

**EASTLAKE II GENERAL DEVELOPMENT PLAN  
BUSINESS CENTER II SUPPLEMENTAL SPA  
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# GENERAL DEVELOPMENT PLAN

## EASTLAKE II

INCLUDES THE FOLLOWING SPAS:

**EASTLAKE I, EASTLAKE II (EASTLAKE GREENS & TRAILS),  
SALT CREEK I, BUSINESS CENTER II  
AND VILLAGE CENTER NORTH**

Adopted November 16, 1999  
by Resolution No. 19666

Amended August 23, 2005  
by Resolution No. 2005-288

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**SECTION I.1  
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## **I.1.1 Introduction & Background**

### **I.1.1.1 Introduction**

The EastLake II General Development Plan (GDP) provides a policy bridge between the Chula Vista General Plan and the detailed planning provided in Sectional Planning Area (SPA) Plans for the EastLake II area (see Vicinity Map, Exhibit 1).

This GDP establishes Land Use Districts and defines intensity of development permitted in each district. This GDP is the second in a series of planning documents and programs that will guide the development of the EastLake II area, with the first being the Chula Vista General Plan. Following the adoption of the General Plan and GDP, individual SPA Plans will further detail the planning policies and programs that will administer and regulate development. The GDP and the SPA Plans are required components of Planned Community (PC) Zoning and have been established in accordance with Sections 65450 through 65553 of the State of California Government Code and Sections 19 07 010 through 19 07 030 of the City of Chula Vista Municipal Code and apply to the property outlined by the General Development Plan boundary shown on Exhibit 2.

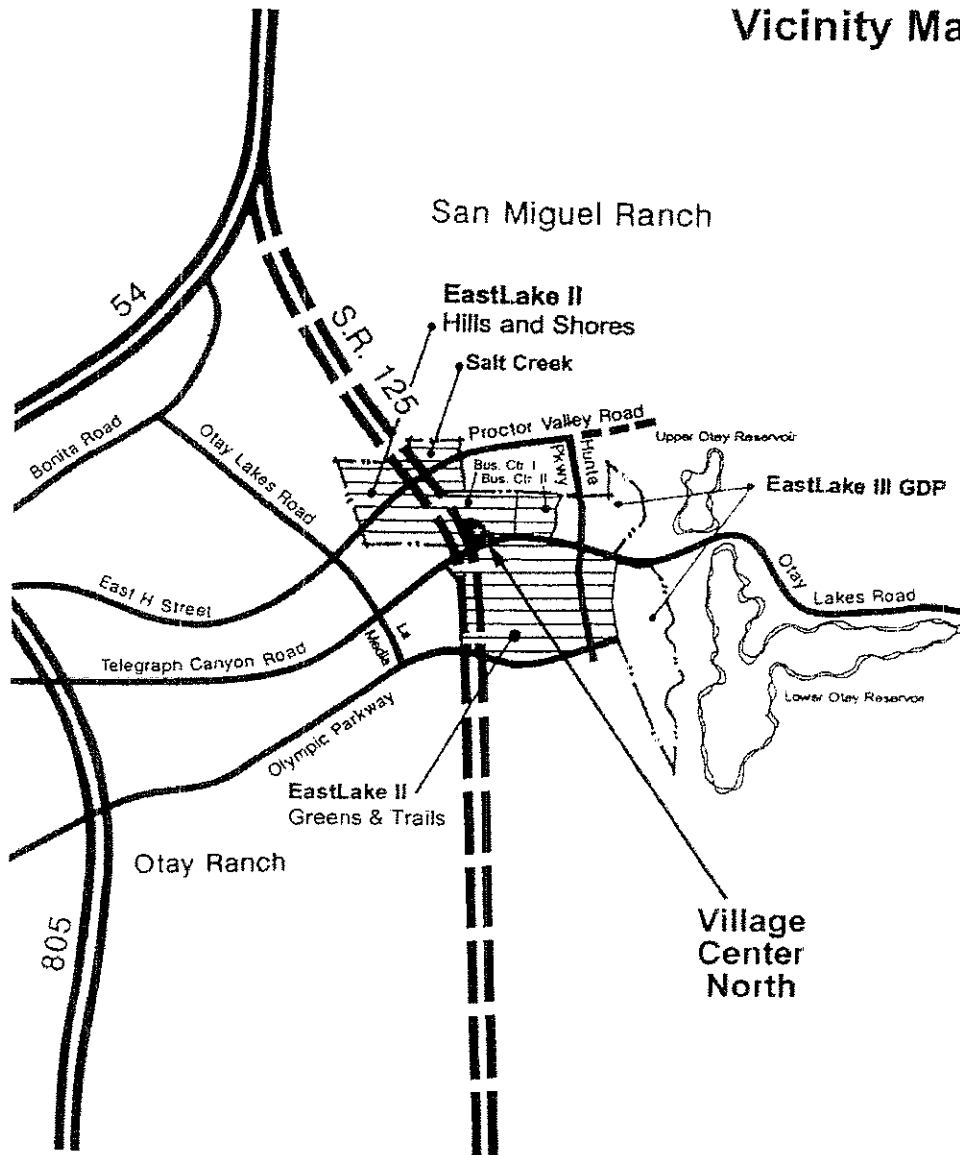
### **I.1.1.2 Background**

The General Development Plan for EastLake I, which includes approximately forty percent of the property, was established as the EastLake I General Development Plan in August 1982. SPA's (neighborhoods) developed in EastLake I GDP area include EastLake Shores, EastLake Hills, Salt Creek I, Village Center North, and the EastLake Business Center I and II. Refer to Exhibits 2 and 3.

The EastLake Village Center North Supplemental SPA, includes Commercial, Office Professional and Business Center. The component of the Village Center south of Otay Lakes Road is included in the EastLake II SPA (Trails and Greens Neighborhoods) and is limited to Commercial uses.

The second major increment of the EastLake Community was the planning of the EastLake Greens and EastLake Trails neighborhoods, located east of the proposed alignment of SR-125, between Otay Lakes Road, and Olympic Parkway. This second phase was merged with the EastLake I GDP and the two areas are now known as the EastLake II GDP.

# Vicinity Map



**EASTLAKE**  
A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO.

City Land Planning  
**CLP**  
10/1/01

Exhibit 1

# General Development Plan Boundaries

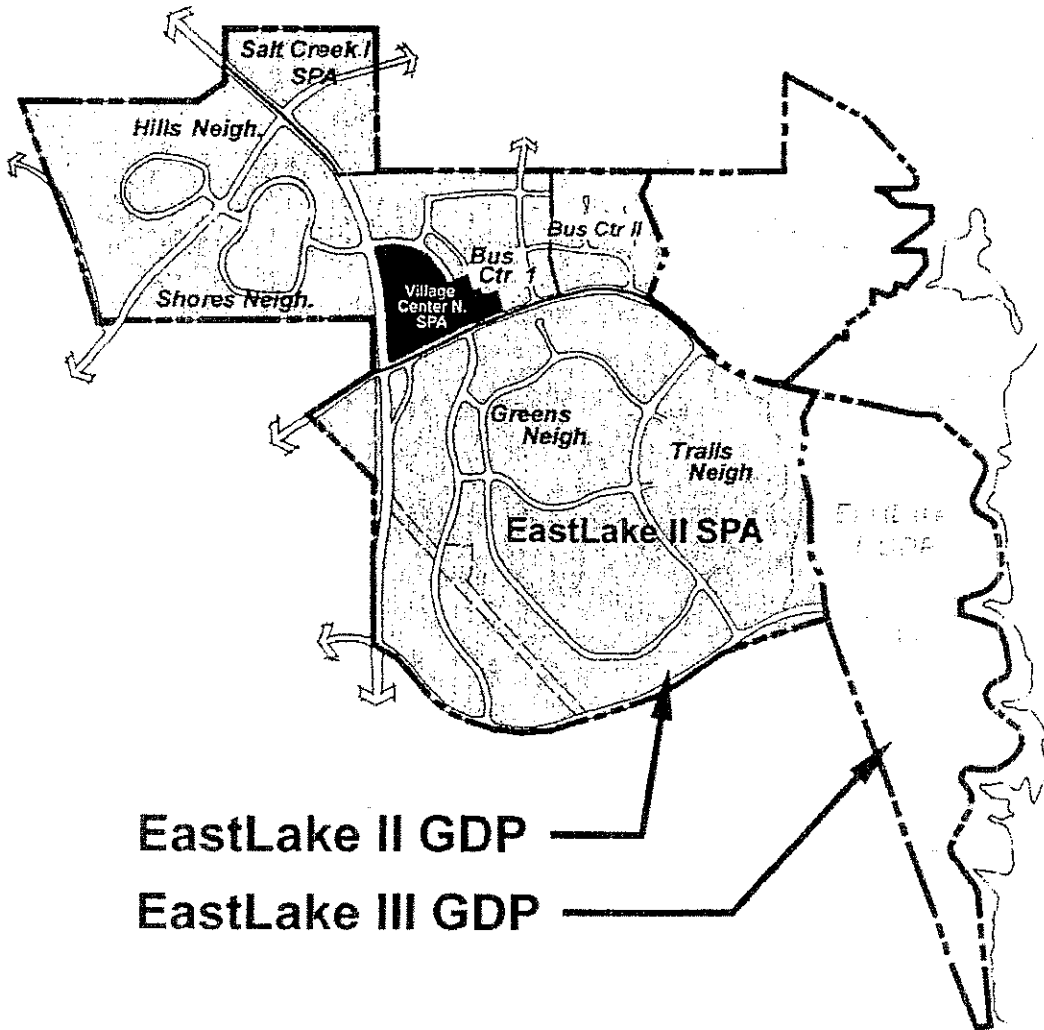


Exhibit 2



# Adopted SPA Boundaries

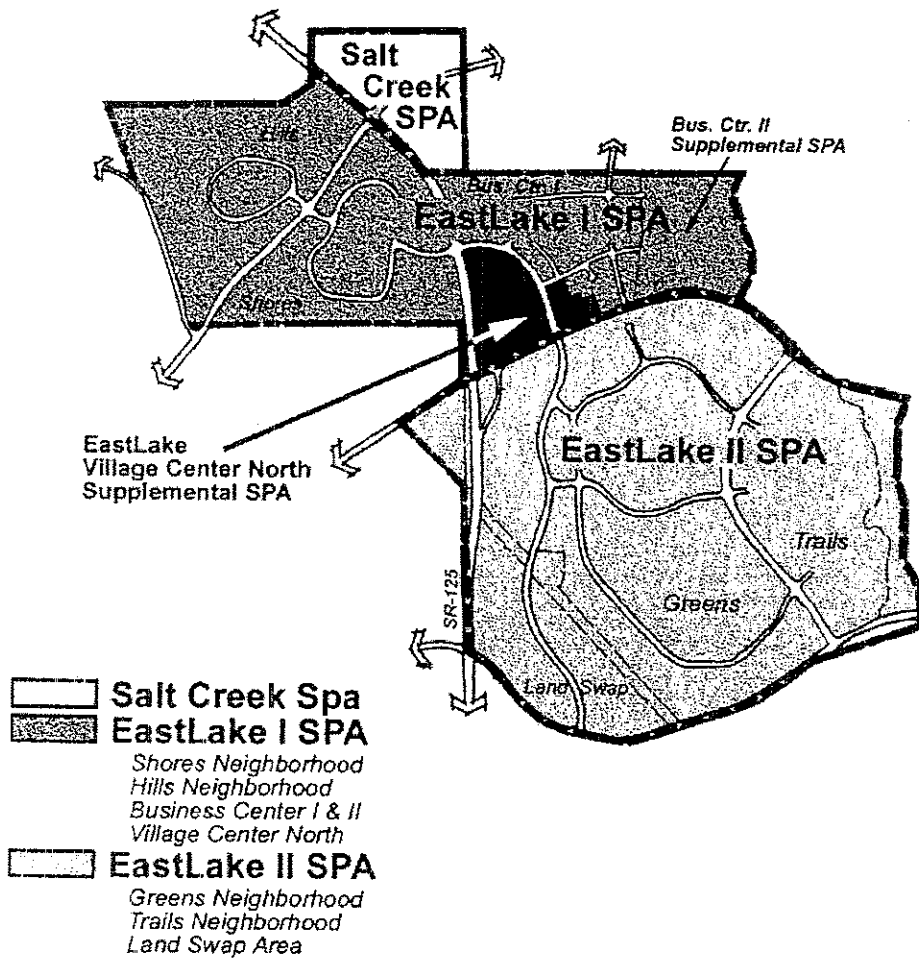


Exhibit 3

## **I.1.2 Record of Amendments**

### **I.1.2.1 The 1994 General Development Plan Amendment**

All of the original EastLake property has been annexed to the City. After that annexation, EastLake made an exchange of property with the Otay Ranch involving parcels known as the Land Swap Property. This amendment incorporated a portion of the Land Swap (22.7 acres) into the EastLake Greens SPA for annexation to the City of Chula Vista. The balance of the Land Swap Property is to be the subject of a future action.

