

The Village Five Village Core Master Precise Plan provided below was approved in two separate Master Precise Plan documents:

(Click on each part to view the files)

Part One

Covers Planning Areas located within "*McMillin Company Ownership*"

(March 26, 1998 submittal approved by Design Review Committee on June 12, 1998)

Part Two

Covers Planning Areas located within "*Otay Ranch Company Ownership*"

(Revisions approved by Design Review Committee August 28, 2001)

Part 1

Otay Ranch Village Five
Village Core Master Precise Plan

SUBMITTAL DRAFT

March 26, 1998

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VILLAGE FIVE CORE MASTER PRECISE PLAN

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1. INTRODUCTION

This Master Precise Plan addresses the design and development of the Village Core within the Village Five of the Otay Ranch Community. The "village" concept is fundamental to the planning and development of Otay Ranch as it is the basic building block for organizing land uses. Villages are comprised of two basic components: a core area of more intense uses, the Village Core; and, surrounding residential uses, the Secondary Area. The design framework for development of both of these areas is provided in the Village Design Plan. However, because of the design and land use significance of the Village Core to the village as a whole, this Master Precise Plan is required to establish adequate controls and guidance to ensure the desired result.

A. Village Core

The Village Core will be the commercial/social activity focal point for Otay Ranch Village Five. The Village Core is comprised of a variety of relatively intense land uses located in close proximity to each other. Some parcels have the opportunity for multiple and/or mixed-use development within a single building. This mix and intensity is intended to allow the Village Core to function as a "transit node," encouraging the use of public transit and non-vehicular transportation modes by concentrating a number of "destinations" in a single location.

The Village Five Core has three basic components (see Exhibit 1). The primary component is the Town Square/mixed-use area within the looped Core Promenade Street (Santa Cora). This area includes the Town Square urban park, adjacent plaza street and storefront commercial. This core component is the design and activity focal point for the village as a whole. Multi-family residential is located immediately behind the commercial/square area. A public park south of this residential area completes this central mixed-use area. Pedestrian access and circulation routes are key design features which integrate the various uses in this area. The second major component is a cluster of public and quasi-public uses located across the Village Entry Street (Palomar Street), north of the commercial/square site. A site for a future light rail transit station is located within the Entry Street median. Light rail service is planned to be constructed in the center median at a future date. The third component is a variety of residential product types on the sites at the perimeter of the Core which will provide adequate population density to support the commercial uses.

As the commercial and social activity center for the village, the Core is a major factor in the perceived community image. Because of its importance to the overall design character of the community and as the activity focus/"image maker" within a predominately suburban residential community, the following design objectives are identified in the Village Five Design Plan for the Village Core area:

- Create a sense of place with a highly identifiable character.
- Create a pedestrian friendly environment with activity, enclosure, and comfort in specific areas.

- Maximize connections to the Village Core from secondary area residential development with pedestrian and bicycle routes.
- Implement a "Town Square"/plaza concept for the commercial district.
- Balance parking and vehicle access needs of commercial uses with the pedestrian focus within the Village Core.
- Encourage a unified architectural style within the commercial core which can accommodate pedestrian oriented urban design concepts and which is consistent with the community character.

In order to achieve these objectives, this Master Precise Plan has been prepared to define design elements and relationships which are critical to the success of the Village Core. Preparation of a Master Precise Plan is a required design implementation step identified in the Village Five Design Plan.

The unique character intended within the Village Center precludes the use of fixed or mandated design solutions. Hence the Village Design Plan identified the various elements of the Village Core Concept Plan, provided general character statements and identified important design/site planning features to convey a qualitative description of site design solutions in the Village Core and its critical component parts. This Master Precise Plan builds upon the provisions of the Village Design Plan to provide an additional level of detail and, more importantly, a framework for preparing and reviewing individual precise plans for the various development increments which over time will become the Village Core.

B. Master Precise Plan

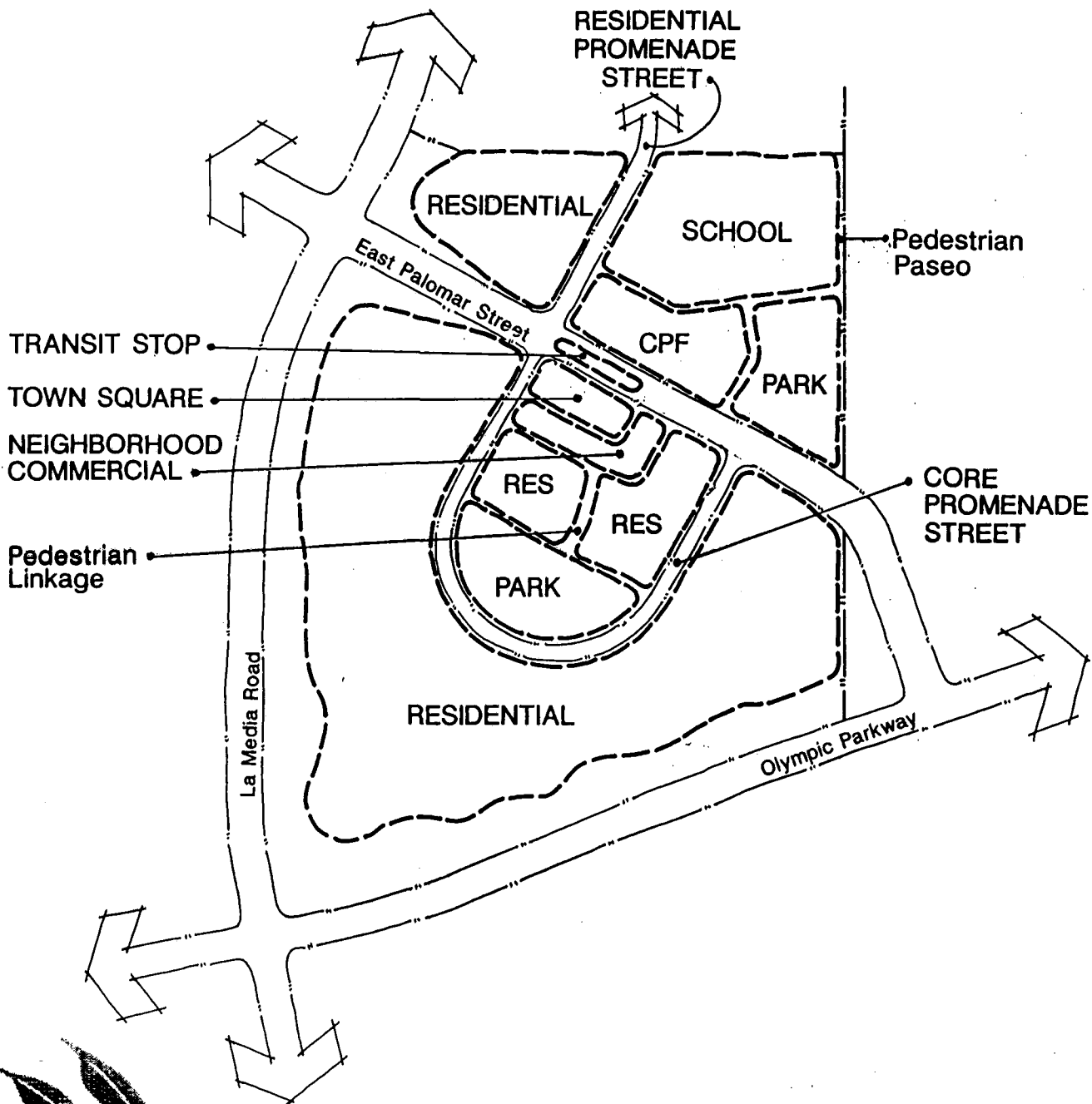
This Master Precise Plan has been prepared in recognition of the unique character of the Village Core and the probable length of time of its implementation. It serves as a bridge between the Otay Ranch SPA One Plan and accompanying Village Design Plans (which encompass approximately 1,060 acres) and the more specific individual site plans for development increments of only a few acres within the Village Core. The Master Precise Plan identifies and illustrates the various land planning, landscape and related thematic design criteria/programs inherent in creating a unique, pedestrian-oriented urban environment. These criteria take into account the relationships between the Village Core and adjacent areas, both in the Secondary Area of Village Five and adjacent villages of the Otay Ranch community.

It is important to emphasize that this document does not provide actual design solutions but, rather, establishes parameters within which such solutions can be devised while maintaining community-wide design objectives. While it is desirable to allow as much flexibility as possible for creative design expression at the individual project level, it is essential to guide and/or control the design of areas that are critical to the success of the overall Village Core or community

concept. For this reason, the Master Precise Plan contains both specific mandatory criteria and general design recommendations. Any design feature or standard which is essential to integrating the Village Core into its context, to achieving the intended character and use mix, or to implementing a unified design theme, will be mandatory. Other guidelines are provided to give examples or suggestions which will contribute to a well designed and functional project. These are less specific, may be modified by future decisions, and allow the individual site designer to provide his own design solutions within the framework of the Master Precise Plan.

In addition to providing site developers and their designers with statements of the design intent for the Village Core, the Master Precise Plan serves as an important tool for the review and evaluation of schematic, preliminary and final plans for individual projects. Definition of this procedure is important to both the City and prospective developer. The City is assured that after approving the overall Village Core, a review of detailed design will occur prior to construction, while the developer is assured that the future review will be objective, using the criteria of the Master Precise Plan. The implementation and review process is detailed in Chapter 2 of this plan.

Village Core Components



2. DESIGN REVIEW PROCESS

A. Introduction and Summary

The design review process for projects within the Village Core includes two integrated procedures: design review and approval by the master developer, and precise plan review and approval by the city of Chula Vista. Essentially, the process requires the builder to formulate the design for his or her parcel and review it with the master developer prior to formal application and review of final designs by the City. The city of Chula Vista requires preparation and approval of a Precise Plan (site plan and architectural review, as well as landscape review) for all development within the Village Core. This requirement is being met through a two stage process. This document, as the Master Precise Plan, establishes the framework for Individual Precise Plans which will provide the required detailed development information in an incremental fashion. This chapter addresses the implementation process, utilizing individual precise plans, following adoption of this Master Precise Plan.

B. Precise Plan/Design Review Process

The purpose of the Precise Plan requirement is to allow diversification in spatial relationships, density, buildings, landscaping and open space through detailed site plan review, along with architecture and signs. This level of review allows the City to adopt specific conditions of approval and to tailor development standards to suit unique site conditions or development goals.

In general, individual precise plans within the Village Core shall be administered following the standard procedures for precise plans for commercial or industrial projects, as set forth in the Zoning Ordinance, except as modified or supplemented in this text.

An application for approval of a Precise Plan shall be accompanied by dimensioned drawings which identify the elements of development listed in Section 19.56.042 of the Zoning Ordinance. All precise plan submittals shall also include materials which respond to the requirements of these guidelines: shared parking data (if proposed, mixed-use area only), demonstration of consistency with the Conceptual Master Plan (see Chapter 3) and completed Design Criteria checklist (see Chapter 5).

C. Individual Precise Plan Areas

In general, individual precise plans shall be prepared for the areas depicted on Exhibit 2. If necessary, in order to provide the necessary flexibility to respond to market conditions while recognizing the design considerations of the City, the boundary for an individual precise plan application may be adjusted through a pre-application consultation with the City Planning Director or designee. Unless modified through consultation, the following shall be the appropriate precise plan area boundaries (Exhibit 2 depicts the precise plan areas identified below):

1. The Town Square/mixed use area shall be implemented through a single precise plan. This precise plan should be approved and integrated into the Conceptual Master Plan of this Master Precise Plan prior to the approval of any other individual precise plan.
2. The minimum precise plan area for public and quasi-public uses shall be a Neighborhood Area parcel shown on the Village Five Land Use Map in the Otay Ranch SPA One Plan. Combining adjacent public or quasi-public use "bubbles" in a single precise plan area is allowed and encouraged.
3. The minimum precise plan area for residential use on peripheral sites shall be a Neighborhood Area parcel shown on the Village Five Land Use Map in the Otay Ranch SPA One Plan. Combining adjacent residential "bubbles" in a single precise plan area is allowed and encouraged.

Individual precise plans may be submitted in phases as described in Section 19.56.046 of the Zoning Ordinance. However, the submittal for the first phase must include all of the required information for site plan approval within the precise plan area. The submission of elevations and building materials for subsequent construction phases may be deferred until specific architectural concepts are developed. In addition, a skeletal plan of closely related future phases may be required to demonstrate consistency with the Conceptual Master Plan. Any such skeletal plans shall conceptually indicate circulation, building locations, preliminary grading, landscaping, density/intensity, parking, and access.

D. Individual Precise Plan Evaluation

In general, precise plan submittals shall be evaluated according to the rules and procedures established by the City's Design Review Committee. Only precise plans which are found consistent with the Conceptual Master Plan and the mandatory provisions of this Master Precise Plan shall be approved. Any project which is inconsistent with the currently adopted Conceptual Master Plan and mandatory provisions of this Master Precise Plan shall require amendment of this document prior to approval.

"Consistency" is a term often used in planning but infrequently defined. In practice, it is often easier to determine inconsistency than consistency. For purposes of implementing this Master Precise Plan, a finding of consistency requires the following:

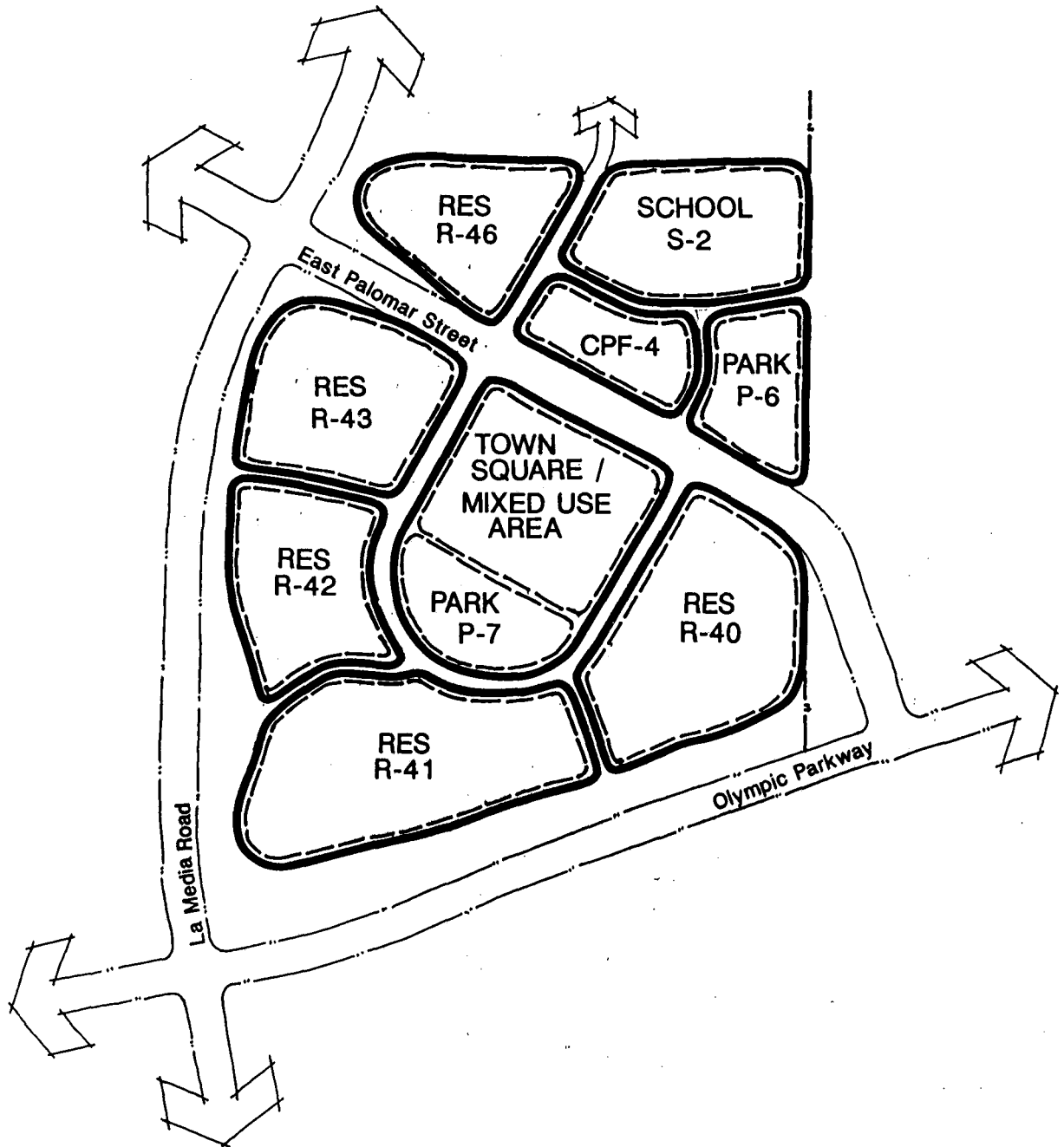
1. The proposed individual precise plan shall incorporate all the mandatory design features for the precise plan area which implement the Conceptual Master Plan (see Chapter 3);
2. The proposed individual precise plan shall implement all applicable provisions of the Village Five Design Plan and any supplementary requirements of this Master Precise Plan (see Chapter 4); and,

3. Approval of the proposed individual precise plan shall not adversely affect the ability of any other portion of the Village Core to be planned, designed and developed in a manner which is consistent with the Conceptual Master Plan and this Master Precise Plan.

Individual precise plans shall be reviewed by the Design Review Committee, and shall be considered by the Planning Commission and City Council only on appeal, pursuant to Section 19.56.048 of the Zoning Ordinance. Any individual precise plan which proposes modification or amendment of the adopted Master Precise Plan shall be considered by the Planning Commission and City Council.

Upon approval of any proposed individual precise plan, an annotated illustration of the approved project shall be prepared and incorporated as a "hardline" component of the Conceptual Master Plan (see Chapter 3). This modification of the Conceptual Master Plan shall be an administrative action and shall not be considered an amendment.

Precise Plan Areas



3. CONCEPTUAL MASTER PLAN

A. Purpose/Role

The Village Five Village Core is planned to be the commercial/activity focal area for Otay Ranch Village Five. From a community/urban design perspective, it is also the most structured and formally designed area in the village. The amenity and design program for the core area should create a sense of identity which extends to and sets the stage for the less structured residential areas which comprise the rest of the Village Five development area.

The Village Core will consist of a variety of buildings and uses. The focal point is a public plaza which is surrounded by street-level, storefront commercial uses. Upper floors of the plaza buildings may be commercial or residential. Integrated with the plaza commercial area will be multi-family residential area(s) and a park, all within the Core Promenade Street which defines the edge of this central focus area. Surrounding it are public and quasi-public uses to the north and residential sites on the three other sides.

Because of the diversity of uses within the Village Core and the importance of unifying themes and designs over an extended development period, the Conceptual Master Plan described in this chapter will be utilized to ensure overall consistency while allowing for necessary flexibility at the site plan level of detail.

The Conceptual Master Plan is provided to illustrate the intended overall land use diversity, site development character and conceptual building/parking/open space relationships within the Village Core and to adjacent areas. As an illustrative plan, it depicts the overall development concept but does not detail or establish specific development standards or requirements. Its purpose is to provide a context for the evaluation of detailed plans for individual precise plans from the perspective of the Village Core as a whole.

B. Conceptual Master Plan Exhibit

The Conceptual Master Plan is included as Exhibit 3. It graphically portrays an appropriate "design solution" for the Village Five Core. Annotations are included to identify the important elements of this solution. Although the entire Village Core is depicted, it should be noted that "hardline" (solid) and "softline" (screened) areas may be included as the Master Precise Plan is implemented. *Hardline* areas are those which have received precise plan approval and thus are fixed elements within the overall site plan. *Softline* areas are depicted to illustrate a conceptual design response which is consistent with the hardline site areas and which implements the provisions of these guidelines.

Initially, the entire Master Concept Plan is depicted as a "softline" illustration. It is anticipated, and required, that the Town Square/Mixed-Use Area be the initial development approval. This action will establish a "hardline" design for the critical central portion for the Core. Detailed design can then extend outward, as development proposals for perimeter sites mature.

C. Precise Plan Evaluation

Only proposed precise plans which are consistent with the Conceptual Master Plan shall be approved or conditionally approved. In the consistency evaluation, the conceptual nature of the design in the softline areas is important to understand. The conceptual design is intended to convey the character and general building/parking/pedestrian circulation relationships. It is not intended to indicate a specific location, number, size, or configuration of buildings, parking, or other developed site features (including landscaping). Thus, consistency with softline portions of the Conceptual Master Plan is not based on identical appearance, it is a judgement of site plan design, resulting in a development character comparable to that of the conceptual master plan, and incorporation of the mandatory site plan elements identified below.

All approved or conditionally approved individual precise plans shall be consistent with the hardline portions of the Conceptual Master Plan. Consistency shall require: 1) continuity in access and circulation patterns, both non-vehicular and vehicular (including parking); 2) continuity in major landscape, hardscape, signing, color and material themes; and, 3) complementary architectural design, building scale, and orientation.

Each precise plan submittal shall include a depiction of the adopted Conceptual Master Plan with the proposed project incorporated into the exhibit. This exhibit shall be annotated by the applicant to identify the design features which are intended to demonstrate consistency with both the hardline and softline portions of the Conceptual Master Plan. Should the proposed precise plan necessitate refinements or minor adjustments to other softline portions of the site, the proposed refinements or adjustments shall be identified. Design refinements to the softline portions of the plan, or minor amendments to approved precise plans may be approved by the Design Review Committee in conjunction with approval of a precise plan. Any modification which changes the scale, character, or major themes of the Village Core shall require a formal amendment of the Conceptual Master Plan and Master Precise Plan through action by the Planning Commission and City Council.

Each proposed individual precise plan within the Village Core will be evaluated in terms of its consistency with the development concept depicted by the Conceptual Master Plan. Upon approval or conditional approval of an individual precise plan, it shall be incorporated into the Conceptual Master Plan exhibit as the final design ("hardline") for that portion of the site. Subsequent precise plans must implement (or not preclude) the development concept for all areas which remain conceptually illustrated ("softline") to be approved. Each precise plan submittal shall include a proposed revision to the Conceptual Master Plan to illustrate the overall design refinements which would occur with approval of the proposed precise plan.

