Grading).
2. Trails shall be constructed of stabilized decomposed granite; asphalt concrete may be used where appropriate.

D. *Lighting*

1. Lighting shall be limited to pathways and trails as required for safety.
2. Lighting shall be designed to minimize impacts to nearby residential neighborhoods and open space.
3. Neighborhood trails are not required to provide lighting except as determined by the Director of Development Services.

Interior Slopes

Interior Slopes refers to the manufactured slopes that occur at the edge of roadways and between planning areas. Although some slopes have been identified in this plan, the actual location and design of these slopes is shown on the tentative map which is being concurrently processed and mapped on final map(s) for individual planning areas. These lots include OS-1 through OS-5, OS-8, and a portion of OS-6. Regardless of zone, all interior slopes shall be subject to the following requirements:

SPA Plan

Planning Area	Gross Acres
OS-1, OS-2, OS-3, OS-4, OS-5, and OS-8	10.20
Total	10.20

A. *Appropriate Amenities and Facilities*

1. Trails and supporting uses such as benches and signage.
2. No structures other than walls and fences are permitted.

B. *Landscaping*

1. Plants shall have an informal massing/character consistent with neighboring planning areas (see the Design Guide, Section 1.3.2 (Interior Slope Trees)).
2. Planting techniques such as clustering of trees and shrubs shall be used to screen or break up large slope areas.
3. Native, low-water-use, and drought-tolerant species are preferred.
4. Turf shall not be permitted.
5. Landscaping shall be designed to minimize erosion and stabilize slopes.
6. Grading techniques shall conform to the requirements of Chapter 4 of the SPA Plan (Grading).
7. See CVMC Chapter 20.12: Landscape Water Conservation Ordinance.

C. *Paving and Surfaces*

1. All grading of trails shall meet the requirements set forth in Chapter 4 of the SPA Plan (Grading).
2. Trails shall be constructed of Decomposed Granite; asphalt concrete may be used where appropriate.

D. *Lighting*

1. Lighting shall be limited to pathways and trails as required for safety.
2. Lighting shall be designed to minimize impacts to nearby residential neighborhoods.
3. Neighborhood trails are not required to provide lighting except as determined by the Development Services Direct

Ownership, Funding and Maintenance

All slopes outside of the public right-of-way and the Otay Ranch Preserve will be owned and maintained through a HOA.

5.5 Ownership and Maintenance Options

The following are options for ownership and maintenance of park, open space and trail facilities in the SPA Plan area.

Homeowners Association

Facilities not maintained by private property owners or a public agency will be maintained through a Homeowners Associations (HOA). HOA maintained areas will include common areas, common slope areas, common open space, private parks, entry landscaping, walls facing the public right-of-way, trails, storm water pollution prevention facilities, and the plantable retaining wall along Main Street. Certain public facility areas may also be included, as determined by the Director of Public Works, such as detention basins and enhanced median and parkway landscaping in the public right-of-way.

Public Agency Maintenance

The Director of Public Works will determine which facilities will be maintained by the City General Fund and which facilities would be more appropriately maintained by another public entity and/or HOA.

City of Chula Vista, General Services Department

Public streets, walks, parkways and trails which are located on public land and drainage structures other than those designed as swales or brow ditches will be the maintenance responsibility of the Chula Vista Public Works Department (unless maintained by an HOA on the approved landscape master plan).

5.6 Phasing

Open Space

Open spaces adjacent to the major surrounding streets will be phased with street construction. All slopes and other open spaces will be implemented in conjunction with adjacent development. Conveyance of the RMP land will comply with the Phase 2 RMP policies requiring conveyance of 1.188 acres of preserve land for every acre of development area. This conveyance will occur prior to or concurrent with approval of final maps.

SPA Plan

Trails

Trails will be phased in conjunction with adjacent development, including street and slope construction.

6 COMMUNITY PURPOSE FACILITY, SPECIAL USES, AND CONDITIONS

6.1 Purpose

The CVMC Chapter 19.04.055: Definitions: Community purpose facility states that “Community Purpose Facility” means “a land use designation in a planned community intended for nonprofit and certain for-profit land uses.” The list of allowed uses are contained in CVMC 19.48.025 C. CPF sites shall be developed pursuant to the provisions in CVMC Section 19.48.025.

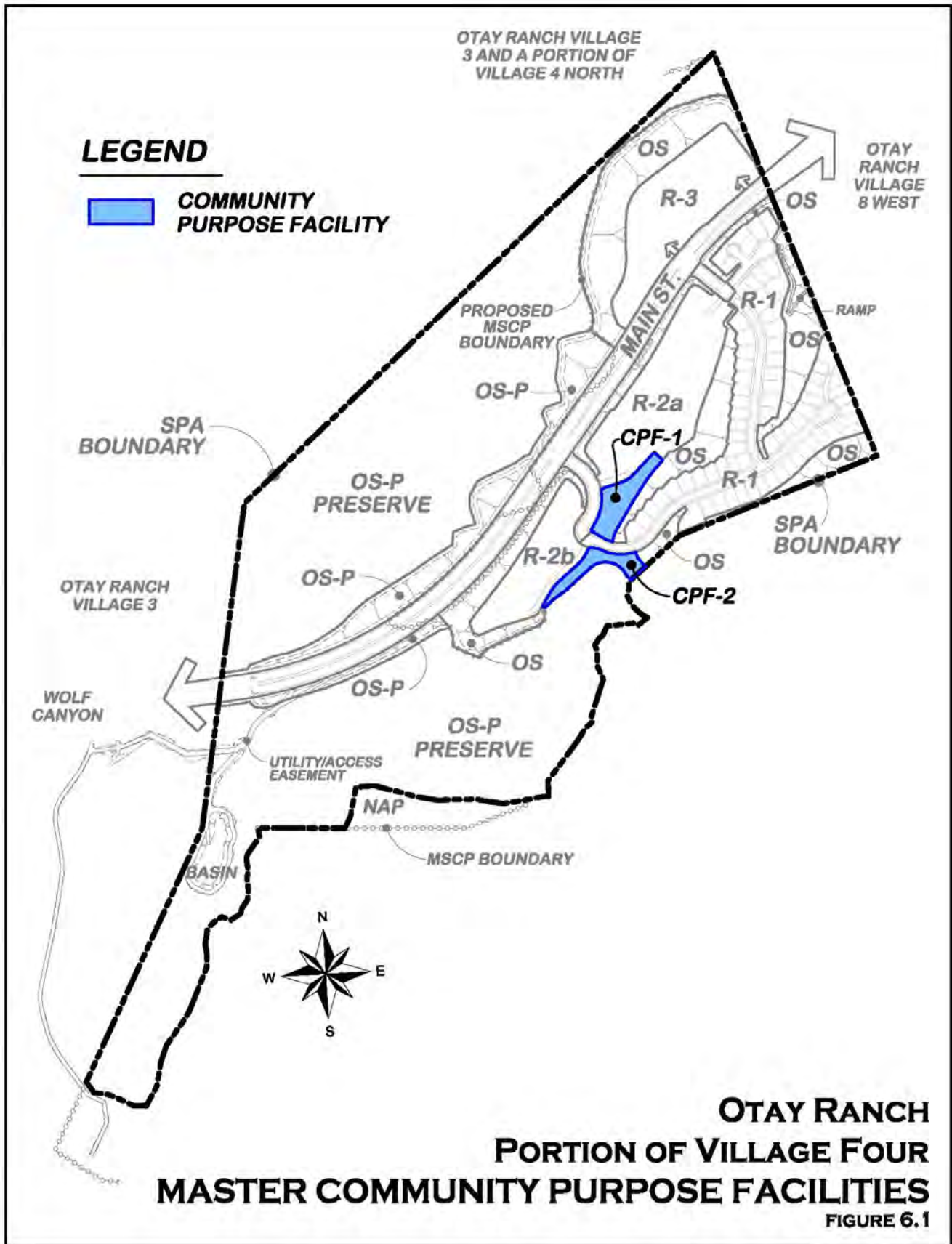
Pursuant to CVMC Section 19.48.040(B)(6) (P-C – Planned Community Zone: Application – General development plan required – contents required), “a CPF Master Plan is required” and “shall show the specific boundaries of said plan which may be the SPA, GDP, or Planned Community Boundaries (or more than one GDP as deemed appropriate by the Development Services Director); the distribution of existing and proposed CPF designated parcels within the Master Plan area; and the tabulation of individual sites acreages which shall be prepared and incorporated into the Planned Community’s Sectional Planning Area (SPA) Plan. The incorporation of the CPF Master Plan into the SPA or GDP shall be done through a SPA or GDP amendment/adoption pursuant to CVMC 19.48.080 and 19.48.130.” (P-C – Planned Community Zone: .080 = General development plan – Modification requests and procedures and .130 = Sectional area plans – Modification requests and procedures).

Any proposal to satisfy the CPF requirements in any manner other than the provision of land designated for CPF uses on the Zoning Districts Map (Figure 2.1) shall comply with the Alternative Compliance provisions of CVMC Section 19.48.025B.3. Any proposal to reduce the amount of CPF required shall be subject to the Extraordinary Public Benefit provisions of CVMC Section 19.48.025B.3.

Chapter 3 of the P-C District Regulations provides additional regulations for special uses and conditions that require special review standards beyond those of the basic Land Use Districts.

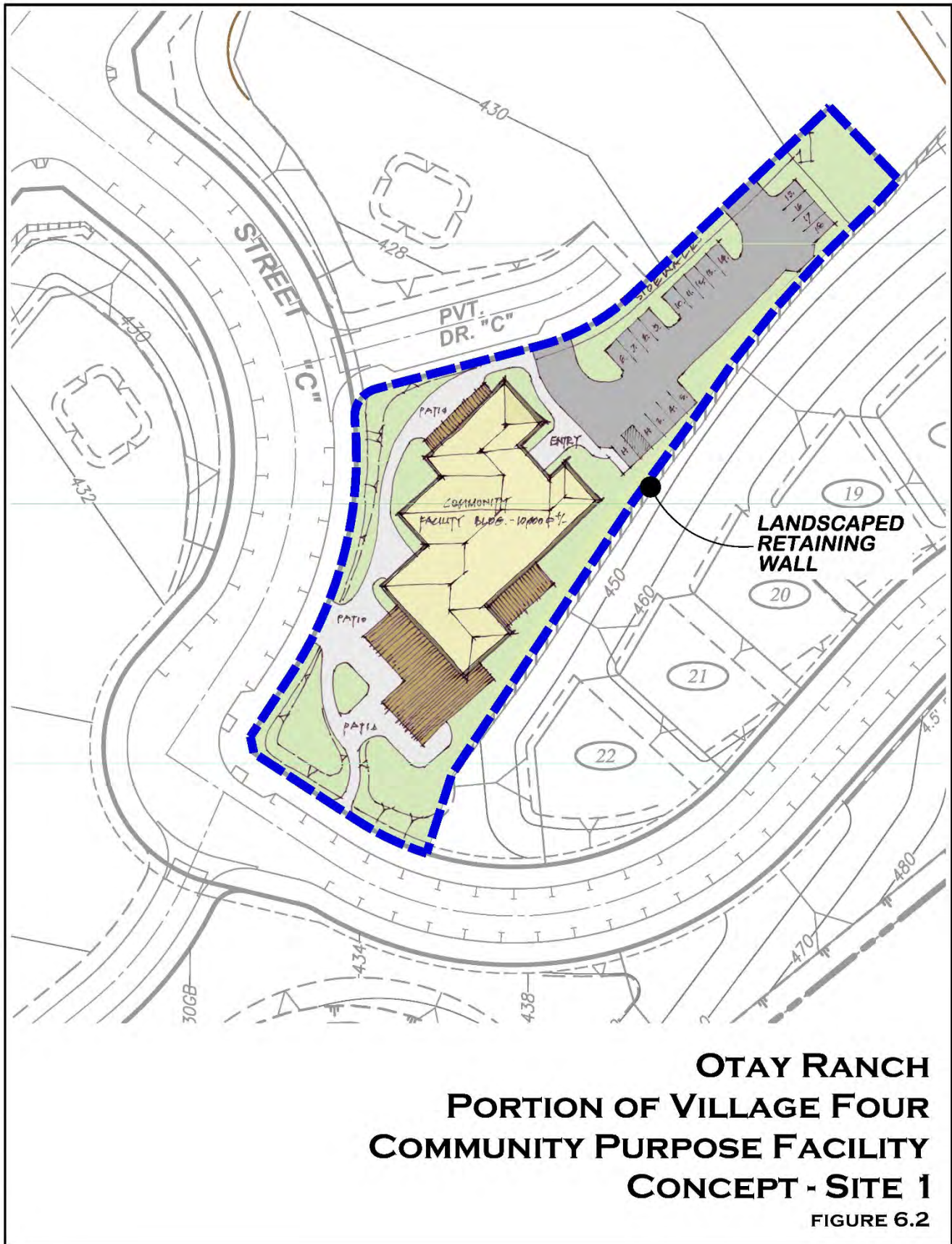
6.2 Community Purpose Facility Requirements

The proposed 350 units in Village Four generate a population of approximately 956 (population is based on 2.58 pph for multi-family and 3.33 pph for single-family residential), requiring an estimated 1.33 acres of CPF land in the Plan area (CPF acreage based on ratio of 1.39 acres per 1,000 persons).



SPA Plan

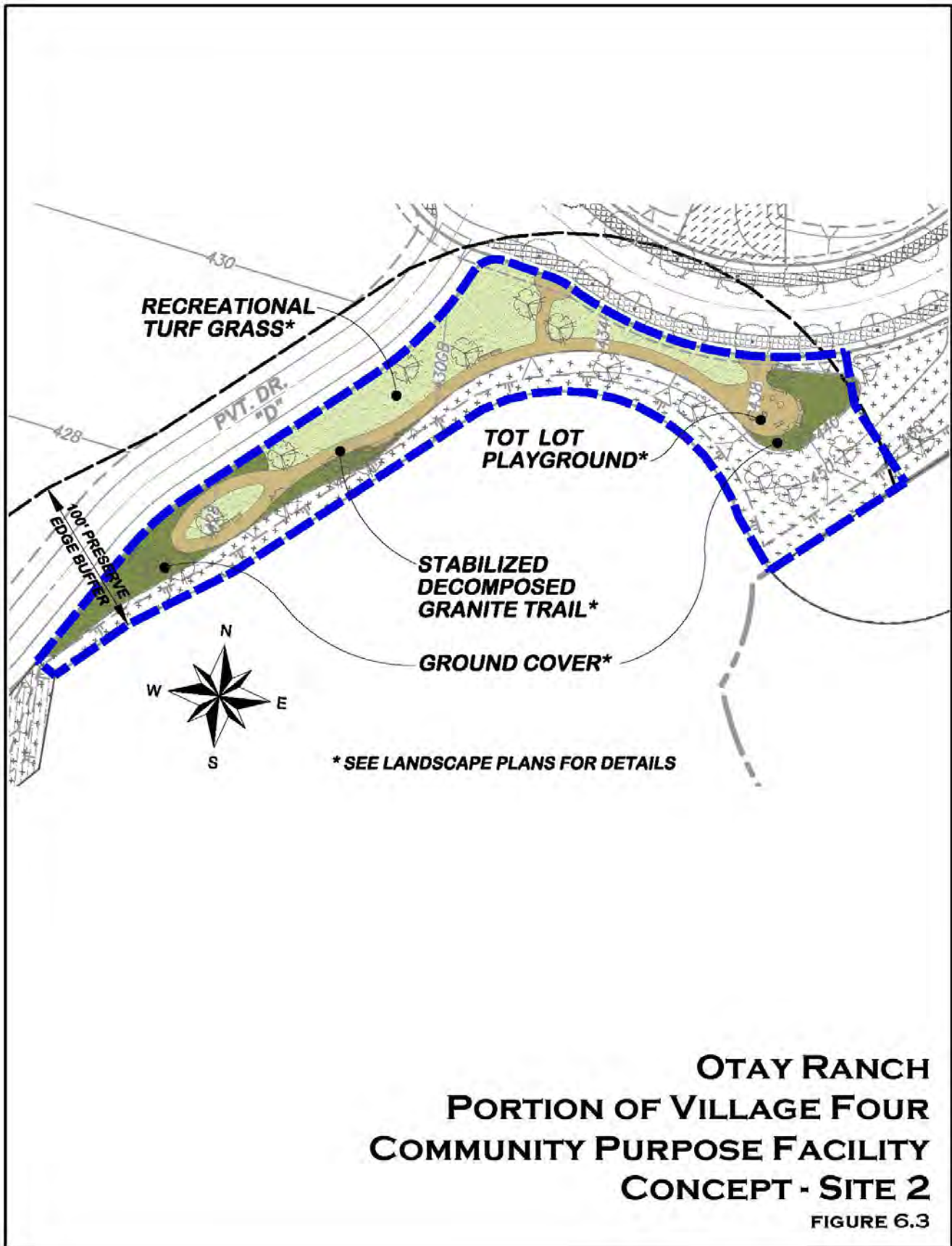
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6.3 Community Purpose Facility Implementation

The SPA Land Use Plan provides two adjacent CPF areas for a total of 1.33 acres, as shown on Figure 6.1: Master Community Purpose Facility. The CPF areas are provided in the western portion of Planning Area R-2a and eastern portion of Planning Area R-2b. The CPF area is centrally located and in proximity to the majority of residential units of Village Four.

CPF-1

CPF-1 is located on the east side of A Street and the south side of C Street within Planning Area R-2a. The 1.21-acre site is designed to accommodate future development (see Figure 6.2: Community Purpose Facility, Site 1), consistent with uses allowed in CVMC Section 19.48: P-C – Planned Community Zone.

CPF-2

CPF-2 is located on the west side of A Street in Planning Area R-2b. The 0.87-acre site is planned for private recreation uses (see Figure 6.3: Community Purpose Facility, Site 2), per CVMC Section 19.48.025H. The private recreation area is uniquely positioned because it provides an overlook of a portion of Wolf Canyon and the MSCP. As noted elsewhere in the SPA Plan, trails into this portion of the MSCP and Wolf Canyon are prohibited; thus, this CPF facility affords Village Four residents the opportunity to view the open space system. The private recreation area will comply with the MSCP Adjacency Guidelines, Preserve Edge requirements, and the FPP.

7 PUBLIC UTILITIES AND SERVICES

7.1 Introduction

The public utilities and services chapter provides a brief summary of the utility systems and public services necessary to support new development within Village Four. The PFFP and Utility Master Plans provide more detailed explanations of these backbone facilities and assign responsibilities for construction and financing.

Public utility systems, facilities, and services have been designed based upon the projected land uses and intensity of development proposed within the SPA and surrounding areas. Facilities are sized according to estimated demands and necessary distribution. The design and phasing of facilities may be modified during the final map process with the City's approval in order to reflect the actual number of units, corresponding population projections, and construction phasing.

7.2 Water Supply and Master Plan

Water service and facilities for the SPA are addressed in the Final Overview of Water Service for Otay Ranch Village Four prepared by Dexter Wilson Engineering, Inc., July 2016. In accordance with the GDP and SPA requirements, the water plan demonstrates compliance with state and local agency requirements and the ability to serve the SPA. A summary of key points related to water service are provided below.

7.2.1 Water Supply

Senate Bill 610 principally applies to the California Water Code and requires the California Environmental Quality Act (CEQA) process include documentation to definitively establish water availability.

California Senate Bills 221 was approved on October 9, 2001, and became effective January 1, 2002. Senate Bill 221 primarily applies to the Subdivision Map Act and requires the lead agency (City of Chula Vista), in considering a tentative map, to verify that the public water supplier (Otay Water District (OWD)) has sufficient water supplies available to serve the project.

The requirements of Senate Bills 221 and 610, apply to projects the 500 or more dwelling units or equivalent dwelling units. The Village Four SPA is limited to 350 dwelling units; therefore, the Water Supply Assessment and Verification Report is not required for the project.

The SPA Planning Area is located within the boundaries of the OWD, which is the local agency responsible for providing water service. OWD is a member agency of the San Diego County Water

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Authority who, in turn, is a member agency of the Metropolitan Water District. The SPA Plan area is already within the boundaries of these agencies for water service, but will be required to annex into OWD Improvement Districts 22 and 27 prior to receiving service. The OWD Water Supply Assessment approval letter for Village Four is dated February 2, 2017.

7.2.2 Potable Water Demand

The SPA Planning Area maximum day potable water demand is estimated to be 0.327 million gallons per day (mgd) and the peak hour potable demand is 0.763 mgd. OWD will require a subarea master plan of water prior to the approval of final engineering plans for the project to better establish water demands and facility requirements. A water supply assessment will also be completed to assure that sufficient supplies are planned to be available as demand is generated for the project.

The project is within the Central Service Area of OWD. Water service to the project will be supplied from the 624 and 711 pressure zones. The 624 Zone service will ultimately be supplied to Village Four by the extension of pipelines in Main Street to the east and west of the project. Based on the timing of surrounding development relative to Village Four, an interim source of 624 Zone water to the project is likely to be required. This would involve the construction of an interim on-site 711/624 Zone pressure reducing station. Figure 7.1: Conceptual Potable Water Master Plan provides the recommended distribution system required to meet demands within the SPA.

The 711 Zone portion of the project will be served by connections to the existing 12-inch water line in La Media Road to the north and 12-inch water line in Main Street to the east.

OWD has three existing reservoirs in the 624 Zone. These reservoirs are supplied by OWD Connections 10 and 12 to the San Diego County Water Authority aqueduct. A 711 Zone pump station lifts water from the 624 Zone to the 711 Zone reservoirs. A 16-million gallon 711 Zone reservoir was built in recent years such that OWD has adequate storage to serve the ultimate projected development in this zone. No additional reservoir storage will be required to supply water to Village Four.

7.2.3 Recycled Water Supply and Master Plan

Current OWD policies regarding new subdivision development requires the use of recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will be used to irrigate street parkway landscaping, parks, manufactured slopes, and landscaped areas of commercial and multi-family residential sites.

The project is in the 680 Zone for recycled water service. The 680 Zone distribution system has been supplied by pressure reducing off the 927 Zone distribution system. Some areas of the project may

SPA Plan

require private booster pumps on the landscape connections to get adequate pressure to the irrigation systems. The primary source of recycled water to the SPA will be the South Bay Water Reclamation Facility. From this plant, the recycled water system consists of a series of pump stations, transmission piping, and storage reservoirs that provide recycled water to the area.

The existing recycled water system that will serve the project involves the extension of an existing 12-inch recycled water line constructed in La Media Road to the north of the Village Eight West project. An 8-inch line will then be extended in Main Street to the project. A plan to distribute recycled water within the project is depicted in Figure 7.2: Conceptual Recycled Water Master Plan.

The use of recycled water directly offsets potable water use, making it an important component in the attempt to meet water supply challenges in the region. Village Four is expected to offset potable water usage by an average of 0.064 mgd by using recycled water where feasible.

Recycled water requirements for the project will be coordinated by the OWD and City of Chula Vista. Phased construction of recycled water facilities, based on the OWD approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

In conformance with the Otay Ranch GDP and the Chula Vista Growth Management Plan, a Water Conservation Plan is provided with this SPA Plan as Appendix G: Water Conservation Plan.

Irrigation of open space areas adjacent to the MSCP shall be carefully designed to prevent recycled water from draining into and impacting the MSCP open space area.

7.2.4 Landscaping Water Conservation Ordinance

The Water Conservation Plan for Otay Ranch Village Four (Appendix G) is addressed in the July 2016 study prepared by Dexter Wilson Engineering Inc.