In addition, the EastLake Greens SPA was originally proposed to contain five parcels for higher density housing. These parcels were given an interim density designation in the SPA approval process. This amendment revises these interim designations to permanent designations to maintain the overall community character.

### **I.1.2.2 The 1995 Amendment**

This amendment relocated one public and one private park in the southern part of EastLake Greens to create more useable park sites. As a result of these park relocations, one residential parcel was eliminated and a public/quasi-public site was enlarged. These changes reduced the residential density in EastLake Greens by 133 units. Density transfers and boundary adjustments were made as a result of these changes. One density transfer of significance was the conversion of a parcel south of the EastLake High School from its "Interim Designation" to a permanent designation of Medium-High, which is consistent with the General Plan for this parcel. No changes to existing conditions were proposed in the northern portion of EastLake Greens, EastLake Trails or EastLake I Planning Areas.

### **I.1.2.3 The 1998 Amendment**

The amendment consisted of modifying and rearranging the EastLake Trails land uses and incorporating 133.5 acres (Northern and Southern "Land Swap" Parcels) to the EastLake II GDP, EastLake Greens SPA and associated regulatory documents. The following paragraphs describe the amendment in more detail.

The Northern "Land Swap" Parcel - The Northern "Land Swap" parcel is designated for Professional and Administrative Commercial in the General Plan, and the same land use designation in the EastLake II GDP, (EastLake Greens Neighborhood).

The Southern "Land Swap" Parcel - The Southern "Land Swap" parcel is bisected by the extension of EastLake Parkway creating two parcels. These two parcels are zoned PC and, under the City's General Plan, have been designated Retail Commercial and Medium-High density residential. The parcel west of EastLake Parkway was designated Freeway Commercial, allowing large retail operations such as Home Depot, K-Mart, *etc.* The parcel east of EastLake Parkway was merged with an 8.5-acre, Low-Medium density residential parcel, targeted for 45 dwellings, and a 6.3-acre Future Urban parcel located directly south. The combined parcels will produce a 65-acre parcel with capacity for 750 dwelling units.

EastLake Trails Neighborhood B Under the previously adopted EastLake II GDP, the EastLake Trails was a 393.7-acre residential SPA designed to accommodate 1,260 dwelling units with densities ranging from Low (0-3 du/ac) to Medium-High Density (11-18 du/ac). Retail Commercial, Public/Quasi-public, Parks and Open Space land uses complement the residential land uses.

The amendment featured basically the same land uses, except for the Retail Commercial and Medium-High residential which were deleted. The new SPA establishes Low Density (0-3 du/ac), Low-Medium (3-6 du/ac) and Medium (6-11 du/ac) density residential land use districts, in addition to support land uses such as: Community Purpose Facilities, Parks and Open Space, and Public/Quasi-public sites.

#### **I.1.2.4 The 1999 Amendment**

The 1999 Amendment expanded the EastLake II GDP area to include the EastLake Business Center II SPA which was previously within the EastLake III GDP. The phasing of development and land use similarity made it more appropriate to include this SPA, comprised entirely of employment uses within this GDP rather than the overwhelmingly single family residential EastLake III GDP. A supplemental SPA Plan for the business center expansion area was approved concurrently with the GDP amendment.

#### **I.1.2.5 The 2002 Amendments**

##### **I.1.2.5.1 EastLake II SPA (consolidation of EastLake Greens & Trails)**

This amendment involved the merger of the EastLake Greens and Trails SPAs into a new EastLake II SPA. Adoption of this EastLake II SPA Plan established a new EastLake II SPA containing the previously approved EastLake Greens and EastLake Trails SPAs. This new SPA plan does not change any land uses or other provisions of the currently adopted SPA plans and associated plans including Design Guidelines, Public Facilities Finance Plan, etc., which will remain in effect as the detailed development policy documents for the individual neighborhoods. The neighborhood-specific plans shall be deemed "Supplemental Sectional Planning Area" plan which implement this newly formed SPA plan.

(Note: The GDP was not changed as part of the above amendment.)

##### **I.1.2.5.2 Village Center North**

*Ordinance No 2863 adopted August 6, 2002*

*Resolution No 2002-264 adopted July 23, 2002*

This amendment involved the refinement of uses within the "Village Center North" area. The retail commercial area north of Otay Lakes Road was amended from 36.9 acres to 38.1 acres. An additional 13.6 acres of Professional and Administrative uses and 16.4 acres of Research & limited Manufacturing are proposed. These additional areas were the result of the deletion of a large Public/Quasi-public use. The amendment was triggered when the large hospital/medical center complex previously intended to be developed within the Public/Quasi-public parcel north of the retail commercial area was not pursued by the medical services sponsor. The amendment

resulted in an expansion of the area designated for retail commercial uses and designation of Research and Limited Manufacturing (employment) uses on the remainder of the parcel located between EastLake Parkway and SR-125. A Supplemental SPA Plan, Village Center North, and related documents were processed concurrently with this GDP amendment for the areas with new land use designations.

#### **I.1.2.6 2003 Amendments**

##### **I.1.2.6.1 Land Swap Amendment (CPF/RM)**

*Ordinance No 2905 (to amend PC District Regulations) Adopted 4/15/2003*

*Resolution No. 2003-140 (to amend GP/GDP/SPA and text language regarding CPF sites) adopted 4/8/2003*

This amendment involved the elimination of the CPF Site southwest of the SDG&E easement in the EastLake Greens Neighborhood (Land Swap Area) of the EastLake II SPA, and a project-wide update of the existing and proposed CPF sites. The Master Plan of CPF Sites and the text describing CPF sites was updated to reflect this amendment and current City standards.

##### **I.1.2.6.2 Village Center East (Kohls)**

*Ordinance 2925 (to amend PC Land Use District Map from VC-2 to VC-4 and new land uses for VC-4) adopted 7/8/2003*

*Resolution 2003-293 (to amend the GP, GDP, and VC North Supplemental SPA)*

This amendment was a project specific amendment that allowed a specific department store to be permitted east of EastLake Parkway and north of Otay Lakes Road. This project has now been built.

#### **I.1.2.7 The 2005 Amendments**

##### **I.1.2.7.1 Eastlake Design District (Repealed 2007)**

*Ordinance No 2999 (to amend PC District Regulations to change Land Use District Map to add "overlay zone" and add text specific for the Design District - adopted April 5, 2005)*

*Resolution 2005-102 (to add sign guidelines for the EastLake Design District for the Design Guidelines Section of the SPA)*

This amendment was sponsored by International Real Estate to create the EastLake Design District.

(Note: The GDP was not changed as part of the above amendment )

##### **I.1.2.7.2 Eastlake Walk**

*Ordinance No. 3018 (to change the PC Land Use District Map from BC-3 to VC-1a and to add new land uses for VC-1a District), adopted September 2005*

*Resolution 2005-288 (to change GDP designation from IR to CR)*

This amendment was sponsored by Sudberry Properties to create the EastLake Walk commercial project.

#### **I.1.2.8 The 2007 Amendments**

*Resolution 2007-299 (amend the GP, GDP and SPA designation of 16.7 previously developed acres from Industrial to Commercial).*

*Ordinance No. 3100 (Repeal of Ordinance No. 2999 and Resolution 2005-102, amend the PC Regulations and Design Guidelines of the SPA)*

The 2007 amendments were intended to foster the proper growth and development of the Business Center II Area by promoting a greater variety of commercial uses in, the Business Center II area to achieve the originally planned and desired high-end mix of commercial, light industrial research and business uses. The General Plan, General Development Plan and the EastLake II Supplemental Sectional Planning Area were amended to change the land use designation of approximately 16.7 previously developed acres at the northeast corner of Fenton Street and Showroom Place within the Eastlake Business Center II from Limited Industrial to Commercial Retail.

The Planned Commercial (PC) District Regulations were amended to repeal the Design District Overlay Zone which prohibited a complementary mix of uses to support the attraction and retention of the existing home furnishing and design showrooms and retailers. This area was rezoned to a new zoning district, VC-5, which allowed the existing uses as well as a complementary mix of retail, restaurant and business uses. The balance of the former EastLake Design District Overlay, as well as 9.2 acres located on the south side of Fenton Street, were rezoned to BC-4 to encourage the light industrial, research, office and business uses original planned for the Business Center II area and consistent with the adjacent VC-5 District and existing development.

The PC Regulations were also amended to increase the maximum building heights within the EastLake Business Center II and to amend the Design Guidelines for EastLake Business Center II Supplemental SPA to establish special criteria and standards for building heights greater than 35 feet. New parking standards for furniture stores were also established.

### **I.1.3 Goals & Objectives**

#### **I.1.3.1 Purpose & Intent**

This section provides goals and objectives intended to guide the development of EastLake II from inception through project completion. The attainment of some goals can only be measured during later phases of the planning process. And, the attainment of many goals anticipate actions by both the public and private sectors working together. One purpose of listing these goals and objectives is to guide the preparation of this General Development Plan. A further purpose is to use them during subsequent planning phases (*e.g.*, SPA plan, PFFP, design guidelines, *etc.*) to maintain consistency, assist in resolving issues and defining programs.

#### **I.1.3.2 General Goals:**

- To maintain and complete development of EastLake as an identifiable "community" within the City of Chula Vista; a community comprising distinct neighborhoods which provide human scale physical and social environment.
- To provide for adequate schools, parks and recreation facilities, "community purpose facilities" and other public/quasi-public uses.
- Conceptually size and locate land and facilities required for dedication to public or quasi-public purposes based on maximum residential development established with the General Development Plan, while providing standards and guidelines to refine sizes and locations as more detailed plans are prepared.
- Establish implementation phasing that provides or assures provision of public facilities concurrent with residential development, recognizing that residential development phases and public facility increments often do not coincide exactly.
- Adopt a balanced and dynamic community development plan with efficiently organized elements.
- Organize and design the individual elements of the plan for public and private efficiency.
- Recognize implementation and marketing factors in the allocation and phasing of land uses in the General Development Plan and create an implementation process that is consistent with those factors.
- Accommodate changing demographic patterns and cultural diversity in the plan.

#### **I.1.3.3 Residential Goals:**

- To promote reasonably priced new home opportunities, economic stability and the enhancement of property values.
- Identify the private costs of public policies for housing and development and balance them with the intended benefits to the community, recognizing these costs are paid by new home buyers.

- Encourage emerging housing concepts and provide a variety of housing types suitable for a range of potential residents.
- Provide for a range of intensity and product type consistent with each residential land use designation.
- Adopt development standards that encourage design innovation in housing and site planning concepts that are consistent with quality residential development.

#### **I.1.3.4 Commercial & Industrial Goals:**

- Encourage commercial and industrial facilities that enhance the economic viability and image of the City of Chula Vista and EastLake.
- Provide for development of commercial and employment uses that enhance public and private economic interests.
- Create strong linkage between the City of Chula Vista, EastLake, and the Olympic Training Center
- Encourage facilities that support emerging industries and shopping trends.
- Provide for a range of intensity and uses consistent with each commercial and industrial land use designation.
- Adopt development standards that include a level of flexibility that can accommodate new uses and structures to attract emerging industries and shopping trends.
- Provide parcel sizes, amenities, and infrastructure to serve the needs of emerging industries and commercial users.
- Promote employment opportunities, particularly in professional and high tech industries.
- Create specific incentive programs (public/private partnership) to attract professional and stable industries with emerging and long range employment opportunities for the residents of Chula Vista.
- To use the most current water quality and watershed protection principles in the planning and design of commercial and industrial developments whenever possible.

#### **I.1.3.5 Open Space, Parks & Recreation Goals:**

- Provide adequate parkland and recreational facilities to meet the needs of new EastLake residents when needed.
- Conceptually size and locate land and facilities required for park dedication purposes based on maximum residential development established with the General Development Plan, while providing standards and guidelines to refine sizes and locations as more detailed plans are prepared.

- Recognize that a range of types and sizes of parks is an integral component of a quality living environment. Within that range, establish quantified standards that define “parkland” and “park improvements” for park credit purposes during the implementation process.
- Create an implementation process that provides or assures provision of public facilities concurrent with residential development, recognizing that residential development phases and public park increments often do not coincide exactly.
- Incorporate new parks into the City’s system as soon as these parks are ready to serve an increasing resident population.
- Encourage efficiency and cost savings in park acquisition/maintenance through cooperation and integration among public, private, and quasi-public interests.
- For facilities intended to serve more than the local resident population, establish maintenance district boundaries, or other means, so that costs for park and open space maintenance are consistent with the area intended to be served or benefited.
- Implement the Chula Vista Greenbelt within EastLake consistent with the Chula Vista General Plan.
- Maximize the utility and benefits of the Salt Creek Corridor consistent with natural resource protection.
- Protect areas within Salt Creek with significant biological resource.
- Locate facilities and amenities within the Salt Creek Corridor that promote recreational and educational experiences outside areas of significant biological resources.
- Use parks and open space to reinforce community structure, design and safety.
- Design and integrate parks and open space areas into the community fabric to maximize their benefits and enhance community cohesiveness.
- Integrate trails and paths into the overall circulation system to provide alternative circulation routes.
- Include a comprehensive brush management plan for open space areas in SPA Plans.