D. Mandatory Site Plan Elements

Certain features or facilities are required to be incorporated in the Village Five Village Core. Some are required to implement major community design themes or to create a specific character

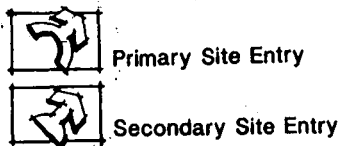
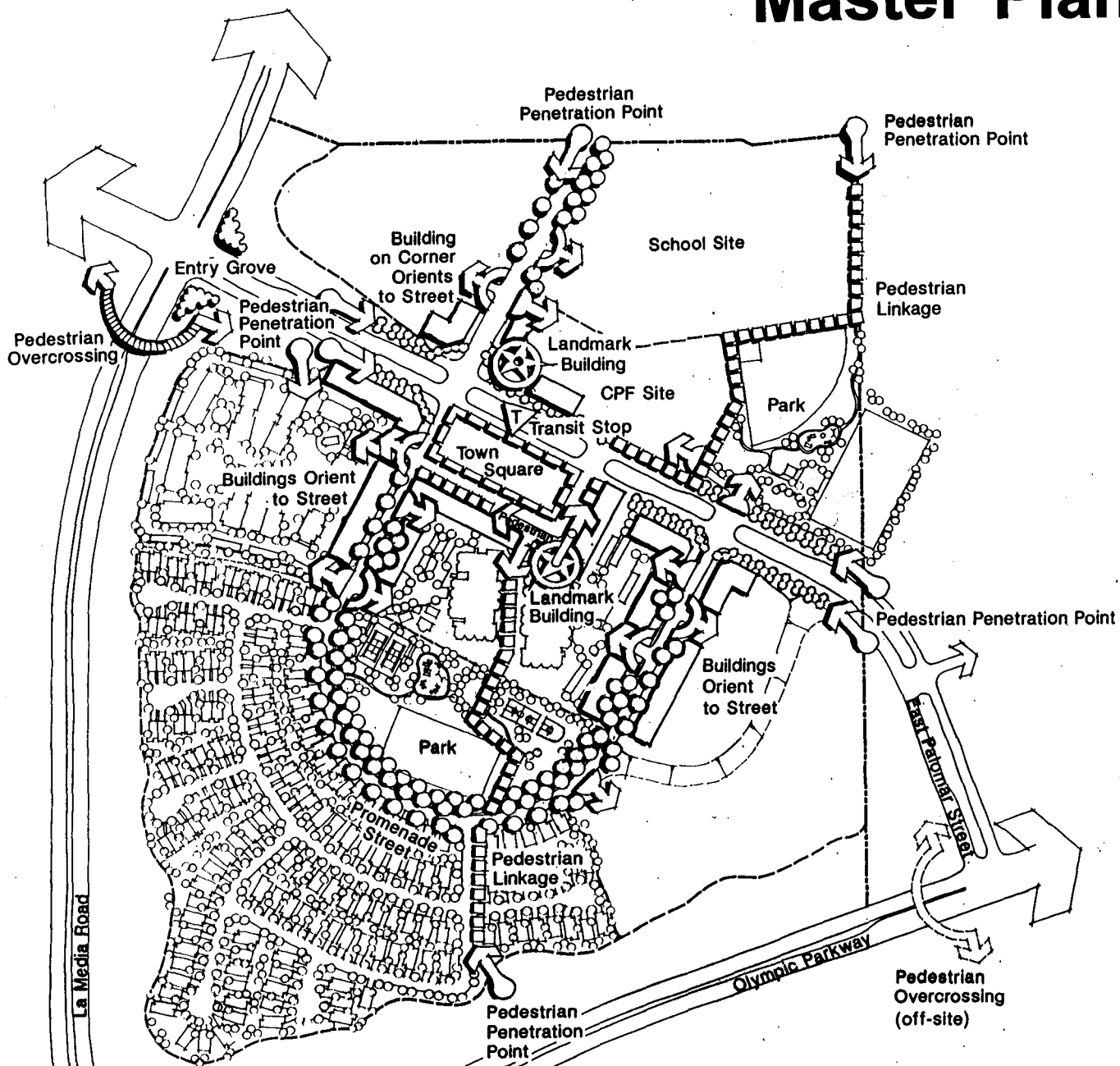
or aesthetic within the Village Core. The following elements must be implemented in the overall Village Core (if a specific or preferred location has been identified, that is also listed):

1. A light rail transit ROW and station site must be reserved within the Village Entry Street (Palomar Street) median.
2. The Town Square commercial district concept, which requires specific building, walkway, parking, *etc.* orientation per the Village Design Plan, must be implemented.
3. Streetscapes and conceptual park designs of the Village Design Plan shall be implemented.
4. Integrated internal pedestrian circulation and connections to intra- and inter-village pedestrian circulation routes shall be provided. Direct pedestrian routes shall be provided from the Town Square plaza to the pedestrian paseo at the school and park sites north of the plaza and to the pedestrian Olympic Parkway crossing south of the core.
5. The park entry and focal point shall be located along Palomar Street as depicted in the Mandatory Site Plan Elements (Exhibit 4).
6. An architectural/building focal point* shall be provided at or near the interior corner of the commercial building(s).
7. The building on the CPF site shall be sited and designed to serve as a community landmark per the Village Design Plan.
8. Multi-family residential buildings shall be oriented to the Promenade Street and an architectural/building focal point* shall be provided at or near the Promenade/Entry Street corners.
9. Village structure design elements shall be consistent with the specifications or other requirements of the Village Design Plan (Chapter III-2).

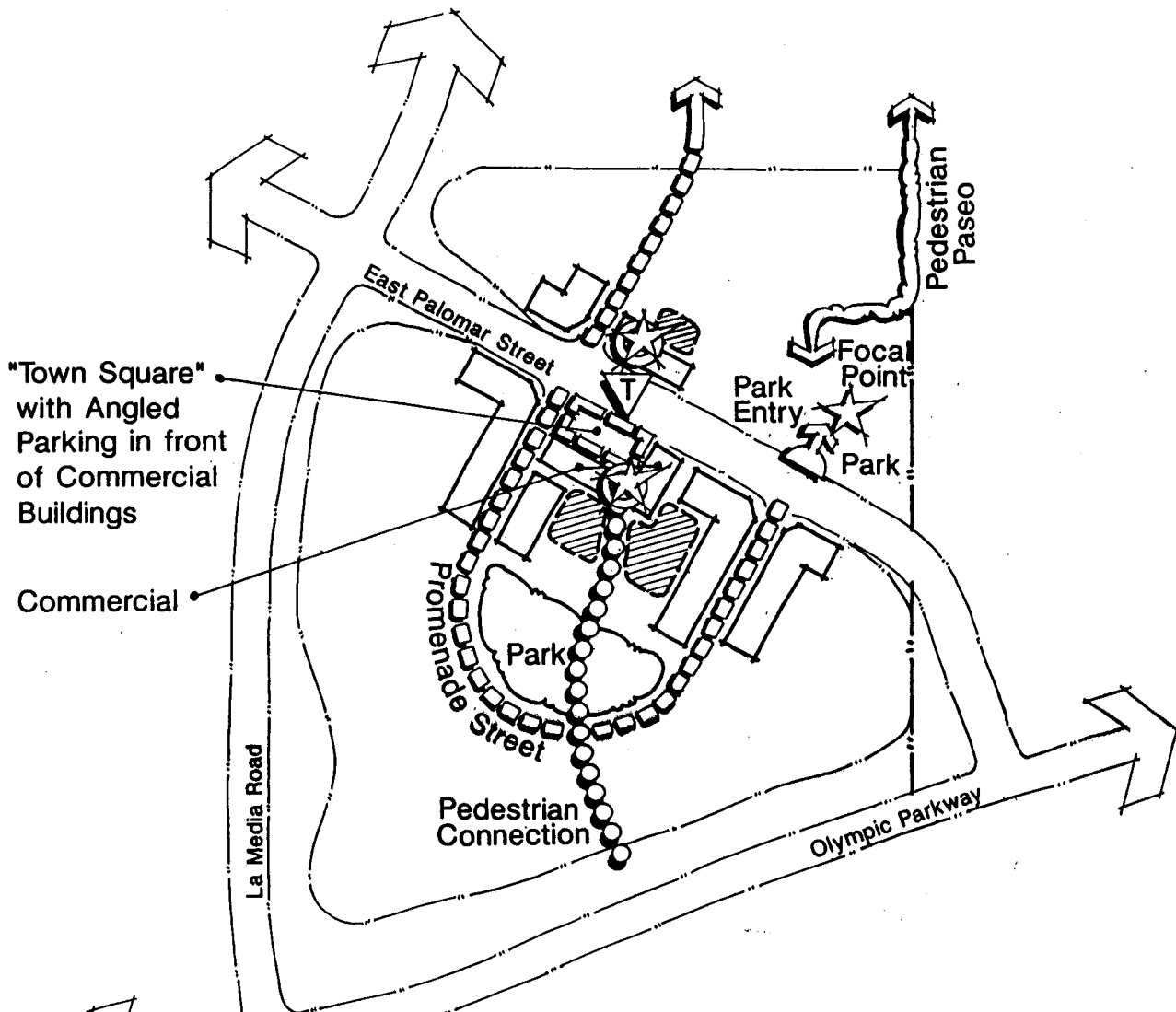
These features are graphically depicted in Exhibit 4.

* **Architectural/building focal point:** When a building which is to be an architectural/building focal point, it should be "enhanced" to contribute to the entry streetscape. Enhancements which distinguish such a building from others in less prominent locations could include, but are not limited to: additional vertical element(s), additional detailing of the street-side building elevation(s), additional or enhanced balconies or exterior window treatments, or a foreground accessory "landmark" structure such as a tower or plaza.

Annotated Conceptual Master Plan

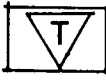





Mandatory Site Plan Elements



"Town Square" with Angled Parking in front of Commercial Buildings

Commercial

-  Transit Stop
-  Landmark Buildings
-  Parking Behind Buildings
-  Buildings with Orientation toward Street



4. VILLAGE CORE DESIGN PLAN ELEMENTS

The preceding chapters identified the Village Five Village Core project, described the individual precise plan design review process, and presented the Conceptual Master Plan, which illustrated the intended Village Core development concept. This chapter provides additional detail in the form of guidelines to be applied in the preparation and review of individual precise plans within the Village Core area.

The Village Design Plan lists four major design elements which are key to the Village Core concept: 1) Building Design/Siting; 2) Pedestrian/Vehicle/Transit Access; 3) Urban Character/Architecture; and, 4) Lighting/Signage/Street Furnishings. Each of these elements contributes to the distinct identity of the Village Core. However, the specific application or required design solution varies with location in the Village Core. This was also identified in the Village Design Plan where a separate set of guidelines was provided for each of these design categories based on location in one of three "design districts" (see Exhibit 5).

In addition to the specific guidelines described above, the design requirements of village-wide and inter-village pedestrian access and circulation are overriding considerations in the new urbanism development concept for the Otay Ranch community. A plan highlighting the significant pedestrian "trail" connections serving the Village Five Core is provided as Exhibit 6. As noted with the Conceptual Master Plan, connecting to routes converging on the core area and providing integrated intra-Core routes are required components of all individual precise plans. This exhibit should be consulted to determine the pedestrian "connection" requirements for any individual precise plan area.

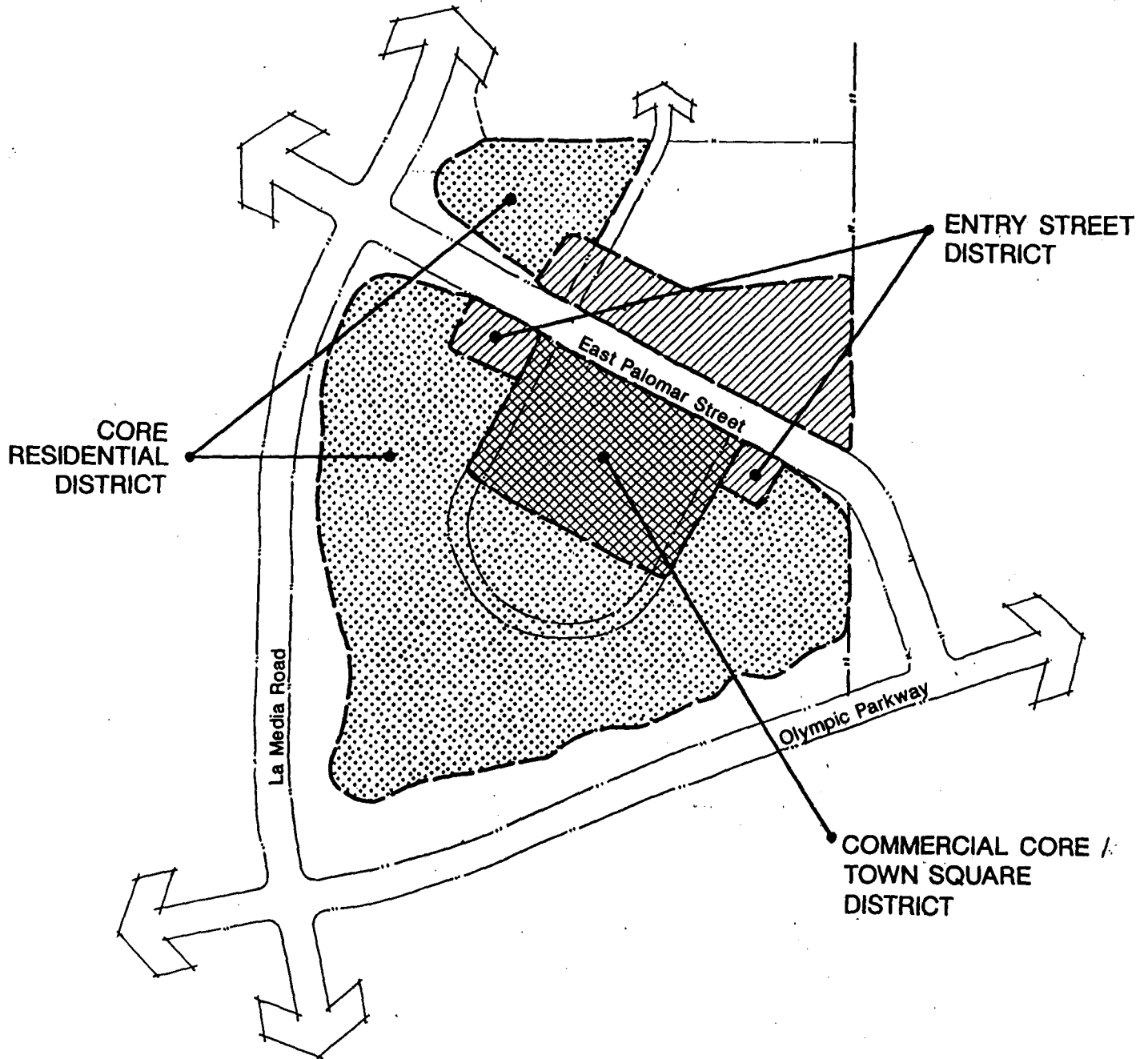
The following sections provide an overview of each design district followed by a discussion of the guidelines and required/desired precise plan responses included either in this Master Precise Plan and Master Concept Plan or individual precise plan submittals.

A. Commercial Core/Town Square District

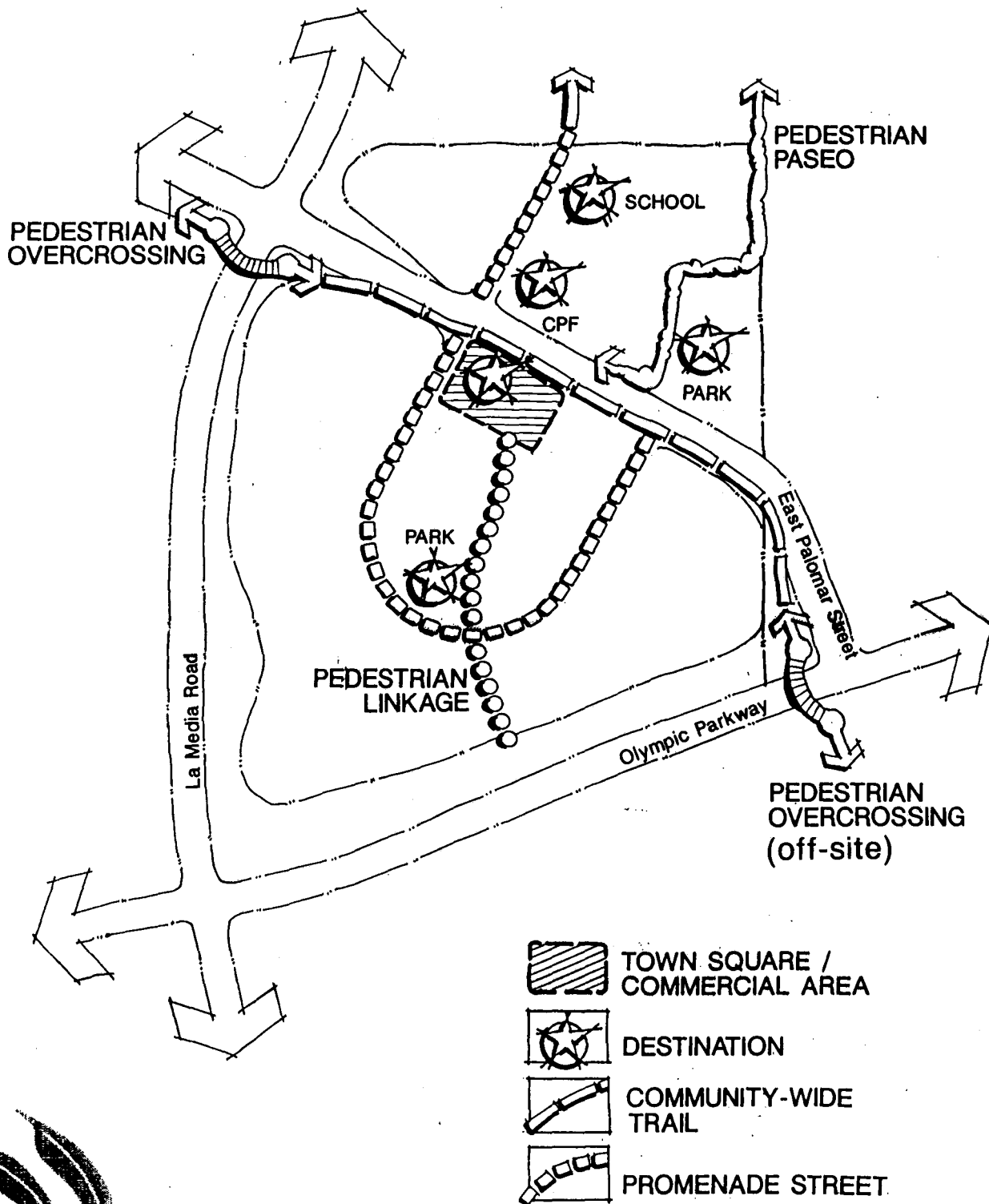
Functional/Design Role

This design district includes all of the development area bounded by the looping Core Promenade Street (Santa Cora) and the Village Entry Street (Palomar Street), except the park. The "Town Square" is the heart of the Village Core. It is intended to be the most structured and urban area within the core. It should be designed to be primarily oriented toward pedestrians, limiting vehicle speeds and parking areas on the fronting street. This street is to function as a traditional town square/plaza street, fronted by pedestrian scaled storefronts and shops. Limited volumes of slow moving through traffic and parallel or angled parking are to be provided. The character of this street is defined by subordinated vehicle activity and a pedestrian friendly urban environment.

Design Districts



Pedestrian Trail Connections



The guidelines in this section should be applied most stringently to the "Town Square" pedestrian oriented edge of the plaza/commercial area. These sites also have one or more edges which have a somewhat or significantly reduced pedestrian orientation. Because these edges are less critical to the overall concept, less attention is given to them. Thus, these guidelines should be applied in a manner which takes into consideration the range of exposures and the need to integrate a variety of character/orientation solutions into a cohesive parcel plan.

Building Design/Siting

- In order to define and enclose this pedestrian shopping/activity area, buildings fronting on the plaza street should have reduced setbacks from the pedestrian right-of-way to encourage interaction between building activities and passers-by. Multiple story buildings, with retail at street level and office or residential uses above are allowed.
- Building groups should promote the community design theme by utilizing internal courtyards or plazas, as focal points.
- Strong definition of building corners with vertical elements will help to define public spaces and improve orientation within this pedestrian district.
- Building entrances should be located on the street/plaza building edge and should be closely spaced to increase articulation and interest along the pedestrian walk. Design emphasis on the entry improves the streetscene and helps distinguish individual shops in a multi-tenant building. Storefronts should incorporate display windows to create interest and encourage window shopping along the pedestrian walk. Uses which are not conducive to such exposure should be located away from the street level shopping corridor.
- Each project (use) should provide a well articulated, identifiable entry sequence for the pedestrian and vehicle, from street to building. Project entries and connections to and into buildings should be enhanced with landscaping, hardscape detail and accented architectural design.
- Shaded areas and a sense of enclosure which will encourage visitors to linger and enjoy the area are desirable aspects of the plaza and perimeter street. Features such as canopies, arcades and roof overhangs can achieve these objectives and also provide a measure of weather protection when necessary.
- Exterior building elevations should incorporate a range of scale defining elements which relate larger building masses to the pedestrian. Examples include columns, archways, doorways, upper floor windows and balconies.
- Outdoor refuse or storage containers shall be completely screened. No refuse collection or storage areas shall be located between a street and the front of a building.

- Mechanical and electrical equipment, utility connections, and antennas should be mounted within the interior of a building whenever practical. When interior mounting is not practical, equipment should be screened from public view.

In addition to the building siting guidelines listed above, the specific site provisions provided in Chapter III-5 of the Village Design Plan shall be applied in the design of each development parcel.

Pedestrian/Vehicle/Transit Access

- Vehicle access should be clearly subordinated to pedestrian access in this area. Traffic should be limited along the street and single "back door" vehicle access to the rear should be allowed, potentially under a building bridge. Parking should be located behind buildings fronting the pedestrian street/plaza on these parcels.
- All service and loading areas should be accessed from an alley or rear parking area. No loading should occur on the street or pedestrian oriented sides of a building. No garage type loading doors shall be located on a building facade directly facing a public street.
- Parking lots, walkways and courtyards should be designed at a human scale to promote pedestrian and bicycle movement and reduce the impersonal expansiveness of large spaces.
- An expanded sidewalk should be provided along the pedestrian corridor to allow groups to comfortably pass each other. Frequent opportunities to sit, relax, and observe should be provided with the inclusion of benches, steps, planters, and short walls within and adjacent to the pedestrian walk.
- Pedestrian, bicycle and cart access routes to this area should be maximized. A paseo connection through the park on Parcel P-6 should be provided to link the commercial district to the Secondary Area(s). Similar routes should be provided via the two Promenade Streets. These routes should be well marked to encourage non-vehicular circulation.
- Pedestrian, bicycle and cart access routes should provide convenient access to the planned transit station site in the Palomar Street median. The commercial area should have good exposure to the transit station site and well identified pedestrian routes should connect them.

Where uses have predictable time cycle parking demands and where supported by appropriate traffic/parking studies, shared parking may be utilized as a means to reduce total parking lot area. (Note: The criteria and standards provided in *Shared Parking* published by the Urban Land Institute (ULI) or similar objective requirements may be utilized to assess parking needs and formulate shared parking agreements.)

Urban Character

- The pedestrian ground plane within the plaza and along the shopping street should be well defined with a hard surface that is textured or has other accents which create an interesting pattern and help to identify the focal area.
- Grade separations in this district should utilize structures rather than landscaped banks, to emphasize the urban character and provide sitting areas.
- Landscaping should reinforce the urban character of the area and reflect ordered, formal plantings rather than random, natural appearing materials. Trees should be incorporated into the pedestrian path, planted flush to ground level with overhead branches to create overhead canopies.
- Adjacent parking areas should be softened from the pedestrian paths.

The Village Design Plan indicates that the community architectural theme of "California Heritage" should be strongly conveyed within the Village Core, particularly in the Town Square area. While not a specific architectural style, the California Heritage design theme can embrace a variety of specific styles and combinations: Spanish Colonial, Mission, Ranch House, Bungalow, Moorish, Agrarian, *etc.* In general, California Heritage architecture will reflect the climate and materials indigenous to Southern California. The architectural feeling should be relaxed, simple and somewhat rustic. In larger buildings or groups of buildings, horizontal massing should be interspersed with vertical elements such as two story components and towers. Larger towers should signify focal elements and meeting/activity places.

The following guidelines summarize the architectural design principles which should be implemented in the Village Core commercial area:

- The architecture should be responsive to the climatic conditions of Otay Ranch. Shade, indoor and outdoor spaces, and people-gathering areas should be an important element for building design. Buildings should be constructed using materials with good insulating value.
- A variation of building height and massing, whether in groups of buildings or with individual buildings, should be achieved.
- All buildings should be composed of a base, middle and cap.
- Roof forms should reflect the historical heritage architectural vernacular.
- Windows, entries and doors should vary in size shape and detail.

- Second floor, pedestrian spaces should be opened up to view as much as possible for easy access and convenient identification and, where possible, to provide second floor connections to other buildings by use of bridges.
- Certain standardized architectural elements should be required in all buildings within a individual Core area or complex. These elements should be identified at the precise plan stage. A building should not exactly copy the style of its neighbors but it should address and/or share certain fundamental architectural characteristics. Architectural style along the same street or within a complex should include buildings of similar height and share one or more distinctive elements: materials, window style, door style, detailing, porches, arcades, overhangs, roofing, color, *etc.*
- The highest use pedestrian areas should have the highest level of design detail (*e.g.*, courtyards and plazas).

Lighting/Signing/Street Furnishings

- The town square commercial area should be well lit to encourage evening use. Street lighting fixtures should relate to the pedestrian scale, and architectural accent lighting is encouraged.
- Illumination of walkway/trail connections should be provided by the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundaries/enclosure. The light source in service area lighting fixtures should not be visible from adjacent properties.
- A Town Square Design Program should be formulated to establish specific design parameters for all signage, theme lighting, and street furnishings within the Commercial Core/Town Square District. Signs and fixtures in this district should be located and scaled for a pedestrian district. Signage should inform and direct but not dominate the visual character of the area.

B. Entry Street District

Functional/Design Role

This district includes the development sites adjacent to the Village Entry Street (Palomar Street) which should be second only to the Town Square district in level of formality and structured design. Although not a part of the plaza, these sites are visually prominent and in close proximity to the commercial area. Because they front on the most highly trafficked street in the village, the aesthetics and building design on these sites will generally be more important than pedestrian

orientation. Where a grade change physically and visually separates an adjacent development site from the entry street, these guidelines shall not apply.