The Village Four project will promote water conservation through the use of low water use plumbing fixtures and the use of recycled water for the irrigation of parks, open space slopes, parkway landscaping, and the common areas of multi-family residential.

In response to the new State Water Conservation in Landscaping Act, the City of Chula Vista adopted a new Landscape Water Conservation Ordinance (CVMC Chapter 20.12: Landscape Water Conservation), which went into effect in December 2015. This ordinance calls for greater efforts at water conservation and more efficient use of water in landscaping. The requirements of this ordinance shall be incorporated into the design of Village Four.

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7.3 Sewer Service

Sewer service and facilities are addressed in the Final Overview of Sewer Service for Otay Ranch Village Four, prepared by Dexter Wilson Engineering, Inc., July 2016. Sewer service to the project site is provided by the City of Chula Vista which operates and maintains its own sanitary sewer collection system that connects to the City of San Diego's Metropolitan Sewer System.

The City of Chula Vista's Subdivision Manual establishes sewage generation factors based on population multipliers used to project sewage flows. The average daily flow into the Salt Creek/Otay River basin from the SPA is estimated to be 0.070-mgd. Village Four can be served by constructing 8-inch through 12-inch gravity sewer lines to convey flow southwest to a single point of connection with the Salt Creek Interceptor. The final sizing of the backbone line in Main Street and to the point of connection with the Salt Creek Interceptor will be dependent on the amount of off-site flows from the east that are conveyed through the line.

The sewer system within the project will be extended in Main Street or through a portion of the adjacent rock quarry to the west and south, respectively to allow flows from the Village Four community park site to be conveyed through the Village Four collection system. On-site sewer lines will also be sized to accommodate potential off-site flows from Village Eight West and the Community Park.

Sewer facilities required to serve the SPA will be constructed in phases. The phasing and financing requirements are addressed in the PFFP and/or subdivision map conditions to assure timely provision of required facilities. Sewer facilities are illustrated on Figure 7.3: Conceptual Sanitary Sewer Master Plan.

7.4 Storm Drain and Urban Runoff

7.4.1 Drainage

To assess and compare the drainage for both the existing and developed conditions within the SPA, Hunsaker Engineering has prepared the Village Four Preliminary Drainage Study. In conformance with GDP and SPA policies, the Village Four Preliminary Drainage Study provides a detailed hydrological analysis and demonstrates the effectiveness of the proposed design solutions, shown in Figure 7.4: Conceptual Storm Drain Master Plan, to mitigate the impacts of storm drain and urban runoff within the SPA Plan area. Key elements of the Preliminary Drainage Study are as follows:

1. Existing runoff from the project site proceeds as follows: The majority of the SPA drains in a northwesterly direction into Wolf Canyon, a tributary to the Otay River. Development of the Village Four site will not alter the existing tributary watersheds of the Otay River.

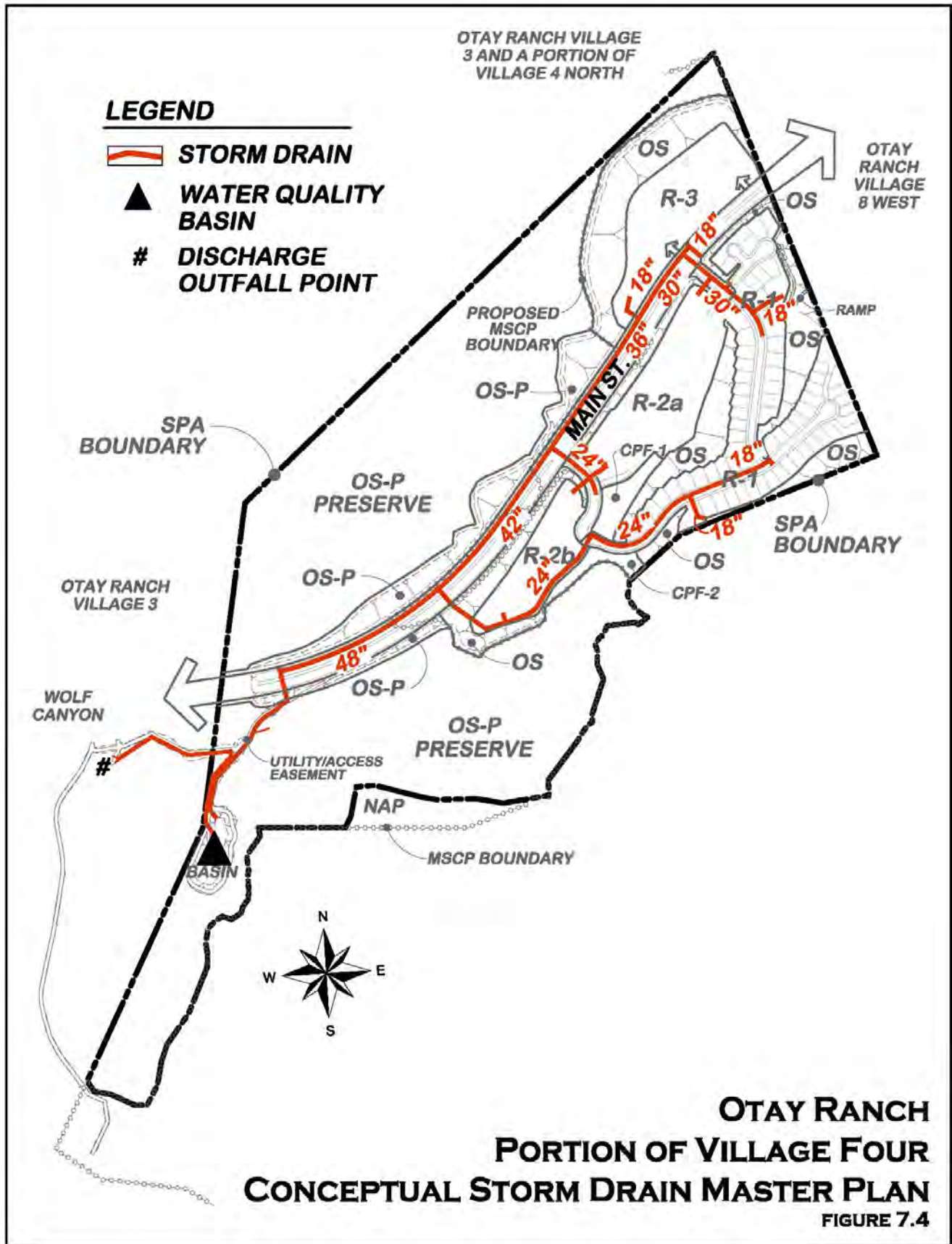
SPA Plan

2. Under the proposed project, the site has one detention basin which conveys flow from the eastern and southern portions of the SPA to Wolf Canyon. The basin will convey flow westerly to a discharge point at Wolf Canyon. Prior to discharging into the Wolf Canyon, storm water will pass through a detention basin which will also serve as a treatment control and flow control facility (see the project Storm Water Quality Management Plan for details).
3. To prevent erosion and maintain continuity of the hydrologic character within the Village Four project site, the outlet of the storm drain from the detention will convey storm water directly to Wolf Canyon to avoid potential finger canyon erosion.
4. A Hydromodification Study was performed for the portion of the project that drains to Wolf Canyon. Analysis was performed following the guidelines and criteria outlined in the Final Hydromodification Plan. A permanent detention basin was sized and designed based on the results of the analysis.
5. Downstream of the discharge into Wolf Canyon, runoff travels in a southwesterly direction up to its confluence with the Otay River which is also located is downstream of the Otay Reservoir. The first Otay Dam failed in an event which degraded the downstream Otay River. Per the Final Hydromodification Plan, the lower Otay River Valley was listed as a river reach that is exempt from hydro-modification analysis (see Section 6, page 6.5, Table 6.1 of the Final Hydromodification Plan). However, the subsequent permit and BMP Design Manual removed the exemption for the Otay River reach east of Interstate 805. Please reference the San Diego Regional Water Quality Control Board Order No. R9-2013-0001 as amended by R9-2015-0001 and R9-2015-0100 (MS4 Permit).

7.4.2 Urban Runoff

Development of the SPA will implement all necessary requirements for water quality as specified by state and local agencies. All development shall meet the requirements of the City's BMP Design Manual, the Jurisdictional Storm Water Runoff Management Plan, and the Storm Water Management and Discharge Ordinance (as specified in the City of Chula Vista Development and Redevelopment Storm Water Management Standards/Requirements Manual).

At this time, the proposed Village Four SPA development includes the construction of roadways, infrastructure (including storm drain and utilities), and the mass grading of pads for future development. Of these improvements, only the construction of paved roadways and sidewalks will create increased urban runoff. Therefore, water quality treatment will be necessary only for these improvements as currently proposed. Additional water quality measures will be required in the future as the mass graded pads are developed; such measures will meet all state and local agency standards for the treatment of urban runoff at that time.



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SPA Plan

Bio-filtration based BMPs are proposed in the Village Four SPA to treat urban runoff pollutants generated via the proposed roadways and sidewalks. Urban runoff will be treated in conformance with the Village Four Storm Water Quality Management Plan. Wherever feasible, the residential roadways will route runoff through the landscaping located in the adjacent parkways. Low Impact Development practices will also be incorporated within the roadway and sidewalk design wherever feasible and in accordance with state and local requirements to ensure that, to the maximum extent practicable, requirements are met for water quality with the Village Four SPA.

7.5 Dry Utilities

Dry utilities will also be extended underground into the SPA primarily in streets and other public easements. Telephone, cable television, and internet service is provided by several companies including Cox Communications, Time Warner, Media 3, and AT&T. Gas and electric service is provided by San Diego Gas and Electric, a subsidiary of Sempra Energy.

Development of Village Four is committed to focusing on the Energy Strategy and Action Plan, which addresses the demand side management, energy efficient and renewable energy outreach programs for businesses and residents, energy acquisition, power generation, and distributed energy resources and legislative actions, and continuing implementation of the CO₂ Reduction Plan. It is anticipated that this commitment will lessen the impacts from energy. See Appendix C: Non-Renewable Energy Conservation Plan.

7.6 Development Phasing

Development of the SPA may be completed in the multiple phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses.

7.7 Public Schools

This section serves as the SPA's School Master Plan, as required by The Otay Ranch GDP. The size and number of school facilities is determined by applying the student generation rates for multi-family and single-family dwelling units, as shown in Table 7.1. Elementary school generation rates were negotiated with the Chula Vista Elementary School District. High school and middle school student generation rates were negotiated with Sweetwater Union High School District.

SPA Plan

**Table 7.1
School Obligation**

Elementary School				Middle School		High School	
<i>Land Use</i>	<i>Units</i>	<i>Rate</i>	<i>Students</i>	<i>Rate</i>	<i>Students</i>	<i>Rate</i>	<i>Students</i>
Medium-High-Density Residential	277	×0.2091	58	×0.0810	22	×0.1171	32
Low- to Medium-Density Residential	73	×0.4114	30	×0.0936	7	×0.1939	14
Total	350	N/A	88	N/A	29	N/A	46

N/A = not applicable.

Based on the number of units projected by this SPA Plan and the negotiated generation rates provided by the Chula Vista Elementary School District and the Sweetwater Union High School District, schools will need to provide educational services for approximately 88 new elementary school students, 29 new middle school students, and 46 new high school students. This section provides a brief description of how these students will be accommodated. The PFFP provides additional information regarding the phasing and funding of educational facilities proposed within Village Four.

7.7.1 Elementary Schools

To fulfill the educational need of new elementary school students within Village Four, an 11.4-acre elementary school site has been reserved as Parcel S of the Village Eight West SPA. If selected by the Chula Vista Elementary School District, this school site will be large enough to accommodate up to 750 students. The site will be reserved for acquisition by the school district as described in the PFFP. Construction timing of the school will be determined by the school district. Until such time that the school is completed, students residing within Village Four will attend schools in neighboring villages as determined by the school district.

7.7.2 Middle Schools and High Schools

To fulfill the educational need of new middle school students within Village Four, a 20.2-acre middle school site has been reserved as Parcel D of the Village Eight West SPA. This school will be large enough to accommodate up to 1,000 students. The site will be reserved for acquisition by the Sweetwater Union High School District as described in the PFFP. Construction timing of the school will be determined by the School District. Until such time that school is completed, students residing within Village Four will attend schools in neighboring villages as determined by the School District.

High School students residing in Village Four would currently be located within the attendance area of Olympian High School located in Village Seven. Enrollment at that school is expected to

exceed capacity before Village Four is constructed. The District has planned another high school at the intersection of Eastlake Parkway and Hunte Parkway in Village Eleven.

7.7.3 Continuing Education

Provisions for continuing education are not required by the Otay Ranch GDP; however, Village Four is located approximately 3 miles from Southwest College and 1 mile from a proposed university.

7.8 Childcare Facilities

The Otay Ranch GDP established the following goals and threshold for childcare facilities:

Goal: Provide adequate child care facilities and services to serve the Otay Ranch Project Area.

Threshold: Identify sites for child care and pre-school facilities adjacent to or as part of public and private schools, religious assembly uses, village center employment areas, residential areas, and other locales deemed appropriate.

The City of Chula Vista adopted the Chula Vista General Plan policy direction for the provision of adequate childcare facilities necessary to serve existing and future developed areas in the City.

Childcare uses may be allowed as a primary or an accessory use. Facility-based (not in home) childcare may be conducted by non-profit, quasi-public organizations or commercial providers. In addition, day nurseries, daycare schools, or nursery schools are permitted uses in the Village Four, P-C District Regulations, specifically permitted within all residential districts.

The State of California adopted regulations related to licensing, application procedures, administrative actions, enforcement provisions, continuing requirements, and physical environment for childcare and daycare centers. All childcare facilities within Village Four shall comply with state and local regulations.

The SPA Plan area and the Otay Ranch Community as a whole may have a mix of childcare providers, such as school, church, non-profit, or commercial facilities. Childcare facilities may be located within private homes, commercial centers, offices, government, and industrial complexes and/or adjacent to public and private schools where appropriate. The Village Four SPA Land Use Plan provides opportunities to locate and phase facilities to meet the needs of the community. The SPA Plan provides a variety of opportunities for childcare services. These facilities can be divided into two main categories: family daycare homes and facility-based childcare.

7.8.1 Family Daycare Homes

Family daycare homes are home-based childcare services provided within private residences. The SPA land use regulations recognize two types of home-based childcare facilities: small family daycare homes that serve up to 6 children and large family daycare homes serving 7–12 children. Both types of facilities are permitted or conditionally permitted within residential sites in Village Four. Refer to Chapter 1 of the Design Guide to determine which zones permit these types of uses. All family daycare homes are also subject to the California Code of Regulations, Title 22, Division 12, Chapter 3, Section 102417 and all other state and local regulations.

7.8.2 Facility-Based Childcare

Facility-based childcare refers to childcare services provided by non-profit, governmental, religious, community, educational, or commercial facilities. These facilities are often provided as an accessory land use but may also be the primary land use. Locating childcare services near other compatible land uses is consistent with efficient land use planning and the neo-traditional principles of Otay Ranch. A Conditional Use Permit may be required depending upon the land use designation of the property and the size of the facility. Refer to Section 1 of the P-C District Regulations, to determine which zones require a Conditional Use Permit for these types of facilities. The State of California also regulates the licensing, application procedures, administrative actions, enforcement provisions, continuing requirements, and physical environment of these facilities. All facility-based childcare facilities are also subject to these and all other applicable state and local regulations.

7.9 Police, Fire, and Emergency Services

Life safety services are one of the most important services needed to support the community. Adequate facilities, personnel, and response times ensure the long-term health and well-being of the community. The following section describes how these services will be provided for in Village Four.

7.9.1 Police Protection

The Chula Vista Police Department will provide law enforcement services to Village Four. The Chula Vista Police Department currently provides police service to the project area from its existing police facility in downtown Chula Vista. Maintaining the current rate of 1.16 sworn police officers per 1,000 residents will require adding approximately 1 sworn officer to support the projected population in Village Four. Based on current policy, no police substations are required in Village Four. All future development within Village Four shall comply with applicable Crime Prevention through Environmental Design (CPTED) and Chula Vista Police Department Standards.

7.9.2 Fire Protection

Village Four will be served by the City of Chula Vista Fire Department. The closest existing fire stations to Village Four are Fire Station 7, located at 1640 Santa Venetia Road and Fire Station 3, located at 1810 Brandywine Avenue. The Villages Eight West and the Eastern Urban Center, located northeast of Village Four, include proposed fire stations.

Additional fire equipment, staff, and facilities required to serve the increased population proposed by the SPA Plan is identified in the PFFP. Appendix F: Fire Protection Plan and Appendix D: Preserve Edge Plan have also been prepared in conjunction with this SPA to identify fire prevention measures such as fuel modification zones and architectural controls. All subsequent development applications shall be subject to these plans and the review and approval of the Fire Department. Fire Department-approved architectural measures, such as boxed eaves, exterior sprinkler systems, and solid block wall fencing may also be used for fire protection in certain circumstances. The fuel modification and fire protection strategies are more fully described in Appendix F.

Brush Management

Pursuant to the FPP (see Appendix F) and the Chula Vista MSCP Subarea Plan, fuel modification zones have been incorporated into the proposed Village Four development areas adjacent to natural open space. These fuel modification zones are consistent with the requirements of the Chula Vista MSCP Subarea Plan and Otay Ranch Phase 2 RMP. No fuel modification activities will occur within Otay Ranch Preserve/MSCP areas except the required brush management on Main Street as a Planned Facility within the Preserve by the City's MSCP Subarea Plan. Graded landscaped slope areas will be maintained pursuant to FPP requirements and will be outside the Preserve. Streets (hard surface and irrigated landscaped areas) may be included in the Brush Management Zone, in accordance with any specific requirements of the FPP.

7.9.3 Emergency Medical Services

Currently, American Medical Response (AMR) provides contract emergency medical services for the City of Chula Vista, National City, and Imperial Beach. There are 5 American Medical Response South County paramedic units: 2 are located in Chula Vista, 2 in National City, and 1 in Imperial Beach. Village Four and the surrounding area will be served through this contract arrangement by the City of Chula Vista.

7.9.4 Emergency Disaster Plan

The GDP requires all SPA plans to provide an "Emergency Disaster Plan" that addresses the various hazards that have the potential for disrupting communities, causing damage, and creating

SPA Plan

casualties within the area. Possible natural disasters include earthquakes, floods, fires, landslides, and tropical storms. There is also the threat of man-made incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism, or civil disorder. The Village Four SPA addresses these disaster situations by implementing the following services already available in the area:

San Diego County Emergency Plan is a comprehensive emergency management system that provides for a planned response to disaster situations associated with natural disasters, technological incidents, and nuclear defense operations. The plan includes operational concepts relating to various emergency situations, identifies components of the Emergency Management Organization, and describes the overall responsibilities for protecting life and property and assuring the overall well-being of the population. The plan also identifies the sources of outside support that might be provided (through mutual aid and specific statutory authorities) by other jurisdictions, state and federal agencies, and the private sector.

The Unified San Diego County Emergency Services Organization: Consists of San Diego County and the cities within the county. It was established in 1961 and provides for “preparing mutual plans for the preservation of life and property and making provisions for the execution of these plans in the event of a local emergency, state of emergency, and to provide for mutual assistance in the event of such emergencies.”

The foundation of California’s emergency planning and response is a statewide mutual aid system that is designed to ensure that adequate resources, facilities and other support are provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. The basis for the system is the California Disaster and Civil Defense Master Mutual Aid Agreement: As provided for in the California Emergency Services Act, this agreement was developed in 1950 and adopted by California’s unincorporated cities and by all 58 counties. This statewide mutual aid system is designed to ensure that adequate resources, facilities, and other support is provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. San Diego County is located in Mutual Aide Region 6 of the State system.

The City of Chula Vista participates in the Unified County Emergency Services Organization described above. The City of Chula Vista has comprehensive agreements with the Bureau of Land Management, California Department of Forestry, California Conservation Corps, Urban Search and Rescue Corps, San Diego County Fire Mutual Aid, and other agencies in conjunction with the California Disaster and Civil Defense Master Mutual Aid Agreement. Village Four is incorporated into Chula Vista’s existing emergency disaster programs, including all fire and emergency services and mutual aid agreements. In April 2011, the City of Chula Vista city Council approved Resolution 2011-067 which adopted the 2010 San Diego County Multi-Jurisdictional Hazard

SPA Plan

Mitigation Plan as the official Multi-Jurisdictional Hazard Mitigation Plan of the City of Chula Vista.

Community Emergency Response Team (CERT) Program: The City of Chula Vista provides a CERT program that offers training to citizens to teach them how to effectively and efficiently respond to emergency situations without placing themselves or others in unnecessary danger. CERT training includes lessons on managing utilities, putting out small fires, providing basic emergency medical aid, searching and rescuing victims safely, effectively organizing volunteers, and collecting disaster information to support first responders.

7.10 Library Services

The City Library Master Plan identifies library services, which are provided by the City of Chula Vista. The plan establishes a standard of 500 square feet of adequately equipped and staffed library facilities per 1,000 residents. Based on the projected population, Village Four generates a demand for 579 square feet of additional library facilities within the City. This demand will be satisfied by participation in the City's Public Facilities Development Impact Program as identified in the PFFP.

7.11 Civic Facilities

The City of Chula Vista Civic Center serves the civic needs of the community. The Civic Center was recently expanded and currently supports existing development within the City of Chula Vista. As the City continues to grow, additional expansion of these facilities may be required to accommodate staff. Therefore, the Village Four SPA is subject to the City's Development Impact Fee Program, which may be used for expansion of the Civic Center and construction of other civic facilities in the future.

7.12 Animal Control Facilities

Animal health and regulatory services will be provided by the City of Chula Vista. There are currently no impact fees imposed to finance animal control facilities.

7.13 Integrated Solid Waste Management

Solid waste management services for the City of Chula Vista are provided by Allied Waste Management. Solid waste is collected curbside once a week and transported to the Otay Landfill in the City of Chula Vista. The Otay landfill currently has a projected life span of 20-years.

Republic Services also provides a comprehensive recycling program with the City of Chula Vista for residential, commercial, and industrial generators. This program includes the following:

SPA Plan

1. Curbside, commingled recycling of newspapers, plastics, aluminum, glass, cardboard, and metals.
2. Drop-off facilities that accept paint, batteries, other household hazardous materials, computers, television sets, and other electronics.
3. Curbside collection of green vegetation yard wastes that are recycled into mulch for redistribution.

The State of California has mandated the at least 50-percent of the solid waste generated by a City or County be diverted from landfills. Additionally, the State has set per capita disposal rates of 5.3 pounds per person per day for the City of Chula Vista. To maintain these targets the following programs must be implemented per CVMC Chapters 8.23: Solid Waste and Recycling Contract or Franchise*; 8.24: Solid Waste and Litter*; 8.25: Recycling, and 19.58.340: Recycling and solid waste storage:

1. All new construction and demolition projects in the City are required to divert from landfill disposal 100-percent of inert waste, to include asphalt, concrete, bricks, tile, trees, stumps, rocks, and associated vegetation and soils resulting from land clearing, and not less than 50-percent of the remaining waste generated, via reuse or recycling, unless a partial or full diversion exemption has been granted pursuant to CVMC 8.25.095, in which case the diversion requirement shall be the maximum feasible diversion rate established by the Waste Management Report Compliance Official for the project (CVMC 8.25.020(O6)). Contractors will be required to put up a performance deposit and prepare a Waste Management Report Form to ensure that all materials are responsibly handled. Upon verification that the diversion goals have been met the performance deposit will be refunded (CVMC 8.25.095).
2. The City of Chula Vista's Recycling and Solid Waste Planning Manual, adopted by City Council, provides information for adequate space allocated to recycling and solid waste within individual projects, based upon the type of project and collection service needed. Allied Waste Services/Republic Services is the City of Chula Vista contracted service provider for all commercial, industrial, and residential services within the city limits.
3. Plans are subject to approval by the City Manager or designee, who is the Environmental Services Program Manager in the Public Works Department.
4. Additionally, the City of Chula Vista encourages the use of compost materials to be incorporated into the soil of all new construction projects to improve soil health, water retention, less water runoff, and filtration of water runoff prior to entering storm drains and creeks on the way to San Diego Bay. The yard trimmings collected in Chula Vista are composted at the Otay Landfill and may be available for purchase.