**I.1.3.6 Public Facilities, Circulation & Infrastructure Goals:**

- Provide a balanced community transportation system consistent with the City’s Circulation Element.
- Implement, as needed, community circulation improvements required to serve new development within EastLake.
- Contribute to regional facility improvements in proportion to project traffic impacts consistent with the City’s Threshold Standards.
- Encourage practical non-vehicular circulation.



- Connect neighborhoods and community facilities with pedestrian trail/bicycle route facilities.
- Plan for future public transit facilities and transportation demand measures; such as, park-and-ride facilities, vanpools, shuttle services, and telecommunications (for home office).
- Encourage public facilities and infrastructure that are appropriate to individual circumstances.
- Review specific instances where aesthetic or environmental benefits may warrant an exception to standards for public facilities or infrastructure.
- Determine the need and requirements for public and quasi-public facilities within EastLake II.
- Explore the development of integrated telecommunications systems within the EastLake community, which would enhance communications between home, work, schools, and other community services.
- Continue to enhance the quality of the EastLake community through excellence in public and private education facilities, which serve all residents.
- Evaluate and phase the availability of adequate public facilities to satisfy the City's Threshold Standards.
- Provide opportunities for "community purpose facilities," such as, churches, child care facilities, community meeting areas, and private educational services and recreational facilities.

#### **I.1.3.7 Plan Administration Goals:**

- Promote the coordination and communication between public agencies, community groups, the developer and builders.
- Provide effective development plan administration, implementing an adopted community structure, which promotes efficient and timely economic growth and development.
- Create an administrative process that allows for density transfers and other refinements in SPA Plans, providing they are consistent with the established community structure and do not create significant adverse environmental, public service or infrastructure impacts
- Provide an implementation process that allows for change and refinement within established parameters, to preclude the burden of a formal amendment process for revisions that are consistent with the framework and intent of the plan.
- Create efficient processing procedures for all phases of plan implementation
- Establish, within the implementing document, processing times for each level of plan review, appeal, amendment, or other routine application where these are not otherwise covered by City ordinance.

- Create a process that allows efficient conveyance of large parcels where no added entitlement or construction is involved in the subdivision.
- Balance the subdivision dedication of public facilities and other development exactions with the fiscal impacts to development
- Create an implementation process which links the financing required for subsidy and exaction costs in early stages of development with the timing and amount of development revenues and consistency with the City's Threshold Standards
- Encourage efficiency in the environmental review process

**I.1.3.8 Economic Goals:**

- Promote the economic vitality of both public and private interests.
- Incorporate positive economic results or incentives to both public and private interests at each phase of implementation.
- Promote planning that positively positions Chula Vista and EastLake in the context of State and regional competitive forces.
- Establish minimum economic performance goals.
- Define in the Public Facility Financing Plan any required exaction so that the cost and timing of the exaction can be budgeted.

### **I.1.4 Purpose & Scope**

This General Development Plan (GDP) establishes development parameters for the EastLake II General Development Plan Area, which is illustrated in Exhibits 2 and 4. The GDP addresses the distribution of land uses, circulation pattern, defines the overall community structure and establishes development densities.

The purpose of the plan is as follows:

- Assure a high quality of development, consistent with the objectives of the developer, City of Chula Vista, and community.
- Provide for orderly planning and long range development of the project to ensure community compatibility.
- Preserve open space and natural amenities on the property whenever possible.
- Establish a planning and development framework to allow diverse land uses to exist in harmony within the planned community and surrounding developments

The GDP establishes land use districts for the site and defines in broad terms the type and intensity of development permitted in each district.

The Environmental Impact Report prepared in conjunction with the General Development Plan and subsequent amendments, fulfills the environmental review requirements for any proposed development as long as the development is in conformance with the GDP.

The GDP is implemented through the adopted Sectional Planning Area (SPA) Plan, which is more detailed. Therefore, the GDP is designed to function as a policy bridge between the City's General Plan and the SPA Plan

The EastLake II General Development Plan is established in accordance with Sections 65450 through 65553 of the State of California Government Code (Specific Plans) and Sections 19.07.010 through 19.07.030 of the City of Chula Vista Municipal Code, and applies to the property outlined by the General Development Plan Map, included as Exhibit 4

## **I.1.5 Definitions**

### **I.1.5.1 General**

The definitions of all terms used in this document shall have the same meaning as used in the adopted Chula Vista General Plan and Municipal Code, unless otherwise specifically defined herein

### **I.1.5.2 Additional Definitions**

#### **Land Swap Area**

This is the land area added to the EastLake Community from an exchange of land with the adjacent property owner. It is comprised of two parcels west of the previously adopted EastLake II SPA (Greens Neighborhood) area, more specifically defined as:

#### **Northern Land Swap Parcel**

A triangular parcel formed by Otay Lakes Road to the northwest, SR-125 to the east, and the boundary between the Otay Ranch to the southwest.

#### **Southern Land Swap Parcel**

This parcel is bounded by SR-125 to the west, Olympic Parkway to the south, and to the north and east by the southwestern boundaries of the original EastLake Greens Neighborhood (generally along the SDG&E easement).

#### **Planned Community of EastLake:**

The planned community of EastLake refers to the combined area of EastLake II and EastLake III, as depicted in Exhibit 2 herein.

#### **Village Center North**

The portion of the Village Center located north of Otay Lakes Road, including the planning areas identified as VC-1, VC-2, VC-4, and E-10 in the EastLake Village Center North Supplemental SPA.

### I.1.6 Regional Context

The Eastern Territories identified in the Chula Vista General Plan are primarily comprised of several large planned communities. The planned community of EastLake was the first of these significant developments to be planned and implemented as a comprehensive planned community. It has evolved into two major implementation components, known as EastLake II and EastLake III, which combined represent the total EastLake project. It has always been envisioned as a complete community which included a full range of community components, providing opportunities to live, work, shop, and play within one master planned community.

To compare EastLake II to the other three largest planned communities, the following table provides the percentage allocation of land to uses comprising the live, work, shop, and play concept.

Table A  
Land Use Balance

Planned Community	Live <sup>1</sup>	Work <sup>2</sup>	Shop <sup>3</sup>	Play <sup>4</sup>
EastLake II <sup>5</sup>	48.3%	10.7%	6.5%	11.5%
Rancho del Rey <sup>6</sup>	52%	1.4%	4.6%	3.2%
Otay Ranch <sup>7</sup>	35%	3%	3.9%	2%

1. Live: Includes all residential land uses as a percentage of the total project area.
2. Work: Includes all industrial, office & administrative land uses as a percentage of the total project area.
3. Shop: Includes all commercial land uses as a percentage of the total project area.
4. Play: Includes all park and recreation uses as a percentage of the total project area.
5. EastLake II: Includes all of EastLake II GDP.
6. Rancho del Rey: Includes all areas in the adopted El Rancho del Rey Specific Plan.
7. Otay Ranch: Includes the Urban Villages (Otay Valley Parcel) in the adopted Otay Ranch GDP.

Note: The statistics in the above table are as of the adoption of this GDP and may change from time to time as projects are amended.

### **I.1.7 Site Characteristics**

The EastLake II General Development Plan consists of approximately 2,300 acres at the eastern edge of the City's incorporation boundary. Otay Lakes Road bisects the planned community from east to west dividing the GDP into two major areas. The area to the north, which includes the EastLake Hills, EastLake Shores, and Salt Creek I residential neighborhoods and the Business and Village Centers, is known as EastLake I SPA. The area south of Otay Lake Road includes, from west to east, the EastLake Greens and EastLake Trails Neighborhoods (See Exhibit 3)

All surrounding properties are either developed, under development or planned for development. The GDP area is bounded to the north by the Salt Creek Ranch and Rancho San Miguel planned communities; to the west by Otay Ranch Village Five and a subdivision known as Telegraph Canyon Estates; to the east by the EastLake III General Development Plan area; and to the south by Otay Ranch Village Eleven, south of Olympic Parkway.

The project site is generally comprised of gently rolling topography with the Salt Creek corridor forming the predominate geographic feature. The rounded features of the site reflect the years of plowing and discing associated with its historical dry farming use. Localized views to Salt Creek and adjacent hillsides available from hillside locations. The range in elevation is approximately 150 feet from the creek bed to hilltop

Salt Creek is also the significant natural resource on the site. The southernmost portion has been identified as an environmentally sensitive area because of its biological and wildlife habitat value, and aesthetic value. The original EastLake EIR (EIR 81-03) biological survey of the area identified sensitive resources within Salt Creek and in the southernmost portions of the site. No significant archaeological or cultural resources have been identified in several surveys of the project site. Currently, most adjacent properties have been developed

## **I.1.8 General Development Plan**

### **I.1.8.1 Land Use**

The General Development Plan designates a wide range of residential densities, residential support uses, commercial and employment uses. Residential support uses are found within the Public/Quasi-Public (PQ) category. These uses include schools, utility sites, and other community facilities. A significant amount of employment uses (Professional and Administrative, and Research and Limited Manufacturing) is designated in the north-central portion of the plan area. Commercial areas are designated adjacent to the planned SR-125 interchanges at Otay Lakes Road and Olympic Parkway. See Exhibit 4, the General Development Plan Map.

Additional land use detail and statistics are included in the Sectional Planning Area (SPA) Plan as the Site Utilization Plan. The purpose of this plan is to provide a more specific level of detail of uses included as broad categories in the General Development Plan.

### **I.1.8.2 Planned Community District Regulations**

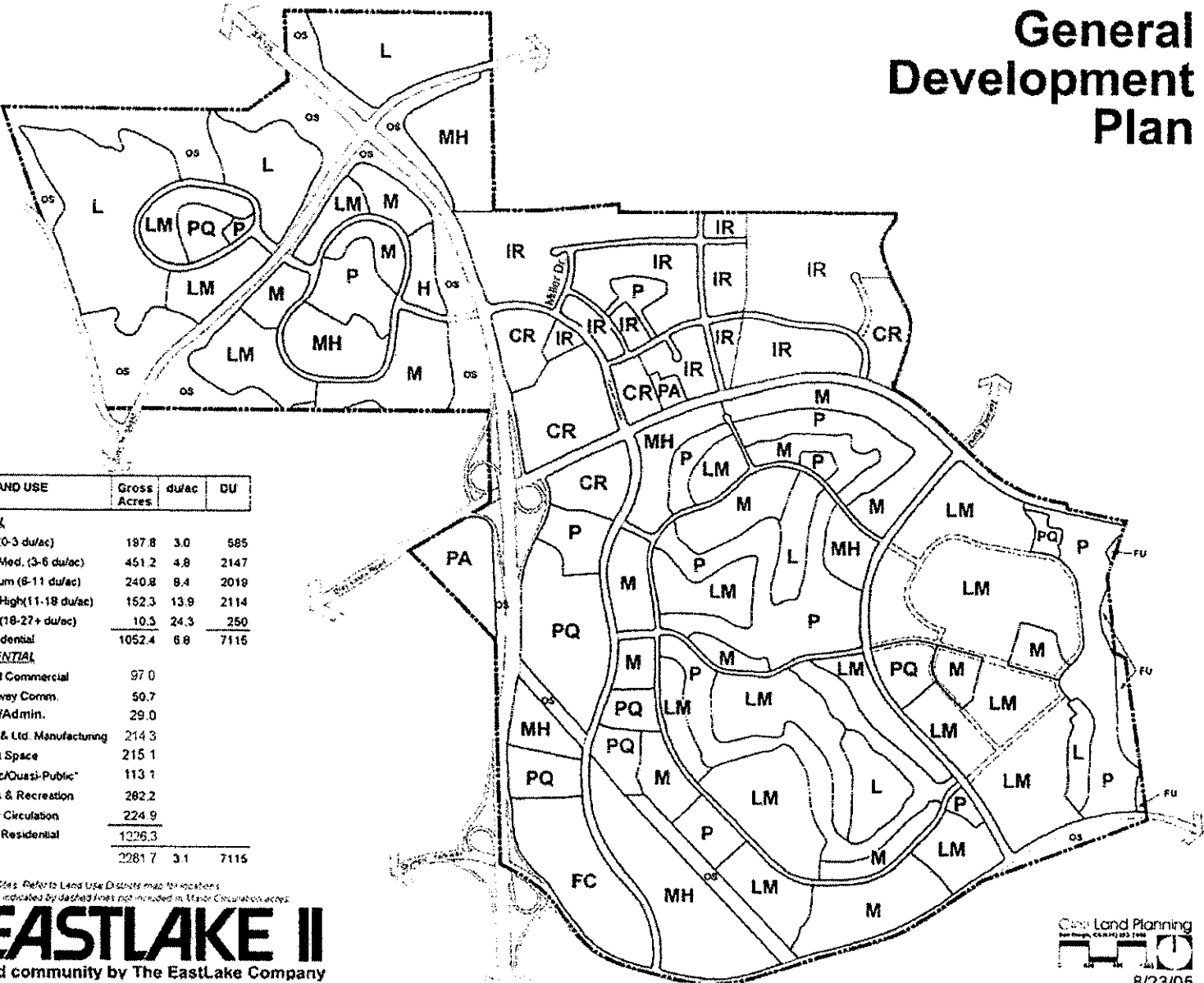
With respect to development standards and use regulations, the Planned Community (PC) District Regulations provide detailed standards that are applicable to each parcel of land. These Planned Community District Regulations, as a component of the General Development Plan for the EastLake II (expanded EastLake I) provide the primary development regulations for all four SPA Plans within the GDP area. Within the Planned Community District Regulations, the Land Use Districts exhibit, provides the geographic distribution of the various land use districts.