Building Design/Siting

- Village landmark buildings should be sited in visually prominent locations (CPF-4 site). A landmark feature or structure could be similarly sited in the park (parcel P-6) across from the town square.
- Building siting and design should recognize the important corner locations with strong vertical elements and a "public building" appearance.
- Building entrances should be sited toward the entry street, with distinct pedestrian connections to the non-vehicular path along the entry street and the connecting paths along the intersecting Promenade Streets and Paseo (in the park).

In addition to the building siting guidelines listed above, the specific site provisions provided in Chapter III-5 of the Village Design Plan shall be applied in the design of each development parcel.

Pedestrian/Vehicle/Transit Access

- Pedestrian access via designated off-street paths should connect directly with the front entrance to buildings. Along with the town square, these sites should provide major pedestrian/non-vehicular destinations within the Village Core.
- Parking and vehicle access should be located to the rear of each site and separated from the pedestrian-oriented frontage.

Urban Character

- The landscape design on these sites will be greatly influenced by the Village Entry Street landscaping which will create a strong design element along one edge. In general, these sites will be somewhat less formal the town square commercial area. However, as landmark sites they should reflect the orderly and structured pattern of the Village Core. Sites located near the village entry will also introduce and announce the design character of the community so they should have a strong design and be well detailed.

Lighting/Signing/Street Furnishings

- A Village Core Design Program for lighting, signing, and street furnishings will be prepared to establish a single set of standards to be used throughout the Core. This program should be compatible with that of the Town Square, but need not follow it exactly.

C. Core Residential District

Functional/Design Role

This district includes the residential sites at the perimeter of the Village Core. This location distinguishes them from the residential uses in the Secondary Area, yet their distance and residential use distinguish them from the other uses on or near the plaza. The purpose of these sites is to provide sufficient residential density within easy walking distance to support the transit, commercial and other destinations sited in the core.

Building Design/Siting

- Residential buildings should be sited and designed to increase interaction between living spaces and pedestrian paths along the Core streets. Provision of front doors, porches, balconies, and pedestrian scaled landscape/hardscape in the front yard is encouraged.

In addition to the building siting guidelines listed above, the specific site provisions provided in Chapter III-5 of the Village Design Plan shall be applied in the design of each development parcel.

Pedestrian/Vehicle/Transit Access

- Strong connections to pedestrian paths should be provided from both the edges and interiors of multi-family sites.
- A well-defined pedestrian route to the Olympic Parkway pedestrian crossing connecting to other villages is required.

Urban Character

- The landscape design on these sites will be greatly influenced by the Promenade Street landscaping which will create a strong design element along one edge. Along the street frontage, these sites will be somewhat less formal the town square commercial area. The character of interior areas may be much less formal consistent with providing a relaxing living environment.

Lighting/Signing/Street Furnishings

- Signs and fixtures should be consistent with the Village Core Design program.

5. DESIGN REVIEW CHECKLISTS

This chapter is provided to summarize the important site planning and design issues for each of the various individual precise plan areas within the Village Core. The checklists identify the important design issues associated with each plan area. They are not intended to address phasing of development within the precise plan area, construction responsibility, or other important implementation or site development issues which are not addressed in this Master Precise Plan. These issues will arise in the review of each individual precise plan submittal, however these issues are addressed in the provisions of the SPA One Plan, PFFP, Development Agreement, or other adopted planning documents.

Although the Village Core is intended to appear and function as a unified component of Village Five in the Otay Ranch Community, particular areas will be expected to incorporate specific design concepts due to the types of uses envisioned or their geographic location. The site designer and/or plan reviewer should use the "checklists" outlined in this chapter as a guide to their efforts.

Consistent with the Planning Areas identified in Exhibit 2, nine checklists are provided:

- Town Square/Multi-Use Area
- CPF-4 Site
- P-6 Park Site
- School Site
- R-40 Residential Site
- R-41 Residential Site
- R-42 Residential Site
- R-43 Residential Site
- R-46 Residential Site

A. Town Square/Multi-Use Area

- Location:** Central portion of Core within the Core Promenade Street - must be first and a single precise plan
- Planned Use:** "Town Square" plaza with storefront commercial; multi-family residential and park
- Permitted Use:** As permitted by Otay Ranch SPA One PC District Regulations
- Mandatory Site**
- **Plan Elements:** Implement "Town Square"/plaza with storefront commercial (building orientation to plaza and Village Plaza Street/Walkway at edge)
 - Architectural focal point/building at interior corner
 - Village Entry Street streetscape with transit station site reserved on Palomar Street edge
 - Village Core Promenade Streetscape on Santa Cora loop street edge
 - Residential buildings oriented to Promenade Street
 - Integrated pedestrian circulation throughout mixed-use area
 - Strong connections to pedestrian routes (promenade street, paseos, connections to other villages)
 - Reduced automobile accommodations (minimum number of curb cuts, parking behind buildings which are oriented to the streets)
 - Village structure design elements consistent Village Design Plan (Chapter III-2).
- Design District:** Commercial Core/Town Square District and Core Residential District (park area only)
- Building Design/Siting:** Primary pedestrian oriented edge along plaza; secondary edge along promenade street.
- Pedestrian/Vehicle/Transit Access:** Well defined non-vehicular access and circulation among plaza, commercial, residential and transit station uses. "Trail" connections to intra- and inter-village routes.
- Urban Character:** Formal, structured and highly detailed on primary pedestrian edge. High quality "village image" architecture on plaza.
- Lighting/Signing/Street Furnishings:** Town Square Design Program required.

B. CPF-4 Site

Location: North of Town Square along Palomar Street

Planned Use: "Community Purpose Facility" such as church, day care, or similar

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site

- **Plan Elements:** Architectural focal point/community landmark building at street corner
- Village Entry Street streetscape with transit station site reserved on Palomar Street edge
- Promenade Street streetscape on Santa Cora edge
- Strong connections to pedestrian routes
- Building entry(s) on Palomar Street side with pedestrian access
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Entry Street District

Building Design/Siting: "Public building" appearance and prominent siting.

**Pedestrian/Vehicle/
Transit Access:** "Trail" connections to intra- and inter-village routes.

Urban Character: Somewhat less formal, structured and detailed than plaza. Architecture consistent with/complementary to "village image" architecture on plaza.

**Lighting/Signing/Street
Furnishings:** Village Core Design Program required for Entry Street District.

C. P-6 Park Site

Location: Northeast of Town Square along Palomar Street

Planned Use: Public Park (active recreation facilities)

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site

- **Plan Elements:** Focal point along Palomar Street
- Entry aligned with plaza street
- Village Entry Street streetscape on Palomar Street edge
- Extend pedestrian paseo per Design Plan specifications to Town Square
- Strong connections to pedestrian routes
- Building entry, if any building proposed, on Palomar Street side with pedestrian access
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Entry Street District

Building Design/Siting: "Public building" appearance and prominent siting for building, if any building is proposed.

**Pedestrian/Vehicle/
Transit Access:** Paseo connection and entry alignment per mandatory elements above. Provide vehicular entry to CPF-4 site to the west.

Urban Character: Formal street edge, interior character dictated by recreation uses/improvements.

**Lighting/Signing/Street
Furnishings:** Village Core Design Program required for Entry Street District.

D. School Site

- Location:** North of CPF site along Santa Cora
- Planned Use:** Elementary School
- Permitted Use:** As permitted by Otay Ranch SPA One PC District Regulations
- Mandatory Site**
- **Plan Elements:** Promenade Street streetscape on Santa Cora
 - Strong connections to pedestrian routes
 - Village structure design elements consistent Village Design Plan (Chapter III-2).
- Design District:** None
- Building Design/Siting:** "Public building" appearance; site to allow shared facilities with adjacent park.
- Pedestrian/Vehicle/
Transit Access:** Promenade connection on Santa Cora and pedestrian paseo connection at rear of site.
- Urban Character:** No requirements.
- Lighting/Signing/Street
Furnishings:** Promenade Street streetscape and Paseo on edges.

E. R-40 Residential Site

Location:	Southeast of Mixed-Use area, part of perimeter residential
Planned Use:	Multi-family residential
Permitted Use:	As permitted by Otay Ranch SPA One PC District Regulations
Mandatory Site	
	<ul style="list-style-type: none">• Plan Elements: Buildings oriented to Promenade Street• Core Promenade Street streetscape on Santa Cora• Village Entry streetscape on Palomar Street• Strong connections to pedestrian routes• Village structure design elements consistent Village Design Plan (Chapter III-2).
Design District:	Entry Street along Palomar Street (where at or close to grade) and Core Residential
Building Design/Siting:	Orientation to Santa Cora Promenade and Palomar Street; architectural statement at corner. "Interactive" residential edge along promenade
Pedestrian/Vehicle/ Transit Access:	Promenade connection on Santa Cora; parking buffered from promenade and entry streets.
Urban Character:	Formal street edge; informal interior areas.
Lighting/Signing/Street Furnishings:	Promenade Street streetscape.

F. R-41 Residential Site

Location: South of Mixed-Use area, part of perimeter residential

Planned Use: Single Family Residential

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site

- **Plan Elements:** Buildings oriented to Promenade Street
- Core Promenade Street streetscape on Santa Cora
- Connection to pedestrian route crossing Olympic Parkway
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Core Residential

Building Design/Siting: Orientation to Santa Cora Promenade; "interactive" residential edge along promenade

**Pedestrian/Vehicle/
Transit Access:** "Trail" connection from park in mixed-use area to Olympic Parkway crossing; promenade connection on Santa Cora.

Urban Character: Formal street edge; semi-formal interior street areas.

**Lighting/Signing/Street
Furnishings:** Promenade Street streetscape.

G. R-42 Residential Site

Location:	West of Mixed-Use area, part of perimeter residential
Planned Use:	Multi-family Residential
Permitted Use:	As permitted by Otay Ranch SPA One PC District Regulations
Mandatory Site	
	<ul style="list-style-type: none">• Plan Elements: Buildings oriented to Promenade Street• Core Promenade Street streetscape on Santa Cora• Village structure design elements consistent Village Design Plan (Chapter III-2).
Design District:	Core Residential
Building Design/Siting:	Orientation to Santa Cora Promenade; "interactive" residential edge along promenade
Pedestrian/Vehicle/ Transit Access:	Promenade connection on Santa Cora; parking buffered from promenade.
Urban Character:	Formal street edge; informal interior areas.
Lighting/Signing/Street Furnishings:	Promenade Street streetscape.

H. R-43 Residential Site

- Location:** West of Mixed-Use area, part of perimeter residential
- Planned Use:** Multi-family Residential
- Permitted Use:** As permitted by Otay Ranch SPA One PC District Regulations
- Mandatory Site**
- **Plan Elements:** Buildings oriented to Promenade Street
 - Core Promenade Street streetscape on Santa Cora
 - Village Entry streetscape on Palomar Street
 - Strong connections to pedestrian routes
 - Village structure design elements consistent Village Design Plan (Chapter III-2).
- Design District:** Entry Street along Palomar Street (where at or close to grade) and Core Residential
- Building Design/Siting:** Orientation to Santa Cora Promenade and Palomar Street; architectural statement at corner. "Interactive" residential edge along promenade
- Pedestrian/Vehicle/
Transit Access:** Promenade connection on Santa Cora; parking buffered from promenade and entry streets.
- Urban Character:** Formal street edge; informal interior areas.
- Lighting/Signing/Street
Furnishings:** Promenade Street streetscape.

I. R-46 Residential Site

Location:	Northwest of Mixed-Use area, part of perimeter residential
Planned Use:	Multi-family Residential
Permitted Use:	As permitted by Otay Ranch SPA One PC District Regulations
Mandatory Site	
	<ul style="list-style-type: none">• Plan Elements: Buildings oriented to Promenade Street• Core Promenade Street streetscape on Santa Cora• Village Entry streetscape on Palomar Street• Strong connections to pedestrian routes• Village structure design elements consistent Village Design Plan (Chapter III-2).
Design District:	Entry Street along Palomar Street (where at or close to grade) and Core Residential
Building Design/Siting:	Orientation to Santa Cora Promenade and Palomar Street; architectural statement at corner. "Interactive" residential edge along promenade
Pedestrian/Vehicle/ Transit Access:	Promenade connection on Santa Cora; parking buffered from promenade and entry streets.
Urban Character:	Formal street edge; informal interior areas.
Lighting/Signing/Street Furnishings:	Promenade Street streetscape.

Part 2

Otay Ranch

SPA One

Village Five Core - Master Precise Plan

June 12, 1998

August 28, 2001 Revision

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1. INTRODUCTION

This Master Precise Plan addresses the design and development of the Village Core within Village Five of the Otay Ranch Community. The "village" concept is fundamental to the planning and development of Otay Ranch, as it is the basic building block for organizing land uses. Villages are comprised of two basic components: a core of more intense uses, known as the Village Core; and, surrounding residential uses, known as the Secondary Area. The design framework for development of both of these areas is provided in the Village Design Plan. However, because of the design and land use significance of the Village Core to the village as a whole, this Master Precise Plan is required to establish adequate controls and guidance to ensure that the Village Core is designed as a cohesive unit.

A. Village Core

The Village Core will be the commercial/social activity focal point for Otay Ranch Village Five. The Village Core is comprised of a variety of relatively intense land uses located in close proximity to each other. Some parcels have the opportunity for multiple and/or mixed-use development within a single building. This mix and intensity is intended to allow the Village Core to function as a "transit node," encouraging the use of public transit and non-vehicular transportation modes by concentrating a number of "destinations" in a single location.

The Village Five Core has three basic components (see Exhibits 1a and 1b). The primary component is the Town Square/mixed-use area within the looped Core Promenade Street (Santa Cora). This area includes the Town Square urban park, adjacent plaza street and storefront commercial. This core component is the design and activity focal point for the village as a whole. Multi-family residential is located immediately behind the commercial/square area. A public park south of this residential area completes this central mixed-use area. Pedestrian access and circulation routes are key design features which integrate the various uses in this area. The second major component is a cluster of public and quasi-public uses located across the Village Entry Street (East Palomar Street), north of the commercial/square site. A site for a future light rail transit station is located within the Entry Street median. Light rail service is planned to be constructed in the center median at a future date. The third component is a variety of residential product types on the sites at the perimeter of the Core which will provide adequate population density to support the commercial uses and future light rail transit.

As the commercial and social activity center for the village, the Core is a major factor in the perceived community image. Because of its importance to the overall design character of the community and as the activity focus/"image maker" within a predominately suburban residential community, the following design objectives are identified in the Village Five Design Plan for the Village Core area:

- Create a sense of place with a highly identifiable character.
- Create a pedestrian friendly environment with activity, enclosure, and comfort in specific areas.

- Maximize connections to the Village Core from secondary area residential development with pedestrian and bicycle routes.
- Implement a "Town Square"/plaza concept for the commercial district.
- Balance parking and vehicle access needs of commercial uses with the pedestrian focus within the Village Core.
- Encourage a unified architectural style within the commercial core which can accommodate pedestrian oriented urban design concepts and which is consistent with the community character.

In order to achieve these objectives, this Master Precise Plan has been prepared to define design elements and relationships which are critical to the success of the Village Core. Preparation of a Master Precise Plan is a required design implementation step identified in the Village Five Design Plan and is a condition of approval on the tentative map. Approval of this Master Precise Plan by the Chula Vista Design Review Committee is required prior to any Detailed Site Plan approvals for the Core.

The unique character intended within the Village Center precludes the use of fixed or mandated design solutions. Hence the Village Design Plan identified the various elements of the Village Core Concept Plan, provided general character statements and identified important design/site planning features to convey a qualitative description of site design solutions in the Village Core and its critical component parts. This Master Precise Plan builds upon the provisions of the Village Design Plan and SPA Plan to provide an additional level of detail and, more importantly, a framework for preparing and reviewing individual Detailed Site Plans for the various development increments which over time will become the Village Core.

B. Master Precise Plan

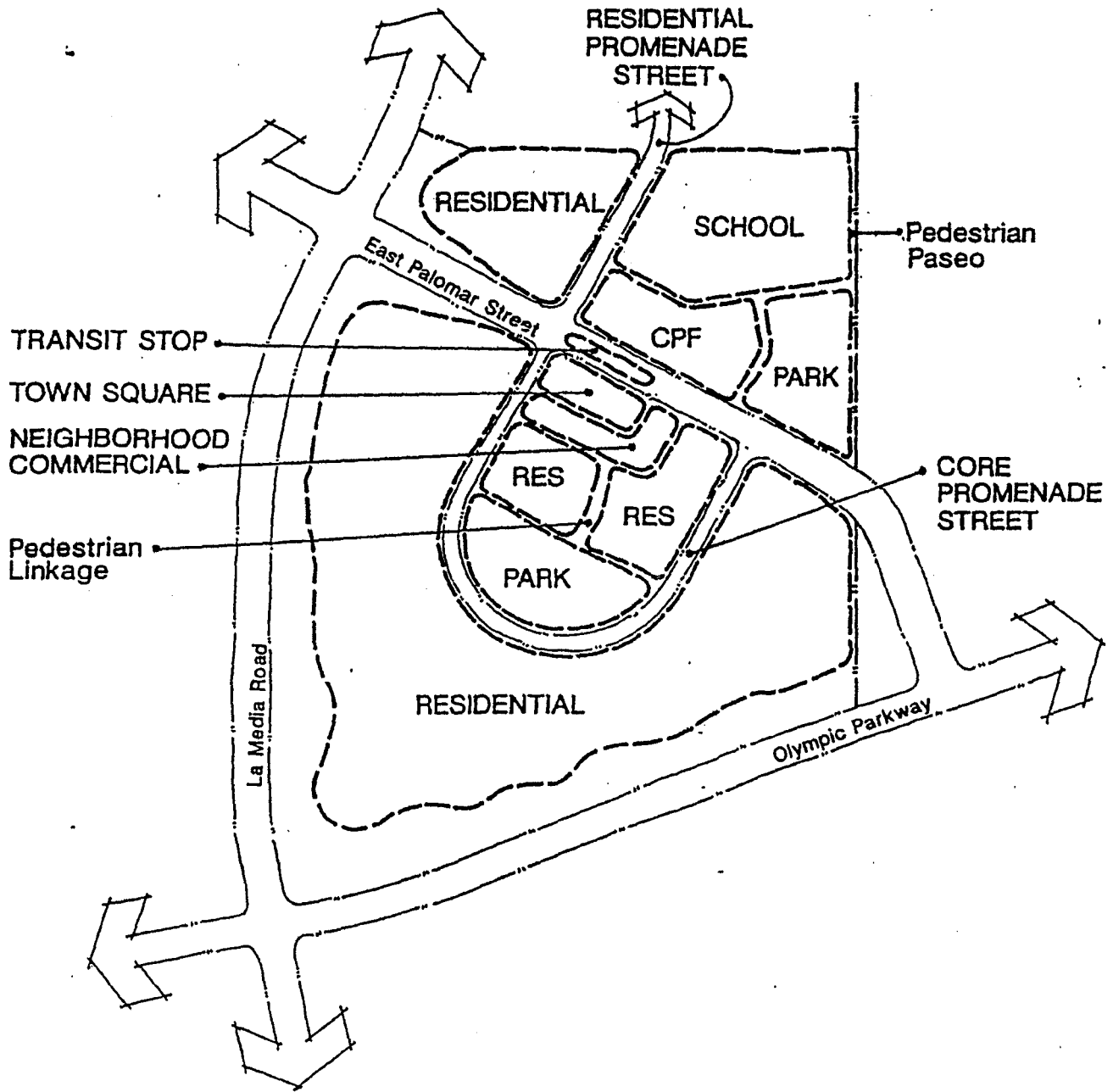
This Master Precise Plan has been prepared in recognition of the unique character of the Village Core and the probable length of time of its implementation. It serves as a bridge between the Otay Ranch SPA One Plan and accompanying Village Design Plans (which encompass approximately 1,060 acres) and the more specific individual site plans for development increments of only a few acres within the Village Core. The Master Precise Plan identifies and illustrates the various land planning, landscape and related thematic design criteria/programs inherent in creating a unique, pedestrian-oriented urban environment. These criteria take into account the relationships between the Village Core and adjacent areas, both in the Secondary Area of Village Five and adjacent villages of the Otay Ranch community.

It is important to emphasize that this document does not provide actual design solutions but, rather, establishes parameters within which such solutions can be devised while maintaining community-wide design objectives. While it is desirable to allow flexibility for creative design expression at the individual project level, it is essential to guide and/or control the design of areas that are critical to the success of the overall Village Core or community concept. For this reason, the Master Precise Plan contains both specific mandatory criteria and general design recommendations. Any design feature or standard which is essential to integrating the Village Core into its context, to achieving

the intended character and use mix, or to implementing a unified design theme, will be mandatory. Other guidelines are provided to create a well designed and functional project. These are less specific and allow the individual site designer to provide his own design solutions within the framework of the SPA Plan, Village Design Plan, and Master Precise Plan.

In addition to providing site developers and their designers with statements of the design intent for the Village Core, the Master Precise Plan serves as an important tool for the review and evaluation of schematic, preliminary and final plans for individual projects. Definition of this procedure is important to both the City and prospective developer. The City is assured that after approving the overall Village Core Master Precise Plan, a review of detailed design will occur prior to construction, while the developer is assured that the future review will be objective, using the criteria of the SPA Plan, Village Design Plan, and Master Precise Plan. The implementation and review process is detailed in Chapter 2 of this plan.

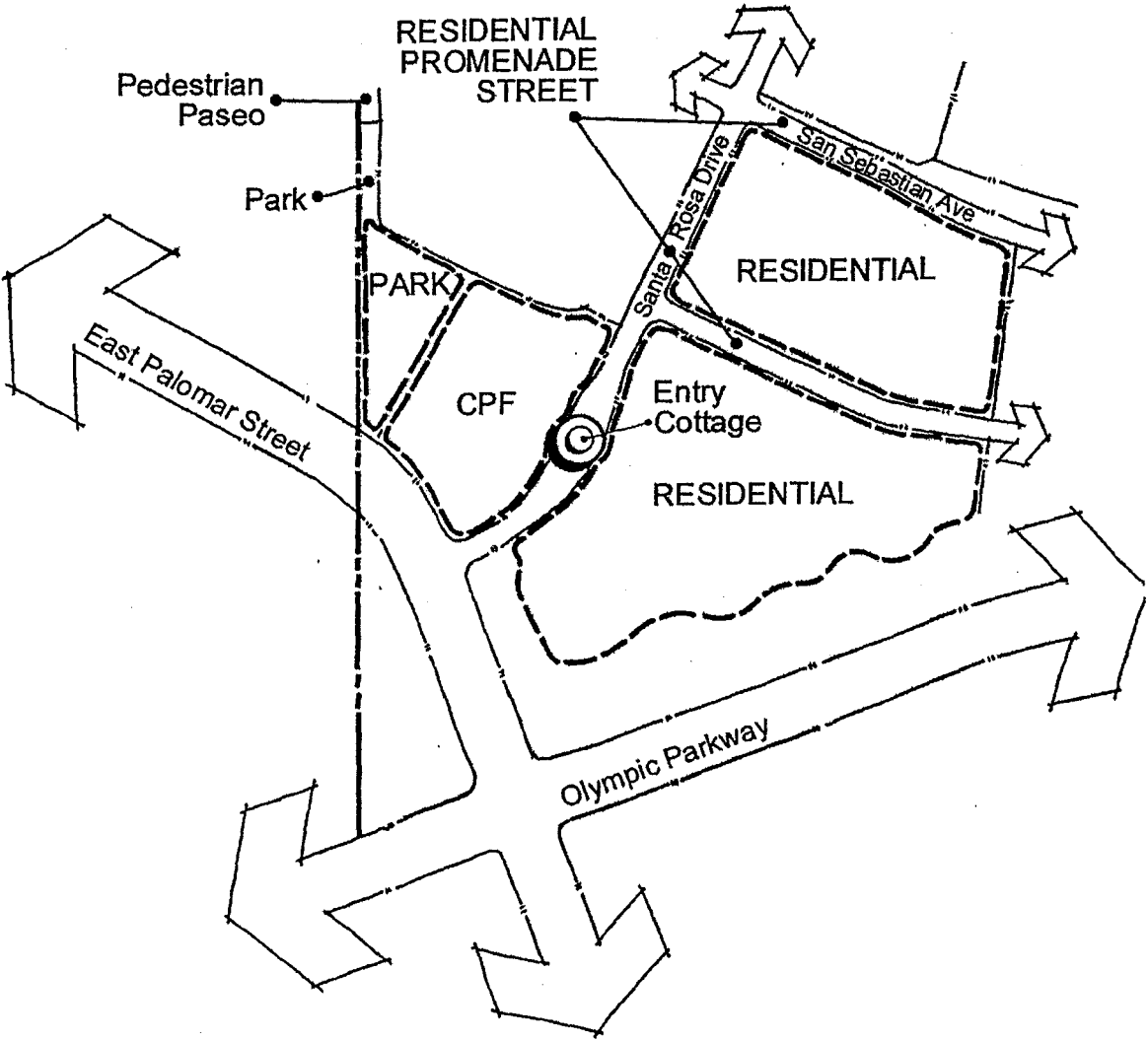
Village Core Components



*Village Five Core
Master Precise Plan*

Exhibit 1A

Village Core Components



*Village Five Core
Master Precise Plan*

Exhibit 1B

2. DESIGN REVIEW PROCESS

A. Introduction and Summary

The City of Chula Vista requires preparation and approval of a Detailed Site Plan (site plan and architectural review, as well as landscape review) for all development within the Village Core. This requirement is being met through a two stage process. This document, known as the Master Precise Plan, in conjunction with the SPA Plan and Village Design Plan, establishes the framework for Detailed Site Plans which will provide the required detailed development information in an incremental fashion on a project by project basis. This chapter addresses the implementation process, utilizing individual Detailed Site Plans, following adoption of this Master Precise Plan.