7.14 Regional Facilities

The Otay Ranch General Development Plan requires all new development within Otay Ranch to meet the demands for regional services and facilities by participating in a regional impact fee program (if such a program is implemented) and/or by reserving land or facilities for regional service programs. Village Four will contribute an equitable financial share to the following services for Otay Ranch in accordance with the PFFP:

1. Arts and Cultural Facilities.
2. Cemeteries.
3. Health and Medical Facilities.
4. Community and Regional Purpose Facilities.
5. Social and Senior Services.
6. Correctional Facilities.
7. Justice Facilities.

7.15 Roads

Roads included in this SPA proposal are addressed in Chapter 3: Circulation and Corridor Design, of this SPA Plan. The PFFP details their phasing and financing.

7.16 Parks, Open Space, and Trails Facilities

Parks, recreation, open space, and trails are addressed in Chapter 5: Parks, Open Space, and Trails of this SPA Plan and in the PFFP.

8 GDP COMPLIANCE

8.1 Introduction

The adopted Otay Ranch General Development Plan (GDP) establishes goals and objectives for land use; mobility; housing; parks, recreation, open space; public facilities; safety; phasing; and resource protection, conservation and management. This chapter provides a restatement of the GDP goals and objectives followed by an explanation of how they are implemented by the Village Four SPA Plan.

8.2 Land Use

The Village Four SPA Plan is designed in conformance with the Otay Ranch GDP Land Use Plan and GDP Village Four Plan, as amended. The proposed GDP Land Use Plan is depicted on Figure 8.1: Otay Ranch GDP Village Four Land Use Plan (Proposed). A brief description of the major land use components' consistency with the Otay Ranch GDP is provided in this section.

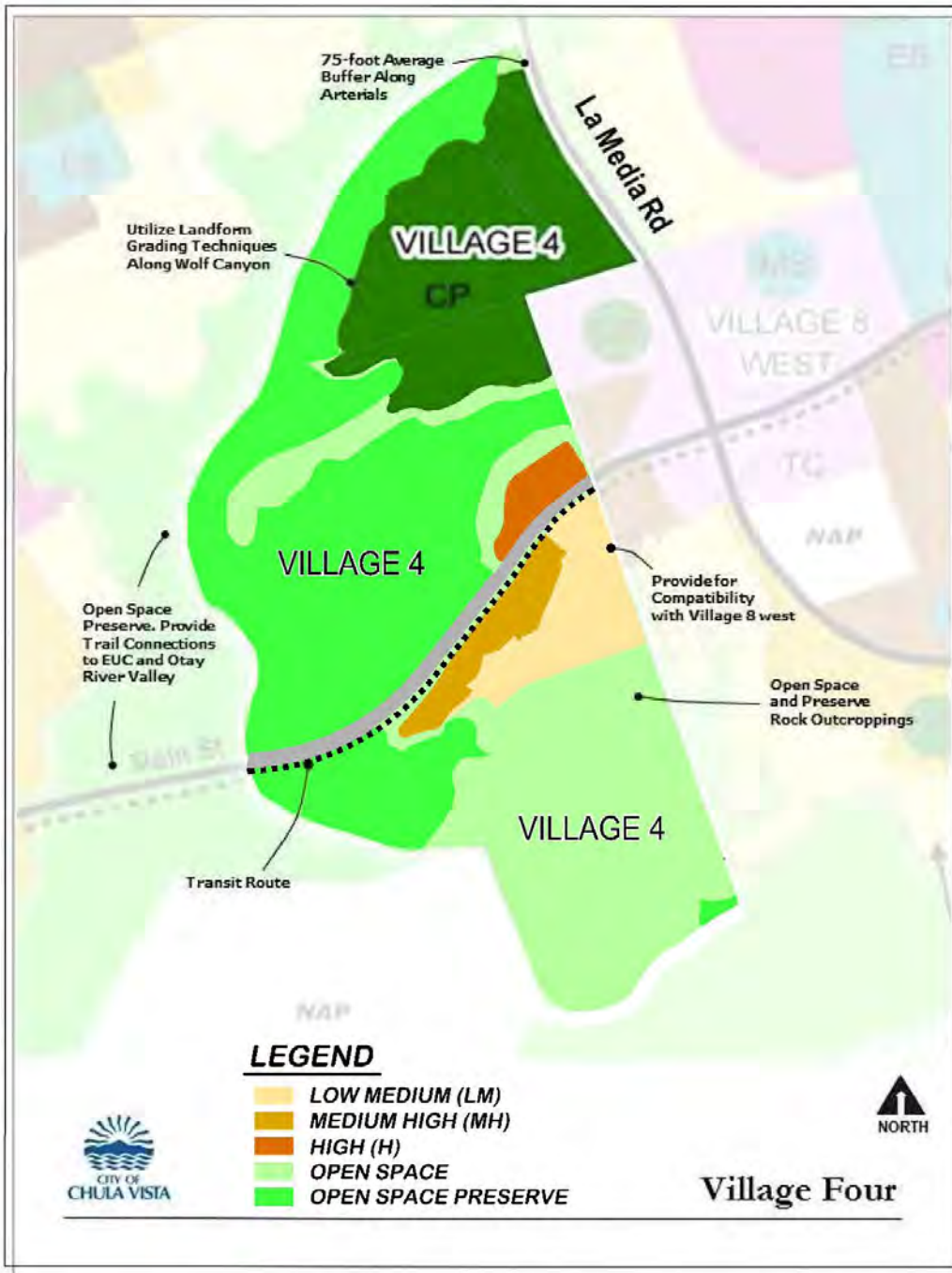
The Otay Ranch GDP established the Village Four area; however, portions of the original Village were added to Village Eight West through a GDP amendment. The Village Four SPA plan creates a residential and open space village. Village Four provides 350 small lot single-family detached and multi-family residential units, land designated for CPFs, and open space. This SPA Plan reconfigures the Village Four South residential area and establishes the Village Four boundary to facilitate development of approximately a 166-acre residential village and preserve area, which complies with the Otay Ranch GDP description of Village Four as a location with limited area that prevents it from fully functioning as an urban village.

8.3 Overall Otay Ranch Land Use Plan (GDP Part II, Chapter 1)

Goal: Develop comprehensive, well-integrated, and balanced land uses that are compatible with the surroundings.

Objective: Provide a well-integrated land use pattern which promotes both housing and employment opportunities, while enhancing the unique environmental and visual qualities of the Otay Ranch.

Objective: Provide a wide range of residential housing opportunities, from rural and estate homes to high density multi-family projects and affordable housing. Provide a balanced and diverse residential land use pattern for the Otay Valley Parcel which promotes a blend of multi-family and single-family housing styles and densities, integrated and compatible with other land uses in the area.



**OTAY RANCH
 PORTION OF VILLAGE FOUR
 PROPOSED GDP VILLAGE FOUR LAND USE PLAN**
 FIGURE 8.1

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Objective: Provide development patterns complementary to the adopted plans and existing development of the adjacent communities.

Implementation

The land use plan for Village Four supports these Otay Ranch GDP goal and objectives by providing a diverse range of housing opportunities within Otay Ranch. The plan adheres to the GDP specific directives for Village Four to create a residential neighborhood that offers a variety of housing styles and densities with 350 homes in a location and limited area, which the GDP acknowledges prevents it from fully functioning as an urban village. The organization of the land uses within the Village Four meets the objectives of integration and compatibility of land uses within villages and with adjacent communities. The Village Four Plan supports the objective of enhancing the unique environmental and visual qualities of Otay Ranch. The Village Four SPA Plan generally conforms to the natural topography of the site and maintains views towards open space and distant mountains.

Goal: Environmentally sensitive development should preserve and protect significant resources and large open space areas.

Objective: Provide land use arrangements which preserve significant natural resource areas, significant landforms and sensitive habitat.

Implementation

The above goal and objective will be met through preservation of open space areas in the northerly and westerly portions of Village Four. The development is sited within land area designated for development that does not contain significant natural resources. The development adjacent to the MSCP Preserve consists of compatible uses with appropriate design, landscaping, drainage, and other development standards sensitive to the environment. Furthermore, as part of the development process, the project is required to dedicate land for protection of the adjacent environmentally sensitive land in the MSCP Preserve.

Goal: Reduce reliance on the automobile and promote alternative modes of transportation.

Objective: Develop villages and town centers which integrate residential and commercial uses with a mobility system that accommodates alternative modes of transportation, including pedestrian, bicycle, low-speed/neighborhood electric vehicle, bus, rapid transit, and other modes of transportation.

SPA Plan

Objective: Develop residential land uses which encourage the use of alternative modes of transportation through the provision of bus and rapid transit right-of-way, transit stops/stations, and the inclusion of a bicycle and pedestrian network.

Objective: Commercial uses should be sized to meet the needs of the immediate and adjacent villages and town centers. Village and Town Center commercial land uses preempt large regional commercial opportunities within villages and town centers and relegate them to the EUC [Eastern Urban Center] or freeway commercial areas.

Objective: Develop the Eastern Urban Center to promote alternative modes of transportation. Specifically, through the provision of Bus Rapid Transit (BRT) right-of-way and the incorporation of multi-modal access from residential neighborhoods, villages, and town centers.

Implementation

Land uses within Village Four are designed to provide for the daily needs of the residents through proximity to uses such as commercial, CPF, park, and schools, which are located in Village Eight West, abutting the eastern boundary of Village Four. The adjacency to a mix of land uses minimizes the need for automobile travel coupled with the pedestrian-oriented design of the Village are two ways the plan meets the GDP goals and objectives. Village Four provides for future dedicated transit lanes along Main Street.

Goal: Promote village and town center land uses which offer a sense of place to residents, and promotes social interaction

Objective: Organize Otay Ranch into villages and town centers, each having its own identity and sense of place.

Objective: Provide a focused residential land use pattern for Proctor Valley and San Ysidro Mountains Parcels which limits urban multi-family and medium-density single-family housing styles and densities to areas immediately adjacent to or within village core and resort areas.

Objective: The design of the Otay Ranch should promote variety and diversity at the village or town center scale, while providing a sense of continuity through the use of unifying design elements.

Objective: Promote a diverse range of activities and services to encourage a mixture of day/night and weekday/weekend uses.

SPA Plan

Implementation

Village Four meets these goals and objectives through proximity to an intensified Village Core in Village Eight West. Land uses within the Village Eight West Village Core include mixed-use (commercial and high-density Residential) residential, CPF, schools, and parks. The design guidelines for villages control the quality and appearance of buildings and landscaping will foster the overall community identity and establish it as a recognizable place. The residents of Villages Four and Eight West will quickly become a single community that allows people to live, work, shop, and play together. The villages will incorporate community-wide design elements such as signage and landscaping to connect it with the other villages of Otay Ranch. Village Four is located on the Otay Valley Parcel and will not impact the Proctor Valley or San Ysidro Mountains Parcel.

Goal: Diversify the economic base within Otay Ranch.

Objective: Create an economic base that will ensure there is adequate public revenue to provide public services.

Objective: Create an Eastern Urban Center within the Otay Valley Parcel and encourage the development of a retail base for the planning area, but not to the detriment of existing regional and local commercial centers.

Objective: Create a Regional Technology Park (RTP) and other business parks that offer employment opportunities for area residents which complements, rather than substitutes for industrial development on the Otay Mesa.

Implementation

The Village Four site plan contributes to the economic base through providing residential dwelling units and residents for the anticipated community commercial services in Village Eight West and the Eastern Urban Center. The Village Four SPA will provide residents who will frequent the adjacent Town Center, which includes 250,000 square feet of retail space.

Goal: Promote synergistic uses between the Villages and Town Centers of the Otay Ranch to provide a balance of activities, services, and facilities.

Objective: Develop individual villages and town centers to complement surrounding villages/town centers.

Objective: Select villages/town centers to provide activities and uses which draw from surrounding villages/town centers. Uses serving more than one village, such as a

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cinema complex, should be located in a village core or town center that has convenient access to adjacent villages or town centers.

Implementation

The Village Four SPA contributes to the balance of activities, services, and facilities within the Village Eight West Town Center. The residents in Village Four will rely upon the mix of land uses in the Village Eight West Town Center, such as retail, restaurants, etc., which will serve all of the surrounding Villages.

Village/Town Center Definition and Organization

Goal: Organize land uses based upon a village/town center concept to produce a cohesive, pedestrian friendly community, encourage non-vehicular trips, and foster interaction amongst residents.

- Master-plan each village/town center consistent with the GDP/SRP goals, objectives, policies and standards.
- Include a variety of uses and housing types within each village/town center to meet the needs of residents.
- Establish a unique character and sense of place within each village/town center.
- Phase villages/town centers to ensure the provision of adequate facilities and services.
- Accessory units are permitted on single-family lots within Villages One through Eleven, consistent with the provisions of Chapter 3, Housing.
- Land uses, roads and buildings shall be designed and located to encourage walking between uses and foster a pedestrian scale.
- Encourage a pedestrian-friendly village/town center environment through the use of amenities such as:
 - Shaded streets
 - Street furniture
 - On-street parking (excluding Main Street)
 - Buildings fronting the streets
 - Narrow streets
 - Reduced design speeds

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- Visible landmarks
- Entries and porches facing the street
- Commercial areas with zero front yard setbacks (build to line)
- Plazas and courtyards in commercial areas
- Multi-modal circulation systems
- Connect open spaces, schools, parks and neighborhoods with convenient and safe pedestrian walkways and bikeways.
- Pedestrian and bicycle routes shall connect the more distant portions of a village to the village core. Generally, such routes shall be co-located with streets, although connections may be provided along transit corridors or within greenbelts.
- Promenade streets shall extend from secondary areas into the village core or town center to accommodate pedestrian and bike access.
- Non-auto circulation systems, such as pedestrian walkways and bike ways, shall be provided between villages and town centers. Where appropriate and feasible, a grade separated arterial crossings should be provided to encourage pedestrian activity between villages/town centers.
- To define the village core edge and to provide a greenbelt between villages cores, landscaped buffers shall be provided adjacent to arterial highways. The buffer shall vary in size, in relation to highway alignments, topography, community character, location of proposed facilities and existing natural features. Scenic highways have an expanded buffer (see Chapter 2, Mobility).

Village Core/Town Center Policies:

- A village core is defined by the Mixed Use (MU) and Medium high (MH) land use categories as depicted within the GDP/SRP Land Use Map. A town center is defined by the Town Center (TC) land use designation as depicted within the GDP/SRP Land Use Map Village cores and town centers may contain higher intensity uses, including:
 - Civic Presence and Community Purpose Facilities
 - Village Square or Green
 - Elementary School
 - Commercial and Office Uses
 - Transit Stop or Station
 - Parking Areas or Facilities

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- Village cores/town centers should be centrally located, within approximately one-quarter mile of the majority of a village's population.
- The location and form of the village core/town center shall reflect the physical constraints of the village and the village's relationship to surrounding land uses and the circulation system. A town center shall provide for a more defined grid system of roadways the center of which is the town center arterial. The town center arterial provides for greater support to mixed-use retail centers by accommodating high traffic volumes yet does so in a pedestrian friendly environment. It is anticipated that these roadways will be composed of a pair of two lane one-way streets.
- The village core or town center shall be precisely sited at the SPA level consistent with the GDP/SRP goals, objectives and policies. The actual location may shift from the conceptual location depicted in the GDP/SRP Land Use Map, as a result of more precise analysis of the following: circulation and access, visual access from arterial roads, transit service, market and service area considerations and the type of uses proposed within the village core.
- Community purpose facilities shall be provided in accordance with the provision of Chapter 5, Capital Facilities and Chapter 19.48 (PC Zone) of the Chula Vista Municipal Code unless otherwise permitted by City Council pursuant to the expressed terms set forth by agreement, ordinance or such other manner approved by City Council.
- Village Core and Town Center buildings shall not exceed four stories. Buildings constructed at lower heights may be converted to four-story buildings.
- Locate taller buildings near the center of the village core or town center, with building heights and sizes gradually decreasing outward from the center.
- Buildings shall have front access and orientation to streets and sidewalks. Access to parking lots shall be secondary to the street.
- Avoid street side facades of unarticulated blank walls or an unbroken line of garage doors.
- Building facades shall be varied and articulated to provide visual interest. Encourage street level windows and numerous building entries. Arcades, porches, bays, and balconies shall be encouraged.
- Use landscape themes to help define village/town center character.

Village Core/Town Center – Mixed Use Policies

- Land uses permitted within Mixed Use (MU) and Town Center (TC) categories may vary from village/town center to village/town center as the needs warrant.
- The Mixed Use (MU) and Town Center (TC) areas are contiguous pedestrian zones which includes the following activities, as listed below:

SPA Plan

- **Retail/Office Uses:** Uses such as, but not limited to, retail shops, professional offices, service commercial, restaurants, cinemas, health clubs, entertainment facilities, supermarkets and studios are permitted, along with attendant parking areas or facilities. Residential uses may be permitted above commercial uses. These uses should not front on circulation element roads in Village Cores but may in Town Centers in order to activate the street scene and increase the viability of commercial uses.
- **Schools:** Schools shall be located within or adjacent to the mixed use area, where population warrants. However, schools shall not be located so as to disrupt the contiguous retail uses. School sites are shown symbolically on the GDP/SRP Land Use Map to indicate the conceptual location. The specific location of schools shall be identified at the SPA level. Residential uses are permitted, in the event the school sites shift from the mapped location.
- **Civic Presence Facilities:** Each village/town center should contain one or more civic presence facilities within the village core/town center. The architecture of civic presence facility may be the hallmark of the character of the village/town center and help to create a focal point for village/town center activity. (In some cases, a commercial building could be the focal point.) Civic presence facilities may be drawn from a wide variety of uses, including, but not limited to: libraries, community centers, a public plaza, town square or town hall, fire/police stations, cultural arts, public and/or private schools, neighborhood parks, churches, day care centers and commercial recreation facilities. In some instances, civic presence facilities may also be “community purpose facilities” sized in accordance with the requirements of Chapter 5, Capital Facilities, and Chapter 19.48 (PC Zone) of the Chula Vista Municipal Code.
- Encourage mixed uses throughout Mixed Use (MU) and Town Center (TC) areas, including residential or office uses above retail uses.
- The design and location of residential areas shall complement the pedestrian friendly environment.
- Commercial uses shall be sized to meet the day-to-day needs of surrounding villages/town centers. Uses which rely extensively upon regional markets, heavy autos or truck access are not appropriate in the village core or town center.
- Concentrate retail uses near the transit station/stops in Mixed Use (MU) and Town Center (TC) areas. Orient Mixed Use (MU) and Town Center (TC) area activities which generate higher volumes of trips toward the transit facilities, rather than toward parking areas.
- Landscape Mixed Use (MU) and Town Center (TC) areas to create an urban feeling through the use of hardscape, tree wells, pots, street furniture, thematic light fixtures,

SPA Plan

benches, bollards, and enriched paving patterns. Town Center Arterials, Village Entry Streets and Promenade Streets should be tree-lined with a formal landscape pattern.

- Public access spaces, such as a plaza, town square, park, or town hall or community building, shall be provided in Mixed Use (MU) and Town Center (TC) areas. Public access spaces may be privately owned if significant public access is assured.

Village Core/Town Center - Residential Policies

- The Town Center (TC) designation allows for higher residential densities than Mixed Use (MU) land designations.
- Mixed Use (MU) residential with some Medium-high (MH) residential uses shall be located in the village core on two or more sides of mixed-use areas.
- Town Center (TC), Mixed use (MU) and Medium-high (MH) residential uses shall be characterized by higher density multistory mixed use shopkeeper and live/work row homes, townhouses, and stacked flat residential buildings where appropriate.

Secondary Areas Policies

- Secondary areas shall be areas outside of the village core town center, predominately comprised of residential uses.
- Outside the village core/town center, densities generally decrease with distance from the transit stop or station.
- Limited convenience commercial may be located outside the village core or town center. These areas will be delineated at the SPA level.

Transit Policies

- Transit line rights-of-ways shall be approximately located at the SPA level and will be conditioned for dedication at the Tentative Map level within Villages One, Two, Five, Six, Eight, Nine and Planning Area 12.
- Transit stops and/or stations shall be approximately located at the SPA level and will be conditioned for dedication at the Tentative Map level in village core/ town center areas.
- Park-and-ride facilities shall be located within the Freeway Commercial area of Planning Area 12 adjacent to a transit station.
- The EUC shall contain a centrally located transit station. As the intensity of the EUC increases, a second transit stop may be provided, subject to the design criteria of SANDAG.

SPA Plan

- Villages and Town Centers shall provide for a variety of modes of transportation, including walking, automobiles, low-speed neighborhood electric vehicles, bus, rail, specialized transit and bicycles.
- Transportation components, such as park-and-ride facilities, bus stops, pedestrian bridges and pedestrian walkways and bike ways, shall be sited and designed to facilitate connections between transportation modes.
- Provide adequate space for bus service or a feeder network to support transit within each village core or town center.
- Locate commercial uses close to primary village transit stops.
- Small park-and-ride lots for village/town center residents may be provided within the village core or town center. Regional surface park-and-ride lots shall be located outside of villages and town centers, with feeder bus service to the transit station.
- A transit right-of-way shall be identified at the SPA level and will be conditioned for dedication at the Tentative Map level within Town Center Arterials and/or Village Entry Streets designated as transit routes.
- Because the GDP/SRP village cores/town centers are conceptually located on the Land Use Map and are to be approximately located at the SPA level, consistent with the GDP/SRP goals, objectives and policies, the transit line alignment on the Land Use Map may also shift to serve the village cores or town centers based on an analysis required by the policies. Precise transit alignments will be determined with the preparation of tentative maps.
- Bicycle parking shall be provided at transit stations and, in general, activity nodes throughout the village core or town center.
- The design of transit facilities should complement the surrounding architecture.

Village/Town Center Street System Policies

- Access from villages to prime arterials roads should be limited to maintain prime arterials as high capacity regional connections.
- Provide four-lane road connections for pedestrian, automobile and buses between villages, reflective of topographic conditions.
- Reduce through traffic within villages by utilizing two-lane roads and couplets within villages (except for Village Entry Streets), and permitting levels of service less than LOS “C” within villages. Level of service for roads outside of villages is LOS “C”, pursuant to GDP/SRP facility thresholds.

SPA Plan

- Alternative routes within a village may be provided in a number of ways. The details of the circulation system for individual villages shall be prepared at the SPA level.
- With the exception of town centers, prohibit direct routes through villages to discourage through-traffic.
- Cul-de-sacs shall be permitted if, at the end of the cul-de-sacs, pedestrians are provided access to the village core or other desired destinations. Dead end cul-de-sacs are permitted only in perimeter locations.
- Streets shall balance the needs of pedestrians, buses, and automobiles. Intersections shall encourage pedestrian movement, reduce the number of turning lanes (where feasible), reduce auto speed while ensuring public safety, and provide for emergency vehicle access.
- Alleys within the village core may serve residential and commercial areas and encourage service access at the rear of buildings.