### **I.1.8.3 Plan Summary**

The project consists of five residential neighborhoods: EastLake Hills, EastLake Shores, EastLake Greens, EastLake Trails, and Salt Creek I. The project includes sites for necessary public facilities including a high school, two community parks and three elementary school sites to be shared with EastLake III.

Detailed development policies, standards and programs are provided in SPA Plans to assure well-planned, quality development, conservation of important onsite resources and provision of adequate and timely public services and facility improvements to serve the project.

# General Development Plan



LAND USE	Gross Acres	du/ac	DU
<b>RESIDENTIAL</b>			
L	197.8	3.0	585
LM	451.2	4.8	2147
M	240.8	8.4	2019
MH	152.3	13.9	2114
H	10.3	24.3	250
<b>Sub-total Residential</b>	<b>1052.4</b>	<b>6.8</b>	<b>7115</b>
<b>NON-RESIDENTIAL</b>			
IR	97.0		
FC	50.7		
PA	29.0		
IR	214.3		
OS	215.1		
PQ	113.1		
P	282.2		
Major Circulation	224.9		
<b>Sub-total Non-Residential</b>	<b>1226.3</b>		
<b>Project Total</b>	<b>2281.7</b>	<b>3.1</b>	<b>7115</b>

\*Includes CPF Sites. Refers to Land Use Districts only for numbers.  
 Note: Circulation indicated by dashed lines not included in Major Circulation acres.

**EASTLAKE II**  
 A planned community by The EastLake Company

City Land Planning  
 8/23/05  
 Adopted 12/18/07



## **I.1.9 Plan Summary / Statistics**

### **I.1.9.1 Statistical Summary**

The statistics on the following pages, in Table B Land Use and Table C Residential Densities, are based on the overall General Development Plan and detailed by SPA Plan area. In the event that the statistics on these tables vary, due to density transfers or refinements, from any adopted SPA Site Utilization Plan map the SPA Plan shall prevail

### **I.1.9.2 Density Transfer**

In order to promote flexibility in residential densities, the transfer of dwelling units from one residential category to another within any SPA may be approved as a part of the SPA plan approval process. Notwithstanding this provision, the clustering provisions of the General Plan Update shall be utilized to maintain the community character inherent in the density categories established by this General Development Plan.

Transfers of density shall be based on evidence that the proposed transfer would substantially improve the spatial or functional relationships of the involved SPA, or would materially increase the quality of land use, circulation or conservation pattern thereof. Transfers of density into the low density category should not result in a reduction in lot size requirements.

Transfer of units from one parcel to another within the same SPA may be processed administratively if:

1. the proposed unit count for all parcels remains within the range (s) indicated on the Site Utilization Plan;
2. the proposed product types are consistent with those listed for each parcel on the Site Utilization Plan; and,
3. the GDP and SPA total number of dwelling units is not exceeded

Modifications that are not consistent with all these criteria shall require a formal SPA amendment.

Should such a transfer be approved, applicable statistics and the General Development Plan Map shall be revised as an administrative matter without the necessity of a formal plan amendment

Table B  
GDP Land Use Statistics (acres)

Land Use Category	NEIGHBORHOOD AREA						TOTALS
	Hills	Shores	Salt Creek I	Greens	Trails	Business Center <sup>1</sup>	
<i>RESIDENTIAL</i>							
Low (0-3 du/ac)	109.4	0	43.6	34.4	10.4	0	197.8
Low-Medium (3-6 du/ac)	35.3	36.4	0	183.9	195.6	0	451.2
Medium (6-11 du/ac)	0	66.3	0	156.1	18.4	0	240.8
Medium-High (11-18 du/ac)	0	24.3	28.5	99.5	0	0	152.3
High (18-27 du/ac)	0	10.3	0	0	0	0	10.3
<i>Sub-total</i>	144.7	137.3	72.1	473.9	224.4	0	1052.4
<i>NON-RESIDENTIAL</i>							
Retail Commercial	0	0	0	19.6	0	38.1	97.0
Freeway Commercial	0	0	0	50.7	0	0	50.7
Professional & Administrative	0	0	0	29.0	0	0	29.0
Research & Limited Manufacturing	0	0	0	0	0	245.1	214.3
Open Space	93.6	54.8	18.9	37.9	5.3	4.6	215.1
Public/Quasi-public	10.0	0	0	85.3	17.8	0	113.1
Parks & Recreation	2.4	21.4	0	197.8	51.5	9.1	282.2
Major Circulation	*	*	*	105.0	16.0	*	224.9
Future Urban	0	0	0	0	0	0	0
<i>Sub-total</i>	106.0 <sup>2</sup>	76.2 <sup>2</sup>	18.9 <sup>2</sup>	521.0	113.7	310.5 <sup>2</sup>	1226.3
<b>TOTAL</b>	250.7 <sup>2</sup>	213.5 <sup>2</sup>	91.0 <sup>2</sup>	994.9	338.1	310.5 <sup>2</sup>	2281.7

\* Acreage not allocated

<sup>1</sup> Includes Village Center North uses.

<sup>2</sup> Excludes Major Circulation

Table C  
**GDP Residential Density (dwelling units)**

Residential Category	NEIGHBORHOODS AREA					TOTALS
	Hills	Shores	Salt Creek I	Greens	Trails	
Low (0-3 du/ac)	291	0	169	94	31	<b>585</b>
Low-Medium (3-6 du/ac)	163	186	0	872	926	<b>2147</b>
Medium (6-11 du/ac)	0	663	0	1170	186	<b>2019</b>
Medium-High (11-18 du/ac)	0	426	381	1307	0	<b>2114</b>
High (18-27 du/ac)	0	250	0	0	0	<b>250</b>
<i>Total</i>	<b>454</b>	<b>1525</b>	<b>550</b>	<b>3443</b>	<b>1143</b>	<b>7115</b>
Average Density (du/ac)	3.1	11.1	7.6	7.3	5.1	<b>6.8</b>
Population (@2.88/du)	1308	4392	1584	9916	3292	<b>20491</b>

## **I.1.10 Conformance with the General Plan**

### **I.1.10.1 Introduction**

This section describes the conformance of the project with the Chula Vista General Plan; the history of the project to various General Plan updates, and; the relationship of the project to the specific elements of the General Plan. Implementation of this GDP shall be consistent with the requirements of the General Plan. Specific implementation and phasing strategies have been, and will be, provided in the various SPA Plans which comprise EastLake II GDP Planning Area.

### **I.1.10.2 Background & History**

When the planning of EastLake began in 1979 the General Plan for the Eastern Territories had not been developed to its current state, since development of a new community on the scale of EastLake had not been conceived prior to that time. Individual development proposals were incrementally added as amendments to the General Plan. The approval of EastLake I, which included the now existing communities of EastLake Shores, EastLake Hills, and the first phase of the EastLake Business Center, was one of these incremental general plan amendments adopted in 1982.

The submittal of plans for the next phase of EastLake community planning, EastLake Greens and EastLake Trails, occurred prior to the comprehensive General Plan update, but was not adopted until 1989. This planning was reflected in the General Plan and adopted as the EastLake II GDP. The categories were broad interpretations of the specific planning being proposed for these neighborhoods. The EastLake Greens neighborhood submittal included a SPA Plan concurrently with the General Plan and GDP. The EastLake Trails neighborhood only included the concurrent processing of the EastLake II GDP.

The next update of the General Plan in EastLake occurred when the EastLake III GDP area was approved, bringing the Olympic Training Center to Chula Vista in 1990. A GDP was adopted and reflected in a concurrent General Plan amendment.

The most recent major amendment to the General Plan for the EastLake community occurred in 2005 as a city-wide General Plan Update (GPU), which changed the land use designation in a portion of Village Center north from Industrial to Commercial. This GPU amendment included the 2005 amendment to this General Development Plan.

The General Plan was amended in 2007 to reclassify a 16.7-acre area previously developed as the EastLake Design District featuring furniture and home design businesses from Industrial to Commercial to better reflect the current and desired use of the property.

The General Plan amendments and updates for EastLake reflect a consistent process of evolution since its original conception as a new community. All have been amendments adopted concurrently with more detailed development proposals. The current proposed amendment to the General Plan for the EastLake Trails neighborhood is the most recent example of this process. This concurrent planning process has maintained an ongoing consistency between the General Plan and the GDPs and SPAs.

### **I.1.10.3 Conformance with the General Plan Elements**

#### **I.1.10.3.1 Land Use Element**

EastLake II General Development Plan consists of approximately 2,300 acres. The individual neighborhoods of the EastLake II GDP consist of the Salt Creek I, Hills, Shores, Business Center I and II, Greens/Land Swap and the Trails.

The Salt Creek I neighborhood is located north and south of East "H" Street, east of the future SR-125 freeway alignment. The General Plan designates this neighborhood Medium-High Residential (11-18 du/ac). The GDP land use designation and maximum number of dwelling units allowed on this site is about 7.6 du/ac which is below the General Plan permitted density.

The Hills neighborhood located north of "H" Street is designated Low Residential (0-3 du/ac), Low-Medium (3-6 du/ac) and Open Space with an elementary school. The GDP consists of single family residential and open space uses consistent with the land use pattern established by the General Plan. The EastLake Elementary School and park are located as indicated on the General Plan Land Use Plan. The neighborhood overall density is approximately 3.0 du/ac, which is at the lower end of the General Plan designation.

The Shores neighborhood located south of "H" Street is designated a wide range of residential densities including Low-Medium (3-6 du/ac), Medium (6-11 du/ac), Medium-High (11-18 du/ac), and High (18-27 du/ac). The GDP land use is consistent with the various densities arranged around the private lake which is shown on the General Plan as Public/Quasi-Public and Water. There is also a small portion of open space reflecting the canyons to the southwest of the residential neighborhoods. The overall neighborhood density is approximately 11 du /ac, which is at the low end of the General Plan density range for this area.

The Village Center is located north of Otay Lakes Road and is designated Retail Commercial in the GDP. The Village Center is consistent with the General Plan and is intended to be developed as a Commercial-Retail plus a minor area of Research & Limited Manufacturing. The adjacent area on the east side of EastLake Parkway is designated Professional and Administrative and is designated in the GDP for professional and administrative uses.

The first phase of the EastLake Business Center is located in EastLake II General Development Plan and is designated Research and Limited Manufacturing on the General Plan. This area is planned to accommodate a broad range of business and industrial uses in the GDP to provide local employment opportunities to the community.

EastLake Business Center II is located within the EastLake II General Development Plan and is designated Research and Limited Manufacturing and Retail Commercial. This area is planned to accommodate a broad range of industrial and retail uses along with complementary commercial uses.

The Greens neighborhood is designated for a wide range of residential, retail commercial and public uses on the General Plan. The GDP designates the area at the southwest corner of Otay Lakes Road and EastLake Parkway as retail commercial to provide for a community shopping center. The residential uses vary, including, Low-Medium (3-6 du/ac), Medium (6-11 du/ac), and Medium-High (11-18 du/ac). The overall neighborhood density is about 7.2 du/ac, which is well within the average density of the General Plan.

The public uses on the General Plan designate an area for a high school, community park, elementary school, neighborhood park, water utility reservoir, and freeway commercial. The southern portion of the "Land Swap" includes Medium-High Residential and Freeway Commercial. The northern portion of the "Land Swap" includes professional and administrative area on Otay Lakes Road. The GDP is consistent with the pattern of land uses designated on the General Plan. The focal point of the Greens neighborhood is the EastLake Golf Course which is integrated within the residential neighborhood. Residential densities are varied throughout the GDP as permitted by the General Plan with the overall density within the acceptable range.

The Trails neighborhood is designated Low-Medium (3-6 du/ac), with open space, elementary school, neighborhood park, and a small neighborhood commercial center at the corner of Otay Lakes Road and Hunte Parkway. The commercial center is no longer included in the GDP and will be eliminated. The GDP adjusts the location of the elementary school, which is permissible by the General Plan, and designated the Salt Creek Open Space Corridor as a community park which will serve both the EastLake II General Development Plan, but also the EastLake III General Development Plan area. The proposed density of 5.1 du/ac is consistent with the General Plan density range.

#### **I.1.10.3.2 Circulation Element**

The General Plan Circulation Element designates four major road facilities to serve the EastLake II General Development Plan. SR 125 is planned as a major freeway/toll road providing regional access to the area by connecting the Otay Mesa Border Crossing to freeways to the north such as SR-54, and I-8. The GDP provides the future right of way needed for SR-125.