B. Master Precise Plan/Design Review Process

The primary purpose of the Master Precise Plan is to provide guidance to evaluate future Detailed Site Plans. In general, individual Detailed Site Plans within the Village Core shall be administered following the standard procedures as set forth in the Zoning Ordinance and Design Review Manuals.

An application for approval of a Detailed Site Plan shall be accompanied by all required maps and information which identify the elements of development listed in Chula Vista Design Manual and Section 19.14.440 of the Zoning Ordinance. All Detailed Site Plan submittals shall also include materials which respond to the requirements of these guidelines: shared parking data (if proposed, mixed-use area only), demonstration of consistency with the Conceptual Master Plan (see Chapter 3) and completed Design Criteria checklist (see Chapter 5).

C. Individual Detailed Site Plan Areas

In general, individual Detailed Site Plans shall be prepared for the areas depicted on Exhibits 2a and 2b. If necessary, in order to provide the necessary flexibility to respond to market conditions while recognizing the design considerations of the City, the boundary for an individual precise plan application may be adjusted through a pre-application consultation with the City Planning Director or designee. Unless modified through consultation, the following shall be the appropriate precise plan area boundaries (Exhibits 2a and 2B depicts the precise plan areas identified below):

1. The Town Square/mixed use area shall be implemented through the Town Square Park Plan and Detailed Site Plan for the Multi-family/Mixed-use area, which will likely be reviewed simultaneously. The Detailed Site Plan for the multi-family should be approved prior to the approval of any other individual precise plan since it will set the standards for many of the architectural elements to be used throughout the Village Core. Additional details for street furniture and signing will be required.
2. The minimum Detailed Site Plan area for public and quasi-public uses shall be a Neighborhood Area parcel shown on the Village Five Land Use Map in the Otay Ranch SPA One Plan. Combining adjacent public (school and parks) or quasi-public (community purpose facility) use "bubbles" in a single precise plan area is allowed and encouraged.

3. The minimum Detailed Site Plan area for residential use on secondary sites shall be a Neighborhood Area parcel shown on the Village Five Land Use Map in the Otay Ranch SPA One Plan. Combining adjacent residential "bubbles" in a single precise plan area is allowed and encouraged.

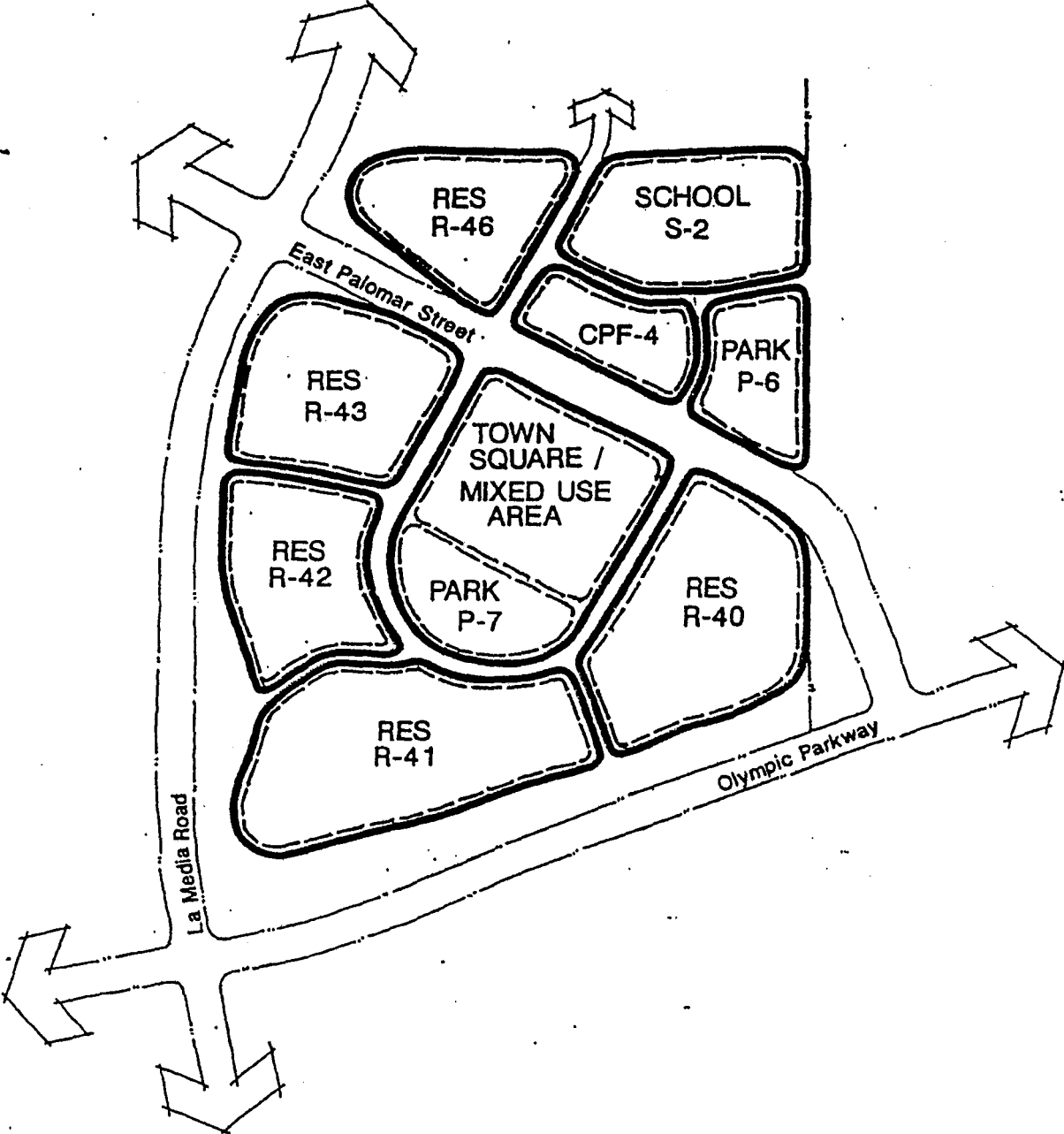
D. Individual Detailed Site Plan Evaluation

In general, Detailed Site Plan submittals shall be evaluated according to the rules and procedures established by the City's Design Review Committee. Only Detailed Site Plans which are found consistent with the SPA One Plan, Village Design Plan, the Conceptual Master Plan and the mandatory provisions of this Master Precise Plan shall be approved. Any project which is inconsistent with the adopted Conceptual Master Plan and mandatory provisions of this Master Precise Plan shall require amendment of this document prior to approval.

Individual Detailed Site Plans shall be reviewed by the Design Review Committee, and shall be considered by the Planning Commission and City Council only on appeal, pursuant to Section 19.14.480 of the Zoning Ordinance. Any individual Detailed Site Plan, which proposes modification or amendment of the adopted Master Precise Plan, shall be considered concurrent with the Master Precise Plan Amendment.

Upon approval of any proposed individual Detailed Site Plan, an annotated illustration of the approved project shall be prepared and incorporated as a "hardline" component of the Conceptual Master Plan (see Chapter 3). This modification of the Conceptual Master Plan shall be an administrative action and shall not be considered an amendment.

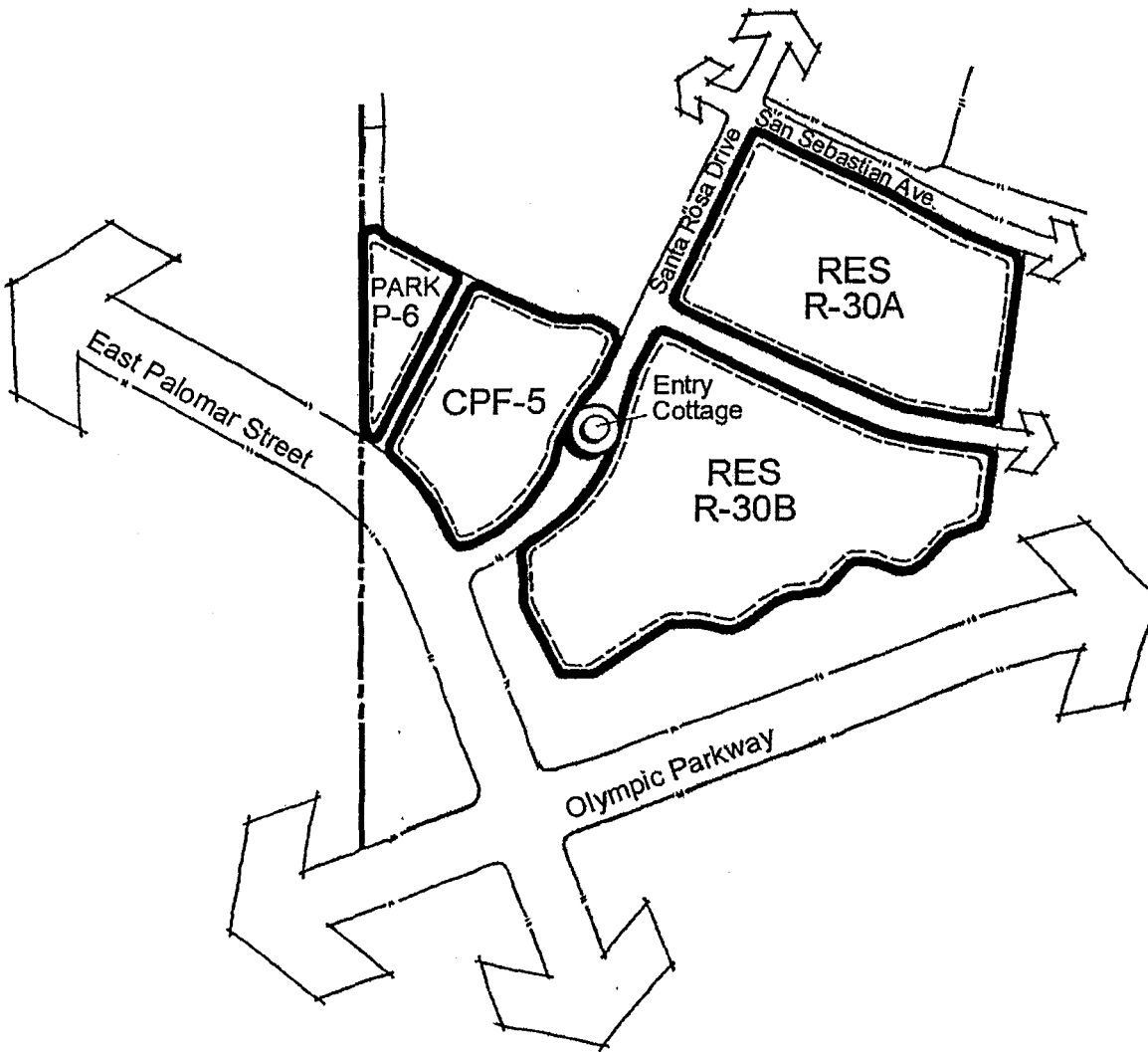
Precise Plan Areas



*Village Five Core
Master Precise Plan*

Exhibit 2A

Precise Plan Areas



*Village Five Core
Master Precise Plan*

Exhibit 2B

3. CONCEPTUAL MASTER PLAN

A. Purpose/Role

The Village Five Village Core is planned to be the commercial/activity focal area for Otay Ranch Village Five. From a community/urban design perspective, it is also the most structured and formally designed area in the village. The amenity and design program for the core area should create a sense of identity which extends to and sets the stage for the less structured residential areas which comprise the rest of the Village Five development area.

The Village Core will consist of a variety of buildings and uses. The focal point is a public plaza surrounded by street-level, storefront commercial uses. Upper floors of the plaza buildings are residential as indicated in the SPA Plan. Integrated with the plaza commercial area will be multi-family residential area(s) and a park, all within the Core Promenade Street, which defines the edge of this central focus area. Surrounding it are public and quasi-public uses to the north and residential sites on the three other sides.

Because of the diversity of uses within the Village Core and the importance of unifying themes and designs over an extended development period, the Conceptual Master Plan described in this chapter will be utilized to ensure overall consistency.

The Conceptual Master Plan is provided to illustrate the intended overall land use diversity, site development character and conceptual building/parking/open space relationships within the Village Core and to adjacent areas. As an illustrative plan, it depicts the overall development concept but does not detail or establish specific development standards or requirements. Its purpose is to provide a context for the evaluation of Detailed Site Plans from the perspective of the Village Core as a whole.

B. Conceptual Master Plan Exhibit

The Conceptual Master Plan is included as Exhibits 3a and 3b.- It graphically portrays an appropriate "design solution" for the Village Five Core. Annotations are included to identify the important elements of this solution. Although the entire Village Core is depicted, it should be noted that "hardline" (solid) and "softline" (screened) areas might be included as the Master Precise Plan is implemented. *Hardline* areas are those, which have received Detailed Site Plan approval and thus are fixed elements within the overall site plan. *Softline* areas are depicted to illustrate a conceptual design response, which are compatible with the hardline site areas and which implements the provisions of these guidelines.

Initially, the entire Master Concept Plan is depicted as a "softline" illustration. It is anticipated, and required, that the Town Square/Mixed-Use Area be the initial development approval. This action will establish a "hardline" design for the critical central portion for the Core. Detailed design can then extend outward, as development proposals for perimeter sites mature.

C. Detailed Site Plan Evaluation

Only proposed Detailed Site Plans, which are consistent with the Conceptual Master Plan, shall be approved or conditionally approved. In the consistency evaluation, the conceptual nature of the design in the softline areas is important to understand. The conceptual design is intended to convey the character and general building/parking/pedestrian circulation relationships. Thus, consistency with softline portions of the Conceptual Master Plan is not based on identical appearance, it is a judgement of site plan design, resulting in a development character comparable to that of the conceptual master plan, and incorporation of the mandatory site plan elements identified below.

All approved or conditionally approved individual Detailed Site Plans shall be consistent with the hardline portions of the Conceptual Master Plan. Consistency shall require: 1) continuity in access and circulation patterns, both non-vehicular and vehicular (including parking); 2) continuity in major landscape, hardscape, signing, color and material themes; and, 3) complementary architectural design, building scale, and orientation.

Each Detailed Site Plan submittal shall include a depiction of the adopted Conceptual Master Plan with the proposed project incorporated into the exhibit. ~~This~~ These exhibits shall be annotated by the applicant to identify the design features which are intended to demonstrate consistency with both the hardline and softline portions of the Conceptual Master Plan. Should the proposed Detailed Site Plan necessitate refinements or minor adjustments to other softline portions of the site, the proposed refinements or adjustments shall be identified. Design refinements to the softline portions of the plan, or minor amendments to approved Detailed Site Plans may be approved by the Design Review Committee in conjunction with approval of a Detailed Site Plan. Any modification which changes the scale, character, or major themes of the Village Core shall require a formal amendment of the Conceptual Master Plan and Master Precise Plan through action by the Planning Commission and City Council.

Each proposed individual Detailed Site Plan within the Village Core will be evaluated in terms of its consistency with the development concept depicted by the Conceptual Master Plan. Upon approval or conditional approval of an individual Detailed Site Plan, it shall be incorporated into the Conceptual Master Plan exhibit as the final design ("hardline") for that portion of the site. Subsequent Detailed Site Plans must implement (or not preclude) the development concept for all areas which remain conceptually illustrated ("softline") to be approved. Each Detailed Site Plan submittal shall include a proposed revision to the Conceptual Master Plan to illustrate the overall design refinements which would occur with approval of the proposed Detailed Site Plan.

D. Mandatory Site Plan Elements

Certain features or facilities are required to be incorporated in the Village Five Village Core. Some are required to implement major community design themes or to create a specific character or aesthetic within the Village Core. The following elements must be implemented in the overall Village Core (if a specific or preferred location has been identified, that is also listed):

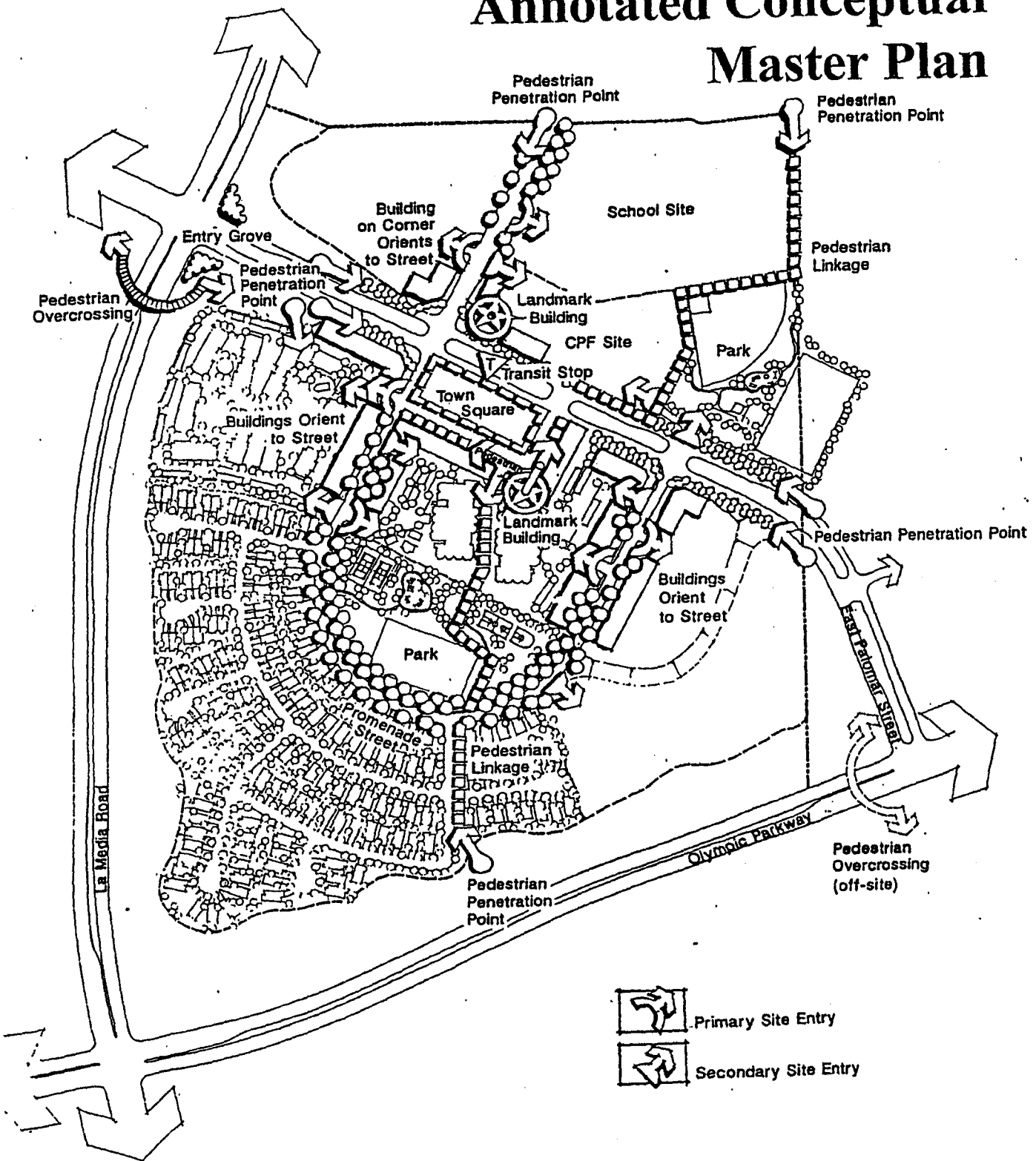
1. A light rail transit ROW and station site must be reserved within the Village Entry Street (Palomar Street) median.

2. The Town Square commercial district concept, which requires specific building, walkway, parking, *etc.* orientation per the Village Design Plan, must be implemented.
3. Streetscapes and conceptual park designs of the Village Design Plan shall be implemented.
4. Integrated internal pedestrian circulation and connections to intra- and inter-village pedestrian circulation routes shall be provided. Direct pedestrian routes shall be provided from the Town Square plaza to the pedestrian paseo at the school and park sites north of the plaza and to the pedestrian Olympic Parkway crossing south of the core.
5. The park entry and focal point shall be located along Palomar Street as depicted in the Mandatory Site Plan Elements (Exhibit 4).
6. An architectural/building focal point* shall be provided at or near the interior corner of the commercial building(s).
7. ~~The~~ Buildings on the CPF sites shall be sited and designed to serve as a community landmarks per the Village Design Plan.
8. Multi-family residential buildings shall be oriented to the Promenade Streets and an architectural/building focal point* shall be provided at or near the Promenade/Entry Street corners.
9. Village structure design elements shall be consistent with the specifications or other requirements of the Village Design Plan (Chapter III-2).

These features are graphically depicted in Exhibit 4.

* **Architectural/building focal point:** When a building which is to be an architectural/building focal point, it should be "enhanced" to contribute to the entry streetscape (refer to Focal Point exhibit for examples). Enhancements which distinguish such a building from others in less prominent locations could include, but are not limited to: additional vertical element(s), additional detailing of the street-side building elevation(s), additional or enhanced balconies or exterior window treatments, or a foreground accessory "landmark" structure such as a tower or plaza.