Parking Policies

- Parking facilities shall allow for easy pedestrian access.
- Parking facilities shall be segmented into reasonably sized areas to prevent vast expanses of asphalt.
- Parking facilities shall be located and designed for visual accessibility to the driving public.
- Parking lots should be designed to accommodate future redevelopment into buildings with integrated parking structures.
- Parking structures are permitted. Encourage ground floor retail use.
- On-street parallel or diagonal parking adjacent to sidewalks is encouraged. On-street parking may be allowed on the same side of the street as village greens and/or parks.
- Encourage joint use of parking facilities by uses which have differing peak hours. A reduction of required parking spaces may be permitted for shared parking programs and implemented with a joint use agreement.
- Within the village core or town center, parking shall be located on-street, to encourage pedestrian accessibility, and in locations which minimize large expanses of asphalt. Parking may be visually accessible from main thoroughfares, but shall minimize visibility by locating lots to the rear of buildings wherever possible.
- Primary building entrances shall be located on the main street whenever possible. Secondary entrances for large anchor buildings may be provided from parking lots located at the rear.

SPA Plan

- Parking may be provided in structures with potential for use of the ground level for retail space.

Implementation

The GDP states that “Village Four’s location and limited area prevent it from fully functioning as an urban village” and is therefore not suited for Town Center (TC) or Mixed Use land uses. The Village Four SPA Plan is composed of residential and open space land uses and residents rely upon the surrounding villages for commercial, park, and school land uses. Main Street is a major east–west roadway (six lanes through Village Four) that serves the larger Otay Ranch community. While public transit is determined by the Metropolitan Transit System, it is anticipated that Main Street will be used by a transit line, and a transit stop within Village Four is possible. As noted above, Main Street is a major roadway that serves the larger Otay Ranch community and its alignment splits the land plan into two parcels. The entry roads and design principles implement the village/Town Center street system policies. Because the land uses allowed in the Village Four SPA Plan are primarily residential and include CPFs, the site planning for the residential areas will comply with these parking policies.

Village Four Policies (GDP Part II, Chapter 1, pages 86–90)

Village Character Policies

- The Village character should be guided by the following qualities:
 - Location adjacent to Wolf Canyon and connection to the Otay River Valley.
 - A blend of residential densities of the village land uses.
 - Fragmented character due to landforms and intervening roads.
 - The dominant landform of Rock Mountain.
 - Linkage and compatibility with Villages Eight West, Seven and with the Community Park.
 - Views to Wolf Canyon, Rock Mountain, and the mountains to the east.
 - Consideration of major rock outcroppings.
- In order to preserve the integrity of the landform, low density residential may be placed along the south facing slopes of Rock Mountain.
- Adjacent to Wolf Canyon, clustering is encouraged to provide flexibility in grading, minimize landform alteration, and promote a sensitive development design.
- The Village Four Community Park may develop independent from the balance of Village Four and is included within the SPA Plan for the adjacent Village Two area. The balance of Village Four is subject of a SPA Plan.

SPA Plan

Parks and Open Space Policies

Application of the 3 acres per 1,000 residents standard would result in the development of 2.87 acres of local parks in Village Four. A total of 55.8 acres of Community Park land is planned in Village Four to accommodate the aggregated off-site park obligation related to residential development located in other villages.

The following policies shall guide the design of open space in Village Four:

- Open space preserve areas adjacent to Wolf Canyon identified on the GDP/SRP Land Use Map shall be preserved outside of individual private lots. Natural open space character along the canyon shall be based upon the following concept developed in the Overall Ranch Design Plan and refined in the Village Design Plan for this village.
- Development adjacent to the preserve shall adhere to guidelines of the Otay Ranch RMP and Chula Vista MSCP Subarea Plan.
- Reserve a natural habitat corridor of coastal sage scrub linking the Otay River Valley with Wolf Canyon consistent with the Otay Ranch RMP and the Chula Vista MSCP Subarea Plan. The final location and width to be determined by future corridor studies.
- Rock outcroppings on Rock Mountain shall be preserved as open space.
- The outer limits of the wildlife corridor have been established adjacent to the quarry. This area has been identified on the GDP/SRP Land Use Map with a limited development designation, as shown on the quarry reclamation plan and provided it meets the design criteria established in the Otay Ranch Wildlife Corridor Study, Otay Ranch RMP, and the Chula Vista MSCP Subarea Plan.
- The village edge shall be consistent with the Otay Ranch RMP and Chula Vista MSCP Subarea Plan, providing a soft transition to Wolf Canyon. Due to topography, access to the Otay Valley Regional Park will be provided through a Village Eight West connection and implemented at the SPA level.
- Any grading or planned improvements adjacent to Wolf Canyon shall consider the planned development within Villages Two and Three.
- The broad valley of Wolf Canyon shall be retained as an open space amenity. Surrounding uses shall be consistent with the findings of the Wildlife Corridor Study, the Otay Ranch RMP, and the Chula Vista MSCP Subarea Plan.
- Residential lot lines and grading shall not extend into Wolf Canyon, areas designated as open space preserve under the Otay Ranch RMP and Chula Vista MSCP Subarea Plan or the open space scenic corridor area along Otay Valley Road without appropriate

SPA Plan

environmental review. Modifications to preserve boundary must be consistent with the Otay Ranch RMP and the Chula Vista MSCP Subarea Plan.

- Pedestrian trails shall link the Village with the Otay Valley Regional Park through a trail connection to Village Eight West.

Other Village Four Policies

- The visual impacts associated with development in areas adjacent to Wolf Canyon and the Otay River Valley shall be considered in the design of neighborhoods along this edge. A visual analysis with photo simulations shall be performed at the SPA level to assess visual impacts of development adjacent to Wolf Canyon and the Otay River Valley. The analysis shall illustrate the natural grade of the area and the topography after grading.
- Landform grading guidelines for the edges of Wolf Canyon, Rock Mountain, and the open space scenic corridor along Main Street shall be developed as part of the Village Design Plan at the SPA level. These specific guidelines shall be consistent with the definitions and standards established in the Overall Ranch Design Plan.
- Design guidelines which address the visual quality of development adjacent to the Otay Valley Regional Park/Otay River Valley shall be included in the Village Design Plan for Village Four. Specific SPA guidelines shall incorporate guidelines developed in the Overall Ranch Design Plan.
- Development adjacent to the rock quarry shall be phased to minimize the impacts from active quarry operations. Restrict access to active quarry uses from adjacent residential and park uses through the use of fencing or other buffering techniques. Special setbacks and design features may be needed to mitigate noise impacts from quarry uses.

Implementation

Since the adoption of the Otay Ranch General Development Plan, the boundaries between villages have shifted, in some instances significantly, based upon sale of sections of land and the desire to development adjacent parcels as a single village. The boundaries of Village Four have significantly changed, specifically, the Quarry is controlled by separate ownership and has processed a use and reclamation plan, and the Village Eight West SPA Plan included the eastern portions of Village Four. The result of these changes is a reduction in the size of Village Four from 394.8 acres to 166.2 acres.

The Village Four portion of the Otay Ranch GDP has been revised to reflect the above changes. The SPA Plan implements the Otay Ranch GDP policies that are specific to Village Four. The Village Four SPA Plan and Tentative Map grading policies and design include landform grading techniques that respect Wolf Canyon, the rock outcroppings and the peak of Rock Mountain. The SPA Plan provides

SPA Plan

for up to 350 dwelling units which is consistent with the GDP; however, the smaller development area results in a higher density (approximately 10.2 per net acre) and smaller lot sizes. As specified in the Village Four policies, none of the developable lots extend into the MSCP.

Wolf Canyon is included within the MSCP and based upon the sensitive nature of the canyon, trails are prohibited; therefore, direct access to OVRP through Wolf Canyon is not possible. Access to OVRP is achieved with trail connections through Villages Three (to the west) and Eight West (to the east). Through the planning of Village Four, the MSCP edge grading was revised to increase the size of the Preserve by more than an acre.

8.4 Mobility (GDP Part II, Chapter 2)

Goal: Provide a safe and efficient transportation system within Otay Ranch with convenient linkages to regional transportation elements abutting the Otay Ranch.

Objective: Ensure timely provision of adequate local circulation system capacity to respond to planned growth, maintaining acceptable levels of service (LOS).

Objective: Plan and implement a circulation system such that the operational goal of Level of Service “C” for circulation element arterial and major roads and intersections can be achieved and maintained outside village cores and town centers. Sections of Main Streets and internal village streets/roads are not expected to meet this standard.

Objective: Encourage other transportation modes through street/road design standards within the village, while accommodating the automobile. Design standards are not focused on achieving LOS standards or providing auto convenience.

Objective: Provide an efficient circulation system that minimizes impacts on residential neighborhood and environmentally sensitive areas.

Policy: Otay Ranch shall contribute its fair share toward financing the transportation facilities necessary to serve the demand created by the development of Otay Ranch.

Policy: Support the design and construction of a regional circulation system that will have the capacity to carry the forecasted regional demand volumes through the area.

Policy: Coordinate and integrate the Otay Ranch transportation system with the transportation facilities and plans of surrounding jurisdictions.

SPA Plan

Implementation

Streets surrounding and internal to Village Four are designed in compliance with the Goals, Objectives, and Policies of the Mobility Element of the Otay Ranch GDP. Street design and phasing strives to provide balanced, efficient, and appropriate levels of service for all modes of transportation. Main Street has been designed to be consistent with the Otay Ranch GDP and will accommodate public transportation. Internal streets are designed to accommodate bicycles, and pedestrian sidewalks are provided throughout the village to provide alternatives to automobile travel.

Goal: Achieve a balanced transportation system which emphasizes alternatives to automobile use and is responsive to the needs of residents.

Objective: Study, identify, and designate corridors, if appropriate, for transit facilities.

Policy: Support and encourage the use of alternative forms of transportation such as public transit and car/van pools to reduce both roadway congestion and pollution.

Objective: Promote alternative forms of transportation, such as bicycle and low speed electric vehicle paths, riding and hiking trails, and pedestrian walkways as an integral part of the circulation system.

Policy: Provide a thorough and comprehensive bicycle circulation system, emphasizing bicycle paths, segregated from vehicular traffic, between major destinations within and adjacent to the Otay Ranch Project Area.

Policy: Develop patterns of land use which will allow the elimination of automobile trips and encourage pedestrian movement through pedestrian-friendly environments and proper land use mix.

Implementation

The land plan for Village Four has been created to de-emphasize the automobile through accommodating future transit opportunities and planning/designing trails and paths for non-motorized movement. The Village Four SPA has provided for future dedicated transit lanes along Main Street as well as bike lanes in both directions. Village Four is adjacent to Village Eight West, which has been designed with mixed-use development in accordance with Town Center concepts that promote alternatives to automobile use. The Village Four system of trails and sidewalks throughout the village provides connections to destinations such as Village Eight West and will encourage residents to walk rather than drive.

SPA Plan

Circulation Element Arterial and Major Roads

- Policy:** Provide a system that recognizes and is consistent with the adjacent circulation element roads.
- Policy:** Reduce Birch Road between SR 125 and Eastlake Parkway from 6 lanes to 4 lanes in order to match travel lanes to the Village entry street in Village 11 and provide a better pedestrian connection between the Freeway commercial and EUC.
- Policy:** Provide Town Center Arterials in Village Eight West and Nine that incorporate the use of couplets, spindles, or a grid street system to be determined on the SPA level as a mechanism for allowing arterial and major roadways to enter and pass through the center/interior of a village.
- Policy:** Minimize impacts on adjacent residential and environmentally sensitive areas.
- Policy:** Minimize impacts on unique landforms by designing with the natural terrain where possible when selecting alignments.
- Policy:** Except in Town Centers, prohibit parking on arterial and major circulation element roads.
- Policy:** Provide over/undercrossings linking villages where appropriate. These should accommodate pedestrians and bikes and low-speed electric vehicles.
- Policy:** Provide bridges or culverts to allow for wildlife crossings where required by the Wildlife Corridor Study.
- Policy:** Prohibit bisecting village cores with circulation element roads except in Town Centers.
- Policy:** Except in Town Centers, enhance traffic flow by minimizing the number of points of ingress and egress to villages from circulation element roads.
- Policy:** Except in Town Centers, prohibit driveways along arterials for any residential or village commercial use and strictly limit driveways for freeway commercial and EUC uses.
- Policy:** Design circulation elements roads in accordance with Exhibits 78 through 93.
- Policy:** Design the village road systems to provide a hierarchy of streets and alternate routes connecting to the village core area.

SPA Plan

Policy: Design village roads for human rather than automobile scale while ensuring public safety in all cases.

Policy: Traffic calming devices such as neck downs, bulb-outs and traffic circles shall be provided in each village and town center

Policy: All streets shall be tree-lined, consistent with an overall village landscape plan.

Streets/Roads

Village Entry Streets

Policy: Village entry streets should incorporate medians and be landscaped to reinforce village character and identity.

Policy: Direct driveway access shall be precluded on primary village, promenade, or collector streets except for commercial and multiple family parking areas.

Policy: Selected streets should provide direct visual access to the village core.

Policy: Design streets to give balance to the needs of the various modes of transportation using the street. Intersections should be designed to encourage pedestrian movement and reduce vehicle speed while ensuring public safety and providing for emergency vehicle access.

Residential Streets

Policy: Cul-de-sacs are permitted if, at the end of the cul-de-sacs, pedestrian, bike and low-speed electric vehicle access remains open to a link to the village core or other desirable uses. Dead-end cul-de-sacs are permitted only in perimeter locations.

Policy: Multiple points of access in a grid system shall be provided. Block perimeters shall not exceed 2,000 feet. Exceptions can be made in perimeter locations where steep hillside terrain would make vehicular connections difficult. In such conditions, a pedestrian connection such as a trail or paseo shall be provided.

Traffic Calming

Policy: Encourage the use of Traffic Calming devices throughout the mobility plans for all villages, town centers and planning areas.

SPA Plan

Rural Standards

- Objective:** Large lot rural areas shall be planned using reduced width road sections, with rolled curbs, gutters, or sidewalks. All unimproved shoulders shall be provided, which could be utilized by pedestrians.
- Objective:** Parking shall be provided to ensure convenient access to activity centers, while encouraging pedestrian activity and reduced reliance on the automobile.

Natural Design Considerations

- Objective:** Design roadways to follow natural contours in rural areas and steeper topography, except where safety, grading or strong design considerations suggest otherwise.
- Policy:** Design roadways to minimize grading and the height of cut and fill slopes
- Policy:** Provide for wildlife as required in the Wildlife Corridor Study.

Transit Routes

- Objective:** Otay Ranch land use, mobility and transit plans shall be coordinated with local and regional transit plans to ensure that Otay Ranch villages are served at the earliest stages of development.
- Policy:** Provide areas for interconnection of various modes of transportation.
- Policy:** Provide transit/bus stops/shelters in village core areas and close to service/commercial uses. Provide waiting and bike storage facilities at one transit stop within each village core.
- Policy:** Coordinate location of transit stations with Bus Rapid Transit (BRT) stations.
- Policy:** Coordinate transit routes and stops with SANDAG/MTS [Metropolitan Transit System].
- Policy:** Shelter design should be compatible with village character/theme and may, therefore, vary from village to village. Shelter maintenance responsibility shall be determined during the design process.
- Policy:** Encourage local loop bus routes connecting the villages to the Eastern Urban Center and to other regional transportation systems, parks, schools, the university and recreational areas.

SPA Plan

Transit System

- Objective:** The Otay Ranch land use and mobility plans shall incorporate regional plans for the expansion of the bus rapid transit system.
- Policy:** Coordinate with SANDAG, CVT and other transit agencies to provide for the integration of the BRT line into Villages One, Two, Five, Six, Eight and Nine, Park and Ride and the Eastern Urban Center. The BRT alignment shown on the GDP/SRP Land Use Map is conceptual and will be more precisely located at the SPA level of planning.
- Policy:** Provide for reservation of space for the BRT line within the identified villages/areas. Locate stations/stop areas, consistent with SANDAG/MTS standards, within the village cores/areas identified for transit.
- Policy:** Bus stop locations should be coordinated with future BRT stations and should follow the same design guidelines.

Low Speed Electric Vehicle Travel

- Objective:** To reduce reliance on the automobile, the Otay Ranch road system shall be designed to provide for low speed electric vehicle travel.
- Policy:** Underpasses/overpasses should be provided at strategic locations to minimize low speed electric vehicle/automobile conflicts on major arterials. Locations should be determined at the SPA/Specific Plan level.
- Policy:** Low speed electric vehicle parking facilities should be located within village cores/town centers.
- Policy:** Coordinate low speed electric vehicle travel consistent with the policy contained in the village roads section.

Bicycle/Pedestrian Paths

- Objective:** The bicycle and pedestrian path system should provide for a safe continuous pedestrian and bicycle circulation system to all parts of villages.
- Policy:** The path system should connect to the village core to encourage alternate means of travel.
- Policy:** Bicycle lane and pedestrian pathways should provide travel in both directions.

SPA Plan

- Policy:** Signing should be posted at intervals, directing bicyclists and pedestrians to the appropriate side of the trail.
- Policy:** Drainage inlet grates, manhole covers, etc., on trails should be designed to provide adequate surface for tire or foot travel.
- Policy:** At-grade trail crossings should be provided for at signalized intersections.
- Policy:** Bicycle storage facilities should be provided within village cores, at transit and bus stops.
- Policy:** Underpasses/overpasses will be provided at strategic locations to minimize automobile and trail user conflicts at arterial highways. Specific locations should be determined at the SPA/Specific Plan level.

Scenic Corridors

- Objective:** Protect and enhance valuable scenic resources and views throughout the Otay Ranch.
- Objective:** Design roadways and/or adjacent villages to protect visual resources.
- Objective:** Coordinate with adjacent jurisdictions to encourage protection of scenic corridor resources outside of Otay Ranch.
- Objective:** Coordinate with SANDAG and other agencies regarding facilities they may need to locate within scenic corridors and suggest measures to ensure compatibility.
- Policy:** The following Otay Ranch routes are designated scenic roadways:
- **Telegraph Canyon Road** – provide for setbacks and landscaping along this edge. Variable setbacks, landform grading and recognition of existing swales in final grading is desirable. No existing vegetative character exists. It is recognized that modification to existing landforms will occur.
 - **Olympic Parkway** – from the western property boundary to SR-125. The roadway should be sited in the canyon bottom to preserve sideslopes and vegetation wherever possible. Protect steep slopes and vegetation on the north slope (south facing) between the western property line and Heritage Road. Further east, to Otay Lakes Road, topography of the north slope should be preserved. East of Otay Lakes Road and the entire south side should be contour-graded with extra setbacks and revegetation.

SPA Plan

- **Main Street/Hunte Parkway** – from the western property line to Olympic Parkway except within the boundaries of a town center. The road provides expansive views of the Otay River Valley, Rock Mountain, and Salt Creek. Protect views into the valleys and propose sensitive grading, setback and architectural controls along this edge.
- **Otay Valley Road** – from Village Eight West town center boundary to Street A in Village Nine.
- **Otay Lakes Road** – from the Mary Patrick Estate to the Daley Quarry. This stretch of road provides opportunities for views of the Otay Lakes and other landforms. Preserve corridor views to the lakes as the road passes through the resort center. Carefully site architecture and use setbacks with height controls to preserve views. Continue an open, non-urban character along this corridor.
- **Proctor Valley Road** – from Salt Creek Ranch to Highway 94. This road passes through open space areas providing views to Jamul, the San Miguel Mountains and Proctor Valley Creek. Final alignment should seek to preserve significant rock outcroppings and landforms, and preserve views to the Upper Otay Reservoir. Design for more urban character at the village center. In the Jamul area, provide large setbacks and fencing to project the developed rural ranchette character of Jamul.

Implementation:

The land plan for Village Four has been created to de-emphasize the automobile through accommodating future transit opportunities and planning/designing trails and paths for non-motorized movement. The internal streets have been narrowed to emphasize pedestrian circulation. The Village Four SPA has provided for future dedicated transit lanes along Main Street. The buffer along Main Street exceeds the average width of 75 feet.

8.5 Housing (GDP Part II, Chapter 3)

Goal: Create a balanced community exemplified by the provision of a diverse range of housing styles, tenancy types, and prices.

Long Term Objective

Objective: Provide a variety of housing opportunities sufficient to meet a proportionate share of the Regional Share allocation of housing.

SPA Plan

- Policy:** The Regional Share allocation shall be established for both the City of Chula Vista and the County of San Diego through SANDAG's Regional Housing Needs Statement, and shall be adjusted every five years by SANDAG in accordance with State Housing Law.
- Policy:** Continue to address the Otay Ranch's proportionate share of those Regional Share allocations, as determined in the Housing Elements of the appropriate land use jurisdiction, and periodically updated. Said proportionate share determination shall be consistent with SANDAG's Regional Share allocation methodology.
- Policy:** Coordinate City of Chula Vista and County of San Diego housing policies pertaining to Otay Ranch in the future Housing Element updates.

Implementation:

The Village Four SPA Plan continues the City's efforts to provide a variety of housing products and achieve the residential unit counts anticipated in the Otay Ranch GDP. Proposed housing includes apartments, townhomes, condominiums, and small lot single-family residential.

Five-Year Objective

- Objective:** Each Otay Ranch Village will proportionately assist the appropriate land use jurisdiction to meet or exceed Otay Ranch's share of the 5-year Regional Share allocation as provided by each jurisdiction's Housing Element.
- Policy:** Encourage each "Urban Village" to offer a variety of housing types, densities and prices which will enable affordability within each income group under Regional Share.
- Policy:** Encourage housing opportunities for very low, low and moderate-income households, and the dispersal of such housing among Otay Ranch villages to promote a balanced community.
- Policy:** Consider the use of mobilehome and manufactured housing as alternative building types to promote affordability.
- Policy:** Support the exploration and use of innovative and alternate building technologies and materials which reduce costs, increase affordability, and address environmental issues such as energy and water conservation, air quality improvements and recycling.
- Policy:** Encourage the timely provision of each village's affordable housing component in the earliest development phase possible.

SPA Plan

Policy: Priority shall be given to satisfying each Village's Regional Share affordable housing obligation within that Village. However, when the agency of jurisdiction finds that; (1) it is infeasible to provide all the Regional Share obligation within the subject Village, and (2) a transfer of the obligation will not be significantly detrimental to achieving balanced communities, and (3) that development phasing and related provision of the subject units will not adversely affect attainment of the Regional Share allocation within the respective 5-year period, the agency may allow a portion of those affordable housing obligations to be satisfied within another Urban Village, or Villages. Said transfer of allocation between Villages shall provide the information required by implementation measure below, and shall assure provision of the transferred units through an agreement and appropriate conditions on the land prior to approval of the SPA for the Village from which the allocation is transferred.

Policy: Support the use of accessory dwelling units as an additional source of affordable housing for lower-income households.

Implementation:

The Village Four SPA Plan will provide the 350 dwelling units anticipated in the Otay Ranch GDP which assists the City's efforts relative to achieving the 5-year share of regional housing need. Village Four will meet its affordable housing obligations through either providing affordable housing at an "on-site" or "off-site" location or payment of the in-lieu fee.

Fair Housing and Special Housing Needs

Goal: The provision of sufficient housing opportunities for persons of all economic, ethnic, religious and age groups, as well as those with special needs such as the handicapped, elderly, single parent families and the homeless.

Objective: Ensure that the Otay Ranch provides housing opportunities sufficient to meet a proportionate share of identified special housing needs, and applies fair housing practices for all needs groups in the sale, rental, and advertising of housing units.