The General Plan also designates three Prime Arterial roadways providing east west access to the area from I-805: "H" Street, Otay Lakes Road and Olympic Parkway. Each of these roads requires a right of way to accommodate 4 lanes of traffic with raised medians. EastLake Parkway and Hunte Parkway are shown as major roads (4 lanes) and several local streets are designated as collector roads. All General Plan roads are shown on the GDP and adequate provisions are included to accommodate traffic generated by the development.

#### **I.1.10.3.3 Parks & Recreation and Conservation/Open Space Elements**

The General Plan designates a community park on EastLake Parkway adjacent to the high school and two neighborhood parks in the Greens and Trails neighborhoods. There are also major open space corridors shown along the north side of the Hills which reflects steep topography and also along Salt Creek in the Trails neighborhood. The Hills open space is treated as natural open space in the GDP, however, the Salt Creek Open Space is planned for a combination of community park, mitigation areas for habitat protection and a private homeowner's swim complex and fishing lake. This combination of public and private park and open space uses is consistent with the General Plan Open Space land use category.

The neighborhood parks are located within the Greens and the Trails neighborhoods and the GDP supplements these park facilities with a number of private park facilities which include swimming pools, basketball courts, tennis courts, picnic facilities, community meeting facilities and tot lots located within the residential neighborhoods. The Trails neighborhood park will be incorporated into the Salt Creek Community Park, which actually provides more park land than shown on the General Plan for EastLake II GDP.

#### **I.1.10.3.4 Public Facilities Element**

The Public Facilities Element provides policy guidance for all development projects. It addresses water, sewer, drainage, hazardous waste disposal, schools and libraries. The EastLake II General Development Plan implementation documents will provide detailed plans for the provision of public facilities in accordance with adopted Master Plans and the City's Quality of Life Threshold Standards.

This GDP must prepare a comprehensive Public Facilities Financing Plan for each neighborhood to identify the public facilities to be provided by the developer to serve the development. Water plans for each neighborhood are approved by the Otay Municipal Water District and required facilities must be financed by the developer. Sewer plans are required to conform to the City's Sewer Master Plan and facilities such as transmission mains and pump stations are made conditions of tentative maps. Drainage facilities are designed on the basis of master drainage plans and financed and made conditions of the development.

Hazardous wastes must be disposed of in accordance with State requirements of the Department of Health Services and the County Hazardous Materials Management Division. The only facility in Chula Vista is located at the Otay Landfill.

Master plans for both the elementary school district and the high school district provide the site locations for schools designated on the General Plan. The GDP includes these school sites on the land use map and the Public Facilities Financing Plans provide the phasing and financing implementation necessary to construct schools in accordance with the school districts enrollments.

#### **I.1.10.3.5 Housing Element**

The Housing Element requires that all major projects shall construct 5% low income housing and 5% moderate income housing consistent with the HUD guidelines based on size and family incomes. The GDP addressed this requirement and lays out the framework for an Affordable Housing Agreement which implements the General Plan policy for each neighborhood. The EastLake II General Development Plan provides for 5% low income housing and 5% moderate income housing in accordance with the General Plan.

#### **I.1.10.3.6 Safety Element**

The City of Chula Vista provides for public safety and seismic protection through a variety of mechanisms addressed in the GDP and implementation programs. Fire stations are located in the GDP based on travel times to respond in case of fire or medical emergencies. Water supplies are engineered to accommodate peak demand periods. Streets are designed with adequate widths and safe routes for emergency vehicles. Building codes ensure the safety of buildings and seismic studies of fault lines to identify appropriate setbacks and other safeguards in the event of an earthquake. New development planned in this GDP is in conformance with all of the life and property protections contained in the General Plan and implementing building codes and fire codes.

#### **I.1.10.3.7 Noise Element**

The Noise Element requires that the City apply noise protection standards which recognize the right of every citizen to live and work in a safe environment without excessive noise. Noise studies are carried out in conjunction with the environmental impact report requirements for GDP's to identify setbacks or noise buffers for sensitive areas within the development. These measures are carried out in the development of the project. There are no identified major noise generators located within the GDP and the development is consistent with the policies of the General Plan.



## **I.1.11 Implementation**

### **I.1.11.1 Growth Management/Phasing**

This GDP will be used by the City and the developer to ensure that development occurs in an orderly fashion and that public facilities are provided concurrent with need while, at the same time, providing flexibility to allow the developer to respond to changing market conditions. The conceptual phasing information has been and will be presented in SPA Plan to be developed primarily for the purposes of determining preliminary circulation and public facility requirements. The objective of these phasing plans is that public facilities will be provided concurrent with need and in accordance with the threshold standards established by the City of Chula Vista.

### **I.1.11.2 Community Facilities & Improvements**

Specific community facility requirements will be identified for each SPA Plan. The following standards have been established for community facilities

- **Circulation:** Development within EastLake II shall comply with the City's Level of Service "C" requirement for the operation of circulation element roads. A transportation phasing plan consistent with the City's Growth Management Element shall be incorporated into the SPA Plans to ensure that level of service standards are met.
- **Water:** A detailed water master plan shall be prepared in conjunction with each SPA Plan. The water master plan shall be subject to review and approval by the Otay Water District.
- **Sewer:** A detailed sewer master plan shall be prepared in conjunction with each SPA Plan. The sewer master plan shall include consideration of reclaimed water and shall be subject to review and approval by the City of Chula Vista.
- **Drainage:** A conceptual drainage plan shall be included in each SPA Plan. The conceptual drainage plan shall, in particular, address drainage areas in Salt Creek. Drainage plans for individual developments shall be prepared to the satisfaction of the City Engineer.
- **Fire and Police:** Each SPA Plan shall define specific facility requirements for fire and police protection to the satisfaction of the Chula Vista Police and Fire Departments.
- **Schools:** School facility requirements shall be defined in EastLake II GDP and each subsequent SPA Plan to the satisfaction of the Chula Vista Elementary School District and the Sweetwater Union High School District. Three elementary school sites and one high school site are provided within the EastLake II GDP area. As of this most current GDP amendment, all sites have been implemented.

### **I.1.11.3 Community Purpose Facilities**

#### **I.1.11.3.1 Purpose & Intent**

Chapter 19.48. P-C - Planned Community Zone, requires that all land in the PC zone provide a minimum of 1.39 acres of land per 1,000 persons for community purpose facilities (CPF), such as: a) Boy Scouts, Girl Scouts, and similar organizations; b) social and human service activities, such as Alcoholics Anonymous; c) services for the homeless; d) services for military personnel during the holidays; e) senior care and recreation; f) Worship, spiritual growth and development, and teaching of traditional family values; g) non-profit or for profit day care facilities that are ancillary to any of the above or as a primary use. For profit facilities as primary use are subject to further requirements and additional criteria as outlined in Section 19.48.025 (f); h) private schools that are ancillary to any of the above; i) interim uses, subject to the findings outlined in 19.48.025(E); and j) recreational facilities, such as ball fields for non-profit organizations serving the local community, subject to the requirements outlined in 19.48.040(B)(6)(d). However, where recreational ball fields are desired as a conditional use in Community Purpose Facilities land use districts, a "CPF Master Plan", showing the specific boundaries of the master plan and existing and proposed distribution of CPF uses within a SPA, GDP or overall Planned Community shall be considered and approved by the Director of Planning and incorporated as part of the Planned Community's General Development Plan(s). In addition, recreational ball fields shall not utilize more than 35% of the overall SPA, GDP or Planned Community CPF acreage required, and no park credit may be granted for community purpose ball fields.

The total acreage required may be reduced by the City council in certain circumstances such as when shared parking facilities are available with other facilities.

#### **I.1.11.3.2 Proposed CPF Master Plan**

The CPF Master Plan boundaries encompass EastLake Greens (including the "Land Swap" Parcels), EastLake Trails, EastLake Business Center II, EastLake Vistas and EastLake Woods (see Exhibit 5). Four sites are distributed throughout the remaining SPAs insuring that each future CPF site will serve a different neighborhood. In addition, the sites are located along major road to enhance accessibility to the facility by community residents.

Based upon the anticipated development statistics for the CPF Master Plan area, the overall combined CPF acreage required and proposed is as follows:

Table D  
**Community Purpose Facility Acres for EastLake**

Note: A concurrent amendment to the EastLake III GDP is in process. It will, if adopted, include an amendment to this table and the text that follows.

	<b>EastLake II* Greens Neigh**</b>	<b>EastLake II* Trails Neigh.</b>	<b>EastLake III (adopted GDP)</b>	<b>Total</b>
Dwelling Units	3443	1143	2061	6647
CPF ac/du	0.004003	0.004003	0.004003	--
CPF Required (ac)	13.8	4.6	8.3	26.6
CPF Provided (ac)	15.8	4.6	10.8	31.1
<i>* EastLake I (North of Otay Lakes Road) is excluded from this table.</i>				
<i>** Includes proposed Land Swap amendment.</i>				

**I.1.11.3.3 Proposed CPF Sites**

The CPF Master Plan provides a total of 31.1 acres in four different sites. Exhibit 5, identifies the proposed CPF sites which are described in more detail below.

**Site 1 (Existing):** Located in EastLake Greens, a portion of this 15.8-acre site (12.2 acres) has been conveyed to a religious institution for use as a place of worship. The remaining portion of the site 3.6 acres is currently available for acquisition and use for community purpose facilities and is further described below.

**Site 1 (Future):** Located in EastLake Greens on the east side of EastLake Parkway, south of the SDG&E power easement. This 3.6-acre site is currently available for acquisition and use for community purpose facilities.

**Site 2:** This CPF site is located within the Trails neighborhood and is proposed to conditionally permit little league ball fields for non-profit organizations serving the local community. The development of the site (4.6 acres) would be subject to the requirements outlined in the EastLake II Planned Community District Regulations and Section 19.48.040(B)(6)(d) of the Chula Vista Municipal Code.

**Site 3:** This site is located in the Vistas neighborhood of EastLake III GDP and consists of 10.8 acres. The future Vistas SPA Plan will refine the exact location and acreage of this site.

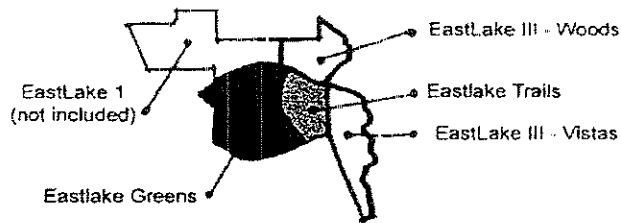
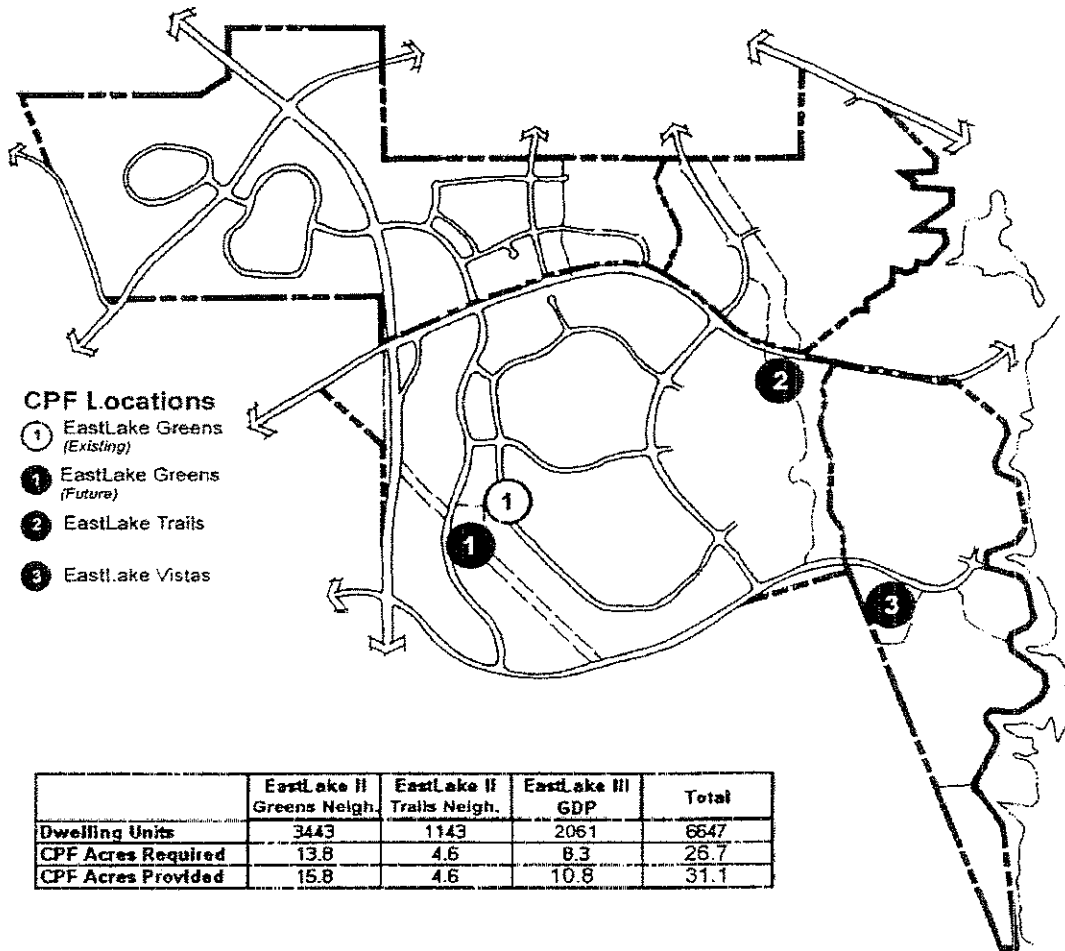
The sites identified on this Master Plan are, or will be, designated in the Planned Community District Regulations as "CPF" to insure their continued availability pursuant to city requirements.