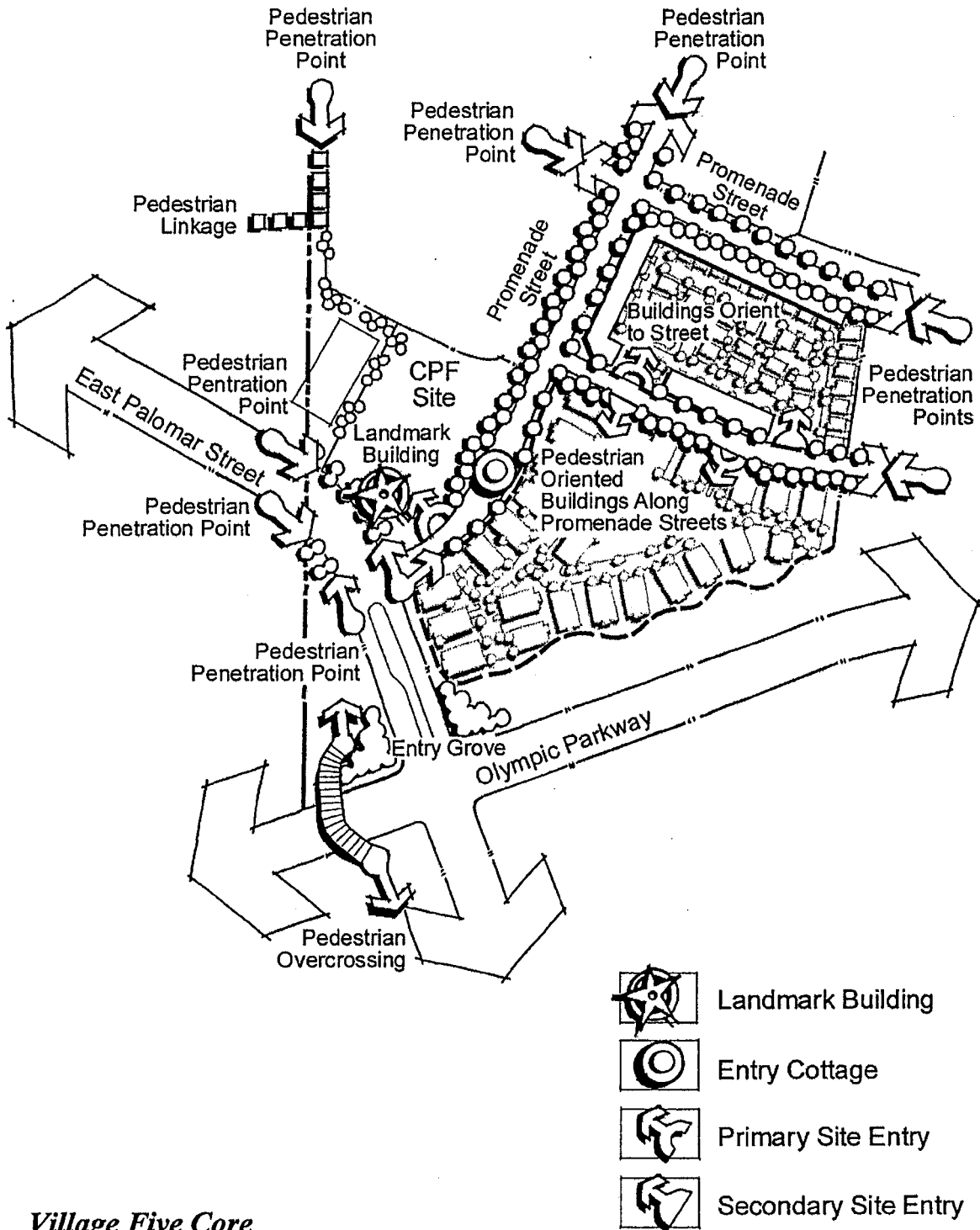
Annotated Conceptual Master Plan



*Village Five Core
Master Precise Plan*

Exhibit 3A

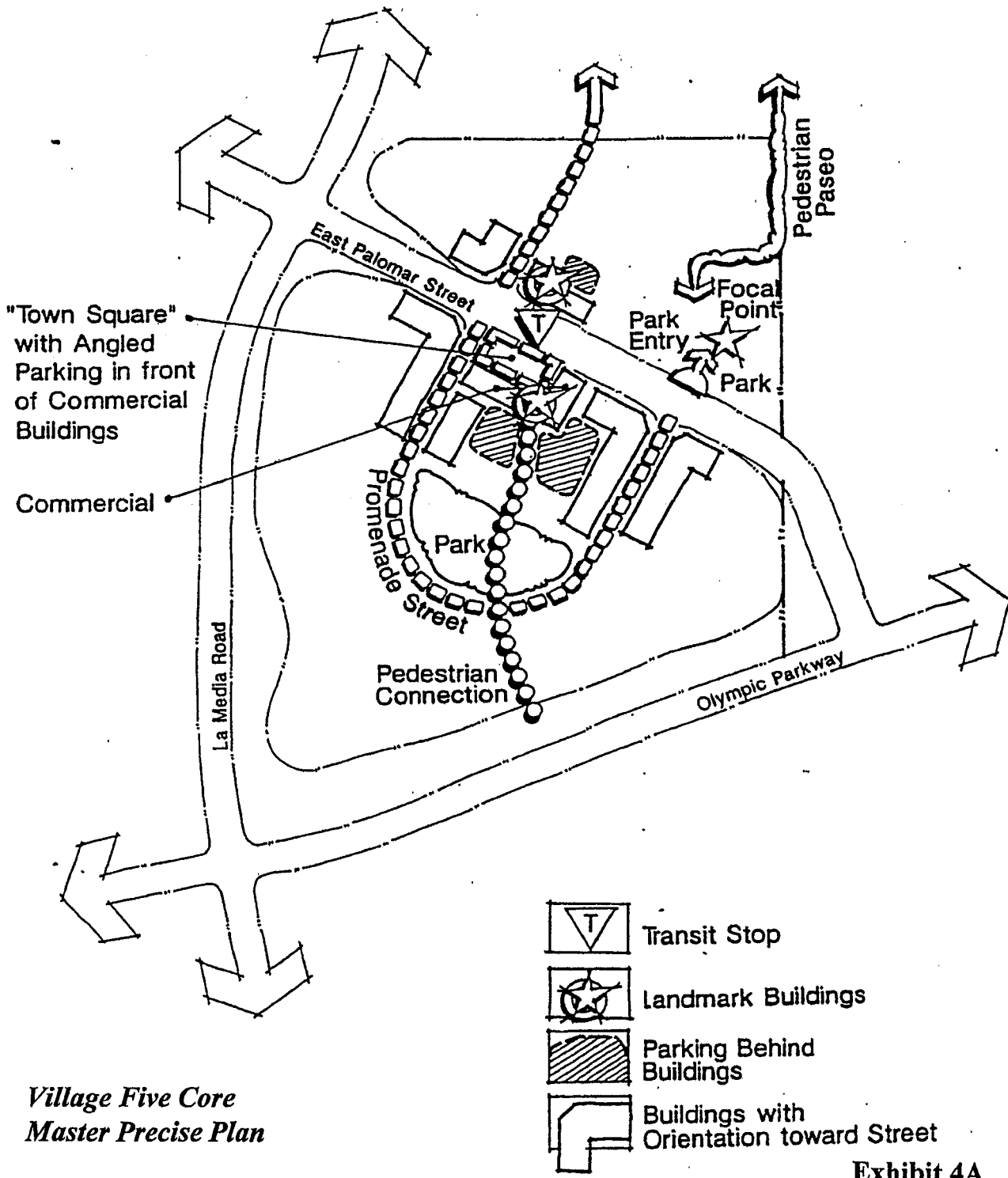
Annotated Conceptual Master Plan



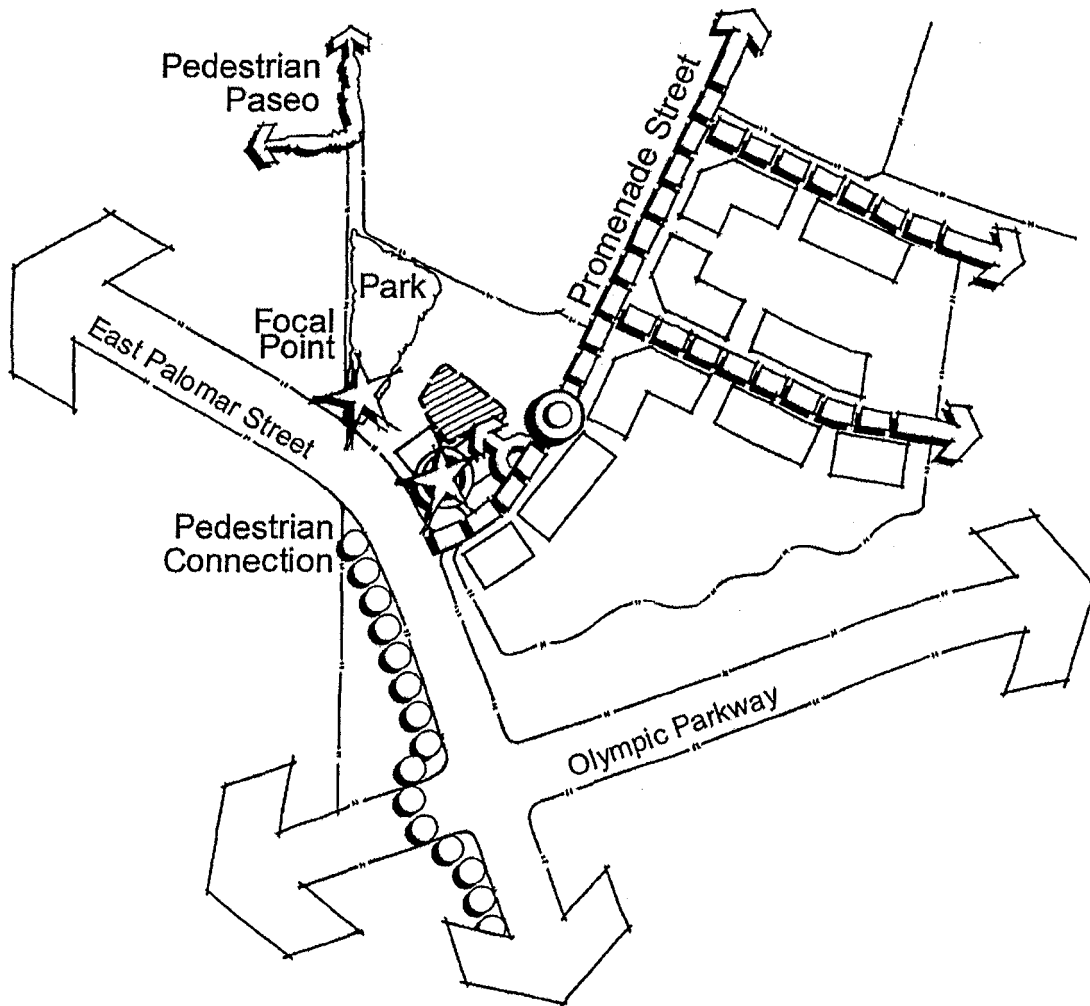
***Village Five Core
Master Precise Plan***





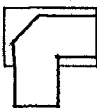
Exhibit 3B

Mandatory Site Plan Elements



Mandatory Site Plan Elements



- | | | |
|-----------------------|--|--|
| |  | Landmark Building |
| Entry Cottage |  |  Parking Behind Buildings |
| Primary Site Entrance |  |  Buildings with Promenade Street Pedestrian Access |

***Village Five Core
Master Precise Plan***

Exhibit 4B

4. VILLAGE CORE DESIGN PLAN ELEMENTS

The preceding chapters identified the Village Five Village Core project, described the individual Detailed Site Plan design review process, and presented the Conceptual Master Plan, which illustrated the intended Village Core development concept. This chapter provides additional detail in the form of guidelines to be applied in the preparation and review of Detailed Site Plans within the Village Core area.

The Village Design Plan lists four major design elements which are key to the Village Core concept: 1) Building Design/Siting; 2) Pedestrian/Vehicle/Transit Access; 3) Urban Character/Architecture; and, 4) Lighting/Signing/Street Furnishings. Each of these elements contributes to the distinct identity of the Village Core. However, the specific application or required design solution varies with location in the Village Core. This was also identified in the Village Design Plan where a separate set of guidelines was provided for each of these design categories based on location in one of three "design districts" (see Exhibits 5a and 5b).

In addition to the specific design elements listed above, the design requirements of village-wide and inter-village pedestrian access and circulation are overriding considerations in the new urbanism development concept for the Otay Ranch community. A plan highlighting the significant pedestrian "trail" connections serving the Village Five Core is provided as Exhibits 6a and 6b.

As noted with the Conceptual Master Plan, connecting to routes converging on the core area and providing integrated intra-Core routes are required components of all individual Detailed Site Plans. This exhibit should be consulted to determine the pedestrian "connection" requirements for any individual Detailed Site Plan area.

The following sections provide an overview of each design district followed by a discussion of the guidelines and required/desired Detailed Site Plan responses included either in this Master Precise Plan and Master Concept Plan or individual Detailed Site Plan submittals.

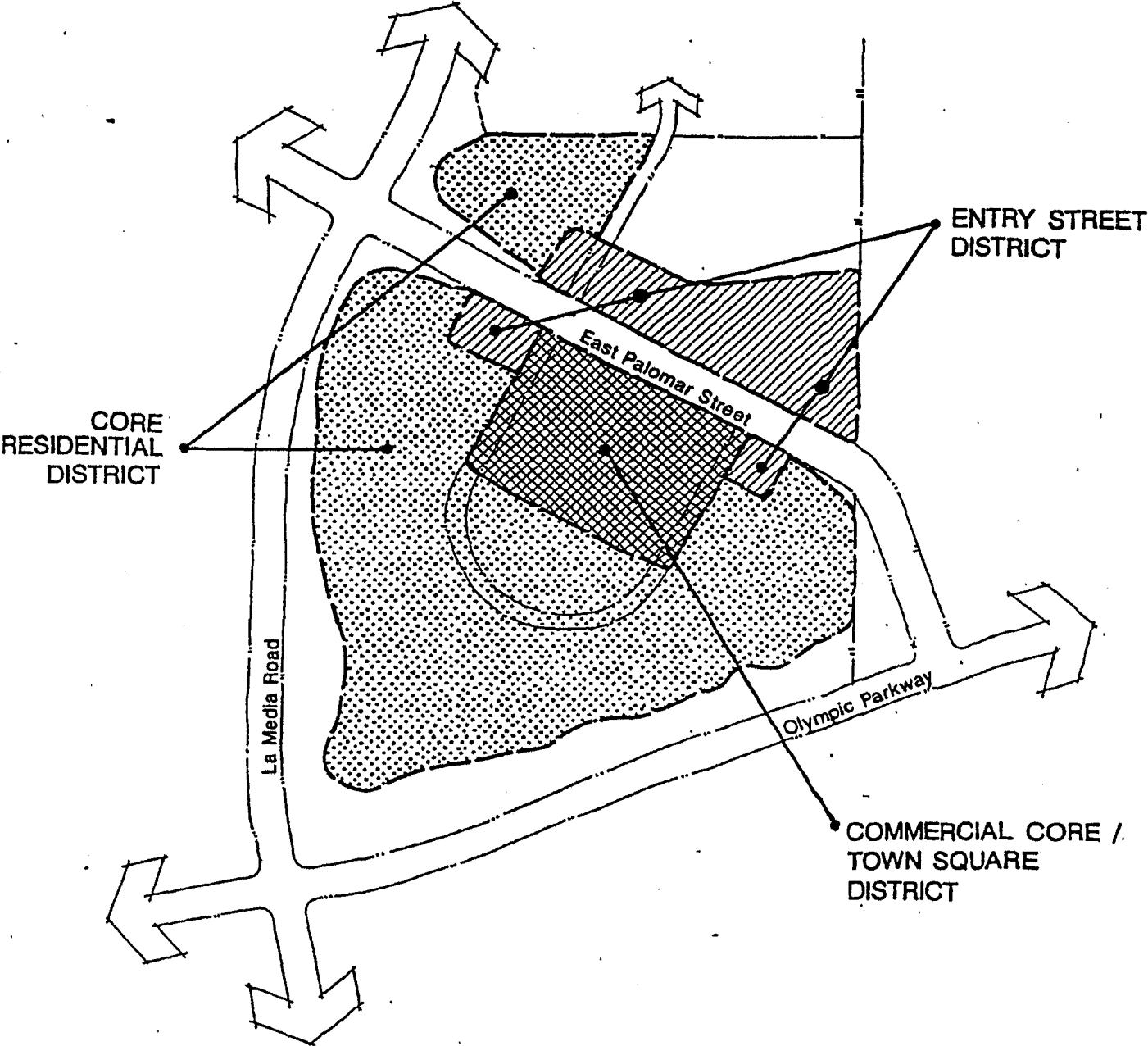
A. Commercial Core/Town Square District

Functional/Design Role

This design district includes all of the development area bounded by the looping Core Promenade Street (Santa Cora) and the Village Entry Street (Palomar Street), except the neighborhood park.

The "Town Square" is the heart of the Village Core. It is intended to be the most structured and urban area within the core. It should be designed to be primarily oriented toward pedestrians, limiting vehicle speeds and parking areas on the fronting street. This street is to function as a traditional town square/plaza street, fronted by pedestrian-scaled storefronts and shops. Limited volumes of slow moving through traffic and parallel or angled parking are to be provided. Subordinated vehicle activity and a pedestrian friendly urban environment define the character of this street.

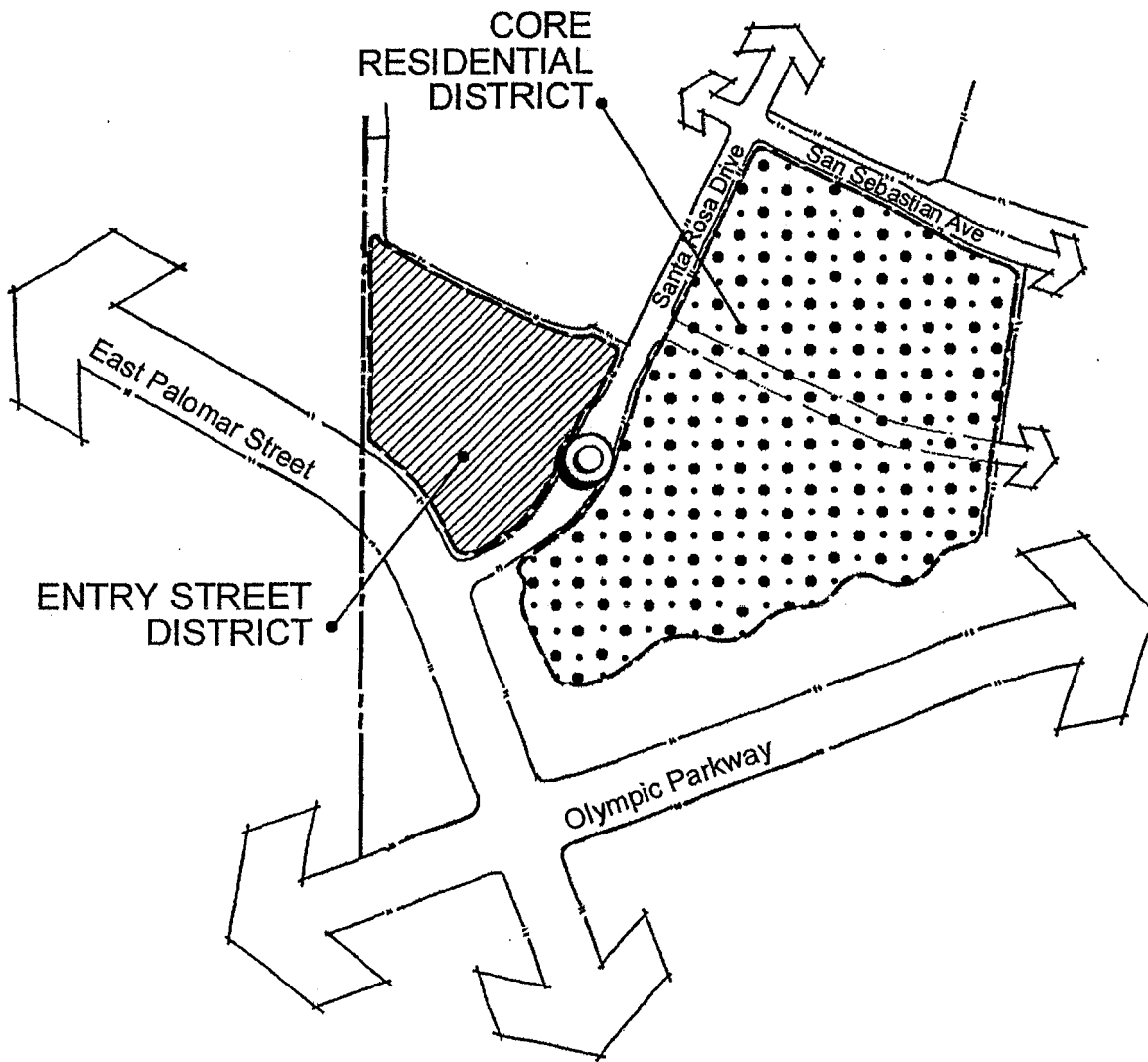
Design Districts



*Village Five Core
Master Precise Plan*

Exhibit 5A

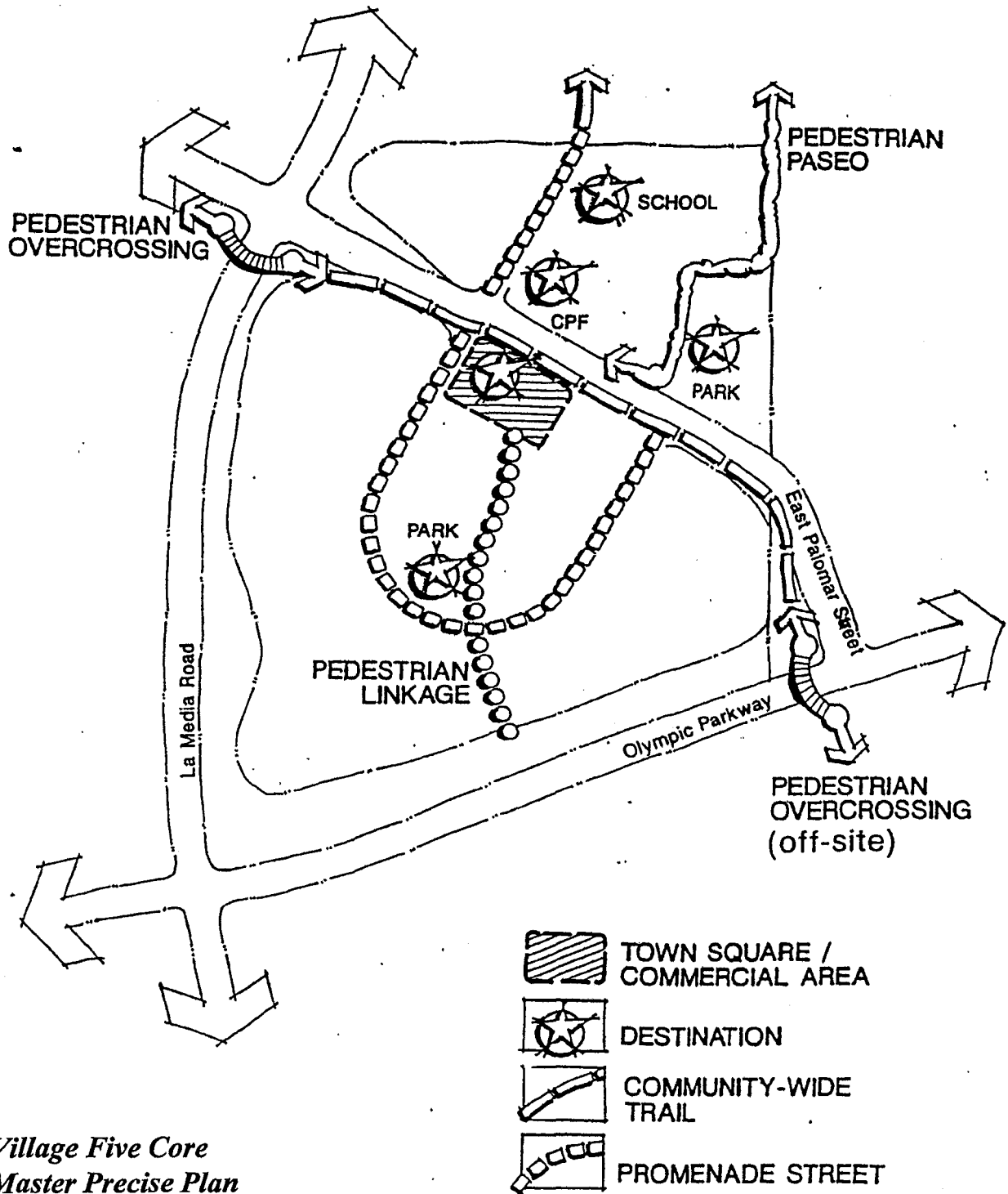
Design Districts



*Village Five Core
Master Precise Plan*

Exhibit 5B

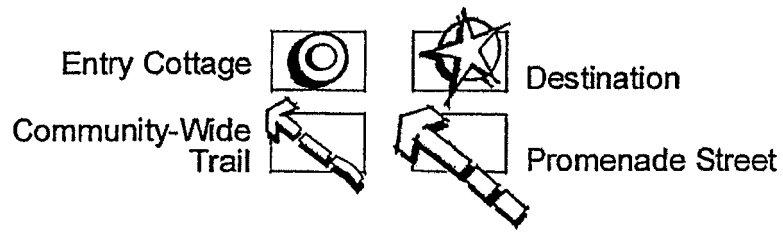
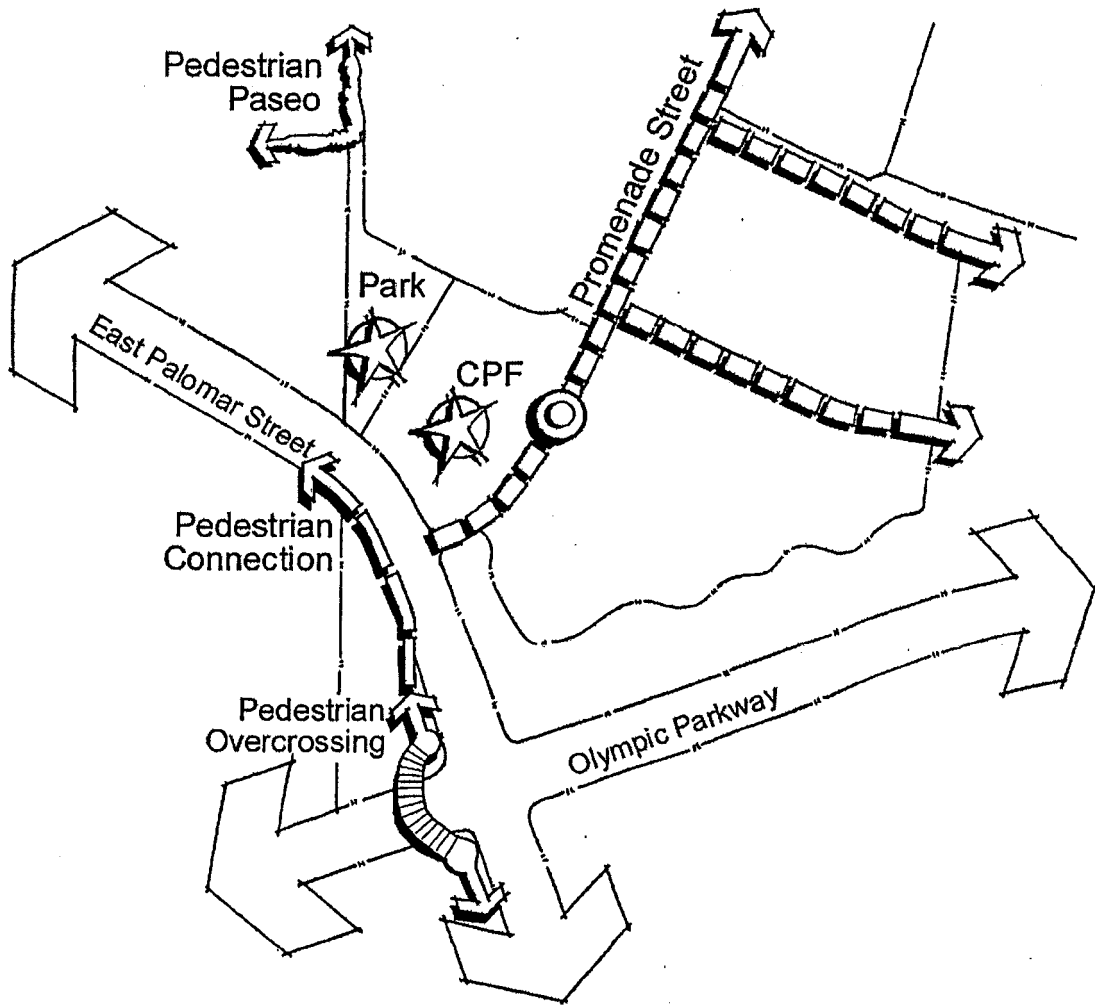
Pedestrian Trail Connections



*Village Five Core
Master Precise Plan*

Exhibit 6A

Pedestrian Trail Connections



*Village Five Core
Master Precise Plan*

Exhibit 6B

The guidelines in this section should be applied most stringently to the buildings fronting the Town Square due to high level of pedestrian activities along this edge. These sites also have one or more edges, which have a somewhat or significantly reduced pedestrian orientation. Because these edges are less critical to the overall concept, less attention is given to them. Thus, these guidelines should be applied in a manner, which takes into consideration the range of exposures and the need to integrate a variety of character/orientation solutions into a cohesive parcel plan.