Policy: The level of special housing needs shall be identified for both the City of Chula Vista and the County of San Diego through SANDAG's Regional Housing Needs Statement, and updated every five years in accordance with State Housing Law.

Policy: Otay Ranch shall address a proportionate share of those identified special needs as determined in the Housing Elements of the appropriate land use jurisdiction, as updated.

SPA Plan

Policy: Consistent with Otay Ranch's identified share of special housing needs, each Otay Ranch Village shall address housing opportunities for these needs groups, consistent with the Housing Elements of the appropriate land use jurisdiction, as updated.

Policy: Ensure compliance with all State and Federal statutes regarding barrier free environments and elimination of racial, age, religious, sexual and economic bias and discrimination in housing sales, rental, advertising and lending practices.

Policy: Include an adequate amount of land designated for community purpose facilities within Otay Ranch to provide for the location of facilities to shelter the homeless.

Implementation:

Village Four will contain a variety of housing types ranging in density from low-medium to high. The variety of housing types will accommodate families, singles, and those with special housing needs, including the handicapped and the elderly. The project is required to meet all State of California handicap accessibility requirements. Fair housing practices will be employed in the sale, rental, and advertising of all units.

8.6 Parks, Recreation, Open Space (GDP Part II, Chapter 4)

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Policy: Provide local and regional trails which run through and/or connect open space areas in: Otay River Valley, Poggi Canyon, Wolf Creek Canyon, Salt Creek Canyon, Mt. Miguel, Jamul Mountain, Otay Mountain, Otay Lakes and BLM land.

Policy: Encourage joint use of utility easements with appropriate and compatible uses, including, but not limited to, open space, agriculture, parking and trails.

Policy: Planning for the Otay Ranch Regional Park System shall be coordinated with the planning for the Otay Valley Regional Park through the Otay Valley Regional Park Joint Exercise of Powers Agreement and the Otay Ranch Interjurisdictional Task Force to ensure that the regional parks include both active and passive recreation areas and trails, and consider adjacent development, community character, land use,

SPA Plan

conservation, preservation and citizen recreational needs are compatible with each other.

Policy: Create a large-scale open space and regional park system with components in the Otay River Valley, Jamul Mountain and San Ysidro Mountains including regional parkland, open space, environmental preserves and local parks. This system shall connect to off-site parks and open spaces such as the Sweetwater River Valley, the western Otay River Valley and the San Ysidro Mountains BLM open space.

Policy: Provide 15 acres of regional park and open space per 1,000 Otay Ranch residents.

Policy: Plan for the development of multi-use trail facilities in the regional park and open space setting with appropriate connections to adjacent parks and facilities.

Objective: Maximize conservation, joint uses, and access and consider safety in the design of recreational facilities.

Policy: Encourage public transit service to regional parks and provide access to handicapped and disabled persons, in accordance with the latest federal guidelines.

Policy: Commercial recreation opportunities may be permitted within town square, community and regional parks to generate revenue to defray park operational expenses.

Policy: Utilize conservation measures including reclaimed water, efficient irrigation systems and drought tolerant plant material in the development of public and private parks where allowed.

Policy: Minimize park operation and maintenance costs and identify funding sources for continued operation and maintenance of all Otay Ranch parks and open space land.

Objective: Provide neighborhood and community parks and recreational facilities to serve the recreational needs of local residents.

Policy: For the purpose of calculating the County's local open space requirement, parks, open spaces and golf courses with public access may be appropriate greenbelt areas.

Policy: Provide a minimum of three acres of neighborhood and community parkland (as governed by the Quimby Act) and 12 acres per 1,000 Otay Ranch residents of other active or passive recreation and open space area.

SPA Plan

Policy: Encourage the design of park sites adjacent to public schools and other public lands where co-location of facilities is feasible. Joint use agreements with school districts are encouraged.

Implementation

Chapter 5: Parks, Open Space, and Trails, describes in detail the location funding and maintenance of required facilities. Park obligations are met through the payment of the in-lieu fee.

8.7 Capital Facilities (GDP Part II, Chapter 5)

Goal: Assure the efficient and timely provision of public services and facilities of developable areas of Otay Ranch concurrent with need.

Coordinate Facilities with Pace of Development

Objective: Ensure that the pace and pattern of residential, commercial and other non-residential development is coordinated with the provision of adequate public facilities and services.

Policy: Promote the joint siting, planning, development and operation of complementary public functions in the SPA Public Facility Financing and Phasing Plans.

Policy: Permit patterns of development that will allow growth to proceed in rational increments that preserve the village form and desired open space.

Implementation:

The Village Four SPA meets these Goal, Objective, and Policies through a plan that phases development with infrastructure improvements. The developer will participate in fair-share funding of facilities. The Village Four SPA meets these Objective and Policies through preparation of Public Facility Financing Plan (PFFP).

Provide Facilities Concurrent with Need

Objective: Permit development only through a process that phases construction with the provision of necessary infrastructure prior to or concurrent with need.

Policy: Require SPAs to plan for the siting and funding of necessary public facilities.

SPA Plan

Implementation:

The Village Four SPA meets these Objective and Policies through a plan that phases development with infrastructure improvements. The developer will participate in fair-share funding of facilities.

New Development Pays Its Own Way

Objective: Development projects shall be required to provide or fund their fair share of all public facilities needed by the development.

Policy: Require, as a basis of approval, discretionary development projects to provide or contribute toward the provision of all public facilities necessary to serve the development concurrent with need. Residential and nonresidential land uses that necessitate and benefit from new capital facilities should pay the proportionate cost of constructing those facilities. However, residents of Otay Ranch should not be expected to pay exactions for capital facilities unless the facility costs are spread to other new development which will be served by the facility, regardless of whether that development occurs within or outside of Otay Ranch.

Policy: Promote the use of turn-key programs, reimbursement agreements and other means of requiring new development to ensure that facilities are constructed and available concurrent with need.

Policy: Consider the use of development agreements/public benefit agreements and other vesting mechanisms to assure the timely provision of needed public facilities and services.

Policy: Require development projects to participate in established regional development impact fee programs for the funding of that portion of the regional facilities needs created by new development.

Objective: “Enhanced Services” may be provided to specified geographic areas of the Otay Ranch. These are services that exceed the normal or standard level of services provided to the jurisdiction as a whole.

Policy: To the extent that property owners and/or residents within Otay Ranch receive enhanced service levels, those benefitting properties shall pay the added service costs (both direct and indirect) through an ongoing benefit assessment mechanism. Any additional fees or taxes levied against property in order to pay for enhanced services will not be included toward the 2.00 percent limit mentioned below.

SPA Plan

Implementation:

The Village Four SPA meets these Objective and Policies through preparation of Public Facility Financing Plan (PFFP) to ensure public facilities are funded and phased with development of the SPA Plan area.

Revenue Sharing

Objective: The City of Chula Vista and the County of San Diego shall enter into a Master Property Tax Agreement covering all annexations within an agreed-upon geographic area in Otay Ranch. That Agreement shall consider the distribution of property tax revenues, as well as the allocation of total project revenues between the City and the County in accordance with the following policies.

Policy: All County local services provided to the unincorporated portions of Otay Ranch, including direct and indirect costs, and including capital and operating costs, shall be covered by project revenues and project exactions. Shortfalls shall be covered through a specially designated fund established by the developer and through an agreement between the City of Chula Vista and the County of San Diego.

Policy: All City local services provided to the incorporated portions of Otay Ranch, including direct and indirect costs, and including capital and operating costs, shall be covered by project revenues and project exactions. Shortfalls shall be covered through a specially designated fund established by the developer and through an agreement between the City of Chula Vista and the County of San Diego. Capital costs for regional facilities shall also be covered by project revenues, except for any regional capital costs being paid for through an equitable financing plan as described below.

Policy: All County regional services, including direct and indirect costs, shall be covered by project revenues. Shortfalls shall be covered through a specially designated fund established by the developer and through an agreement between the City of Chula Vista and the County of San Diego.

Policy: When the County determines that a need for regional capital facilities is anticipated to serve residents of Otay Ranch, an equitable financing plan will be established by the County. The financing plan shall be based on the best estimate of the future need and the costs created by various developments including Otay Ranch and the costs that are created from changes in demographic patterns within existing development. At that time, the property owners and residents of Otay Ranch shall be expected to pay the fair share of the costs of those regional facilities according

SPA Plan

to the nexus. Implicit in this is that other property owners within the benefit area also pay their fair share apportionment of costs.

Objective: As a general guideline, efforts should be made to keep the effective tax rate (ETR), including all property taxes and special assessments, not to exceed 2% of the assessed value of the property.

Policy: The total ETR consists of the basic 1% ad valorem property tax levy mandated by Proposition 13, plus the following:

- Ad valorem property tax overrides for retirement of voter-approved bonded indebtedness;
- Existing non-ad valorem tax overrides--including special taxes, assessment installment payments, and parcel charges--for public facilities or services (expressed as a percentage of market value); and new or proposed non-ad valorem tax overrides (expressed as a percentage of market value). Examples are charges for community facilities districts (Mello-Roos), assessment districts, open space, and lighting and landscaping districts.

Implementation:

The Village Four SPA Plan area is located entirely within the jurisdictional limits of the City of Chula Vista which complies with these Goals, Objectives, and Policies.

Monitor Development to Ensure Facility Adequacy

Objective: Monitor the impacts of growth and development on critical facilities and services to ensure that necessary infrastructure is provided prior to or concurrent with need.

Policy: Require SPAs to prepare a fiscal impact report discussing a project's individual and cumulative effects on the fiscal wellbeing of impacted public entities and discussing a project's impacts on service/capacity levels of existing facilities. (See Part II Chapter 9 for the contents of the SPA level fiscal analysis.)

Policy: Apply and annually monitor public facility threshold standards in order to:

- Define public facilities and services integral to accepted definitions of a quality living environment;
- Define acceptable levels of service or operation; and
- Provide a means for monitoring the impacts of development in these critical facilities and services on a project-by-project basis.

SPA Plan

Implementation:

The Village Four SPA meets these Objective and Policies through preparation of Public Facility Financing Plan (PFFP) to ensure public facilities are funded and phased with development of the SPA Plan area.

8.7.1 Public Facility Plans

Drainage Facilities

Goal: Provide protection to the Otay Ranch project area and surrounding communities from fire, flooding and geologic hazards.

Objective: Individual projects will provide necessary improvements consistent with the National Flood Insurance Program, Drainage Master Plan(s), and Engineering Standards.

Policy: Storm drain runoff should be managed to minimize water degradation, to reduce the waste of fresh water, to protect wildlife and to reduce erosion.

Objective: Storm Water flows shall be controlled and conveyed based on statistical models and engineering experience, as specified in the City Engineering Standards consistent with National Pollutant Discharge Elimination Systems (NPDES) Best Management Practices.

Objective: Reduction in the need for construction of flood control structures.

Policy: Development within floodplains will be restricted to decrease the potential for property damage and loss of life from flooding and to avoid the need for channels and other flood control facilities.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Policy: The use of natural watercourses will be required except in cases where no less environmentally damaging alternative is appropriate.

Policy: The costs of constructing needed flood control facilities shall be shared by property owners who create the need for, and benefit from, the facilities.

Objective: Require on-site detention of storm water flows such that existing downstream structures will not be overloaded.

SPA Plan

Policy: Require measures to decrease the adverse impacts created by increased quantity and degradation in the quality of runoff from urban areas.

Policy: Comply with the appropriate jurisdiction's Flood Insurance Program.

Implementation:

The grading and drainage plans for Village Four will meet these goals and objectives by sizing drainage facilities appropriately to convey the generated flows and detain runoff as required in the Village Four Storm Water Quality Management Plan, prepared by Hunsaker & Associates. Subsequent grading and drainage plans will provide additional, site-specific measures that will avoid encroaching into floodways to decrease the potential of flood damage, minimize impact to flood plains, and provide for protection of adjacent, lower elevation sensitive habitats.

Sewerage Facilities

Goal: Provide a healthful and sanitary sewerage collection and disposal system for the residents of Otay Ranch and the region, including a system designed and constructed to accommodate the use of reclaimed water.

Objective: The ongoing planning, management and development of sewerage conveyance, treatment, and disposal facilities to adequately meet future demands.

Policy: Land use planning will be coordinated with sewerage system planning, which is the responsibility of facility providers.

Policy: Ensure that the Otay Ranch Project will not use all available regional facility capacity, such as sewer, water and roads, and thus compromise the ability of other South County and East County parcels to develop as planned.

Policy: The placement of new septic systems will be controlled to ensure the health and safety of the public.

Objective: Assure that wastewater treatment plans are consistent with sewerage master plans.

Policy: Ensure that wastewater treatment plants are properly located, meet the sewer needs of the project, do not cause premature urbanization, create no unmitigable environmental effects, and minimize the need for sewer pump stations.

Objective: Sewage disposal systems should maximize the provision and utilization of reclaimed water.

SPA Plan

Policy: Implement development regulations that require water conservation, wastewater reclamation, and drought-tolerant landscaping requirements.

Implementation:

The sewer service for Village Four will be in compliance with the Otay Ranch Village Four Sewer Planning, Management, and Facilities Development Plan prepared by Dexter Wilson Engineering. The tentative map and subsequent improvement plans provide additional site-specific design implementation of the project sewer system.

Integrated Solid Waste Management Facilities

Goal: Provide solid waste facilities and services which emphasize recycling of reusable materials and disposal of remaining solid waste so that the potential adverse impacts to public health are minimized.

Objective: Reduce the volume of waste to be landfilled by 30% by 1995 and by 50% by 2000.

Policy: Promote waste management techniques that are alternative to landfilling.

Policy: Utilize landfills primarily for wastes that cannot be recycled or processed and for the residual from processing facilities.

Policy: Cooperate with regional programs to identify markets for recyclable goods and solid waste disposal sites to accommodate existing and future need including disposal of inert materials and special wastes such as sludge and non-hazardous liquids.

Policy: Cooperate with regional programs to identify sites appropriate for the disposal of waste products and waste residuals, which cannot be recycled, converted to energy, or otherwise used.

Policy: To support State and Federal legislation that encourages recycling, removes barriers to recycling, promotes funding for local recycling programs or promotes waste reduction.

Implementation:

During construction, the handling and disposal of all solid waste and recycling of materials will adhere to best management practices (BMPs) and City standards, including CVMC Section 8.25.095: Construction and demolition debris recycling. Planning for occupancy will include considerations as listed in the City's "Recycling and Solid Waste Planning Guide." A recycling/drop-off center may be located within the Village Core. This central location will

SPA Plan

provide alternative methods for residents and businesses in the village to participate in recycling California Redemptive Value bottles and cans.

Urban Runoff Facilities

- Goal:** Ensure that water quality within the Otay Ranch project area is not compromised.
- Goal:** Ensure that the City of San Diego's water rights within the Otay River watershed shall not diminish.
- Policy:** An urban runoff diversion system shall be designed to ensure the protection of water quality within Otay Lakes.
- Policy:** Best Management Practices (BMP) including, but not limited to urban runoff diversion systems, shall be developed to protect water quality within Otay Lakes.
- Policy:** Integrated Pest Management should be used for all public places.
- Policy:** Use of chemical pesticides should be avoided along streets and highways.

Implementation:

The Master Drainage Study for Otay Ranch Village Four and the Storm Water Quality Management Plan, prepared by Hunsaker & Associates, describes how these Goals and Policies will be met through management and containment in conformance with the National Pollutant Discharge Elimination System Municipal Permit issued by the San Diego Regional Water Quality Control Board; the Development Storm Water Quality Manual; the Village Four Storm Water Quality Management Plan; and CVMC Chapters 14.20 and 15.04.

Water Facilities

- Goal:** Ensure an adequate supply of water for build-out of the entire Otay Ranch project area; design the Otay Ranch project area to maximize water conservation.
- Objective:** Ensure an adequate supply of water on a long-term basis prior to the development of each phase of the Otay Ranch Project Area.
- Objective:** Ensure infrastructure is constructed concurrently with planned growth, including adequate storage, treatment, and transmission facilities, which are consistent with development phasing goals, objectives and policies, and the Service/Revenue Plan.

SPA Plan

Objective: Ensure that water quality within the Otay Ranch Project Area is not compromised, consistent with NPDES Best Management Practices, and the RWQCB Basin Plans.

Policy: Coordinate Otay Ranch land planning with the applicable water district provider.

Policy: Discretionary land development applications dependent on imported water will only be approved if the service provider reasonably expects that water facilities will be available concurrent with need, and that all appropriate requirements will be met through conditions placed on project approval.

Objective: Promote water conservation through increased efficiency in essential uses and use of low water demand landscaping.

Objective: Encourage suppliers to adopt a graduated rate structure designed to encourage water conservation.

Implementation

The Final Overview of Water Supply Assessment for the Village Four SPA Plan area, which ensures that sufficient water supplies are available in normal, dry year, and multiple dry year periods, was approved by OWD staff in July, 2016. A Water Conservation Plan is incorporated as Appendix G. Recycled water will be used to irrigate appropriate spaces within open space areas. The SPA requires all landscaping to comply with the City's Landscape Water Conservation Ordinance (CVMC §20.12). Water facilities will be phased in conformance with street improvements and sewer facilities.

Water Reclamation Facilities

Goal: Design a sewerage system which will produce reclaimed water. Ensure a water distribution system will be designed and constructed to use reclaimed water. Construction of a "dual system" of water supply will be required for all development where reclaimed water is used.

Objective: Encourage development of public and private recreational uses that could utilize reclaimed water.

Policy: Sewage treatment within the community should be oriented toward reclamation and reuse of wastewater for public and private landscape controlled by a public agency or homeowner's association and golf course irrigation purposes.

SPA Plan

Implementation:

A Recycled Water Plan has been prepared and incorporated as part of the Village Four approval process. A SAMP for the project includes recycled water facilities.

8.7.2 Social Facilities

Arts and Cultural Facilities

Goal: Plan sites for facilities dedicated to the enhancement of the arts at the community level that can contain indoor and outdoor facilities capable of supporting community-theater, training and exhibition of art and sculpture, musical training and concerts, film and cultural festivals, public meetings, and other community events.

Implementation

The Village Four land plan provides for indoor and outdoor facilities on the CPF parcels.

Cemetery Facilities

Objective: Identify and preserve adequate cemetery sites to serve the Otay Ranch Project Area.

Implementation

No cemetery site is proposed in Village Four.

Child Care Facilities

Goal: Provide adequate child care facilities and services to serve the Otay Ranch project area.

Objective: Identify sites for childcare and pre-school facilities adjacent to or part of public and private schools, religious assembly uses, employment areas, and other locations deemed appropriate.

Policy: Site child care facilities compatible with community needs, land use and character, and encourage such facilities to be available, accessible, and affordable for all economic levels.

Implementation:

Small-family daycare is a permitted use within residential areas, provided adequate outdoor play area and other design guideline and development regulations criteria can be met. Large family daycare will be allowable subject to a Conditional Use Permit. Childcare facilities can be

SPA Plan

accommodated in or adjacent to the mixed-use, commercial, elementary school, and neighborhood park land use areas, as identified in the SPA for Village Eight West which abuts the eastern boundary of the Village Four SPA.

Health and Medical Facilities

Goal: Ensure provision of and access to facilities which meet the health care needs of Otay Ranch residents.

Objective: Identify a general location within Otay Ranch for public and private health service organizations, charities, and private adult care and mental care facilities.

Policy: The opportunity should be provided to health care providers to coordinate health facilities as part of the SPA review process.

Policy: Designation of land and/or space for regional purpose facilities shall be considered in conjunction with the Eastern Urban Center SPA.

Policy: Regional purpose facilities are structures within which the public gathers to secure public goods or services provided on a regional basis, such as: general public offices, justice, court, detention, laboratory, health, medical and social facilities.

Policy: Designation of land for regional purpose facilities does not relieve an applicant of any independent requirement to pay fees and/or reserve or dedicate land for a public facility.

Policy: Mitigate the impacts of new growth on the need for County health facilities.

Implementation:

Village Four does not provide commercial zoning; however, senior congregate care and healthcare offices and clinics are permitted uses within the mixed-use Town Center, as shown in the Village Eight West SPA, which is directly east of the Village Four.

Community and Regional Purpose Facilities

Goal: Designate areas within the Otay Ranch project area for religious, ancillary private educational, day care, benevolent, fraternal, health, social and senior services, charitable, youth recreation facilities, and other County regional services.

SPA Plan

- Policy:** Implement a Community Purpose Facility and Regional Purpose Facility land use designation to provide land for religious, ancillary day care, health, social and senior services, and youth recreation facilities and other County regional facilities.
- Policy:** Each SPA shall specifically designate land and/or space for community purpose facilities and regional purpose facilities, sufficient to satisfy community purpose facility requirements.
- Policy:** The land designated may vary from the acreage standard if the land designated is equivalent to the facility square footage assumption underlying the applicable acreage standard due to shared parking, shared facilities, or development intensity, subject to approval by the appropriate jurisdiction.
- Policy:** Community Purpose Facility land may be transferred between villages or combined within villages as long as the space requirements are satisfied within each phase.
- Policy:** Regional Purpose Facility land may be transferred, as needed, throughout the project, with the intent that sufficient land will be designated in the Eastern Urban Center to concentrate uses in an efficient core. There may be some residual need for Regional Purpose Facility land in individual villages for services where decentralized service delivery is advantageous.
- Policy:** Disperse Community Purpose Facility uses throughout the project so that an overconcentration of such uses (e.g., traffic, parking) does not impact any one portion of the plan area, however permit consolidation of Community Purpose Facility uses where they complement each other and improve service to the community through economies of scale.
- Policy:** The following criteria shall be employed during the SPA process to locate Community Purpose Facility and Regional Purpose Facility uses:
- facilities shall be located within the village cores;
 - facilities shall be encouraged to share parking with adjacent public and private uses.
 - facilities and corresponding parking within village cores shall be located and sized to avoid obstruction of pedestrian circulation.
 - facilities and other public structures may exceed height, bulk, or set back requirements generally applicable to private uses if such deviations are necessary to enable the structure to become the focal point, “signature piece” or “point of ceremony” of a given village.

SPA Plan

- facilities may locate in traditional commercial and retail facilities.

Implementation

A CPF Master Plan, included in Chapter 6 of this SPA Plan, describes the facilities provided by the development that will meet this goal and the specific requirements of the CVMC. Included in Village Four are two adjacent CPF areas, for a total of 1.56 acres, which meets the CVMC requirements.

Social and Senior Services Facilities

Goal: Ensure that Otay Ranch project area residents have adequate access to sources of governmental and private social and senior service programs.

Objective: Social and senior service facilities should be sited within Otay Ranch to either provide direct service access or to provide community service information to each village to educate the public regarding available services.

Policy: The needs for social and senior service facilities shall be addressed on a regional basis.

Objective: Siting of new facilities and expansion of existing social or senior services facilities will be planned to most effectively serve the clients of each social and senior service activity as part of a comprehensive social and senior delivery system.

Policy: Assure that social and senior service facilities are included in land use plans at the earliest possible stage to minimize conflicts with surrounding land uses.

Policy: The impact of new development on the need for County social and senior service facilities shall be mitigated.

Implementation

Social and senior service needs can be met on site in the CPF area or within the adjacent Village Eight West areas such as mixed-use commercial, private recreation facilities, and park land uses. Shared use may be available with the schools.

8.7.3 Community Facility Plans

Animal Control Facilities

Goal: Ensure that the community of Otay Ranch is served by an effective animal control program that provides for the care and protection of the domestic animal

SPA Plan

population, safety of people from domestic animals, and the education of the public regarding responsible animal ownership.