With the exception of CPF sites Nos. 2 and 4, which will include little league ball fields as a conditional use permit, the above mentioned CPF sites could accommodate by conditional use permit the following land uses:

- Boy Scouts, Girl Scouts, and other similar organizations;

- Senior care and recreation;
- Worship, spiritual growth and development, and teaching of traditional family values;
- For profit and non-profit day care facilities that are ancillary to any of the above;
- Private schools that are ancillary to any of the above;
- Interim uses, subject to the findings outlined in Section 19 48.025(E) of the Chula Vista Municipal Code;
- Recreational ball fields not to exceed 35% of the overall CPF acreage requirement for the CPF Master Plan

# Master Plan of Community Purpose Facilities



**EASTLAKE III**  
A planned community by The EastLake Company

Cinti Land Planning  
4-4-01

Exhibit 4

#### **I.1.11.4 Development Agreement**

A development agreement currently exists for development in EastLake II. The purpose of the agreement was to ensure that the developer will participate in the construction and financing of public facilities and to ensure that the land use entitlements provided for in this GDP are achieved. This agreement was entered into by all parties prior to the issuance of any permits for development within the plan area and shall bind future landowners/developers who acquire interests in the property. Amendments of mutual benefit may be made from time to time to insure its vitality.

#### **I.1.11.5 Subsequent Review**

The EastLake II GDP will be implemented, pursuant to the Chula Vista Municipal Code, through the subsequent adoption of a series of plans and programs, which are summarized below:

- **SPA Plans**

EastLake II will be comprised of several SPA Plans. The areas north of Otay Lakes road have been implemented as the EastLake I and Salt Creek I SPA Plans. The area south of Otay Lakes Road and west of Hunte Parkway is being implemented as the EastLake II SPA (Trails and Greens Neighborhoods) Plan. The area south of Otay Lakes Road and east of Hunte Parkway will be implemented as the EastLake II SPA (Trails and Greens Neighborhoods) (Refer to Exhibit 3 for location of these SPA Plan areas.)

- **Other Related Planning/Review Programs**

All areas for future development in the EastLake II GDP will be subject to the adopted provisions of the following supplemental planning documents:

1. Planned Community District Regulations;
2. Design Guidelines;
3. Public Facility Financing Plans;
4. Affordable Housing Programs;
5. Air Quality Improvement Plans;
6. Water Conservation Plans;
7. Development Agreements;
8. Salt Creek Park Master Plan;
9. Precise Plans for non-residential development;
10. Conditional Use Permits where required;
11. Site Plan and Architectural Review; and,
12. Tentative Tract Maps

### **I.1.12 Administrative & Legislative Procedures**

The administration and legislative procedures applicable to the EastLake II GDP are those specified in Chapter 19.48, P-C- Planned Community Zone, in the Chula Vista Municipal Code, with Sections 19.48.070 and 19.48.080 having specific applicability.

# **Supplemental Sectional Planning Area (SPA) Plan for EastLake Business Center II**

**Adopted November 16, 1999  
by Resolution No. 19666**

**Amended April 5, 2005  
by Resolution 2005-102**

Prepared by:

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**Amended December 18, 2007  
By Resolution No. 2007-299**

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## **II.2.1 INTRODUCTION**

### **II.2.1.1 Background, Scope and Purpose of the Plan**

EastLake Business Center II is an expansion of the original EastLake Business Center established in the EastLake I SPA approval in 1985 and will complete the anticipated employment/industrial and supporting complimentary commercial uses to be developed within the Planned Community of EastLake. It continues the eastward development pattern established with the prior neighborhoods (Refer to Exhibit 2 )

As an increment to the overall EastLake community, EastLake Business Center II Supplemental SPA is, to a large extent, an extension of the existing development both in design and planning policy/regulations. Because it is a relatively minor addition, it is being planned as "supplement" to the existing EastLake I SPA. This SPA plan relies upon established policies, programs and regulations to a greater extent than other EastLake SPAs. It also provides more implementation flexibility to avoid the necessity of formal plan amendments for minor plan adjustments.

This Supplementary Sectional Planning Area (SPA) Plan defines the development parameters for the EastLake Business Center II development increment, including the land use designation, design criteria, basic circulation pattern, and infrastructure requirements. Additionally, the character and form of the business center will be implemented through a series of guidelines and development standards prescribed in the EastLake II Planned Community District Regulations, EastLake Business Center II Design Guidelines and other associated regulatory documents.

The purpose of the Supplemental SPA Plan, as with all EastLake SPAs, is to:

- A. Assure a high quality of development, consistent with City and Community goals and objectives
- B. Create an economically viable plan that can be realistically implemented within current and projected economic conditions
- C. Provide for orderly planning and long-range development of the project to ensure community compatibility
- D. Facilitate adequate provision for community facilities, such as transportation, water, flood control, and sewage disposal; and, provide adequate assurance to the Developer that approved development will be allowed in a timely and economically viable manner.
- E. Preserve open space and natural amenities on the property where appropriate and possible.
- F. Establish a planning and development framework which will allow diverse land uses to exist in harmony within the community.

The SPA plan, once approved, is the implementation tool of the General Development Plan. It establishes design criteria for the site and defines precisely the type and amount of development permitted. It establishes the City's standards for that development including open space provisions and major improvements to be constructed by the developer.

The Planned Community District Regulations adopted as part of this SPA serve as an important tool through which the City will review and evaluate schematic, preliminary and final drawings of each individual project to be built in the Planned Community.

This Supplemental SPA Plan as a requirement and site-specific implementing document for the City of Chula Vista PC Zone, supersedes the "standard" requirements of the City Zoning Ordinance. In the case of a conflict between the provisions of the SPA plan and other regulations or policies, the SPA Plan provisions shall apply. If a topic is not addressed by this SPA Plan, then appropriate City regulations shall apply.

#### Document Organization

The EastLake Business Center II Supplemental SPA plan contains six documents or components approach: 1) SPA Plan; 2) Planned Community District Regulations; 3) Design Guidelines; 4) Public Facilities Financing Plan; 5) Air Quality Improvement Plan; and 6) Water Conservation Plan. A development agreement section has also been incorporated as a companion to this document. The purpose of these documents is as follows:

##### Supplemental SPA Plan

The purpose of the SPA plan is to define, in more detail than the City's General Plan and EastLake II General Development Plan (GDP), the development parameters for the Business Center II project area, including the land use, urban design criteria, circulation pattern, open space concept and infrastructure requirements to support the project and overall community.

##### Planned Community District Regulations

The Planned Community District Regulations, which are adopted by Ordinance pursuant to title 19 of the Chula Vista Municipal Code, and are intended to implement the Chula Vista General Plan, EastLake II General Development Plan and EastLake Business Center II Supplemental SPA Plan, establish land use districts and standards to classify, regulate, restrict and separate the use of land, building and structures, and regulate and limit the type, height and bulk of buildings and structures in the various land use districts. These standards are established to protect the public health, safety and general welfare of the citizens of Chula Vista; to safeguard and enhance the appearance and quality of development of EastLake I and II, and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources.

##### Design Guidelines

This document is a manual to guide the building and landscape design within the Business Center II SPA to ensure that the quality of the adopted urban design and architectural concept established for the overall EastLake Planned Community are maintained.

##### Public Facilities Financing Plan

The Public Facilities Financing Plan (PFFP) is a requirement and implements the City of Chula Vista Growth Management Program and Ordinance. The intent of this document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program and the EastLake

II General Development Plan document, and to ensure that the development of the project will not adversely impact the City's Quality of Life Standards

Air Quality Improvement Plan

The purpose of the Air Quality Improvement Plan for the EastLake Business Center II SPA is to respond to the Growth Management policies of the City of Chula Vista and those policies and regulations established at the broadest geographic level (State and Federal) in order to minimize air quality impacts during and after construction of projects within the SPA, and to comply with the air quality standards and policies of the San Diego County APCD.

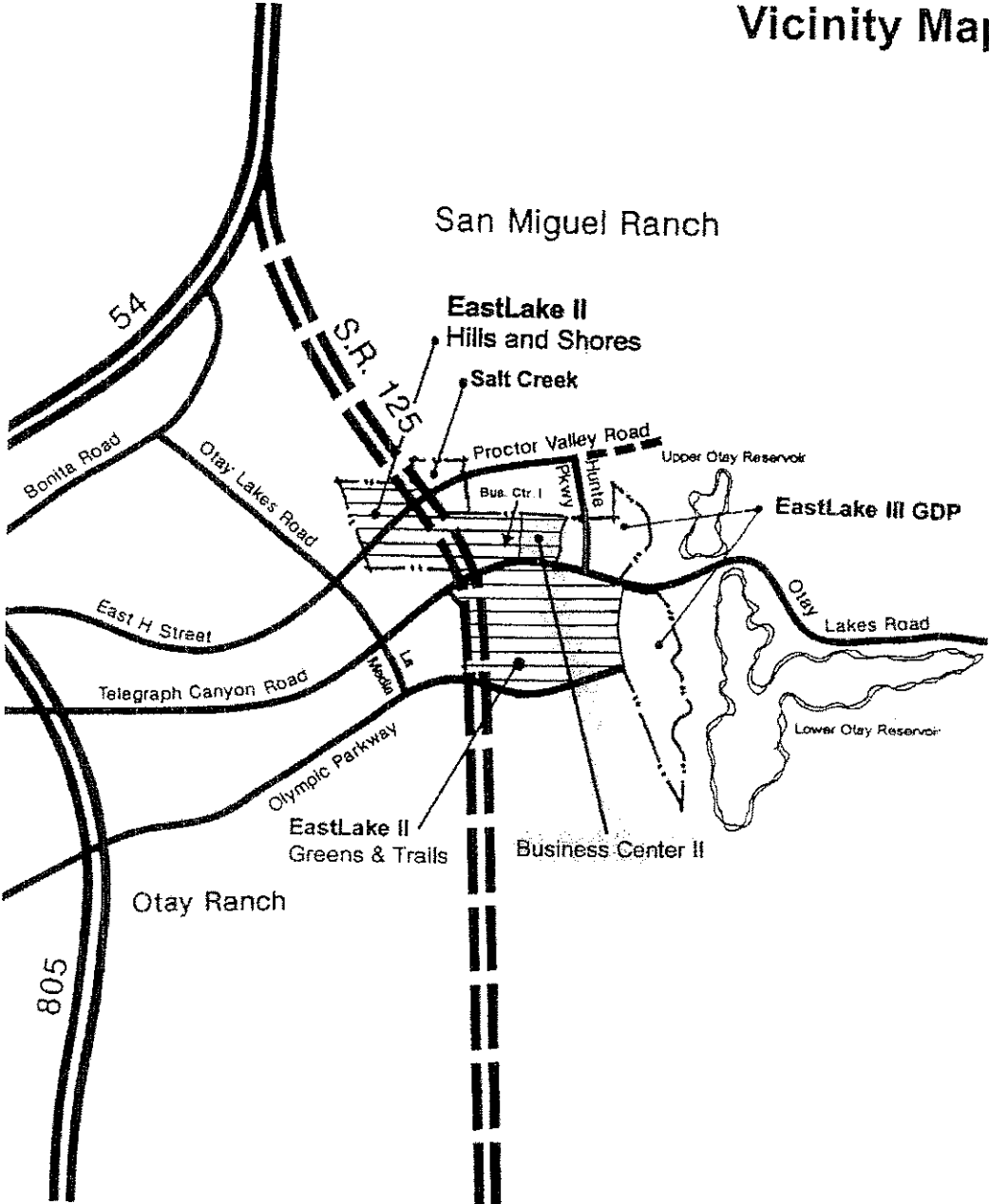
Water Conservation Plan

The purpose of this document is also to respond to the Growth Management policies of the City of Chula Vista, which are intended to address the long term need to conserve water in new developments; short term emergency measures; and establish standards for water conservation.