Building Design/Siting

- In order to define and enclose this pedestrian shopping/activity area, buildings fronting on the plaza street should have reduced setbacks from the pedestrian right-of-way to encourage interaction between building activities and passers-by. Multiple story buildings, with retail at street level and residential uses above are allowed.
- Building groups should promote the community design theme by utilizing internal courtyards or plazas, as focal points.
- Strong definition of building corners with vertical elements will help to define public spaces and improve orientation within this pedestrian district.
- Building entrances should be located on the street/plaza building edge and should be closely spaced to increase articulation and interest along the pedestrian walk. Design emphasis on the entry improves the streetscene and helps distinguish individual shops in a multi-tenant building. Storefronts should incorporate display windows to create interest and encourage window shopping along the pedestrian walk. Uses, which are not conducive to such exposure, should be located away from the street level shopping corridor.
- Each project (use) should provide a well-articulated, identifiable entry sequence for the pedestrian and vehicle, from street to building. Project entries and connections to and into buildings should be enhanced with landscaping, hardscape detail and accented architectural design.
- Shaded areas and a sense of enclosure, which will encourage visitors to linger and enjoy the area, are desirable aspects of the plaza and perimeter street. Features such as canopies, arcades and roof overhangs can achieve these objectives and also provide a measure of weather protection when necessary.
- Exterior building elevations should incorporate a range of scale defining elements, which relate larger building masses to the pedestrian. Examples include columns, archways, doorways, upper floor windows and balconies.
- Outdoor refuse or storage containers shall be completely screened. No refuse collection or storage areas shall be located between a street and the front of a building.

- Mechanical and electrical equipment, utility connections, and antennas should be mounted within the interior of a building whenever practical. When interior mounting is not practical, equipment should be screened from public view. Any screening shall be architecturally integrated into the building.

In addition to the building siting guidelines listed above, the specific site provisions provided in Chapter III-5 of the Village Design Plan shall be applied in the design of each development parcel.

Pedestrian/Vehicle/Transit Access

- Vehicle access should be clearly subordinated to pedestrian access in this area. Traffic should be limited along the street and single "back door" vehicle access to the rear should be allowed, potentially under a building bridge. Parking should be located behind buildings fronting the pedestrian street/plaza on these parcels.
- All service and loading areas should be accessed from an alley or rear parking area. No loading should occur on the street or pedestrian oriented sides of a building. No garage type loading doors shall be located on a building facade directly facing a public street.
- Parking lots, walkways and courtyards should be designed at a human scale to promote pedestrian and bicycle movement and reduce the impersonal expansiveness of large spaces.
- An expanded sidewalk should be provided along the pedestrian corridor to allow groups to comfortably pass each other. Frequent opportunities to sit, relax, and observe should be provided with the inclusion of benches, steps, planters, and short walls within and adjacent to the pedestrian walk.
- Pedestrian, bicycle and cart access routes to this area should be maximized. A paseo connection through the park on Parcel P-6 should be provided to link the commercial district to the Secondary Area(s). Similar routes should be provided via the two Promenade Streets. These routes should be well marked to encourage non-vehicular circulation.
- Pedestrian, bicycle and cart access routes should provide convenient access to the planned transit station site in the Palomar Street median. The commercial area should have good exposure to the transit station site and well identified pedestrian routes should connect them.

Where uses have predictable time cycle parking demands and where supported by appropriate traffic/parking studies, shared parking is encouraged as a means to reduce total parking lot area. (Note: The criteria and standards provided in *Shared Parking* published by the Urban Land Institute (ULI) or similar objective requirements may be utilized to assess parking needs and formulate shared parking agreements.)

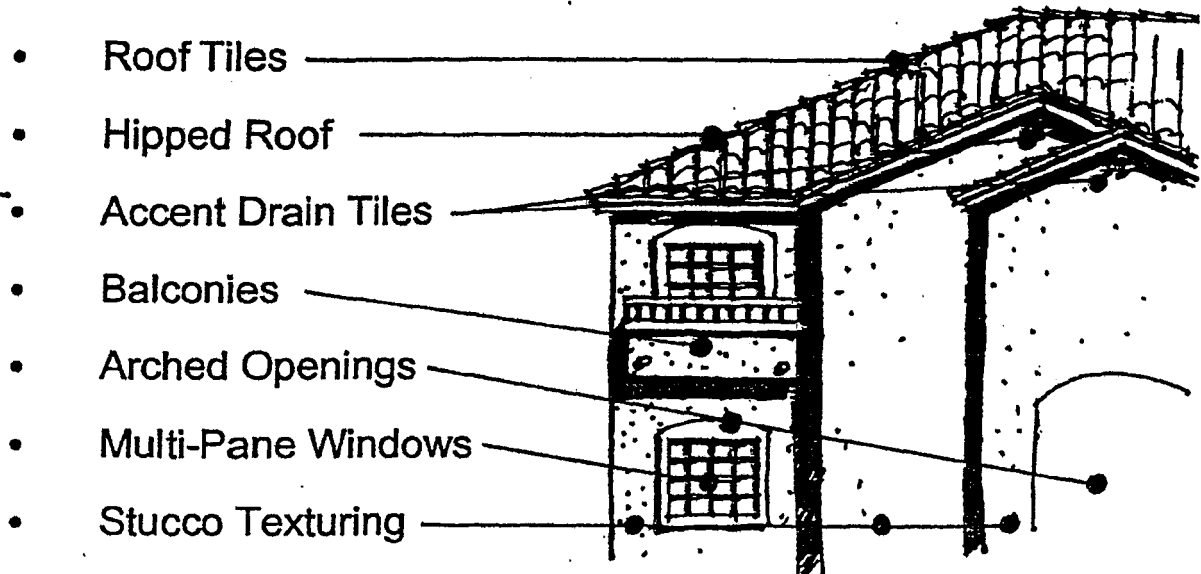
Urban Character

- The pedestrian ground plane within the plaza and along the shopping street should be well defined with a hard surface that is textured or has other accents, such as enhanced paving, which create an interesting pattern and help to identify the focal area.
- The use of steps, retaining walls and structures for grade separations in this district is preferred to landscaped banks, to emphasize the urban character and provide sitting areas.
- Landscaping should reinforce the urban character of the area and reflect ordered, formal plantings rather than random, natural appearing materials. Trees should be incorporated into the pedestrian path, planted flush to ground level with overhead branches to create overhead canopies. Trees shall be planted to provide shade along pedestrian paths.
- Landscaped screening from the pedestrian paths should soften adjacent parking areas.
- The buildings fronting East Palomar Street and the Santa Cora loop road should be set close to these roads to enhance the urban character. Except where slopes or other features prevent it, the maximum setbacks for buildings along these streets should be the minimum permitted by the Planned Community District Regulations in the SPA Plan. For multi-family buildings, where setbacks are deferred to the Detailed Site Plan Review phase, the aim will be to set buildings as close as practical to the streets to create and enhance the urban form and character.

The Village Design Plan indicates that the community architectural theme of "California Heritage" should be strongly conveyed within the Village Core, particularly in the Town Square area. While not a specific architectural style, the California Heritage design theme can embrace a variety of specific styles and combinations: Spanish Colonial, Mission, Ranch House, Bungalow, Moorish, Agrarian, *etc.* In general, California Heritage architecture will reflect the climate and materials indigenous to Southern California. The architectural feeling should be relaxed, simple and somewhat rustic. In larger buildings or groups of buildings, horizontal massing should be interspersed with vertical elements such as two story components and towers. Larger towers should signify focal elements and meeting/activity places.

The Village Five Core shall be limited to three specific styles of the overall California Heritage Theme: Spanish; Mission and Ranch. The elements that identify these styles are indicated on the following pages, followed by details, street furniture, lighting, building focal points and a matrix of architectural elements.

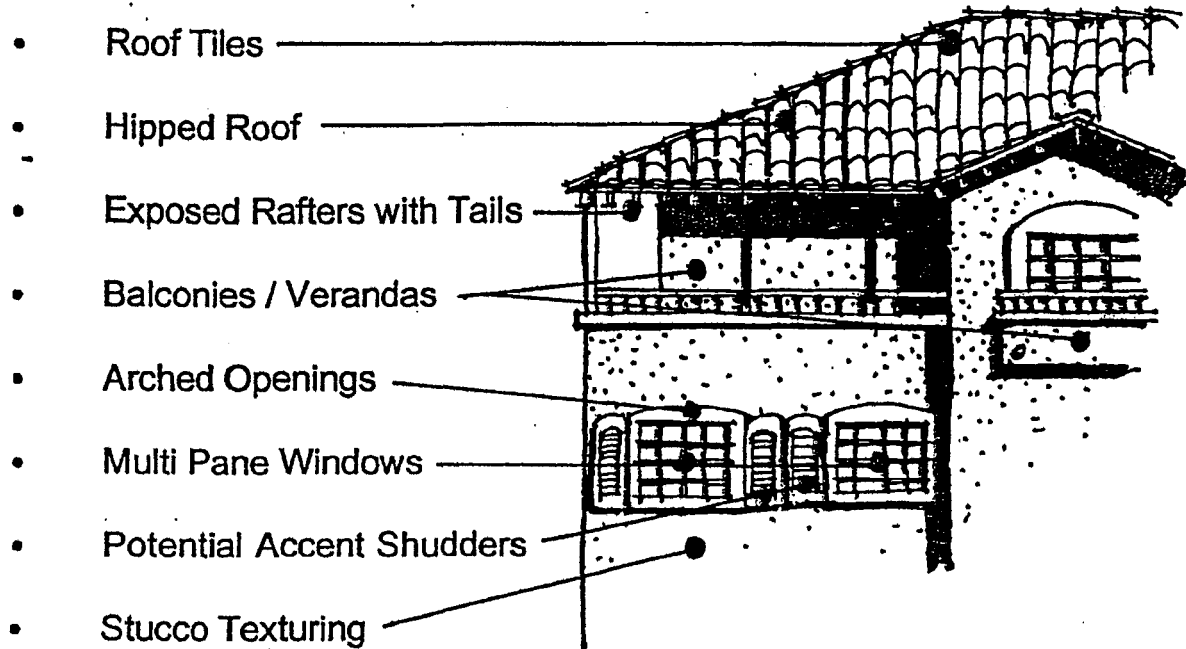
Spanish Elements



OTHER DESIGN ELEMENTS

- Hipped Roofs with Barrel Tile in colors of Red-Orange to Deep Terra-Cotta
- Louvered Window Shutters with Accent Colors
- Second Story Balconies White Light Textured Stucco Finished Exterior Walls
- Multi-Pane Windows
- Arched Openings
- Exterior Columns
- Wrought Iron Accent Balcony Railings and Gates
- Wood / Stucco Trim of a Darker Color
- Sculptured Stucco Chimneys with Caps

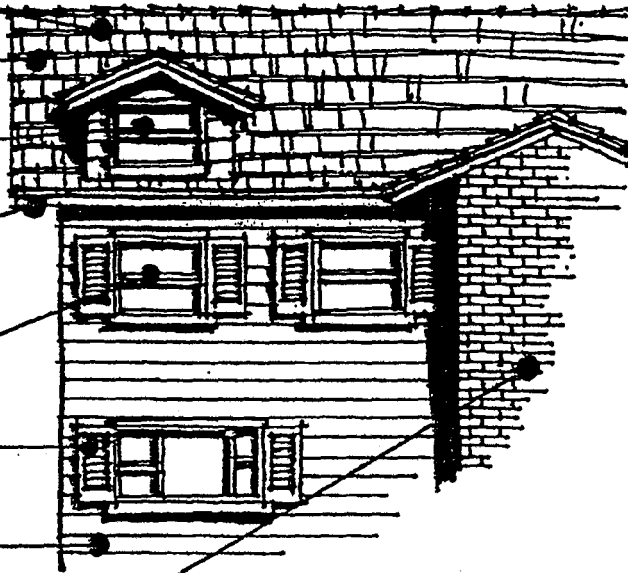
Mission Elements



OTHER DESIGN ELEMENTS

- Hipped Roofs with Barrel Tile in colors of Red & Terra-Cotta to Brown
- Exposed Rafters with Decorative Tails
- Louvered Window Shutters with Accent Colors
- Second Story Large Open Verandas and or Balconies
- Light Earth Toned Light Textured Stucco Finished Exterior Walls
- Multi Pane Windows
- Arched Openings
- Exterior Columns
- Wrought Iron Accent Balcony Railings and Gates
- Wood / Stucco Trim of a Darker Color
- Sculptured Stucco Chimneys with Simple Caps

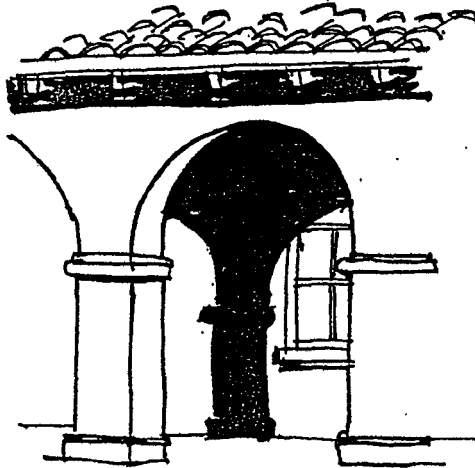
Ranch Elements

- Shingle Roof
 - Long Gable Roof
 - Dormers
 - Large Overhangs
 - Double-Hung Windows
 - Accent Shutters
 - Horizontal Siding
 - Brick or Stucco wall Sections
- 

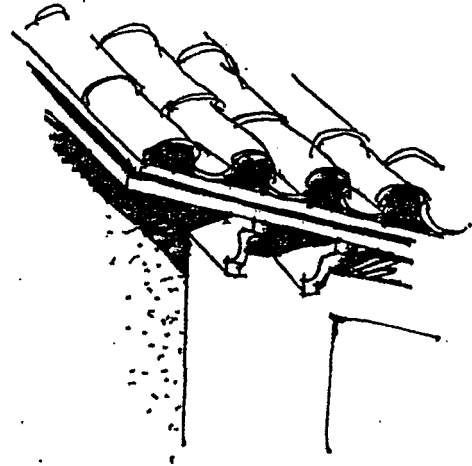
OTHER DESIGN ELEMENTS

- Long Gable Roofs with Dark Earth Tone Flat Tile/ Shingles
- Hipped Roof Accents
- Dormers
- Decorative Window Shutters with Accent Colors
- Porches with Roof Pitch Breaking Over Porch to a Shallower Pitch
- Light Colored Horizontal Siding (no aluminum or vinyl)
- Exterior Walls with Contrasting Colored Columns and Facia
- Stucco and or Brick or Stone Exterior Accent Walls
- Double-Hung Windows
- Square Exterior Columns
- Wood / Stucco Trim of a Darker Color
- Brick or Stone Chimneys with Caps
- Large Overhanging Eaves

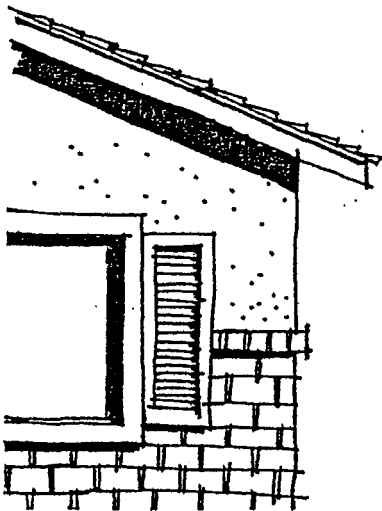
Architectural Elements



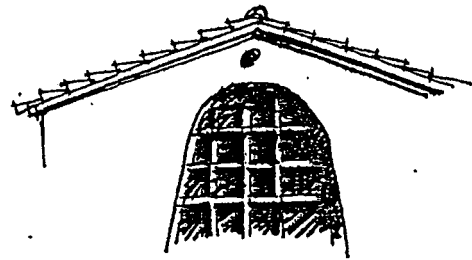
Spanish
• Covered entries with arches



Spanish
• Barrel Tile roof
• Detailed rafter tails

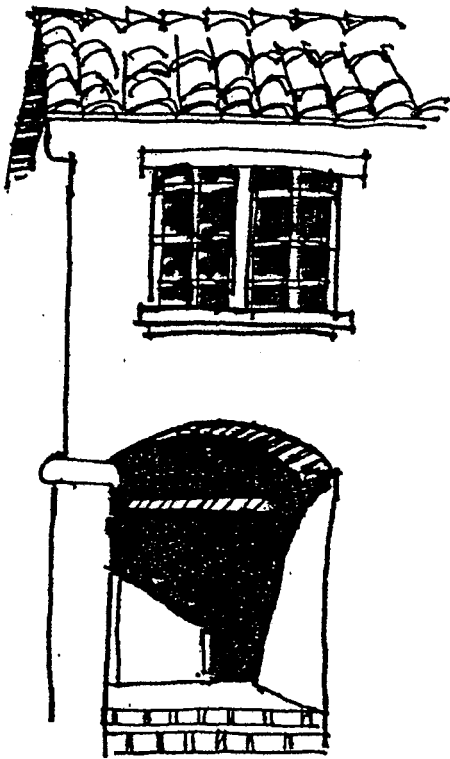


Ranch
• Changes in Siding
• Shutters
• Stucco, horizontal siding & masonry



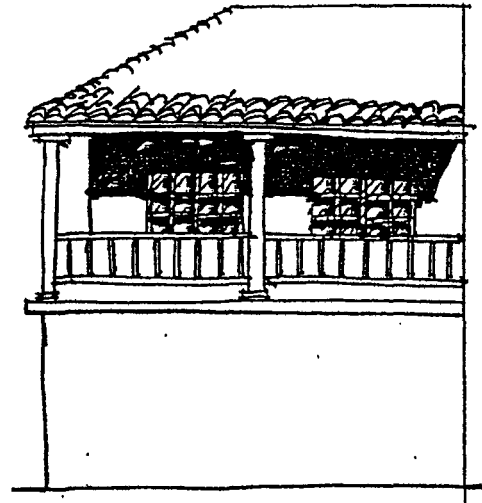
Spanish
• Arched Opening for Major Window

Architectural Elements



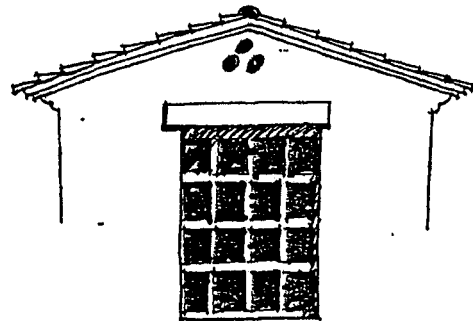
Spanish

- *Arched entry or shaded ground level space*



Mission

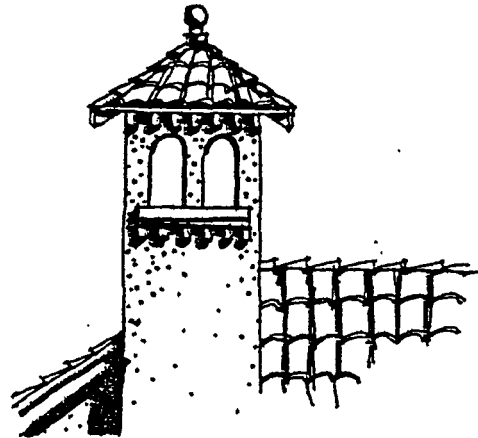
- *Second Story Veranda*



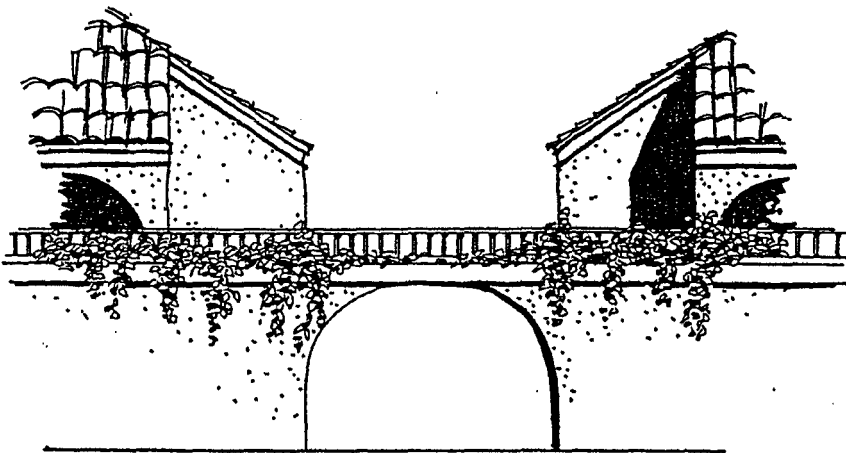
Spanish

- *Wood Lentiils*
- *Tile vents*

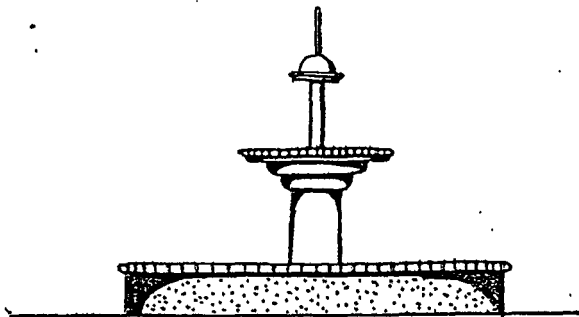
Focal Points



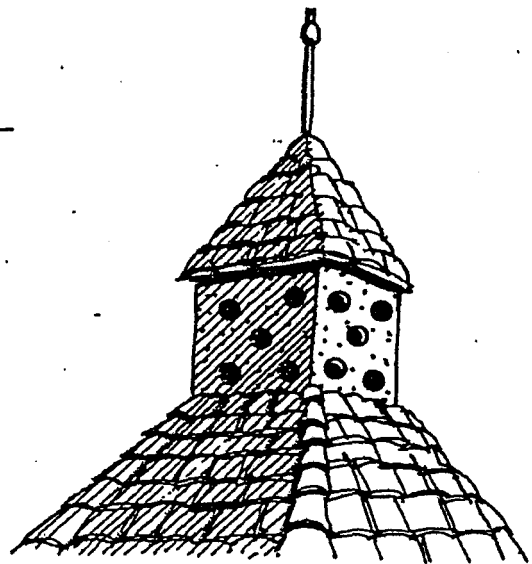
Vertical Element
"Mission"



Horizontal Element "Spanish or Mission"



Ground Level Focal Element
"Spanish or Mission"



Vertical Element "Ranch"

Matrix Guide for Architectural Elements

	MISSION	RANCH	SPANISH	Not Permitted
Balcony	Yes, wood detailing	No	Yes, Wrought Iron Detailing	
Roof Materials	Barrel Tile	Flat Shingle	Barrel Tile	Asphalt
Window Detail	Accent Color Wood Shutters	Wood Detail. Shutters	Iron Detail Wood Lintel	
Openings	Arch	Rectangular	Arch	
Siding	Stucco	Stucco, Brick, Horizontal Siding	Stucco	Aluminum Siding
Columns	Square Wood	Square Wood	Stucco Round	Ornate Caps Fluting
Porches/Entries	Sometimes Covered Entry	Low Pitch Roofed Entry	Covered Entry or Court	
Chimney	Stucco	Brick Siding	Stucco	Metal
Fencing	Wood, Stucco	Wood, Stucco	Wood, Stucco, Wrought Iron	Chain link
Gate	Wood	Wood	Wrought Iron	Chain link
Colors	Light earthtones with contrasting trim	Light earthtones with contrasting trim	Light earthtones with contrasting trim	Bright Colors except in details
Massing	Two Story + Common	Strong Horizontal Massing	Two Story + Common	
Garage	Attached or detached	Attached or detached	Attached or detached	

Note: At least 80% or the above design elements must be present to conform to character.