Objective: Participate in programs to provide animal control facilities sufficient to provide adequate shelter space per Otay Ranch dwelling unit.

Policy: Fund animal control facilities either by contributions to a comprehensive impact fee program or other provisions to be determined at the SPA level.

Implementation

Village Four will make provision for participation in City programs for provision of animal control.

Civic Facilities

Goal: Assure the efficient and timely provision of public services and facilities to developable areas of the Otay Ranch project area concurrent with need, while preserving environmental resources of the site and ensuring compatibility with the existing character of surrounding communities. Integrate different types of public facilities where such facilities are compatible and complementary.

Policy: Assure the location of regional and local government administrative offices and service facilities within the Eastern Urban Center.

Policy: Locate a central post office within Otay Ranch, as well as smaller public or private postal facilities in village centers.

Implementation

This goal will be met through implementation of the Village Four PFFP.

Correctional Facilities

Goal: Prevent injury, loss of life and damage to property resulting from crime occurrence through the provision of justice facilities.

Objective: Make provisions for justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Policy: Otay Ranch shall participate in a development impact fee program for correctional facilities to meet the facility needs generated by Otay Ranch residents, if established

SPA Plan

Implementation

Village Four does not contain correctional facilities.

Fire Protection and Emergency Services Facilities

Goal: Provide protection to the Otay Ranch project area and surrounding communities from the loss of life and property due to fires and medical emergencies.

Objective: *City of Chula Vista:* Provide sufficient fire and emergency service facilities to respond to calls within the Growth Management Oversight Committee's (GMOC) threshold.

Objective: *County of San Diego:* Provide sufficient fire and emergency services facilities to respond to calls within: Otay Ranch single-family communities with residential lots of less than 2 acres, or more intensive uses such as multi-family residential, including industrial development and all commercial development except neighborhood commercial, in a 5-minute travel time) Otay Ranch single-family residential lots from 2 acres to 4 acres, including neighborhood commercial development, in a 10-minute travel time; and Otay Ranch large lot single-family residential and agricultural areas with lot sizes greater than 4 acres in a 20-minute travel time.

Policy: Otay Ranch SPA plans shall include Emergency Disaster Plans to become operative during periods of major emergency.

Policy: Otay Ranch shall participate in cooperative agreements with urban and rural emergency services providers.

Policy: Incorporate the Otay Ranch Project Area into existing regional disaster preparedness programs.

Policy: Otay Ranch shall site fire and emergency services facilities consistent with the following factors: (a) Ability to meet travel/response time policies; (b) Proximity to a pool of volunteer firefighters for service within the unincorporated areas, when appropriate; (c) Ability of the site to support the appropriate facility to serve current and future development in the intended service area; (d) Distances from other fire stations, including those operated by neighboring districts; (e) Safe access to roadways in emergency responses; (f) Special needs for fire suppression, and emergency services, including needs created by recreation areas and industrial land uses; (g) avoid close proximity to fault traces; and (h) Ability to meet any adopted local community facility level standard, if appropriate.

SPA Plan

- Policy:** Consideration shall be given to shared law enforcement and fire service facilities such as public safety “storefronts” within village centers, training rooms and equipment storage.
- Policy:** Otay Ranch shall evaluate the provision of fire suppression sprinkler systems for residential development within the project area as part of SPA plans.
- Policy:** Fire protection and emergency services facilities shall be available or will be available concurrent with need.
- Policy:** In areas lacking local public structural fire protection and within the sphere of influence of a fire protection agency, approval of Otay Ranch discretionary applications shall be conditioned on the annexation to that agency.
- Policy:** Otay Ranch shall cooperate in the development of a strategy to address emergency medical service facilities and responsibilities in areas lacking a local provider of these services.
- Policy:** Otay Ranch shall work with affected fire protection agencies to cooperatively develop guidelines for appropriate water provision requirements necessary for fire protection in ground water dependent areas.
- Policy:** Otay Ranch shall participate in fire mitigation fee or development impact fee programs to enable fire protection agencies to meet the facility and equipment needs generated by Otay Ranch.

Implementation

This goal will be met through implementation of the PFFP and FPP, which have been provided in conjunction with this SPA plan (Appendices A and F, respectively). Additionally, the circulation design of Village Four facilitates emergency vehicle access to all areas of the villages. The Village Four FPP includes an analysis that demonstrates that the Village Four SPA Plan area can be served within the appropriate response time requirements. The project must also comply with the January 28, 2014, Chula Vista Fire Master Plan, as adopted.

Justice Facilities

- Goal:** Prevent injury, loss of life and damage to property by having adequate justice facilities to serve Otay Ranch residents.

SPA Plan

Objective: Cooperate with the County to identify an equitable funding method for the development of justice facilities based on the needs of Otay Ranch and their benefit to Otay Ranch residents.

Objective: Justice facilities serving Otay Ranch residents will be sited in appropriate locations and in a timely manner, irrespective of jurisdictional boundaries.

Policy: Cooperate with the County and adjacent jurisdictions to develop plans for the siting of justice facilities to serve the needs of the entire region.

Objective: Enhance public safety by utilizing land use and site design techniques to deter criminal activity.

Implementation

Village Four does not contain justice facilities; however, the design of Village Four fosters community interaction and awareness that deters criminal activity. Design techniques include “eyes on the street” orientation of residential uses towards the street and paths as focal points in the community. These techniques minimize hidden locations where criminal activity may occur.

Law Enforcement Facilities

Goal: Protection of life and property and prevention of crime occurrence.

Objective: Make provisions for criminal justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Objective: Enhance conditions for public safety by utilizing land use and site design techniques to deter criminal activity and promote law enforcement.

Objective: Site law enforcement facilities to appropriate locations in order to serve the population.

Policy: Otay Ranch shall finance its full and fair share of the facility needs that it generates.

Policy: *Urban Service:* Provide properly equipped and staffed law enforcement units to respond to 84% of "Priority One" emergency calls within 7 minutes and maintain an average response time of all "Priority One" emergency calls of 4.5 minutes or less.

Policy: *Urban Service:* Provide properly equipped and staffed law enforcement units to respond to 62% of "Priority Two Urgent" calls within 7 minutes and maintain an average response time to all "Priority Two" calls of 7 minutes or less.

SPA Plan

Policy: *Rural Service:* Provide facilities for properly equipped and staffed law enforcement units to maintain an average response time for "Priority One" calls of 12 minutes, and 24 minutes for low priority calls.

Implementation

Village Four does not contain law enforcement facilities; however, the project will use design techniques to deter criminal activity. All development within Village Four will contribute an equitable financial share to the Otay Ranch law enforcement facilities as identified in the PFFP.

Library Facilities

Goal: Sufficient Libraries to meet the information and education needs of Otay Ranch residents.

Objective: Provide high quality and contemporary library facilities and services, which meet the needs of the entire Otay Ranch Project Area.

Objective: *City of Chula Vista:* 500-square-feet of adequately equipped and staffed library facilities per 1,000-populations.

Objective: *County of San Diego:* 350-square-feet (gross) of adequately equipped and staffed regional/area library facilities per 1,000-populations.

Policy: Assure that Otay Ranch libraries have sufficient funding for operation and maintenance.

Objective: Otay Ranch libraries will be equitably financed by all new development that will benefit from the facilities.

Policy: Participate in development impact fee programs, or provide adequate books and library space as "turn-key" facilities.

Policy: Include the following factors in the determination of the best sites for branch libraries: (a) Access to the intended service population; (b) Existing library deficiency in intended service area; (c) Suitability of site to meet identified needs; and (d) Location of the site relative to complementary facilities, such as schools, parks, and civic centers.

Policy: When feasible, participate in joint powers agreements with the Department of Park and Recreation, school districts and other appropriate agencies for the development and operation of their respective facilities.

SPA Plan

Policy: The library facility standard may be satisfied through the provision of decentralized facilities within villages. The size and character of these facilities will be determined, in part, by the necessary operation structure and cost by jurisdictional arrangement at the SPA level.

Implementation

Library facilities are permitted as an ancillary use to any of the many schools in the surrounding villages. In addition, all development within Village Four shall contribute an equitable financial share to the City of Chula Vista library facilities as identified in the PFFP.

School Facilities

Goal: Provide high quality, K-12 educational facilities for Otay Ranch residents by coordinated planning of school facilities with the appropriate school district.

Goal: Coordinate the planning of adult educational facilities with appropriate district.

Policy: Provide for the reservation of one or more sites for adult educational facilities to serve the residents of Otay Ranch.

Policy: Locate schools in areas free of disturbing factors such as traffic hazards, airports or other incompatible land uses.

Policy: Ensure that schools are integrated into the system of alternative transportation corridors, such as bike lanes, riding and hiking trails, and mass transit where appropriate.

Policy: Provide general locations for private elementary and secondary schools within the plan area, spaced far enough from public schools and each other to prevent an overconcentration of school impacts.

Objective: School facilities shall be provided concurrently with need and integrated with related facility needs, such as childcare, health care, parks, and libraries, where practical.

Policy: Coordinate the planning and siting of schools, recreational facilities, childcare centers, libraries and other related public facilities.

Policy: Additional facilities needed to serve children generated by the new development shall be provided concurrent with need, and shall be of the quality and quantity sufficient to meet, at a minimum, State Department of Education standards.

SPA Plan

Objective: Provide school district with 12 to 18-month development plan and 3 to 5-year development forecasts so that they may plan and implement school building and/or allocation programs in a timely manner.

Implementation

Village Four does not generate sufficient students to necessitate construction of schools. Two potential school sites are provided within the adjacent Village Eight West SPA to fulfill the demand for education facilities in the area. Adult education facilities can be accommodated in the mixed use and commercial facility sites or as a shared use with the public schools as identified in the Village 8 West SPA.

8.8 Air Quality (GDP Part II, Chapter 6)

Goal: Minimize the adverse impacts of development on air quality.

Implementation

The Village Four Air Quality Improvement Plan provides measures to meet this goal. The plan addresses improvement measures including transit access, alternative travel modes, building construction methods, and educational programs. The SPA has been designed to offer residents alternative methods of transportation, including public transit and pedestrian paths, which connect residential neighborhoods to other Otay Ranch villages as well as the region.

Commuter Trip Management

Goal: Create a safe and efficient multi-modal transportation network which minimizes the number and length of single passenger vehicle trips.

Objective: Minimize the number and length of single passenger vehicle trips to and from employment and commercial centers to achieve an average of 1.5-persons per passenger vehicle during weekday commute hours.

Policy: Establish or participate in employer based commute programs, which minimize the number and length of single passenger vehicle trips.

Policy: Encourage the development of a Transportation Management Association (TMA) for the Otay Mesa area.

Policy: Encourage, as appropriate, alternative transportation incentives offered to employees, alternative work hour programs, alternative transportation promotional materials, information on car pool and van pool matching services, transit pass information,

SPA Plan

space for car pool and van pool riders-wanted advertisements, information about transit and rail service, as well as information about bicycle facilities, routes, storage, and location of nearby shower and locker facilities.

Policy: Promote telecommuting and teleconferencing programs and policies in employment centers.

Policy: Establish or participate in education based commute programs, which minimize the number and length of single passenger vehicle trips.

Policy: Provide on-site amenities in commercial and employment centers, to include: childcare facilities, post offices, banking services, cafeterias/delis/ restaurants, etc.

Policy: Should Otay Ranch include a college or university, the facility should comply with RAQS transportation demand management strategies relating to such uses.

Implementation

The Village Four SPA Plan incorporates a planned regional transit-corridor, accommodating a potential bus line and a stop with a system of pedestrian and bike paths. Employment and commercial centers are located within the adjacent Village Eight West SPA Town Center. Village Four's close proximity to opportunities to work and shopping, as well as public facilities within the village center reduces long trips out of the community for these needs and density reduces trips altogether by making walking and transit a viable alternative.

Capacity Improvements

Objective: Expand the capacity of both the highway and transit components of the regional transportation system to minimize congestion and facilitate the movement of people and goods.

Policy: Facilitate the implementation of the Regional Transportation Plan and Congestion Management Capital Improvement Plan.

Policy: Expand the capacity of non-vehicular modes of transportation, such as HOV [high-occupancy vehicle] lanes, carts and bicycle networks.

Policy: Identify, and designate corridors for light rail and public transit facilities, including feeder transit systems connected to "line-haul" networks.

Policy: Include alternative forms of transportation as a priority part of the circulation system, such as bicycle paths, riding and hiking trails, and pedestrian walkways.

SPA Plan

Policy: Provide park-and-ride facilities, which do not undermine feeder lines. Park and ride facilities may be located near multiple-trip generating activities; intercept trips close to their origin; and target longer trips along corridors with HOV lanes. Park-and-ride facilities should be equipped with secure bicycle storage facilities and should have adequate spaces to serve demand.

Implementation

Village Four will contribute to highway and transit improvements as identified in the PFFP, including payment of the Transportation Development Impact Fee.

High Occupancy Vehicle Lanes

Objective: High Occupancy Vehicle lanes shall be encouraged.

Policy: High Occupancy Vehicle lanes should include frequent transit stops for transfer of passengers from public transit systems.

Policy: High Occupancy Vehicle bypass lanes should be provided at all metered SR-125 entrance ramps, where consistent with public safety standards.

Implementation

The width of Main Street (six lanes) through Village Four will allow the Metropolitan Transit System to add High Occupancy Vehicle lanes and stops along Main Street.

Bicycle System Design

Objective: Provide a safe, thorough and comprehensive bicycle network which includes bicycle paths between major destinations within, and adjacent to, Otay Ranch.

Policy: Bicycle facilities should be designated for bicycle use, and pedestrian facilities for pedestrian use to the extent necessary to provide safe, accessible facilities.

Policy: Bicycling shall be promoted through bicycle lane maps and bicycle destination signage.

Policy: Provide secure bicycle storage facilities at transit stops, and employment and retail centers.

Policy: Convenient bicycle access shall be provided to transit nodes.

SPA Plan

Implementation

The Village Four SPA plan requires bicycle access to all internal streets. The bicycle lanes adjacent to and within the major roadways provide routes to destinations in the adjacent villages.

Road Design

Objective: Design arterial and major roads and their traffic signals to minimize travel time, stops, and delays.

Policy: Optimize traffic signals control systems at all activity centers to minimize travel time, stops and delays. Consider providing priority signal treatment for transit systems.

Policy: Minimize the number of ingress and egress to major arterial roads.

Policy: Traffic signals at the street end of freeway on and off ramps shall be coordinated and integrated with the surrounding street systems.

Policy: Promote street design to give first priority to transit vehicles.

Implementation

The major roads surrounding and internal to Village Four have been designed in accordance with City standards. Traffic signals will be located to facilitate traffic flow and to provide access to neighboring land uses. Intersections have been analyzed and designed to provide appropriate “Level of Service” minimizing stops and delays.

Planning and Land Development

Goal: Land development patterns which minimize the adverse impacts of development on air quality.

Objective: Encourage mixed use development to promote linking of trips, reduce trip length and encourage alternative mode usage.

Policy: Villages should have a mixed-use village core area where higher density residential, civic, and park uses are interspersed with neighborhood commercial and office development.

Policy: Locate sensitive receptors, such as schools, day care facilities and similar uses away from emissions generating uses.

Policy: Minimize “drive-in” establishments to reduce emissions from idling vehicles.

SPA Plan

Policy: Arterials and transit stops should be linked by a network of sidewalks and bike paths.

Policy: Transit facilities should be located near village cores, proximate to park-and-ride facilities, the EUC and allow sufficient space reserved for bus stops, and pedestrian waiting areas, including sidewalks, benches, landscaping, street furniture and bicycle storage.

Policy: Transit stops should be within 1/4 mile of village core residential areas and within 1/8 mile of village core activity centers.

Policy: Locate employment centers close to housing, transit and HOV lane corridors.

Implementation

Village Four is adjacent to Village Eight West which has been designed with mixed-use development in accordance with Town Center concepts that promote alternatives to automobile use. The convenient pedestrian and non-motorized paths and internal streets are designed to accommodate bicycles, will encourage alternate modes of travel. Village Four's location and limited development area prevent it from functioning as a mixed-use village area.

Transit Route and Facility Design

Objective: Facilitate access to public transit.

Policy: Bus facilities, park-and-ride lots and other ridesharing facilities should be addressed early in the design of villages.

Policy: Bus shelters and sidewalks should be designed for transit rider and pedestrian safety, by being well-lit, secure and free of physical barriers.

Policy: Streets and intersections used by transit vehicles should be built to accommodate the weight and size of these larger vehicles.

Policy: Streets should consider transit circulation patterns, minimizing turning movements between stops.

Policy: Bicycle lanes, and secure bike racks/storage areas should be located near transit stops.

Implementation

Pedestrian and bicycle paths will link Village Four to public transit lines. Further, the width of Main Street will accommodate a transit line and bus stops.

SPA Plan

Pedestrian Design

Objective: Encourage pedestrian traffic as an alternative to single vehicle passenger travel.

Policy: Sidewalks should directly connect schools, parks, open spaces and transit facilities and village core areas.

Policy: Distances between higher density residential areas and bus stops should reflect the average walking distances of pedestrians (approximately 1/4 mile).

Policy: Provide multiple pedestrian area walkways to residential areas to reduce walking distances.

Policy: Access between a transit stop and the entrance to a building or cluster of buildings should be clearly visible and as direct as possible.

Policy: Buildings should be connected to abutting land uses with paved walkways.

Policy: Buffer walkways with landscaping such as berms, trees and other vegetation.

Policy: Scale the size of facilities, including walkways, to correspond to anticipated pedestrian volumes and include signs, benches and trash receptacles.

Policy: Provide well-equipped pedestrian facilities at transit stops, including shelters to protect patrons from the weather, benches with seat backs, lighting, landscaping and community information.

Policy: Convenient pedestrian access shall be provided to all transit nodes.

Implementation

The Village Four system of trails and sidewalks throughout the village provides connections to destinations such as the neighboring residential areas and Village Eight West, will encourage residents to walk rather than drive. The mixed-use Town Center concept, presented in Village Eight West and directly east of Village Four, encourages pedestrian activity through design by combining uses within walking distance.

Building Design

Objective: Locate and design buildings within cores to facilitate transit and pedestrian access.

Policy: Arrange buildings on a site to reduce the walking distance between each of the buildings and the nearest transit facility. Within clusters of buildings, the site design

SPA Plan

should provide for an identifiable and dominant entrance to the cluster that is clearly visible from the nearest transit facility.

Policy: Site transit information kiosks in locations central to all buildings within a cluster.

Implementation

Buildings within Village Four are clustered to minimize walking distances and oriented to the street to encourage pedestrian access.

Parking Management

Objective: Manage parking facilities transit, ridesharing and pedestrian access.

Objective: Manage parking facilities to encourage a reduction in the number of single vehicle trips.

Policy: Locate parking to the sides and backs of buildings so that access from public transportation does not require walking through large parking lots to reach building entrances.

Policy: Allow preferential (free or reduced fee parking) parking for carpools and vanpools, near entrances to activity centers.

Policy: Joint parking is strongly encouraged for proximate uses. Retail, office, entertainment, and some housing could share parking areas and quantities.

Implementation

Parking areas within Village Four will be located to maintain a pedestrian-oriented village streetscape and direct access. Parallel parking will be provided on all non-arterial public streets where possible and within parking lots and/or structures.

Street Configuration

Objective: Configure internal village streets to give pedestrian traffic a priority.

Policy: Arterials should not traverse village cores.

Policy: Provide multiple routes to village core areas.

Policy: Encourage the extensive planting of street trees, while remaining consistent with water conservation goals.

SPA Plan

Policy: Where feasible, connect cul-de-sacs and dead end streets to the nearest adjacent streets with pedestrian and/or bike paths to provide short cuts for these modes.

Implementation

Village streets are designed for direct access and pedestrian comfort with sidewalks, landscaping, and street furnishings. Streets may be narrowed to slow traffic and de-emphasize the automobile. Bulb-outs at intersections may be used, which will reduce vehicle speeds and improve pedestrian visibility.

Particulate Emissions

Objective: Minimize particulate emissions, which are the result of the construction process.

Policy: Minimize particulate emission during construction to control fugitive dust.

Policy: Minimize simultaneous operation of multiple construction vehicles and equipment, use low polluting construction equipment.

Policy: Manage unpaved roads to minimize particulate emissions during the construction and development activities, and during interim agricultural/off road activities.

Implementation

This Objective and Policies will be met through construction practices that control fugitive dust, minimize simultaneous operation of construction vehicles and equipment, and use low-polluting equipment to meet the Air Quality Management Board standards.

Energy Conservation

Objective: Minimize fossil fuel emission by conserving energy (See Energy Chapter 10, Section E).

Policy: Encourage the location of neighborhood recycling collection centers at local park and rides and shopping centers.

Implementation

The Energy Conservation Plan fulfills the GDP requirement to prepare a Non-Renewable Energy Conservation Plan (Appendix C) and promotes energy efficiency and use of solar power by requiring that all new residential construction include pre-plumbing for future solar installation. Village Four is designed to provide alternate modes of travel and reduce vehicle trips to reduce fossil fuel emissions.

SPA Plan

8.9 Noise (GDP Part II, Chapter 7)

Goal: Promote a quiet community where residents live without noise which is detrimental to health and enjoyment of property.

Goal: Ensure residents are not adversely affected by noise.

Objective: Otay Ranch shall have a noise abatement program to enforce regulations to control noise.

Policy: Prohibit excessive noises which are a detriment to the health and safety of residents.

Policy: Limit noise at the source, along the path of transmission and/or at the receiver site.

Policy: Reduce the need for noise mitigation through site and land use planning techniques, whenever feasible.

Policy: Consider the effects of noise, especially from transportation, in land use decisions to ensure noise compatibility.

Policy: Comply with applicable noise ordinances and performance standards in zoning ordinances.

Policy: Use the Environmental Review Process to evaluate the effects of noise.

Policy: Regularly review technological developments and building techniques which decrease the project related noise impacts on-site and off-site and specify needed noise mitigation measures.

Implementation

Sound abating features, such as masonry walls and dual-glazed windows, will be provided as needed. City standards for noise regulation and abatement shall be enforced.

8.10 Safety (GDP Part II, Chapter 8)

Goal: Promote public safety and provide public protection from fire, flooding, seismic disturbances, geologic phenomena and manmade hazards in order to:

- Preserve Life, Health and Property;
- Continue Government Functions and Public Order;
- Maintain Municipal Services; and

SPA Plan

- Rapidly Resolve Emergencies and Return the Community Normalcy and Public Tranquility.

General Public Safety

Objective: Provide for the continuity of government and public order.

Objective: Maintain public services and ensure the rapid resolution of emergencies.

Objective: Minimize social and economic dislocations resulting from injuries, loss of life and property damage.

Policy: Otay Ranch service providers should participate in cooperative agreements for disaster preparedness with other urban and rural emergency service providers and voluntary agencies.

Policy: Incorporate the Otay Ranch Project Area into existing regional disaster preparedness programs including mutual aid agreements.

Policy: Establish and maintain safe and effective evacuation routes.

Policy: Facilitate post-disaster relief and recovery operations.

Implementation

The SPA Land Use Plan has used the recommendations of technical studies, City codes and ordinances, and other policies and regulations to plan for development that will promote the protection of life and property.

Seismic Disturbances

Objective: Provide public protection from earthquakes, rockslides, and liquefaction in order to minimize loss of life, injury, property damage and disruption or community social and economic activity.

Policy: Arrange land uses in a manner consistent with recognized seismic safety practice to promote the continuous services of governmental and emergency facilities and services.