**II.2.1.2 Record of Amendments**

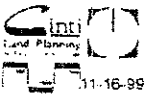
Refer to Section I 1.2 (EastLake II GDP) for record of amendments

# Vicinity Map



**EASTLAKE**  
A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO.

Exhibit 1



# General Development Plan Boundaries

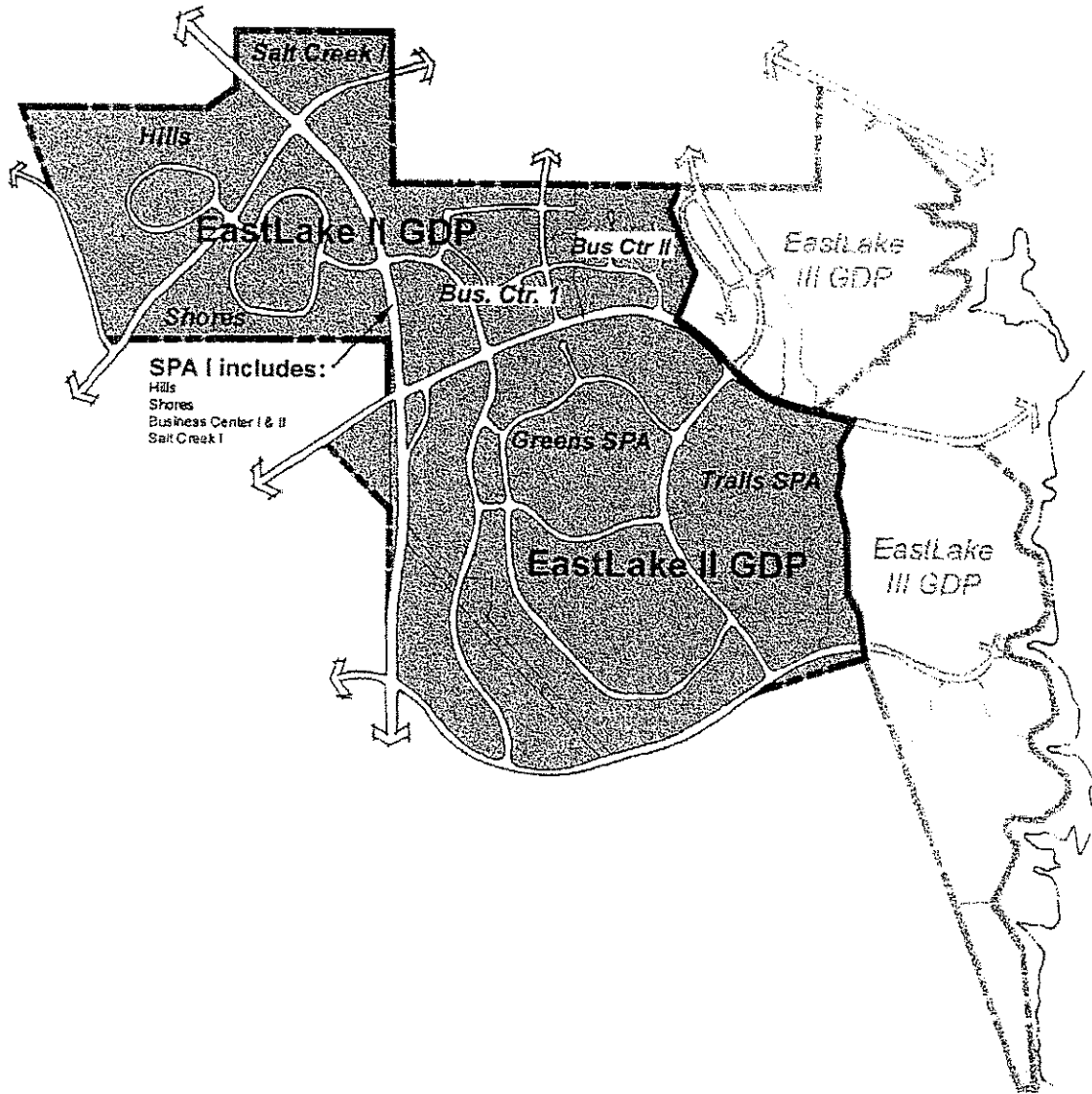


Exhibit 2

### II.2.1.3 Location and Regional Setting

The EastLake Business Center II Supplemental SPA is located in the eastern portion of the Chula Vista City limits. The site is located immediately east of the existing Business Center I components of the EastLake I SPA, on the north side of Otay Lakes Road approximately 8 miles east of the Chula Vista Civic Center. Exhibit 1 illustrates the location of EastLake Business Center II in relationship within the overall EastLake community.

The location of the EastLake Business Center II SPA within the overall EastLake Planned Community is depicted in Exhibit 2. The entire community has been zoned "Planned Community" (PC) and designated for a range of urban uses defined in two General Development Plans (GDPs) identified as the EastLake II GDP (includes the Eastlake I SPA) and the EastLake III GDP.

The EastLake Business Center II Supplemental SPA planning area is defined by a major circulation route, Otay Lakes Road on the south, the planned community of Rolling Hills Ranch boundary on the north, existing EastLake Business Center I on the west and the EastLake Woods neighborhood to the east.

### II.2.1.4 Community Structure

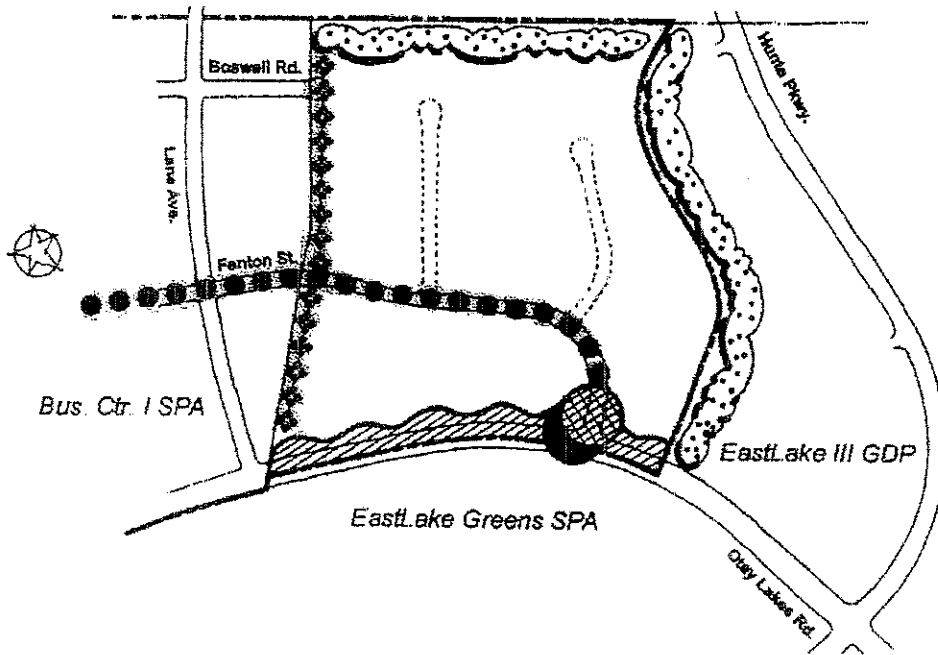
The primary community structure/design issues for the expansion area are appropriate edge conditions: scenic edge at Otay Lakes Road; buffer edges at the east and north; and, a blending edge on the west adjoining the existing Business Center. The new entry from Otay Lakes Road will also help define/reinforce the identity and location of the Business Center as a whole in the EastLake Community. Exhibit 3, Community Structure, indicated the following described elements:





Business Center Entry	This identifies the primary entry to Business Center II. Fenton Street will contain a median at this location and additional landscaping and signing will be used to further enhance this intersection's importance
Thematic Corridor	The theme trees along this corridor will continue through Business Center II, except their location will be exterior of the contiguous sidewalk in an additional landscape zone
Buffer and Blending Edges	There are buffer edges along the northern and eastern boundaries. The buffer along the eastern edge will be primarily dense landscaping at the top of slope within the future SPA to the east. Along the northern edge special setbacks and landscaping is proposed. Refer to the PC District Regulations and Design Guidelines.
Blending Edge	The blending edge identifies the concept to blend the existing landscape along the common borders between Business Center I & II



# Community Structure

## Business Center II Supplemental SPA



-  Business Center Entry
-  Thematic Corridor
-  Scenic Highway Edge
-  Buffer Edge
-  Blending Edge
-  Existing Scobey Park

**EASTLAKE I**  
 A planned community by The EastLake Company  
 Exhibit 3



### II.2.1.5 Legal Significance/EIR

Adoption of the EastLake Business Center II Supplemental SPA Plan and the supporting documents will establish the official development policy of the City of Chula Vista for EastLake Business Center II. All future discretionary permits will need to be consistent with the SPA Plan to be approved.

The project is also subject to the requirements of the California Environmental Quality Act (CEQA). The provisions of CEQA will be implemented by the City as a part of the approval process for this SPA plan package. All mitigation measures identified and incorporated into the project as a part of the CEQA process shall be implemented through this SPA plan or other appropriate component of the SPA plan package. Implementation of mitigation requirements will be reviewed as defined in the mitigation monitoring program prepared for the project.

### II.2.1.6 SPA Plan Consistency with Approved GDP/PC Zone District

The Business Center II Supplemental SPA Plan is designed to implement the Adopted EastLake II General Development Plan (as amended). Comparison of the proposed General Development Plan (Exhibit 4) and the Site Utilization Plan (Exhibit 5) shows the relationship of land use and acreages between the policy plan and the more refined and detailed SPA Plan. The proposed development statistics are listed in Table A (below).

**Table A**  
**GDP (SPA area only) and SPA Plan Statistics**

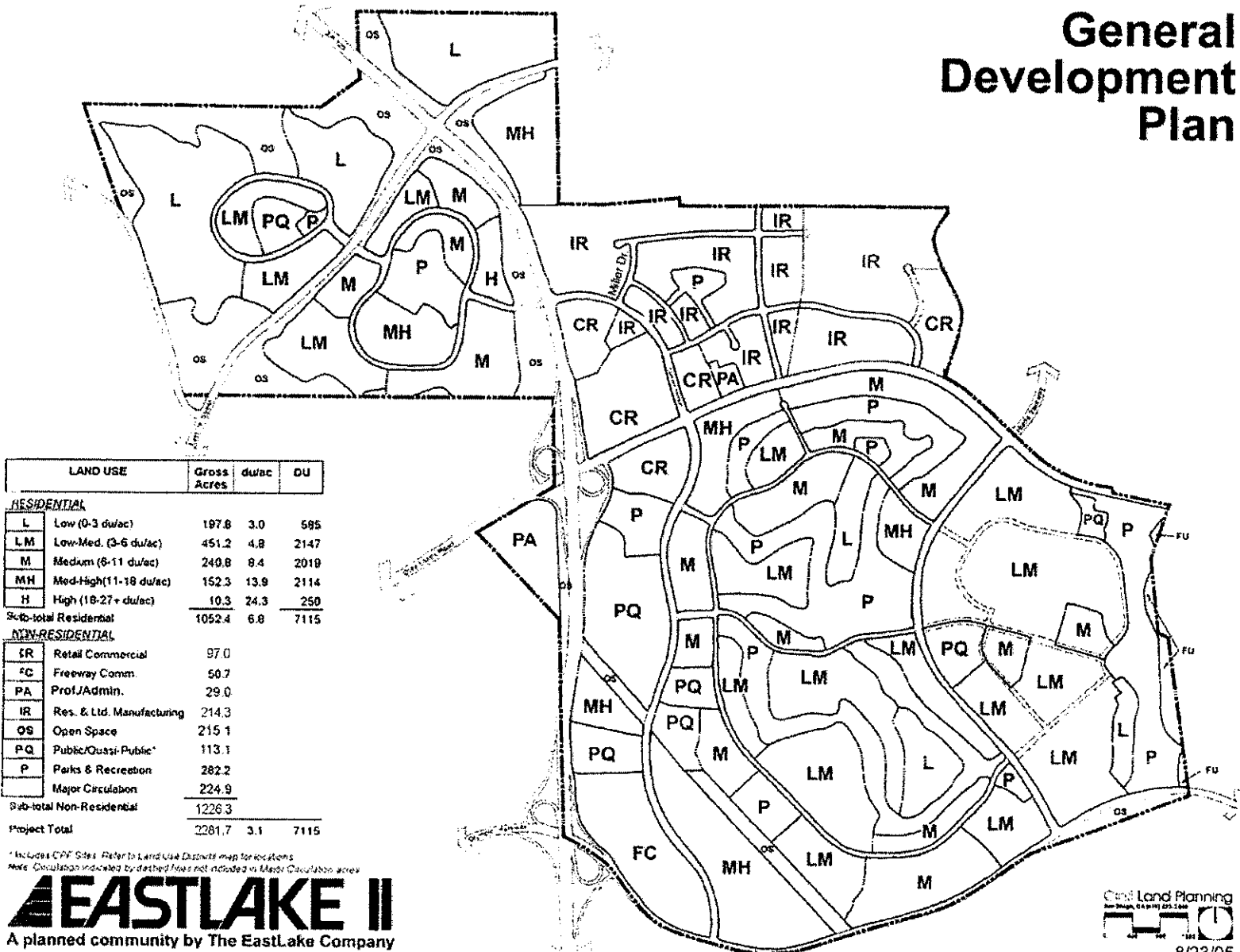
LAND USE	GDP Statistics (AC)	SPA Plan (AC)
Residential	NA	NA
Research & Limited Manufacturing	84	84
Retail Commercial	16.7	16.7
Circulation	4.1	7.4*
TOTALS	104.8	108.1

\*Includes ½ of Otay Lakes Road in its statistics.