Note: Other architectural styles (i.e., California Bungalow, Moorish, Agrarian), consistent with the "California Heritage" theme, may be utilized within the Core Residential and Entry Street design districts.

The following guidelines summarize the architectural design principles, which should be implemented in the Village Core commercial area:

- The architecture should be responsive to the climatic conditions of Otay Ranch. Shade, indoor and outdoor spaces, and people-gathering areas should be an important element for building design. Buildings should be constructed using materials with good insulating value.
- A variation of building height and massing, whether in groups of buildings or with individual buildings, should be achieved.
- All buildings should be composed of a base, middle and cap.
- Roof forms should reflect the historical heritage architectural vernacular.
- Windows, entries and doors should vary in size shape and detail.
- Second floor, pedestrian spaces should be opened up to view as much as possible for easy access and convenient identification and, where possible, to provide second floor connections to other buildings by use of bridges.
- Certain standardized architectural elements should be required in all buildings within a individual Core area or complex. These elements should be identified at the Detailed Site Plan stage. A building should not exactly copy the style of its neighbors but it should address and/or share certain fundamental architectural characteristics. Architectural style along the same street or within a complex should include buildings of similar height and share one or more distinctive elements: materials, window style, door style, detailing, porches, arcades, overhangs, roofing, color, *etc.*
- The highest use pedestrian areas should have the highest level of design detail (*e.g.*, courtyards and plazas).

Lighting/Signing/Street Furnishings

- The town square commercial area should be well lit to encourage evening use. Street lighting fixtures should relate to the pedestrian scale, and architectural accent lighting is encouraged.
- Illumination of walkway/trail connections should be provided by the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundaries/enclosure. The light source in service area lighting fixtures should not be visible from adjacent properties.
- Street Furnishings shall be as shown on page 3343.

B. Entry Street District

Functional/Design Role

This district includes the development sites adjacent to the Village Entry Street (Palomar Street) which should be second only to the Town Square district in level of formality and structured design. Although not a part of the plaza, these sites are visually prominent and in close proximity to the commercial area. Because they front on the most highly trafficked street in the village, the aesthetics and building design on these sites will generally be more important than pedestrian orientation. Where a grade change physically and visually separates an adjacent development site from the entry street, these guidelines shall not apply.

Building Design/Siting

- Village landmark buildings should be sited in visually prominent locations (CPF-4 and CPF-5 sites). A landmark feature or structure could be similarly sited in the park (parcel P-6) across from the town square.
- Building siting and design should recognize the important corner locations with strong vertical elements and a "public building" appearance.
- Building entrances should be sited toward the entry street, with distinct pedestrian connections to the non-vehicular path along the entry street and the connecting paths along the intersecting Promenade Streets and Paseo (in the park).

In addition to the building siting guidelines listed above, the specific site provisions provided in Chapter III-5 of the Village Design Plan shall be applied in the design of each development parcel.

Pedestrian/Vehicle/Transit Access

- Pedestrian access via designated off-street paths should connect directly with the front entrance to buildings. Along with the town square, these sites should provide major pedestrian/non-vehicular destinations within the Village Core.
- Parking and vehicle access should be located to the rear of each site and separated from the pedestrian-oriented frontage.

Urban Character

- The landscape design on these sites will be greatly influenced by the Village Entry Street landscaping which will create a strong design element along one edge. In general, these sites will be somewhat less formal than the town square commercial area. However, as landmark sites they should reflect the orderly and structured pattern of the Village Core. Sites located near the village entry will also introduce and announce the design character of the community so they should have a strong design and be well detailed.

Lighting/Signing/Street Furnishings

- Lighting shall be compatible with the Special Lighting indicated on Page 3646.
- Street Furnishing shall be as shown on page 3343.

C. Core Residential District

Functional/Design Role

This district includes the residential sites at the perimeter of the Village Core. This location distinguishes them from the residential uses in the Secondary Area, yet their distance and residential use distinguish them from the other uses on or near the plaza. The purpose of these sites is to provide sufficient residential density within easy walking distance to support the transit, commercial and other destinations sited in the core.

Building Design/Siting

- Residential buildings should be sited and designed to increase interaction between living spaces and pedestrian paths along the Core streets. Provision of front doors, porches, balconies, and pedestrian scaled landscape/hardscape in the front yard is encouraged.

In addition to the building siting guidelines listed above, the specific site provisions provided in Chapter III-5 of the Village Design Plan shall be applied in the design of each development parcel.

Pedestrian/Vehicle/Transit Access

- Strong connections to pedestrian paths should be provided from both the edges and interiors of multi-family sites.
- A well-defined pedestrian route to the Olympic Parkway pedestrian crossing connecting to other villages is required.

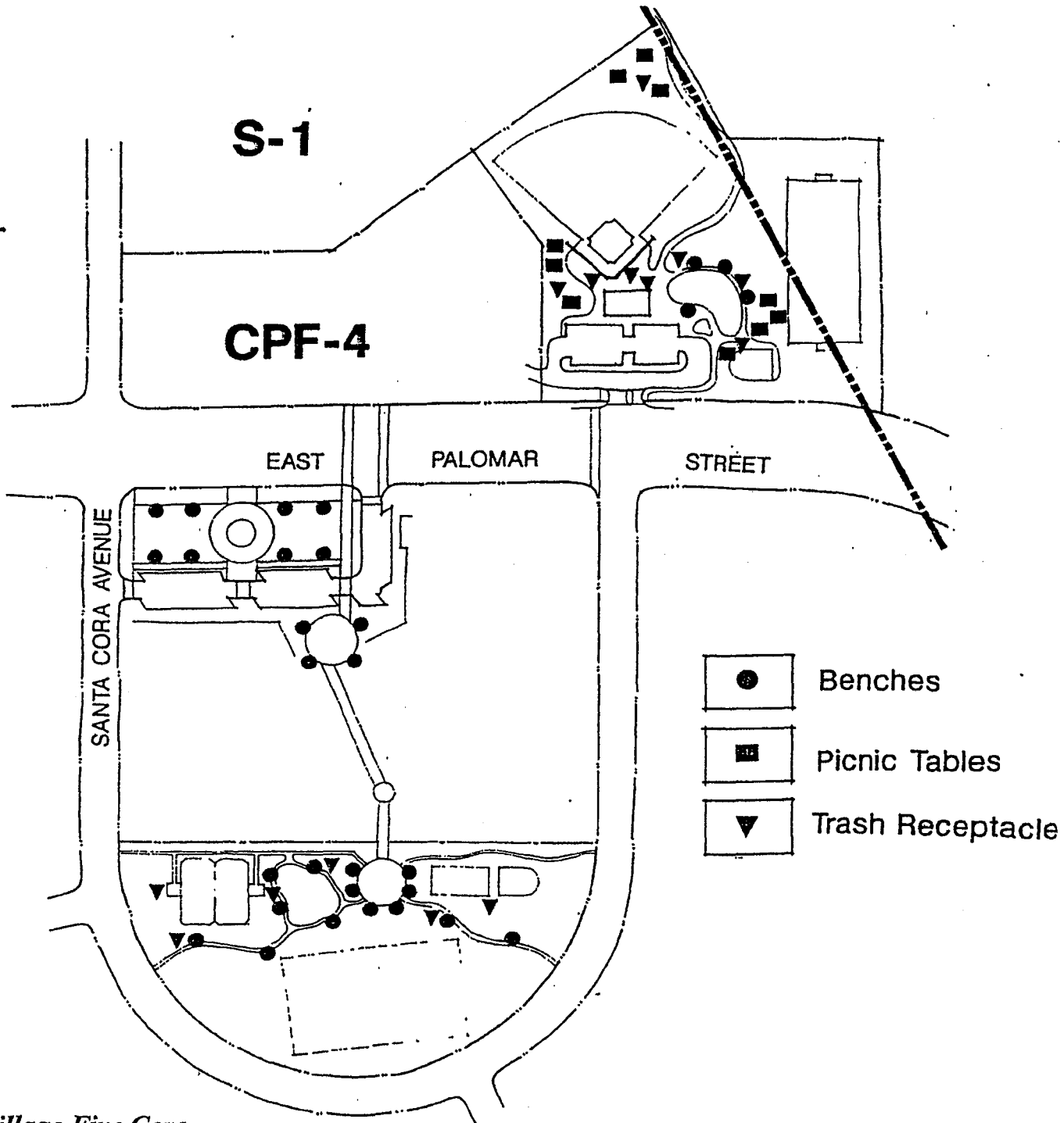
Urban Character

- The landscape design on these sites will be greatly influenced by the Promenade Street landscaping which will create a strong design element along one edge. Along the street frontage, these sites will be somewhat less formal than the town square commercial area. The character of interior areas may be much less formal consistent with providing a relaxing living environment.

Lighting/Signing/Street Furnishings

- Lighting shall be compatible with the special Lighting indicated on page ~~364~~6.
- Street Furnishings shall be as shown on page ~~334~~3.

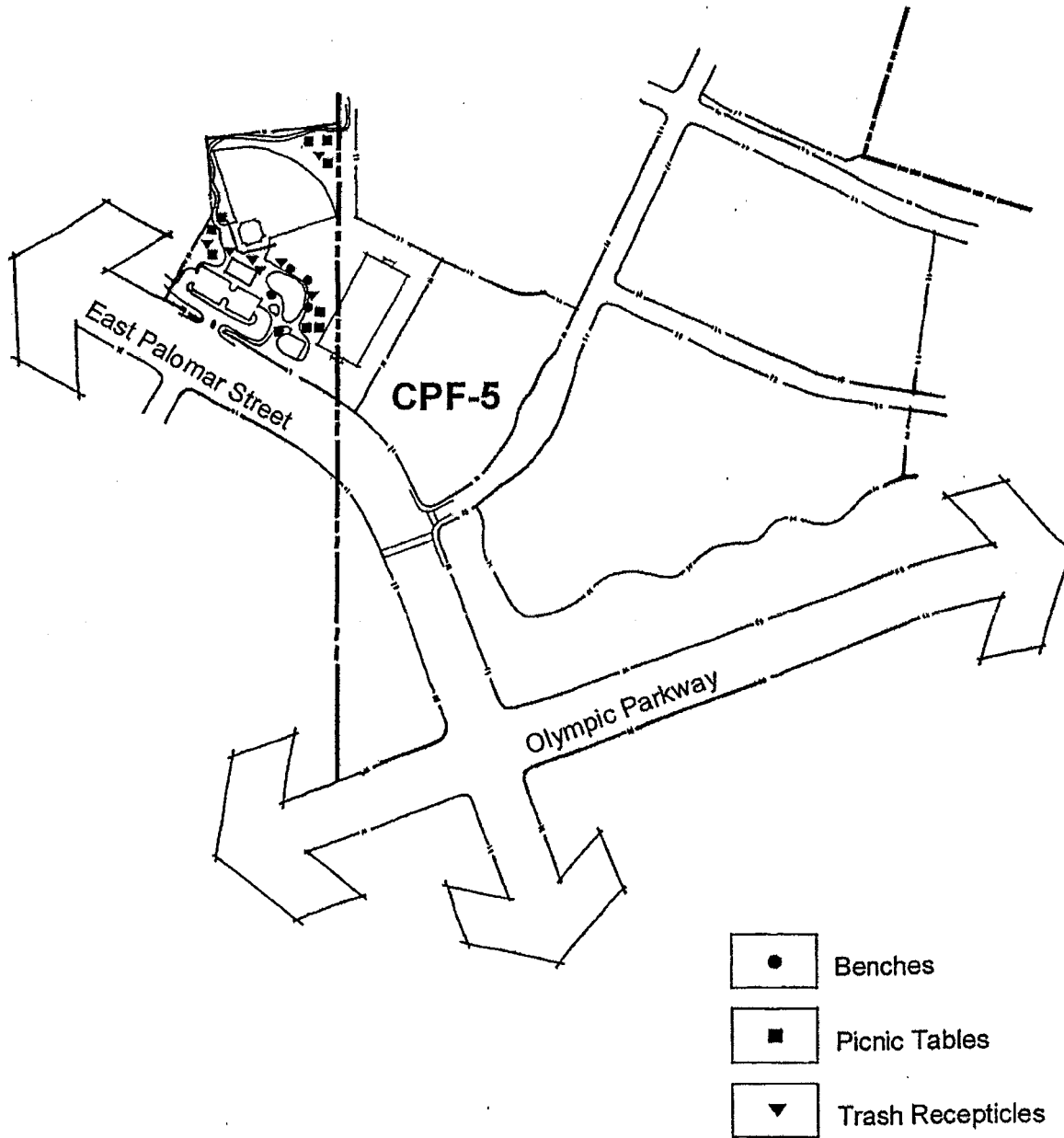
Street Furnishings Key Map



*Village Five Core
Master Precise Plan*

Exhibit 7A

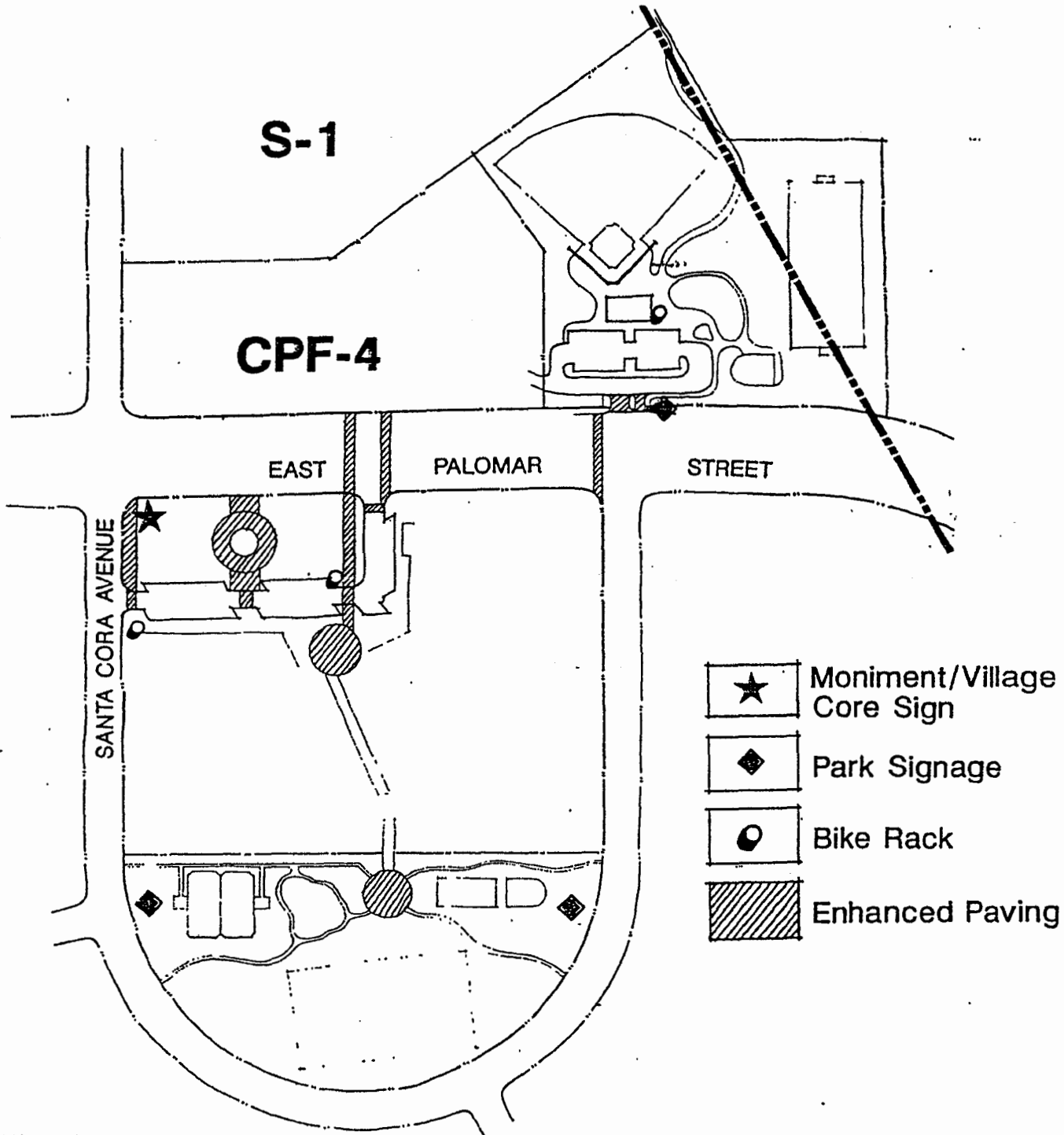
Street Furnishings Key Map



*Village Five Core
Master Precise Plan*

Exhibit 7B

Streetscape Key Map



*Village Five Core
Master Precise Plan*

Exhibit 8A

Streetscape Key Map

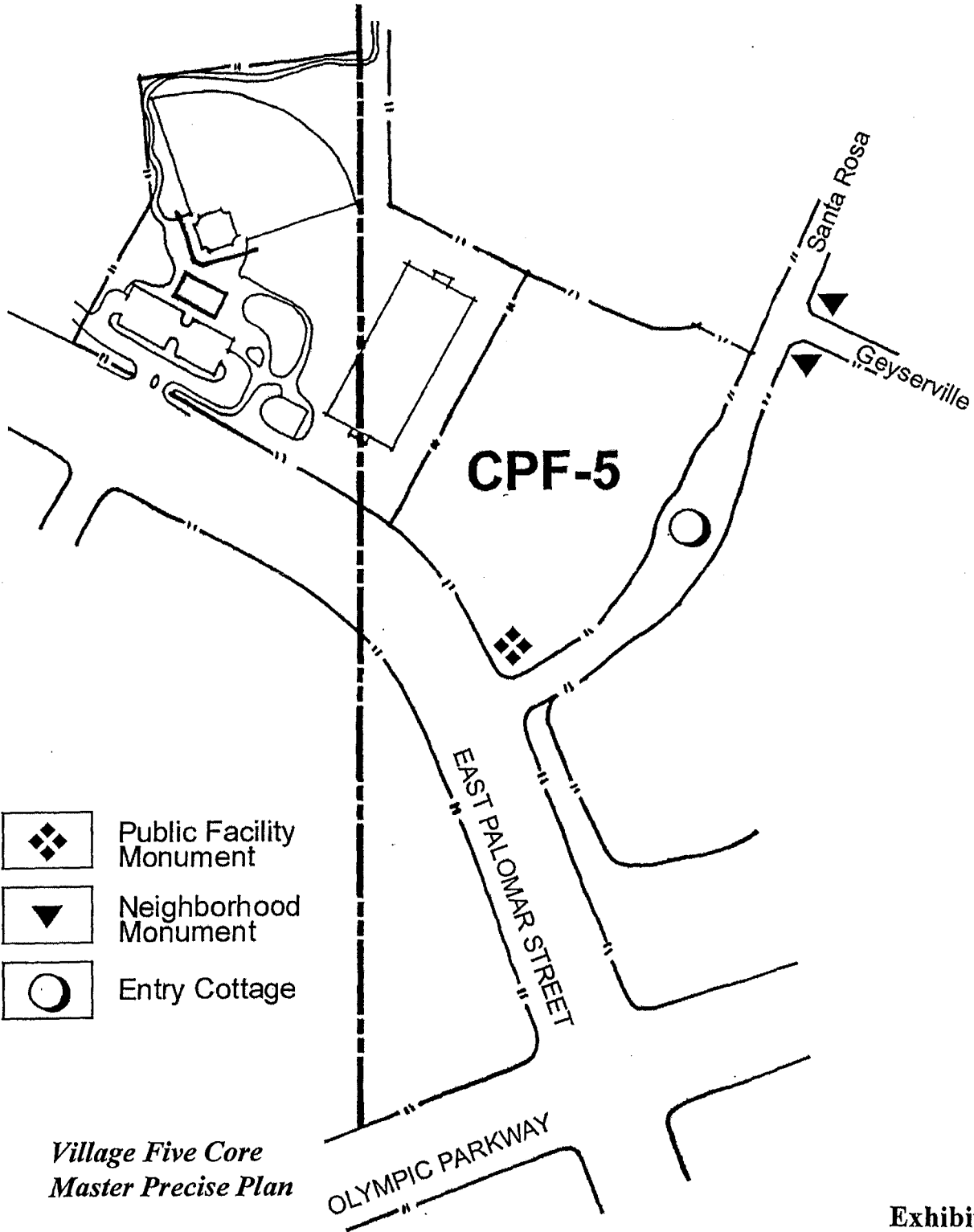
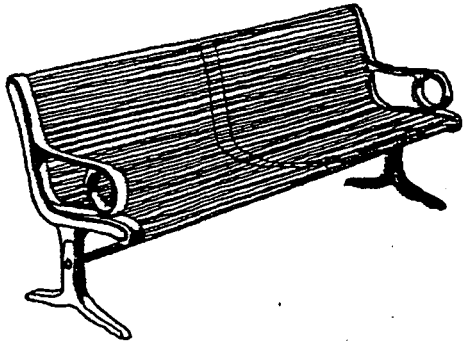
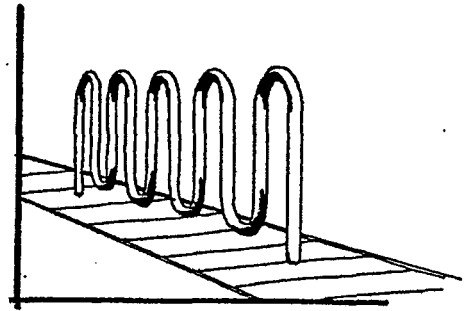