SPA Plan

Implementation

Site grading and construction shall be in accordance with the Uniform Building Code and the Association of Structural Engineers of California to reduce the effect of seismic shaking to the extent possible.

Floods

Objective: Prevent property damage and loss of life due to seiches, dam failure, and heavy rains.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Policy: Arrange land uses and implement engineering design in a manner consistent with recognized drainage and water storage safety practices.

Policy: Development within floodplains will be restricted to decrease the potential for property damage and loss of life from flooding and to avoid the need for channels and other flood control facilities.

Implementation

Areas proposed for development within Village Four are not located within a floodplain. Storm water flows shall be controlled and conveyed in accordance with the Village Four Master Drainage Plan.

Geologic Phenomena

Objective: Prevent property damage and loss of life due to landslides, rock falls, and erosion.

Policy: Identify and appraise those areas particularly susceptible to damage from geologic phenomena.

Policy: Prohibit development in areas of extensive land sliding where stabilization cannot reasonably be accomplished.

Implementation

Development within Village Four is required by the SPA to use grading and erosion control consistent with this Objective and Policies.

Fire, Crime, Health Emergency, and Hazardous Substances

Objective: Prevent property damage and loss of life due to fire, crime or hazardous substances.

SPA Plan

Policy: Fire protection, law enforcement and emergency services facilities shall be available prior to or concurrent with need.

Policy: Arrange land uses in a manner consistent with recognized health, fire, crime prevention and protection practices.

Implementation

Village Four is planned to reduce potential effects of fire through adequate water supply, street design that facilitates emergency vehicle access, fuel-modification landscape techniques, and adequate location of fire facilities. Crime prevention is addressed through optimization of community interaction and street activity and a minimization of secluded areas that could foster crime. City codes and policies will be implemented and enforced to minimize potential effects of hazardous substances.

8.11 Growth Management (GDP Part II, Chapter 9)

Goal: Develop Otay Ranch villages to balance regional and local public needs, respond to market forces, and assure the efficient and timely provision of public services and facilities concurrent with need.

Objective: Coordinate the timing of the development of Otay Ranch villages to provide for the timely provision of public facilities, assure the efficient use of public fiscal resources, and promote the viability of the existing and planned villages.

Policy: Phase development to provide public facilities concurrent with need and in compliance with the facility thresholds.

Policy: Transportation facilities shall be a major determinant of overall public facility and development phasing.

Policy: Villages should be phased so as not to require the expansion of off-site roads beyond approved classifications.

Policy: Phase rural development areas of the Otay Ranch independent of urban development.

Policy: Phase the Otay Ranch villages to promote community identity and character, preserve and enhance the fiscal viability of existing and planned villages, and minimize the disruption of the lives of existing residents.

Policy: Phase Otay Ranch to ensure sufficient revenues are generated to efficiently finance the operation and maintenance of needed public facilities, consistent with the

SPA Plan

Service Revenue Plan (An Otay Ranch Implementation Program Document as defined in Part I, Chapter 7).

Policy: The Specific Plan for Village 14 shall not be approved until a publicly or privately-initiated General Plan Amendment (GPA) has been processed for the adjacent properties which identifies the ultimate land uses; the needed services, facilities and roads, a drainage plan for reservoir protection; and how sensitive resources will be preserved. As an alternative to an approved GPA for the adjacent properties, the Village Fourteen Specific Plan analysis shall include the long-term land uses, residential densities, and facility/service requirements for those adjacent properties that relate to the Village Fourteen Proctor Valley Specific Planning Area.

Policy: The University Site may be developed for university purposes at any time.

Policy: Condition the approval of SPAs on compliance with (1) the facility threshold standards and processing requirements, (2) the Village Phasing Plan, and (3) ensure the viability of this and previously approved villages.

Implementation

Village Four will be developed in balance with market forces and with implementation of the facilities, as identified by the Public Facilities Finance Plan.

8.12 Resource Protection, Conservation and Management (GDP Part II, Chapter 10)

8.12.1 Resource Preserve

Goal: Establishment of an open space system that will become a permanent preserve dedicated to the protection and enhancement of the biological, paleontological, cultural resources (archaeological and historical resources), flood plain, and scenic resources of Otay Ranch, the maintenance of long-term biological diversity, and the assurance of the survival and recovery of native species and habitats within the preserve, and to serve as the functional equivalent of the County of San Diego Resource Protection Ordinance (RPO).

Identification of Sensitive Resources

Objective: Identify sensitive and significant biological, cultural, paleontological, agricultural, and scenic resources within Otay Ranch that require protection and/or management.

SPA Plan

- Policy:** Incorporate existing and updated vegetation maps, sensitive species distribution maps, biological reports, the vernal pool report, the wildlife corridor study, the raptor habitat/foraging study, and all other pertinent data presented in studies by ASI, RECON, MBA, Ogden, and Dudek, into the identification of key resource areas.
- Policy:** Complete biological studies currently in progress.
- Policy:** In conjunction with the first SPA in the Otay Valley Parcel, complete cultural resource studies to assess cultural resources throughout the Otay Valley Parcel.
- Policy:** In conjunction with the first SPA in the Proctor Valley Parcel, complete cultural resource studies to assess cultural resources throughout the Proctor Valley Parcel.
- Policy:** In conjunction with the first SPA in the San Ysidro Mountains Parcel, complete cultural resource studies to assess cultural resources throughout the San Ysidro Mountains Parcel.
- Policy:** Recover any significant fossils unearthed during grading activities for subsequent scientific study and/or display.
- Policy:** Prior to issuance of a grading permit within areas identified with the RMP as paleontologically sensitive (i.e., the Otay, Sweetwater, and San Diego formations), a letter shall be filed with the lead agency indicating that a qualified paleontologist has been retained to carry out an appropriate mitigation program.
- Policy:** Identify and map flood plains within Otay Ranch.
- Policy:** Flood plain mapping shall include FEMA and County-mapped flood plains.
- Policy:** Identify major land forms within Otay Ranch.
- Policy:** Identify and map agricultural lands within Otay Ranch on a SPA-by-SPA basis.

Implementation

This Goal, Objective, and Policies will be met through compliance with the Otay Ranch RMP and Phase 2 RMP, by conveyance of property within the preserve to the Preserve Owner/Manager and participation in the established community facilities district for perpetual maintenance, management, and monitoring of Preserve areas.

SPA Plan

Preservation of Sensitive Resources

- Objective:** Preserve sensitive and significant biological, cultural, paleontological, flood plain, visual, and agricultural resources.
- Policy:** Include large blocks of key biological resource areas within the Preserve.
- Policy:** Preserve coastal sage scrub habitat (including Diegan coastal sage scrub, disturbed coastal sage scrub, maritime succulent scrub, coastal sage scrub/non-native grassland, and coastal sage scrub/chaparral). Habitat values can be measured in terms of number of acres, biodiversity, habitat maturity and presence of sensitive species.
- Policy:** Preserve native grasslands (valley needlegrass grassland).
- Policy:** Preserve the following habitat types: southern interior cypress forest, coast live oak woodland, oak riparian forest, riparian woodland, and sycamore alluvial scrub.
- Policy:** Maintain large, viable populations of the California gnatcatcher and cactus wren within the Preserve.
- Policy:** Preserve on-site State and Federally listed rare, threatened, and endangered species. (See RMP Policy 2.9 for vernal pool species.)
- Policy:** Preserve onsite populations of plant species recognized as sensitive by the California Native Plant Society (Smith and Berg 1988).
- Policy:** Preserve onsite populations of plant and wildlife species recognized as Category 2 Candidates for listing by USFWS.
- Policy:** Preservation of a minimum of 95% of the vernal pool habitat on the Ranch supporting vernal pool indicator species (as defined in the vernal pool report). Necessary State and/or Federal permits would be obtained in accordance with Section 404 of the Clean Water Act, the U.S. Fish and Wildlife Service, and the California Department of Fish and Game implementing Section 1600 of the California Fish and Game Code.
- Policy:** No net loss of in-kind wetland quality or quantity in accordance with the standards of the U.S. Army Corps of Engineers (COE), implementing Section 404 of the Clean Water Act, the U.S. Fish & Wildlife Service, and the California Department of Fish & Game implementing Section 1600 of the California Fish & Game Code.

SPA Plan

- Policy:** If feasible, opportunities and plans for mitigation banks shall be developed in conjunction with preparation of wetlands enhancement plans for Otay River Valley and the vernal pool preservation plan in conjunction with the Phase 2 RMP and the first SPA. All revenue generated by wetlands mitigation banks shall be used to fund Preserve activities.
- Policy:** Incorporate into the Preserve areas that support raptor populations as identified in the Raptor Habitat/Foraging Study.
- Policy:** Preserve significant cultural resources.
- Policy:** Because numerous cultural resource sites are located within the Otay River Valley, potential impacts to these resources must be assessed prior to implementation of riparian restoration activities and when plans are finalized for the Otay Valley Regional Park. The preferred form of impact mitigation for sites that meet the significance definition under the County Resource Protection Ordinance is site avoidance although capping, landscaping and other passive uses may be appropriate. For sites that may be considered to be important under CEQA, but may not be considered to be important under RPO, salvage and data recovery may be considered to be appropriate.
- Policy:** Design drainage improvements within identified flood plains to provide for adequate flood protection and sensitivity to biological resources.
- Policy:** Flood control plans shall be in conformance with RMP policies protecting sensitive resources and with State and Federal wetland regulations.
- Policy:** Concrete or rip-rap flood control channels shall be prohibited within the Preserve. Drop structures and armor lock structures shall be avoided. Minimal structural improvements may be permitted for road and utility crossings and for the protection of the public health, safety and general welfare.
- Policy:** Drainage improvements shall not result in an increase in erosion or sedimentation that would adversely affect Preserve resources.
- Policy:** Flood control plans should address potential erosion hazards in Salt Creek and Wolf canyons.
- Policy:** Detention basins and energy dissipaters may be used.

SPA Plan

Policy: Provide opportunities for demonstration agricultural activities within the Preserve. A site, which supports prime or statewide important soils, should be located near proposed composting facilities and Bird Ranch. A plan for the size and operation of the demonstration agricultural activities will be subject to review and approval of the Preserve Owner/Manager and/or the Otay Valley Regional Park management and shall be submitted concurrent with the conveyance for this area or prior to adoption of the last SPA on the Otay Valley Parcel, whichever occurs first. In addition to the demonstration agricultural site, sites should be made available for smaller “community gardens” adjacent to or within individual villages. Some community gardens may be located within open space areas being maintained by an open space maintenance district, with specific design and maintenance issues to be addressed at the SPA Plan review.

Implementation

Sensitive resources identified during SPA environmental analysis will be preserved as required and consistent with the Objective and Policies above.

Enhance and Restore Sensitive Resources

Objective: Enhance, restore, and re-establish sensitive biological resources (species and habitats) in disturbed areas where the resources either formerly occurred or have a high potential for establishment.

Policy: Identify areas within the Preserve that possess high potential for habitat restoration. Conceptual locations of potential restoration areas are identified and mapped in the Phase 1 RMP.

Policy: The quantity of area to be restored shall be based on the type, location, quality, and amount of habitat disturbed, and mitigation requirements and ratios as described in the RMP.

Policy: Restoration programs intended to mitigate for disturbance of sensitive habitats associated with development of Otay Ranch shall be funded and designed by the landowner in coordination with the Preserve Owner/Manager and the appropriate jurisdiction.

Policy: Restoration programs may be implemented for purposes other than compensation of impacts associated with development of Otay Ranch. Such programs shall be funded, designed and implemented by the Preserve Owner/Manager or other entity acceptable to the Preserve Owner/Manager.

SPA Plan

- Policy:** Develop a restoration program for coastal sage scrub (and maritime succulent scrub) habitat. Coastal sage scrub restoration activities shall commence prior to or concurrent with approval of the first SPA within Otay Ranch and shall have achieved success, based on performance standards included in the RMP prior to or concurrent with approval for any development resulting in significant impacts to coastal sage scrub habitat occupied by California gnatcatchers on the Proctor Valley or San Ysidro Mountains parcels.
- Policy:** Develop a restoration program for riparian habitats.
- Policy:** Develop a restoration program for native grassland habitats.
- Policy:** Develop a vernal pool restoration program.
- Policy:** In coordination with USFWS and CDFG, the Preserve Owner/Manager shall develop a program for creation or enhancement of habitat for sensitive species that were formerly, or are occasionally present (e.g., as least Bell's vireo) on Otay Ranch.

Implementation

The MSCP Preserve boundary modification will result in enhanced and reestablished biological resources on-site and off-site within the Otay Ranch Preserve. Specifically, the grading plan includes mitigation that enhances the Tarplant vegetation on-site and offsite.

Wildlife Corridors

- Objective:** Establish functional connections for onsite resources and integrate the Preserve into a larger regional system.
- Policy:** Design the Preserve to provide adequate habitat linkages and wildlife corridors to accommodate gene flow and wildlife movement.
- Policy:** Provide appropriate buffers for corridors as recommended in the Wildlife Corridor Study.
- Policy:** Incorporate wildlife crossings into design of infrastructure facilities.
- Policy:** Provide for a direct riparian connection for the Otay River from Lower Otay Lake westward to San Diego Bay by preserving and restoring a continuous riparian habitat along the portion of the river within Otay Ranch.
- Policy:** Implementation of resource preservation and enhancements plans shall be consistent with and coordinated with the Otay Valley Regional Park plan, if this plan is adopted.

SPA Plan

Policy: Conform to standards approved by the Scientific Review Panel (SRP) for the Natural Communities Conservation Plan (NCCP) as they pertain to coastal sage scrub regarding biological resources data collection requirements.

Policy: Assure that biological data for Otay Ranch are acceptable to the Scientific Review (SRP) panel so that, if feasible, the Preserve can be incorporated into a larger South County NCCP.

Implementation

The MSCP Preserve boundary is being modified. The larger MSCP Preserve network establishes functional connections for wildlife corridors and development in Village Four does not inhibit wildlife movement. The adjustment and the biological habitat being conserved contribute to wildlife movement function associated with Wolf Canyon and the Otay River Valley.

Preserve Management and Maintenance

Objective: Effectively manage the Preserve to protect, maintain, and enhance resources in perpetuity.

Policy: Select a Preserve Owner/Manager who is acceptable to the City of Chula Vista and the County of San Diego. Advice of the U.S. Fish & Wildlife Service and the California Department of Fish & Game will be sought prior to final selection of a Preserve Owner/Manager.

Policy: The Preserve Owner/Manager shall be selected prior to or concurrent with approval of the first SPA in the Phase 2 RMP.

Policy: The Preserve Owner/Manager may be a local government, a public resource agency, a non-profit organization, or any other entity or entities acceptable to the landowner, City of Chula Vista, and County of San Diego.

Policy: The Preserve Owner/Manager may be an entity or entities working in a cooperative arrangement to fulfill the duties of the Owner/Manager.

Policy: Responsibilities of the Preserve Owner/Manager shall include, but not be limited to, the following:

- Maintenance of existing high quality resources through the prevention of further disturbance, including controlling access to the Preserve, prohibiting off-road traffic, enforcing "no trespassing" rules, and curtailing activities that degrade resources, such as grazing, shooting, and illegal dumping.

SPA Plan

- Monitoring of resources to identify changes in the quality and quantity of sensitive resources and habitats.
- Implementation and monitoring of restoration activities, as appropriate (it is understood that some restoration activities may be carried out by individual Otay Ranch developers in coordination with the Preserve Owner/Manager).
- Implementation of maintenance activities including removal of trash, litter, and other debris, maintenance of trail systems, removal and control of exotic plant species (weeds), and control of cowbirds through trapping efforts.
- Development of educational facilities and interpretive programs.
- Implementation and/or accommodation of research programs.
- Coordination with local jurisdictions, resource agencies, and adjacent ownerships.
- Coordination with the Otay Valley Regional Park JEPAs, or subsequent park planning entity, regarding issues associated with Otay Valley Regional Park.
- Enforcement activities.
- Review of RMP Amendments, Preserve boundary adjustments, infrastructure plans, plans for active recreational uses with the Preserve, plans for land uses adjacent to the Preserve and other activities/studies as identified in the RMP.

Policy: Develop and implement a strategy that facilitates effective, long-term management of the Preserve consistent with the goal of the RMP.

Policy: Management activities shall be undertaken to ensure no reduction in habitat values and no adverse impacts to biological resources are included within the Preserve.

Policy: Establish a comprehensive monitoring program for the biota of the Preserve in conjunction with the Phase 2 RMP.

Policy: Develop and implement an annual monitoring program designed to identify changes in quality and quantity of onsite biological resources, including sensitive wildlife species, sensitive plant species, and sensitive habitat types, consistent with the following guidelines:

- Monitoring shall include, but not be restricted to, focused surveys and population estimates of State- and Federally-recognized plants and wildlife species, use of wildlife corridors, and assessments of habitat quality.
- Annual monitoring reports summarizing the results of monitoring efforts shall be submitted to the City, County, and resource agencies.

SPA Plan

- Based on the monitoring reports, the City, County, and resource agencies shall evaluate RMP performance and, if necessary, recommend program modifications.
- Monitoring programs shall include performance standards.
- Habitat restoration efforts shall be monitored.
- The effects of activities associated with the interpretive center and the effective use of educational and outreach programs shall be monitored.
- Monitoring of the Preserve's sensitive resources may be integrated with mitigation monitoring and reporting programs (MMRPs) carried out in accordance with CEQA review of individual developments within Otay Ranch.
- The Preserve's monitoring program shall be submitted with the Phase 2 RMP with input from the Preserve Manager.

Policy: Preserve lands become the property of the owner/ manager and are not available for development.

Policy: Monitoring programs associated with management of the Preserve shall conform to and carry out programs required by CEQA (PRC 21081.6) but shall not replace other monitoring programs required in conjunction with site-specific environmental review of individual development within Otay Ranch.

Policy: Develop and obtain City and County approval (in coordination with the owner/manager) of a plan for the orderly conveyance of dedicated parcels of land to the Preserve.

Policy: The conveyance plan shall be developed in accordance with the conveyance criteria outlined in the RMP.

Policy: A conveyance schedule shall be prepared in conjunction with the Phase 2 RMP.

Policy: Priority for the conveyance of land shall be determined by application of the following guidelines:

- First priority shall be given to the conveyance of highest quality resources (such resources may include vernal pools on Otay Mesa, Diegan coastal sage scrub habitat in the Salt Creek area, gnatcatcher population areas in western San Ysidro and Central Proctor Valley areas, or potential wetlands restoration areas in the Otay River Valley, depending upon the status of regional park plans and wetlands restoration plans at the time Otay River Valley parcels are conveyed.

SPA Plan

- Give first priority to the conveyance of "most vulnerable" areas - those most subject to potential and ongoing disturbance.
- Conveyance shall occur in an orderly manner beginning with an identified "keystone" parcel [e.g. vernal pool areas, Salt Creek area, Otay River Valley, central Proctor Valley, western San Ysidro] and proceed to the next logical block of land.
- Convey areas with restoration potential early in order to begin long-term research activities early in the process. [Restoration activities may occur in areas proposed for inclusion in the Preserve prior to their conveyance.]
- The Preserve Owner(s)/Manager(s) shall participate in preparation of the conveyance schedule.
- Cumulative acreage conveyed shall be greater than or equal to cumulative acreage of the proposed SPA.
- General guidelines regarding in-kind mitigation and no net loss of wetlands may be considered in development of a conveyance schedule, particularly in the context of applicable State and Federal regulations [it is understood that in-kind mitigation may not always be the preferable approach to achieve the goal of establishing a functioning, manageable preserve].
- Applicable State and Federal regulations regarding protection of sensitive habitat and species shall be followed.

Policy: Any change in the order of conveyance shall be considered only during the review and approval process for a SPA, and shall not require a General Plan Amendment. The jurisdiction processing the SPA shall advise and consult with the other agency before approval of a change in order of conveyance. However, any change in the order of conveyance is subject to joint approval by the City of Chula Vista and County of San Diego, if the land under consideration for conveyance is in a different jurisdiction than the SPA under consideration.

Policy: Changes in land ownership resulting from the sale or transfer of ownership of any SPA shall not affect the conveyance of land to the Preserve.

Policy: The development of any village or SPA, even if conveyed to a third party, shall be accompanied by the conveyance of the appropriate parcel to the Preserve. To the extent that conveyance of a specific parcel of land is required, it shall be a condition of approval for the first Tentative Map of that SPA. If the landowner sells a specific village or SPA to a third party, the portion of the Preserve associated with that

SPA Plan

village can be conveyed to the Preserve at the time of sale or as a condition of approval of the first Tentative Map for that village or SPA.

Policy: Include a reversionary clause in the Preserve ownership agreement that will prevent resale or use of the Preserve for any development or activities not permitted by the adopted RMP.

Policy: In the event that the selected Preserve Manager/ Owner is, for any reason, unable or unwilling to manage the Preserve in a manner consistent with the goal and policies of the RMP, ownership of the Preserve shall be transferred to the County of San Diego, City of Chula Vista, or other receiving entity acceptable to the City, County, and landowner. Such a receiving entity shall transfer ownership to a qualified owner/manager reviewed by the resource agencies (USFWS, CDFG) and acceptable to the County of San Diego and the City of Chula Vista. Said transfer should be implemented as soon as possible, and not later than six months after exercising the reversionary clause, unless extraordinary circumstances require, as determined by the County Board of Supervisors and the City of Chula Vista City Council prior to expiration of the six months, additional time.

Policy: As part of the Phase 2 RMP, identify the potential locations of a nature interpretive center within the Preserve.

Policy: The Nature Interpretive Center shall be designed to provide an educational opportunity to the public through providing a look at the natural history and ecology of the existing ecosystems, cultural history and paleontological resources on Otay Ranch. Design features for the Nature Interpretive Center shall include facilities that can accommodate educational meeting and display rooms yet be in scale and compatible with the surrounding setting.

Policy: As part of the Phase 2 RMP, a cost estimate for RMP implementation shall be prepared, funding alternatives shall be identified and evaluated, and the implementation plan shall be prepared, consistent with the following guidelines:

- Expenditures may include, but not be limited to, the following:
 - Salaries for staff.
 - Vehicles for patrolling the Preserve.
 - Construction and maintenance of operations center.
 - Fences, signs, and interpretive and educational materials.

SPA Plan

- Staffing and training of personnel for annual monitoring programs.
- Construction and maintenance of an interpretive center.
- Equipment necessary for monitoring and management.
- Enhancement/restoration activities not considered to be mitigation as identified in the RMP
- A draft funding program shall be submitted for review concurrent with the application for the first SPA. The draft document shall be reviewed and adopted by the City of Chula Vista, County of San Diego, with the advice and consultation of the Preserve Owner/Manager, and interested agencies. A final funding program shall be adopted prior to or concurrent with the approval of the first SPA. The program shall include (1) all sources of funding (not reliant on City or County general funds); (2) a five-year management plan; (3) a 5-year budget; (4) proposed staffing; and (5) provisions for availability of initial start-up funds upon conveyance of the first parcel to the Preserve.
- Prior to approval of each SPA Plan, the applicant must demonstrate that mitigation activities are financially feasible. If not, proper compensatory measures shall be implemented.
- Financing mechanisms for restoration activities conducted within the Preserve that are regarded as mitigation for development activities within Otay Ranch shall be borne by individual developers in Otay Ranch
- Ensure provision of adequate funds to initiate appropriate management activities with conveyance of the first parcel to the Preserve.
- Develop a cost estimate for design and construction of an interpretive center and investigate funding mechanisms for its ultimate development.