Exhibit 8B

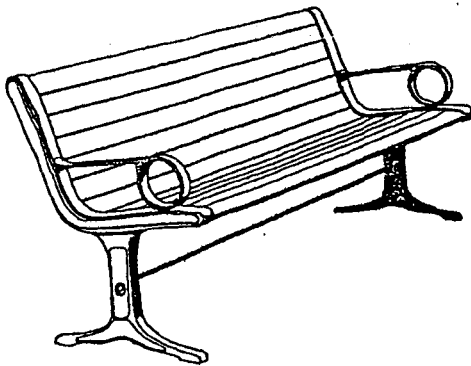
Village Five Core – Street Furniture



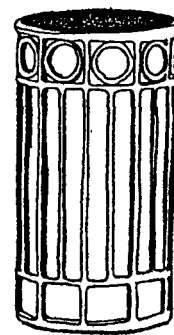
Benches - Public Parks
Victor Stanley Metal Bench, or equal
Model CS-40, Color 'Basalt'



Bike Rack
Ribbon Rack, Model RB 07, or equal
Color: natural metal

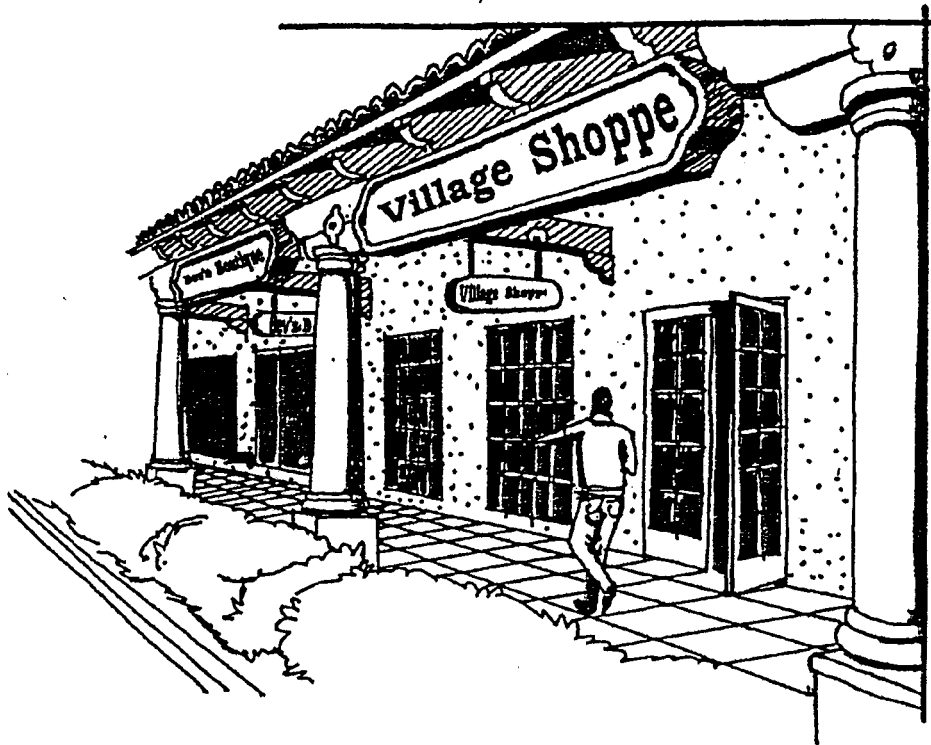


Benches - Private Areas/Comm.
Victor Stanley Wood/Metal, Model
CS-40 or equal. Color: 'Basalt'

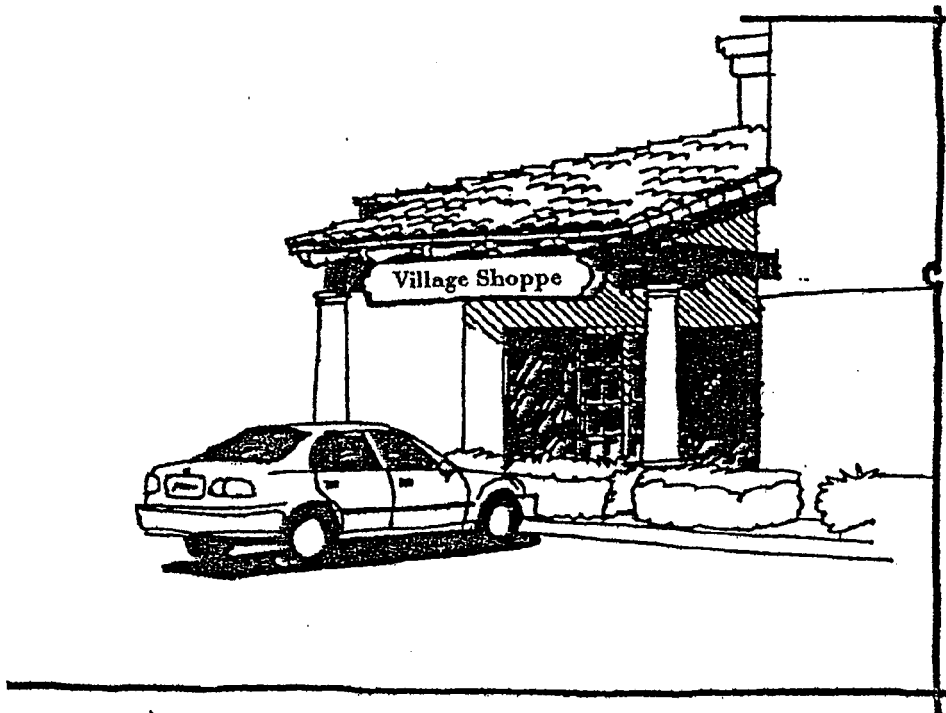


**Trash
Receptacle**
Trystan, TU-
3A, or equal.
Color: Basalt

Commercial Signing

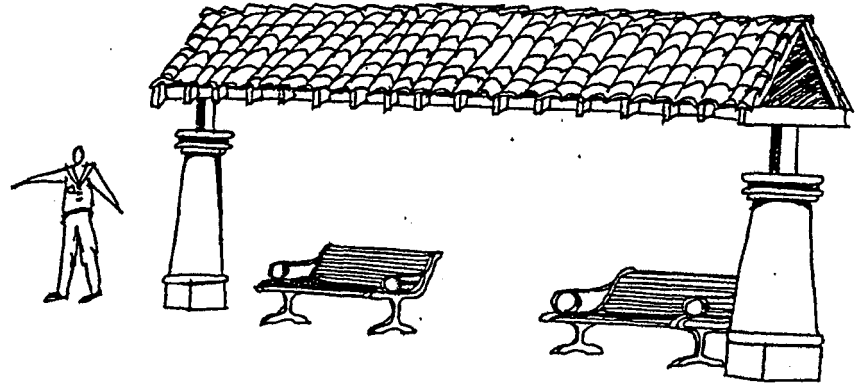


Commercial Signing to be Pedestrian Oriented



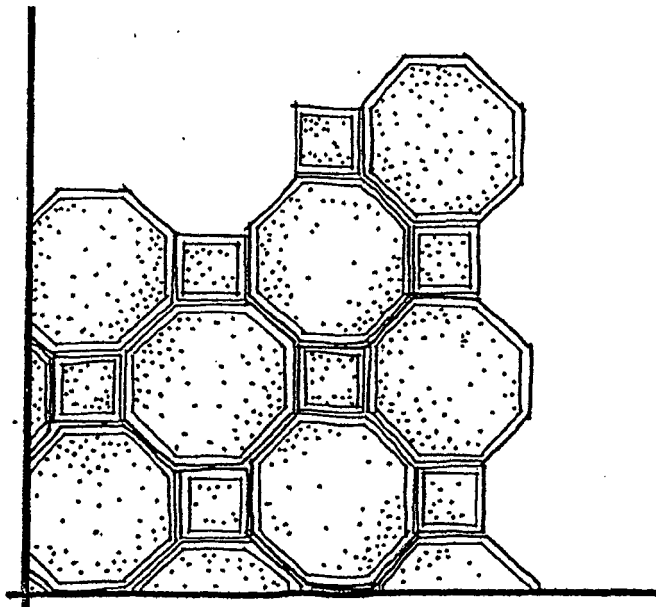
Commercial Signing to be hanging not fascia mounted

Village Five Core – Streetscape Details



Bus Stop

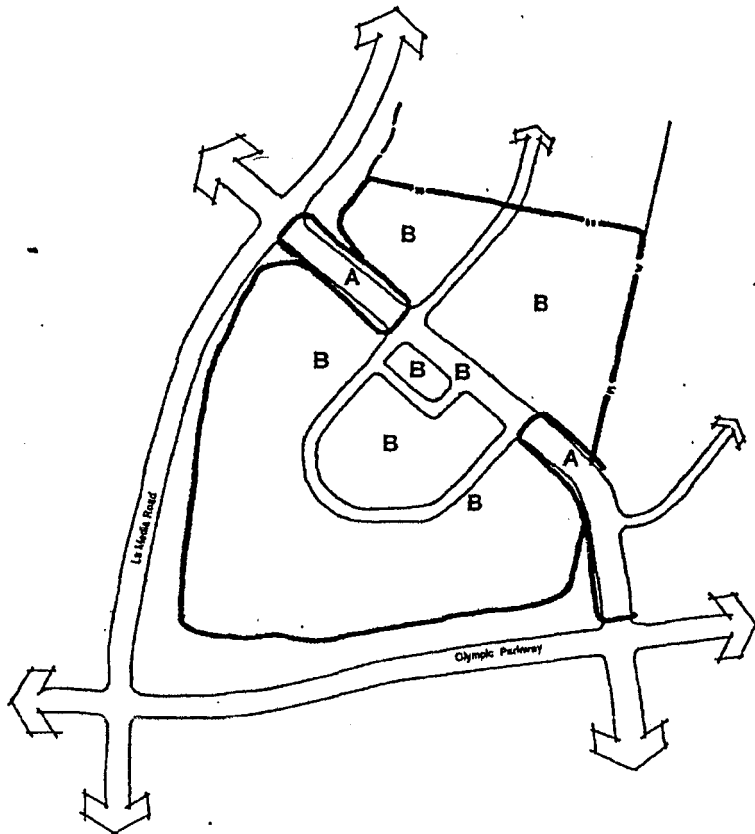
Use Village Five Core Architecture Character for Transit Facilities



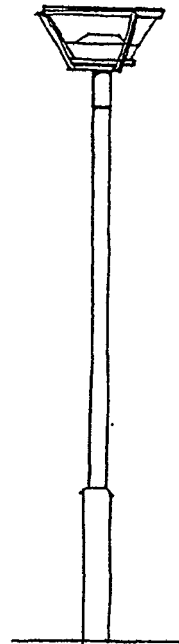
Enhanced Paving

Venus II -Conc. Interlocking Stones, or equal.
Colors: Terra Cotta, Brown, & Charcoal.

Special Lighting for Trails, Parks and Common Areas



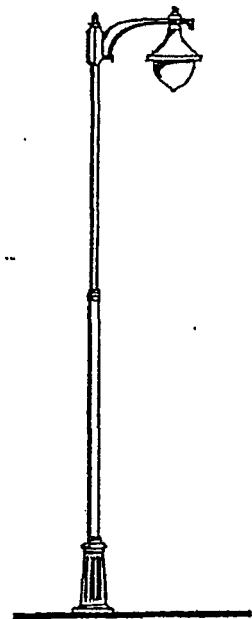
Village Five Core - Special Lighting Zones



Zone A
Fixture

Zone A Fixture: Design by JF Conics, or equal
Post Color: Natural Alum.

Zone B Fixture: Noral Tuba Series, Model I1-G6/F, or equal, on 12' post
Post Color: "Basalt"



Zone B
Fixture

Village Five Core – Master Streetscape Tree List

Location	Botanical Name	Common Name	Deciduous/ Evergreen
La Media Rd.	*Schinus Molle	California Pepper Tree	E
E. Palomar St.	*Washingtonia robusta	Mexican fan palm	E
	*Pyrus blirejana	Flowering plum	D
Santa Cora Ave./ <u>Santa Rosa Dr./San Sebastian Ave.</u>	*Pistache chinensis	Chinese pistache	D
	*Ulmus parvifolia	Evergreen elm	E
	*Podocarpus gracilior	Fern pine	E
Residential Streets	*Ulmus parvifolia	Evergreen elm	E
	*Podocarpus gracilior	Fern pine	E
	*Pyrus calleryana “Bradford”	Bradford pear	D
	*Pyrus kawakamii	Evergreen pear	E
	Tipuana tipu	Tipu tree	D/E
	Cupaniopsis anacardloides	Carrotwood	E
	Metrosideros excelsus	New Zealand Christmas tree	E
	Jacaranda mimosifolia	Jacaranda	D
	Tristania conferta	Brisbane box	E
	Pittosporum undulatum	Victoria box	E
	Agonis flexuosa	Peppermint tree	E
	Lagerstromia indica	Crape myrtle	D
	Cinnamomum camphora	Camphor tree	E
	Camphor tree		
	Bauhania blakeana	Hong Kong orchid tree	D/E

*Indicates plant material per Otay Ranch Village Design Plan

Note: Tree list is subject to periodic updating and changes by Planning Department.

5. DESIGN REVIEW CHECKLISTS

This chapter is provided to summarize the important site planning and design issues for each of the various individual Detailed Site Plan areas within the Village Core. The checklists identify the important design issues associated with each plan area. They are not intended to address phasing of development within the precise plan area, construction responsibility, or other important implementation or site development issues which are not addressed in this Master Precise Plan. These issues will arise in the review of each individual Detailed Site Plan submittal, however these issues are addressed in the provisions of the SPA One Plan, PFFP, Development Agreement, or other adopted planning documents.

Although the Village Core is intended to appear and function as a unified component of Village Five in the Otay Ranch Community, particular areas will be expected to incorporate specific design concepts due to the types of uses envisioned or their geographic location. The site designer and/or plan reviewer should use the "checklists" outlined in this chapter as a guide to their efforts.

Consistent with the Planning Areas identified in Exhibit 2, ~~nine~~ 11 checklists are provided:

- Town Square/Multi-Use Area
- CPF-4 Site
- P-6 Park Site
- School Site
- R-40 Residential Site
- R-41 Residential Site
- R-42 Residential Site
- R-43 Residential Site
- ~~_____~~ R-46 Residential Site
- CPF-5 Site
- R-30a/R-30b Residential Site

A. Town Square/Multi-Use Area

Location: Central portion of Core within the Core Promenade Street - must be first and a single Detailed Site Plan

Planned Use: "Town Square" plaza with storefront commercial; multi-family residential and park

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Implement "Town Square"/plaza with storefront commercial (building orientation to plaza and Village Plaza Street/Walkway at edge)
- Architectural focal point/building at interior corner
- Village Entry Street streetscape with transit station site reserved on Palomar Street edge
- Village Core Promenade Streetscape on Santa Cora loop street edge
- Residential buildings oriented to Promenade Street
- Integrated pedestrian circulation throughout mixed-use area
- Strong connections to pedestrian routes (promenade street, paseos, connections to other villages)
- Reduced automobile accommodations (minimum number of curb cuts, parking behind buildings which are oriented to the streets)
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Commercial Core/Town Square District and Core Residential District (park area only)

Building Design/Siting: Primary pedestrian oriented edge along plaza; secondary edge along promenade street.

Pedestrian/Vehicle/

Transit Access: Well defined non-vehicular access and circulation among plaza, commercial, residential and transit station uses. "Trail" connections to intra- and inter-village routes.

Urban Character: Formal, structured and highly detailed on primary pedestrian edge. High quality "village image" architecture on plaza.

Lighting/Signing/

Street Furnishings: Consistent with architectural style and Street furnishings exhibit.

B. CPF-4 Site

Location: North of Town Square along Palomar Street

Planned Use: "Community Purpose Facility" such as church, day care, or similar

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Architectural focal point/community landmark building at street corner
- Village Entry Street streetscape with transit station site reserved on Palomar Street edge
- Promenade Street streetscape on Santa Cora edge
- Strong connections to pedestrian routes
- Building entry(s) on Palomar Street side with pedestrian access
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Entry Street District

Building Design/Siting: "Public building" appearance and prominent siting.

Pedestrian/Vehicle/

Transit Access: "Trail" connections to intra- and inter-village routes.

Urban Character: Somewhat less formal, structured and detailed than plaza. Architecture consistent with/complementary to "village image" architecture on plaza.

Lighting/Signing/Street

Furnishings: Village Core Architectural Styles and Street Furniture.

C. P-6 Park Site

Location: Northeast of Town Square along Palomar Street

Planned Use: Public Park (active recreation facilities)

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site

Plan Elements:

- Focal point along Palomar Street
- Entry aligned with plaza street
- Village Entry Street streetscape on Palomar Street edge
- Extend pedestrian paseo per Design Plan specifications to Town Square
- Strong connections to pedestrian routes
- Building entry, if any building proposed, on Palomar Street side with pedestrian access
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Entry Street District

Building Design/Siting: "Public building" appearance and prominent siting for building, if any building is proposed.

Pedestrian/Vehicle/

Transit Access: Paseo connection and entry alignment per mandatory elements above. Provide vehicular entry to CPF-4 site to the west.

Urban Character: Formal street edge, interior character dictated by recreation uses/improvements.

Lighting/Signing/Street

Furnishings: Village Core Architectural Styles and Street Furniture.

D. School Site

Location: North of CPF site along Santa Cora

Planned Use: Elementary School

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Promenade Street streetscape on Santa Cora
- Strong connections to pedestrian routes
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: None

Building Design/Siting: "Public building" appearance; site to allow shared facilities with adjacent park.

Pedestrian/Vehicle/

Transit Access: Promenade connection on Santa Cora and pedestrian paseo connection at rear of site.

Urban Character: No requirements.

Lighting/Signing/Street

Furnishings: Promenade Street streetscape and Paseo on edges.

E. R-40 Residential Site

Location: Southeast of Mixed-Use area, part of perimeter residential

Planned Use: Multi-family residential

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Buildings oriented to Promenade Street
- Core Promenade Street streetscape on Santa Cora
- Village Entry streetscape on Palomar Street
- Strong connections to pedestrian routes
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Entry Street along Palomar Street (where at or close to grade) and Core Residential

Building Design/Siting: Orientation to Santa Cora Promenade and Palomar Street; architectural statement at corner. "Interactive" residential edge along promenade

Pedestrian/Vehicle/

Transit Access: Promenade connection on Santa Cora; parking buffered from promenade and entry streets.

Urban Character: Formal street edge; informal interior areas.

Lighting/Signing/Street

Furnishings: Promenade Street streetscape.

F. R-41 Residential Site

Location: South of Mixed-Use area, part of perimeter residential

Planned Use: Single Family Residential

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Buildings oriented to Promenade Street
- Core Promenade Street streetscape on Santa Cora
- Connection to pedestrian route crossing Olympic Parkway
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Core Residential

Building Design/Siting: Orientation to Santa Cora Promenade; "interactive" residential edge along promenade

Pedestrian/Vehicle/

Transit Access: "Trail" connection from park in mixed-use area to Olympic Parkway crossing; promenade connection on Santa Cora.

Urban Character: Formal street edge; semi-formal interior street areas.

Lighting/Signing/Street

Furnishings: Promenade Street streetscape.

G. R-42 Residential Site

Location: West of Mixed-Use area, part of perimeter residential

Planned Use: Multi-family Residential

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Buildings oriented to Promenade Street
- Core Promenade Street streetscape on Santa Cora
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Core Residential

Building Design/Siting: Orientation to Santa Cora Promenade; "interactive" residential edge along promenade

Pedestrian/Vehicle/

Transit Access: Promenade connection on Santa Cora; parking buffered from promenade.

Urban Character: Formal street edge; informal interior areas.

Lighting/Signing/Street

Furnishings: Promenade Street streetscape.

H. R-43 Residential Site

- Location:** West of Mixed-Use area, part of perimeter residential
- Planned Use:** Multi-family Residential
- Permitted Use:** As permitted by Otay Ranch SPA One PC District Regulations
- Mandatory Site Plan Elements:**
- Buildings oriented to Promenade Street
 - Core Promenade Street streetscape on Santa Cora
 - Village Entry streetscape on Palomar Street
 - Strong connections to pedestrian routes
 - Village structure design elements consistent Village Design Plan (Chapter III-2).
- Design District:** Entry Street along Palomar Street (where at or close to grade) and Core Residential
- Building Design/Siting:** Orientation to Santa Cora Promenade and Palomar Street; architectural statement at corner. "Interactive" residential edge along promenade
- Pedestrian/Vehicle/Transit Access:** Promenade connection on Santa Cora; parking buffered from promenade and entry streets.
- Urban Character:** Formal street edge; informal interior areas.
- Lighting/Signing/Street Furnishings:** Promenade Street streetscape.

I. R-46 Residential Site

Location: Northwest of Mixed-Use area, part of perimeter residential

Planned Use: Multi-family Residential

Permitted Use: As permitted by Otay Ranch SPA One PC District Regulations

Mandatory Site Plan Elements:

- Buildings oriented to Promenade Street
- Core Promenade Street streetscape on Santa Cora
- Village Entry streetscape on Palomar Street
- Strong connections to pedestrian routes
- Village structure design elements consistent Village Design Plan (Chapter III-2).

Design District: Entry Street along Palomar Street (where at or close to grade) and Core Residential

Building Design/Siting: Orientation to Santa Cora Promenade and Palomar Street; architectural statement at corner. "Interactive" residential edge along promenade

Pedestrian/Vehicle/ Transit Access:

Promenade connection on Santa Cora; parking buffered from promenade and entry streets.

Urban Character: Formal street edge; informal interior areas.

Lighting/Signing/Street

Furnishings: Promenade Street streetscape.

J. CPF-5 Site

<u>Location:</u>	<u>North of E. Palomar St., adjacent to Residential Promenade St.</u>
<u>Planned Use:</u>	<u>“Community Purpose Facility” such as church, day care or other similar uses</u>
<u>Permitted Use:</u>	<u>As permitted by Otay Ranch SPA One PC District Regulations</u>
<u>Mandatory Site Plan Elements:</u>	<ul style="list-style-type: none">• <u>Architectural focal point/community landmark at corner of E. Palomar St. and Santa Rosa Dr.</u>• <u>Village Entry Street streetscape with transit station site reserved on E. Palomar St. edge</u>• <u>Residential Promenade Street streetscape along Santa Rosa Dr. edge</u>• <u>Strong connections to pedestrian routes</u>• <u>Building entry on Santa Rosa Dr. with pedestrian access</u>• <u>Village structure elements consistent with Village Design Plan (Chapter III-2).</u>
<u>Design District:</u>	<u>Entry Street District</u>
<u>Building Design/ Siting:</u>	<u>“Public building” appearance and prominent siting at corner</u>
<u>Pedestrian/Vehicle/ Transit Access:</u>	<u>Connection to Village Pathway along E. Palomar Street</u>
<u>Urban Character:</u>	<u>Somewhat less formal, structure and detailed than mixed use development in village core. Architecture style consistent with California Heritage theme.</u>
<u>Lighting/Signing/ Street Furnishings:</u>	<u>None</u>

K. R-30a/R-30b Residential

<u>Location:</u>	<u>North of Olympic Parkway, adjacent to Santa Rosa Dr. and San Sebastian Ave..</u>
<u>Planned Use:</u>	<u>Multi-family residential</u>
<u>Permitted Use:</u>	<u>As permitted by Otay Ranch PC District Regulations</u>
<u>Mandatory Site Plan Elements:</u>	<ul style="list-style-type: none">• <u>Buildings oriented to Promenade Streets (Santa Rosa Drive and San Sebastian Ave.</u>• <u>Residential Promenade Street streetscapes along Santa Rosa Dr. and San Sebastian Ave.</u>• <u>Village Entry Street streetscape on E. Palomar St.</u>• <u>Strong pedestrian oriented architecture on residential units facing residential promenade streets, including balconies, porches and front doors wherever feasible</u>• <u>Strong pedestrian connections from adjacent promenade streets to residential units wherever feasible</u>• <u>Pedestrian circulation through individual neighborhood</u>• <u>Village structure design elements consistent with Village Design Plan (Chapter III-2).</u>
<u>Design District:</u>	<u>Core Residential District</u>
<u>Building Design/ Siting:</u>	<u>Orient buildings to Residential Promenade streets (Santa Rosa Dr. and San Sebastian Ave) and Residential Street (Geyserville St.). Provide active pedestrian edge along promenades.</u>
<u>Pedestrian/Vehicle/ Transit Access</u>	<u>Pedestrian access from project site(s) to Village Pathway along E. Palomar St. Provide parking behind or beneath multi-family units.</u>
<u>Urban Character:</u>	<u>Formal street edge, with buildings fronting on promenade streets. Architectural style consistent with California Heritage theme.</u>
<u>Lighting/Signing/ Street Furnishings:</u>	<u>None</u>