Policy: The potential for the Otay Valley Regional Park JEPAs to assume ownership and management responsibility for the Otay River Valley and adjacent areas on the Otay River Valley parcel, or portions thereof (particularly active recreation areas), shall be evaluated and funding sources identified in the Phase 2 RMP.

Implementation

Preserve land will be deeded to the Preserve Owner/Manager for maintenance and preservation, in accordance with the City's RMP.

SPA Plan

Resource Preserve Land Uses

Objective: Identify permitted land uses within the Preserve.

Policy: Provide resource-related educational and interpretive programs to increase public sensitivity to, and awareness and appreciation of resources within the Preserve, consistent with the goal of the RMP, consistent with the following standards:

- Under the direction of the Preserve Owner/ Manager, an interpretive center(s) shall be constructed to display and interpret the biological, paleontological, and cultural resources present on Otay Ranch.
- Construct a native plant nursery and/or botanic garden to be used for public education of native plants and plant communities and for restoration activities.
- The sale of educational materials, books, and plants shall be allowed.

Policy: Siting and design of active recreational uses shall be subject to review and comment by the Preserve Owner/Manager in consultation with the JEPA of the Otay Valley Regional Park and shall be consistent with plans for the Otay Valley Regional Park when adopted.

Policy: Active recreational use acreage within the Preserve shall not be greater than 400 acres and shall be consistent with the resource protection and enhancement goal, objectives and policies of the RMP, and reflect with the following criteria:

- Active recreation areas should be located in previously disturbed, non-sensitive areas.
- Active recreation uses should be readily accessible from existing and planned public roads and should not intrude into core areas within the Preserve.
- Active recreation uses should be clustered to minimize the extent of the edge between active recreation uses and sensitive resources within the Preserve.
- Limited commercial uses/activities related to active recreation may be allowed within the 400 acres designated for active recreation.
- Public parks and recreation facilities may be operated commercially by private operators within active recreation areas.
- Emphasis shall be placed on providing the majority of the active recreation in the Otay River Valley, to the extent that this is consistent with the Otay Valley Regional Park Plan, as may be adopted.

SPA Plan

- Policy:** Provide a system of trails through the Preserve that are compatible with resource protection. This is considered to be a passive use and not a part of the 400-acre active recreational area.
- Policy:** Motorized vehicular use within the Preserve shall be restricted to activities necessary for Preserve operation and maintenance and fire control.
- Policy:** Where existing easements and other ingress/egress documents allow motorized access such access shall be permitted but shall be restricted to the documented easement holder.
- Policy:** Motorized vehicular use associated with construction shall be permitted consistent with resource protection.
- Policy:** Off-road vehicles shall be prohibited.
- Policy:** Motorized vehicle use for emergency access shall be permitted. Fire roads shall be permitted within the Preserve only where absolutely necessary to assure public safety and control wildfires that may damage biological resources.
- Policy:** Public access may be restricted within and adjacent to wetlands, vernal pools, restoration areas, and sensitive wildlife habitat (e.g., during breeding season) at the discretion of the Preserve Owner/Manager.
- Policy:** Infrastructure may be allowed within the Preserve; conceptual locations of infrastructure facilities located within or crossing the Preserve are illustrated the RMP (final infrastructure plans may deviate from the conceptual locations shown, as long as Preserve resources are not adversely affected).
- Policy:** Develop a general infrastructure plan in conjunction with the first SPA of the Phase 2 RMP that provides standards and criteria to guide specific infrastructure siting and design during the phased build-out of Otay Ranch.
- Policy:** Infrastructure facilities shall be sited and designed to minimize visual and other impacts to Preserve resources.
- Policy:** Infrastructure plans and their implementation shall be subject to review and comment by the appropriate jurisdictions in coordination with the Preserve Owner/Manager.

SPA Plan

Policy: CEQA mitigation requirements for impacts associated with infrastructure shall be reviewed by the appropriate jurisdictions and the Preserve Owner/Manager if such improvements are located within the Preserve.

Policy: When feasible, place infrastructure in roadways or outside the Preserve.

Policy: Mitigation measures for facilities shall conform to restoration/mitigation proposals of the RMP.

Policy: Where and when it is deemed appropriate for the enhancement of biological resources by the Preserve Owner/Manager, and subject to review by the County of San Diego and the City of Chula Vista with advice from the resource agencies (USFWS, CDFG), controlled burning shall be conducted within the Preserve.

Implementation

The SPA defers to the Otay Ranch RMP, and MSCP Subarea Plan for determining land uses in the Resource Preserve (OP). It should be noted that access to Wolf Canyon is strictly prohibited in the Village Four SPA Plan; therefore, the only land use allowed is Open Space Preserve. A sewer, a storm drain, and a storm water basin are planned for a small portion of Wolf Canyon, in the least sensitive area of the canyon, consistent with the guidelines and policies; however, human access will only occur to service said facilities.

Resource Preserve – Adjacent Land Uses

Objective: Identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

Policy: All development plans adjacent to the edge of the Preserve shall be subject to review and comment by the Preserve Owner/Manager, the City of Chula Vista, and the County of San Diego to assure consistency with resource protection objectives and policies.

Policy: "Edge Plans" shall be developed for all SPAs that contain areas adjacent to the Preserve. The "edge" of the Preserve is a strip of land 100 feet wide that surrounds the perimeter of the Preserve. It is not a part of the Preserve - it is a privately or publicly owned area included in lots within the urban portion of Otay Ranch immediately adjacent to the Preserve.

SPA Plan

Policy: Protect and maintain biological integrity of unconveyed land adjacent to developing SPAs, consistent with the following standards:

- Provide temporary fencing around perimeter of sensitive habitat areas and/or areas occupied by sensitive species adjacent to any SPA under construction to inhibit encroachment by construction traffic, etc.
- Phase construction of SPAs immediately adjacent to sensitive biological resources to avoid indirect impacts. For example, construction activities that equal or exceed volume levels that inhibit breeding and nesting activities of the California gnatcatcher should be curtailed during the nesting period of the bird.

Implementation

The SPA defers to the Otay Ranch RMP, the MSCP Subarea Plan, and the Preserve Edge Plan (Appendix D) for determining land uses within the Preserve Edge. These documents protect and maintain the integrity of the MSCP/Preserve lands.

Resource Preserve – Interim Land Uses

Policy: Identify interim uses and activities that may continue within the proposed Preserve until conveyance to the Preserve Owner/Manager.

Policy: Existing conditions (uses) will not be allowed to negatively impact the sensitive resources in the Preserve.

Policy: Existing agricultural uses, including cultivation and grazing, shall be permitted to continue as an interim activity only where they have occurred historically and continually. No increase in irrigation shall be allowed, except for temporary irrigation that may be installed as part of restoration plans. Grazing by sheep and goats shall not be allowed. Cattle grazing shall be phased out in accordance with the conveyance program and Range Management Plan.

Policy: The County of San Diego or City of Chula Vista shall manage ongoing mineral extraction operations through the permit process.

Policy: Construction activities associated with infrastructure necessary for implementation of an approved development plan shall be allowed as an interim activity.

Policy: All construction activities shall take place in accordance with standards and criteria outlined in the conceptual infrastructure improvement plans referenced above. The

SPA Plan

improvement plans shall be subject to approval by the appropriate jurisdiction and review by the Preserve Owner/Manager.

Policy: A Range Management Plan, which will depict the allowable interaction between grazing activity and sensitive resources, shall be developed as part of the submittal of the first SPA in the Phase 2 RMP. Under this plan, the most sensitive areas (i.e., areas that support sensitive species) shall have restricted access either by fencing or other appropriate method. The plan shall be subject to review and comment by the Preserve Owner/Manager, the City and the County.

Implementation

The SPA does not authorize interim land uses with the Preserve Owner/Manager or MSCP Preserve.

Regulatory Framework for Future Uses

Objective: Provide a regulatory framework for future permitting by resource agencies and amendments to the RMP.

Policy: Consult with resource agencies at an early stage (i.e., U.S. Army Corps of Engineers, USFWS, CDFG) regarding impacts to resources under their jurisdictions.

Policy: The Phase 1 RMP and future RMP documents shall be distributed for review by the resource agencies (USFWS, CDFG) prior to approval.

Policy: If feasible, negotiate a Memorandum of Agreement (MOA) (or separate memoranda) with the resource agencies concurrent with the Phase 2 RMP. The purpose of the MOA shall be to achieve concurrence on the RMP management approach and facilitate obtaining necessary Federal and State permits for the project at a later date.

Policy: Complete wetland delineations using the Federal Unified Method, on approved modification thereof, for each Specific Plan or SPA containing wetlands.

Policy: Wetland delineations and permitting shall be in accordance with the standards and guidelines of the U.S. Army Corps of Engineers.

Policy: Identify areas subject to CDFG Section 1600 Streambed Alteration Agreements concurrent with site-specific environmental review of each Specific Plan or SPA.

Policy: The Otay Ranch Resource Management Plan is not a substitute for site-specific CEQA review of individual developments within Otay Ranch, however, it is

SPA Plan

anticipated that the Resource Management Plan, including attendant enhancements, programs and dedications, may mitigate the impacts of subsequent discretionary projects.

- Policy:** Site-specific resource studies shall be completed for each SPA/Specific Plan.
- Policy:** Future resource studies will reflect changes in State and Federal agency status of sensitive plant and wildlife species.
- Policy:** Where feasible, open space recommendations, recommendations for preservation of sensitive resources, and mitigation measures for biological and cultural resources required for each SPA shall be designed to complement and enhance the Preserve.
- Policy:** Following notice public hearing, the RMP may be amended by the legislative body having jurisdiction over the use of land affected by the amendment, provided that all such amendments shall be subject to review and comment by the Preserve Owner/Manager, by the City of Chula Vista, and by the County of San Diego.
- Policy:** Any amendment to the RMP is viewed as a discretionary action subject to CEQA review.
- Policy:** The overall size of the Preserve shall not be reduced by a Preserve boundary modification unless the County Board of Supervisors and the Chula Vista City Council are satisfied that the biological standards and guidelines set forth in the RMP can nevertheless be met and the Preserve design is not adversely affected by a Preserve boundary modification that results in a reduced acreage.
- Policy:** Amendments must be consistent with RMP goal, objectives and policies.
- Policy:** An amendment shall be required for any land use within the Preserve that is not specifically permitted by these policies, including the location of a university, landfill, or other development within the Preserve.
- Policy:** Preserve boundary modifications shall be made based on site-specific studies completed for individual SPA/Specific Plans.
- Policy:** All amendments to the RMP that would reduce the size or substantially revise the location of the Preserve boundary, or that would in any way delay the conveyance of all or portions of the Preserve to the Owner/Manager, shall require written approval by both the City of Chula Vista and the County of San Diego.

SPA Plan

Policy: Boundary modifications are intended for use at the SPA level to make minor refinements to include additional resources within the Preserve and shall conform with the following setback criteria:

- Coastal sage scrub and chaparral shall be provided with a 100-foot setback where interfacing with residences, and a minimum of 50 feet where interfacing with commercial and industrial development, active park uses, and schools.
- Gnatcatcher - or cactus wren-occupied coastal sage scrub habitat shall be provided with a setback (no less than 100 feet), in consideration of topography or other factors determined at the SPA level. [“Occupied habitat” includes the area encompassed by a bird’s foraging territory.]
- Perennial (native) grassland shall be provided with a setback minimum of 25 feet and maximum of 50 feet between the habitat and proposed development (e.g., residential, commercial, pipeline, roadway, etc.).
- Vernal pools setbacks must include the watershed and a minimum of an additional 100 feet, depending upon adjacent land use.
- Mulefat scrub should be provided with a setback that is a minimum of 50 feet and a maximum of 100 feet wide, depending upon the quality of the habitat and its function within the matrix of the surrounding vegetation (e.g., corridor, foraging habitat, etc.), and the specific type of adjacent development.
- Riparian woodlands should be provided with a setback of a minimum of 100 feet and a maximum of 200 feet between the woodland and development (commercial and residential).
- Oak woodlands should be provide with a setback of a minimum of 50 feet and a maximum of 100 feet between the woodland and development (commercial and residential).
- Southern interior cypress forest should be provided with a setback of a minimum of 50 feet and a maximum of 100 between the forest and residential or commercial development.

Implementation

The Village Four SPA Plan was reviewed and modifications were made to the MSCP/Preserve boundary with the Resource Agencies and the City of Chula Vista. The boundary modification complies with the setback criteria listed above and will increase the size of the Preserve by approximately 1 acre. As envisioned, the SPA Plan complies with the Otay Ranch RMP and all appropriate mitigation was determined during the preparation of the Village Four Environmental

SPA Plan

Impact Report. All necessary federal and state permits will be granted prior to issuance of the first grading permit, provided the grading permit application is consistent with the SPA Plan and the Village Four Environmental Impact Report.

8.12.2 Physical Resources

Mineral Resources

Goal: Encourage the completion of the extraction of mineral resources before conflicts with planned development could occur.

Objective: Extract mineral resources so as not to impair other conservation efforts.

Policy: Extraction of minerals shall comply with existing laws regulating such an activity.

Policy: Prepare Reclamation Plans which include replacement of vegetation in mined areas consistent with underlying land use designations.

Policy: Minimize public health and safety hazards, conflicts with other land uses, visual degradation and negative environmental effects for all mineral extraction activities.

Policy: Protect and preserve significant geological features from destruction, damage or loss, to the extent practical.

Implementation

Mineral extraction does not occur in Village Four.

Soils

Goal: Minimize soil loss due to development.

Objective: Identify development activities, which present a large potential to create excessive runoff or erosion.

Policy: Reduce soil loss through slope stabilization, vegetation protection, revegetation and other techniques.

Implementation

Landform grading, slope stabilization, vegetation protection, revegetation, and other techniques will be employed to prevent excessive runoff or erosion.

SPA Plan

Steep Slopes

- Goal:** Reduce impacts to environmentally sensitive and potential geologically hazardous areas associated with steep slopes.
- Objective:** Research existing slope conditions prior to land development activities.
- Policy:** Provide geotechnical investigations with each SPA plan.
- Objective:** Relate development to topography and natural features, and strive to retain the character of the landforms to the extent feasible.
- Policy:** Roadways shall be designed to follow the natural contours of hillsides and minimize visibility of road cuts and manufactured slopes.
- Policy:** Excessive use of manufactured slopes in the Otay River Valley, Jamul and San Ysidro Mountains, and the area around Otay Lakes shall not be permitted.
- Policy:** Natural buffering (e.g., undeveloped open space) shall be provided between development and significant landforms, including the Jamul and San Ysidro Mountains.
- Policy:** Variable slope ratios not exceeding 2:1 shall be utilized when developing grading plans.
- Policy:** 83% of the steep slopes (steeper than 25%) shall be preserved.
- Policy:** As development occurs on steep lands, as defined by the governing jurisdictions, contour grade to reflect the natural hillside forms as much as possible, and round the top and toe of slopes to simulate natural contours.
- Policy:** Grade and rehabilitate graded areas in conformance with grading regulations of the governing jurisdiction. Ensure proper drainage, slope stability and ground cover revegetation in conformance with applicable land use regulations.

Implementation

The final grading plan for Village Four will be based on the geotechnical study. The site grading design will terrace the property to relate to the existing topography and follow the natural grade elevation change. The grading plan preserves Wolf Canyon and the peak of Rock Mountain. Manufactured slope heights and forms will be in conformance with City ordinances and policies.

SPA Plan

Floodways

- Goal:** Preserve floodways and undisturbed flood plain fringe areas.
- Objective:** Restore and enhance highly disturbed floodways and flood plains to regain former wildlife habitats and retain/restore the ability to pass 100-year flood flows.
- Objective:** Preserve floodways and undisturbed flood plain fringe areas in their natural state where downstream development will not be adversely affected.
- Policy:** Identify and map flood plains within Otay Ranch including FEMA and County-mapped flood plains.
- Policy:** Encourage non-structural flood protection methods within flood plains.
- Policy:** Allow recreational uses within disturbed portions of the flood plain fringe, provided significant environmental impacts are avoided.
- Policy:** Design drainage improvements within identified flood plains to provide for adequate flood protection, and sensitivity to biological resources.

Implementation

The development plans for Village Four is outside the 100-year floodway and flood plain and compiles with the City and Regional storm water and drainage regulations and requirements.

8.12.3 Visual Resources

- Goal:** Prevent degradation of the visual resources
- Objective:** Blend development harmoniously with significant natural features of land.
- Policy:** Develop a comprehensive signage program.
- Policy:** Design development to protect the visual value of scenic highways and open spaces.
- Policy:** Underground visually disruptive utilities to the extent feasible.
- Policy:** Conduct additional analysis of conceptual grading plans for all development at the SPA level to protect and preserve significant visual resources.

SPA Plan

Policy: Preserve significant views of major physical features such as Lower Otay Lake and the San Ysidro foothills and mountains, as well as the Jamul Mountains, San Miguel Mountain and the Otay River Valley and its major canyons.

Implementation

The grading design blends into the existing topography and the adjoining Village Eight West grading concept. The SPA alignment of Main Street maximizes views into Wolf Canyon. The grading plan preserves the peak of Rock Mountain.

8.12.4 Energy Conservation

Goal: Establish Otay Ranch as a “showcase” for the efficient utilization of energy resources and the use of renewable energy resources.

Objective: Reduce the use of non-renewable energy resources within Otay Ranch below per capita nonrenewable energy consumption in San Diego County.

Policy: Prepare a non-renewable energy conservation plan for each SPA. This plan shall identify measures to reduce the consumption of non-renewable energy resources by feasible methods, including, but not requiring, and not limited to the following:

Transportation:

- Reduction in vehicle-trip miles.
- Increase use of transit.
- Use of energy-efficient or high occupancy vehicles.
- Reduction in freight-hauling truck trips.
- Provision of facilities for telecommunications.

Building Design & Use:

- Building orientation.
- Use of better-insulated buildings.
- Use of earth sheltered design.
- Use of energy efficient appliances.
- Use of solar energy systems, as practical.

SPA Plan

Lighting:

- Use of energy-efficient public lighting.
- Use of energy-efficient lighting within buildings.
- Use of low intensity lighting where appropriate in areas adjacent to open space boundaries.

Business:

- Use of individual and district co-generation facilities.
- Use of more energy-efficient production practices.

Recycling:

- Programs which encourage or mandate residential and commercial recycling

Alternative Energy Sources:

- Solar
- Wind
- Hydro-electric
- Biomass (wood, chaparral, etc.)

Implementation

The design of Village Four encourages walking, bicycling, and public transit use to lower fuel consumption. Air Quality, Non-Renewable Energy Conservation, and Water Conservation Plans (Appendices B, C, and G, respectively) for Village Four have been prepared in conjunction with this SPA Plan, which will contribute to efficient use of resources.

Land Use

Objective: Provide land use patterns and protect features which result in the conservation of non-renewable energy resources.

Policy: Reduce the reliance for project residents to utilize the automobile, thereby minimizing automobile trips and miles traveled.

Policy: Encourage the provision of regional mass transit facilities within the Otay Ranch.

Implementation

The land use pattern of Village Four and its relationship to surrounding land uses promotes walking and cycling as alternatives to fuel consumptive automobile use. The Water Conservation Plan and landscape design promote efficient water use. The Non-Renewable Energy Conservation Plan promotes efficient energy use and use of renewable energy resources.

8.12.5 Water Conservation

Goal: Conserve water during and after construction of Otay Ranch.

Objective: Reduce CWA water use within Otay Ranch to a level that is 75-percent of County-wide, 1989 per capita levels.

Policy: Incorporate technologies and methods of water use that reduce water consumption without reducing the consumer's quality of life.

Policy: Require or stress the use of drought-tolerant landscape plants combined with state-of-the-art irrigation equipment and methods throughout Otay Ranch.

Policy: Require the use of water-efficient toilets, low-flow shower heads, faucet restrictors, and water-efficient appliances throughout the Otay Ranch.

Objective: Create a comprehensive framework for the design implementation and maintenance of water conserving measures, both indoor and outdoor.

Policy: All water conservation measures should be economically efficient and cost effective.

Objective: Develop an extensive water restoration and recycling system throughout the developed areas of Otay Ranch.

Policy: Provide for efficient use and reuse of water in industrial and commercial uses.

Policy: Provide a reclaimed water system of irrigation for golf courses, lawns, landscaping, gardens and parks.

Policy: Utilize small catch basins and berming in stream channels to slow rain water runoff so it has more or adequate time to percolate into the soil.

Objective: Investigate traditional and non-traditional uses for reclaimed water and identify potential restraints for reclaimed water use.

SPA Plan

- Policy:** Coordinate agency jurisdiction/regulation of reclaimed water to maximize use-potential.
- Policy:** Design a reclaimed water distribution system to provide reclaimed water to all portions of Otay Ranch where uses are proposed.
- Policy:** Encourage the use of reclaimed water for non-residential areas.
- Objective:** Comply with the water conservation standards and policies of all applicable jurisdictions.
- Policy:** Reclaimed water shall be treated to meet the objectives of the State of California and Regional Water Quality Control Board for all proposed uses.

Implementation

Village Four will adhere to the provisions of the Water Conservation Plan prepared for the SPA. All structures shall comply with the water efficiency requirements of the Building Code, in effect, at the time Building Permits are issued. In addition, the project shall comply with all OWD requirements.

8.12.6 Astronomical Dark Skies

- Goal:** Preserve dark-night skies to allow for continued astronomical research and exploration to be carried out at the County's two observatories, Palomar Mountain and Mount Laguna.
- Objective:** Provide lighting in heavily urbanized areas of the Otay Valley Parcel which ensures a high degree of public safety.
- Objective:** Provide lighting in less urbanized areas, which helps to preserve county-wide dark-night skies, and is consistent with more rural lighting standards prevalent in non-urbanized areas of San Diego County.
- Policy:** Comply with the County's Light Pollution Ordinance.
- Policy:** The Otay Valley Parcel shall conform to Chula Vista Municipal lighting standards.
- Policy:** All outdoor lighting fixtures shall be shaded on top so that all light will shine downward.
- Policy:** In dark sky areas (non-Otay Valley parcels), cut-off luminaries shall be used which eliminate unwanted light scattering into the atmosphere.
- Policy:** In dark sky areas (non-Otay Valley Parcels), light sources shall be provided consistent with County policies.

SPA Plan

Implementation

Lighting within Village Four will adhere to City and County ordinances and standards.

8.12.7 Agriculture

Goal: Recognize the presence of important agricultural soils both in areas subject to development and within the preserve.

Objective: Encourage effective utilization of agricultural soils located within the Preserve.

Policy: Provide opportunities for an agricultural activity area within the Preserve.

Policy: Allow historical agricultural uses during project build-out within the Preserve except on the Otay Valley Parcel, where all grazing shall cease upon approval of the Otay Ranch GDP/SRP.

Policy: The Preserve Manager shall determine a grazing policy for parcels conveyed to the Preserve.

Policy: Allow historical agricultural uses during project build-out within areas subject to development during project phases.

Policy: Important agricultural soils shall be further evaluated at the SPA level and placed in open space or if contiguous to, added to the Preserve where feasible.

Policy: Establish a composting program for the Otay Ranch that utilizes lost reclaimed water nutrients mixed with dry shredded landscape trimmings and other similar materials.

Policy: Policies and guidelines shall be developed at the SPA level for community gardens adjacent to or within individual villages. Some community gardens may be located within open space areas being maintained by an open space maintenance district, with specific design and maintenance issues to be addressed during SPA Plan review.

Implementation

Agricultural uses do not exist on-site and are not anticipated in the interim condition. To the extent feasible, agricultural soils will be placed on the slopes adjacent to the Preserve. All residents will be encouraged to compost landscape trimmings and materials.