#### II.2.1.6.1 Land Use Element

The land use designations shown on the EastLake II General Development Plan for the Business Center II Supplemental SPA Plan area (108.1 acres) consists of Research & Limited Manufacturing, Retail Commercial and Circulation. Additional internal circulation is also depicted. The Supplemental SPA Plan reflects the same land use pattern with respect to land use type.

# General Development Plan



LAND USE	Gross Acres	du/ac	DU
<b>RESIDENTIAL</b>			
L Low (0-3 du/ac)	197.8	3.0	595
LM Low-Med. (3-6 du/ac)	451.2	4.8	2147
M Medium (6-11 du/ac)	240.8	8.4	2019
MH Med-High(11-18 du/ac)	152.3	13.9	2114
H High (18-27+ du/ac)	10.3	24.3	250
<b>Sub-total Residential</b>	<b>1052.4</b>	<b>6.8</b>	<b>7115</b>
<b>NON-RESIDENTIAL</b>			
IR Retail Commercial	97.0		
FC Freeway Comm.	50.7		
PA Prof./Admin.	29.0		
IR Res. & Ltd. Manufacturing	214.3		
OS Open Space	215.1		
PQ Public/Quasi-Public*	113.1		
P Parks & Recreation	282.2		
Major Circulation	224.9		
<b>Sub-total Non-Residential</b>	<b>1226.3</b>		
<b>Project Total</b>	<b>2281.7</b>	<b>3.1</b>	<b>7115</b>

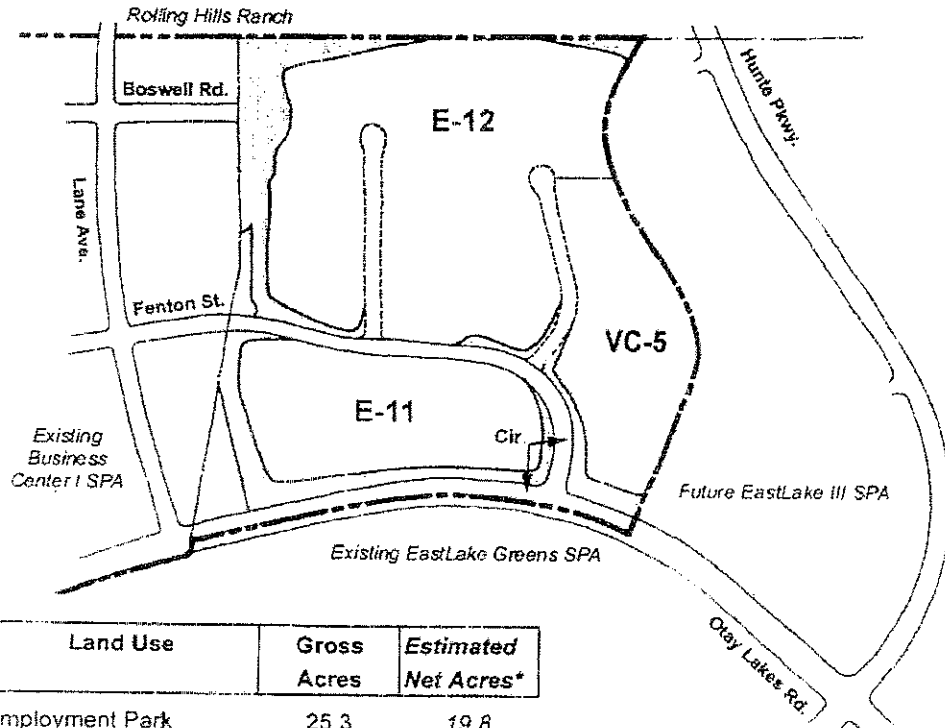
\*Includes CPF Sites. Refer to Land Use District map for locations.  
 Note: Circulation indicated by dashed lines not included in Major Circulation acres.

**EASTLAKE II**  
 A planned community by The EastLake Company

City Land Planning  
 8/23/05  
 Adopted 12/18/07



# Site Utilization Plan

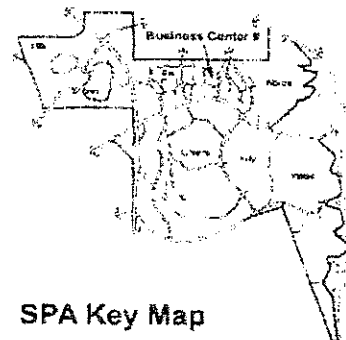
## Business Center II Supplemental SPA



Parcel No.	Land Use	Gross Acres	Estimated Net Acres*
E-11	Employment Park	25.3	19.8
E-12	Employment Park	58.7	41.5
VC-5	Village Center	16.7	16.7
<b>Sub-total</b>		<b>100.7</b>	<b>78.0</b>
Cir	Olay Lakes Road	3.3	
	Fenton Street	4.1	
<b>Total</b>		<b>108.1</b>	

\* Estimated Net Acres = Gross Acres less an estimated area for Streets & Slopes.  
Final Gross and Net Acres will be determined at the tract map/grading permit level.

-  Conceptual Internal Circulation not in Circulation statistics
-  Open Space (Slopes) included in Employment Park statistics



**EASTLAKE**  
A planned community by The EastLake Company

Land Planning  
San Diego, CA 92121-7000  
10-8-99  
Adopted 12/18/07

Exhibit 5

### **II.2.1.7 Related Documents**

The EastLake Business Center II Supplemental SPA contains six documents or components approach: 1) SPA Plan; 2) Planned Community District Regulations; 3) Design Guidelines; 4) Public Facilities Financing Plan; 5) Air Quality Improvement Plan; and 6) Water Conservation Plan. A development agreement section has also been incorporated as a companion to this document.

Prior to the preparation of this plan, the Chula Vista General Plan and EastLake II General Development Plan established the broad policy level standards and requirements for planning the EastLake Business Center II. The GDP also quantified the development intended within the SPA and established the CP Zoning implementation process.

All of the other documents which are components of the SPA plan package (design guidelines, public facility financing plan, etc.) are prepared concurrently and based on this SPA plan. Project CEQA documents are also prepared concurrently to document potential environmental impacts and identify mitigation measures to reduce or eliminate such impacts.

Subsequent to the approval of all the SPA level documents, subdivision maps and improvement plans will be prepared. These will provide the necessary details to actually construct the project described by the SPA level documents. These plans, the construction process and ultimate uses/activities within the SPA are required to be consistent with the applicable provisions of this Supplemental SPA Plan and related documents.

## **II.2.2 DEVELOPMENT CONCEPT**

### **II.2.2.1 Design Influences**

The primary influences in developing the EastLake Business Center II Supplemental SPA Plan were the Chula Vista General Plan and EastLake II General Development Plan, the EastLake I SPA Plan and adjacent existing and planned development to the north, west and south, and the natural landform characteristics of the site. The primary design influences for the project are depicted in Exhibit 3.

#### Site Characteristics and Visual Context

The project site is generally comprised of gently rolling topography toward the Salt Creek Greenbelt corridor off-site to the east. The rounded features of the site reflect the years of plowing and discing associated with its historical dry farming use. Localized views to Salt Creek and adjacent hillsides are available from hillside locations. The range in elevation is approximately 50 feet from the hilltops to SPA boundary. There are manufactured slopes along the western boundary.

Northerly and easterly and existing and future residential developments. The residential proposed to the east will be significantly below Business Center II. To the north the Business Center is slightly above the residential development and, except for a few residential lots along the northeastern boundary, is separated by open space lots.

#### Surrounding Land Uses

Existing development adjacent to the EastLake Business Center II SPA includes Otay Lakes Road on the south. This arterial roadway is not only the major circulation route serving the site, but it also contains major sewer, water and storm drain systems to which the project must connect. Residential properties to the north are currently developed or under development, as noted earlier in the planned community of Rolling Hills Ranch. The residential to the east has been planned for Low-Medium Density Residential in the adopted EastLake III General Development Plan as part of the Woods neighborhood. To the south across Otay Lakes Road is the existing development known as EastLake Greens. The Chula Vista General Plan and adopted General Development Plans have designated the Business Center II area as a planned business center prior to the implementation of any adjacent residential development.

### **II.2.2.2 Land Use Pattern**

The EastLake Business Center II Supplemental SPA is designed entirely as an employment/light industrial park with supporting and complimentary commercial (see Site Utilization Plan Exhibit 5) which extends the permitted uses eastward from the existing Business Center.

### **II.2.2.3 Administrative Adjustments/Density Transfer**

The SPA Plan provides guidance for future development at the subdivision and improvement plan level, and is the basic reference for determining permitted land uses and required public facilities. These are illustrated in the Site Utilization Plan, Exhibit 5, which is the key map for this SPA Plan.

Even though the SPA Plan contains specific guidance for development, it is not intended to be used in a manner which predetermines the development solution for each and every parcel. It is intended to be used as a basic guide which reflects the City's intent for determining the intensity, design and desired character of use for the property. The development parcel and interior circulation arrangement indicated on the Site Utilization Plan is conceptual. Minor modifications to these configurations may occur as a part of the tentative tract map approval process. Modifications to the SPA Plan exhibits and text, to reflect adjustments based on an approved tentative tract map, shall be accomplished without a formal SPA amendment.

## **II.2.3 CIRCULATION**

### **II.2.3.1 Introduction**

The EastLake Business Center II Circulation Plan is almost completely an extension of the existing circulation routes within the EastLake I and includes both vehicular and non-vehicular circulation routes. The plan provides for the basic internal circulation systems to serve the proposed development areas. The circulation plan is also consistent with the community-wide network established by the EastLake II General Development Plan and in accordance with the City of Chula Vista General Plan.

The SPA Plan Public Facilities Financing Plan (see Chapter II, Section II 5 Public Facilities Financing Plan) details a transportation phasing plan with specific improvements and timing of circulation improvements to maintain the levels of service established in the City's Threshold Standards in the City's Growth Management Element of the General Plan.

Specific project access points, and internal circulation, including bicycle, pedestrian, hiking and road crossings will be determined by the City Engineer during the tentative tract map process. Variations to the concepts herein may occur where safety or efficiency can be enhanced.

### **II.2.3.2 Project Access**

Primary access to the project will be provided from Otay Lakes Road. Secondary access is provided through the extension of Fenton Street from the existing Business Center which also connects to Otay Lakes Road via Lane Avenue and EastLake Parkway. Regional access is provided from the west by I-805 via Telegraph Canyon Road/Otay Lakes Road. The future construction of SR-125 immediately west of the EastLake Greens SPA will provide additional north-south regional access.

Currently, Otay Lakes Road exists at the southern project edge, having been constructed in conjunction with previous EastLake Greens SPA development. Otay Lakes Road extends to the east, past the project site and beyond Otay Lakes, as a two lane road.

### **II.2.3.3 Project Circulation Network**

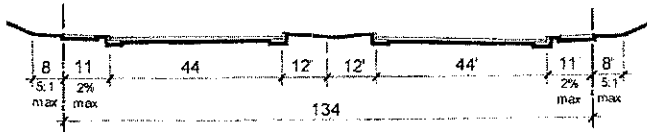
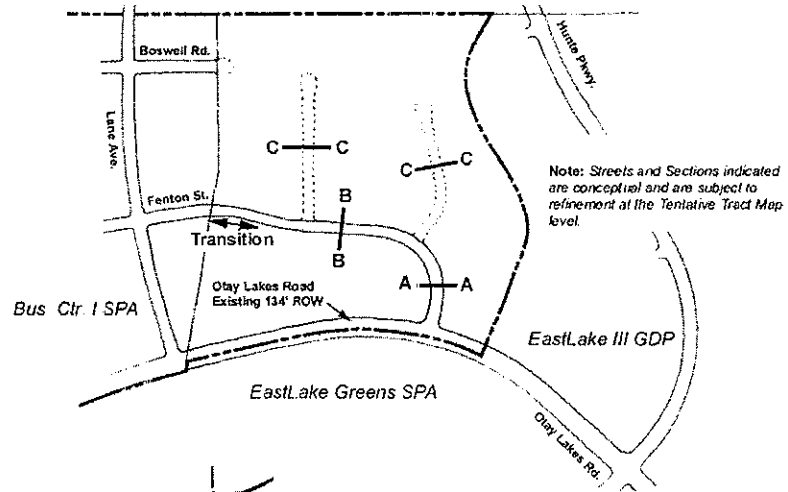
The internal circulation network is conceptually shown on the Circulation/Street Sections Plan (Exhibit 6). The internal circulation concept is to provide an efficient traffic conduit through the site while providing adequate access for all potential development sites. The public street system shown may be supplemented internal circulation systems, particularly on larger development sites.

The need for intersection signalization and/or limits on turning movements shall be made by the City Engineer based on anticipated volumes and safety needs.

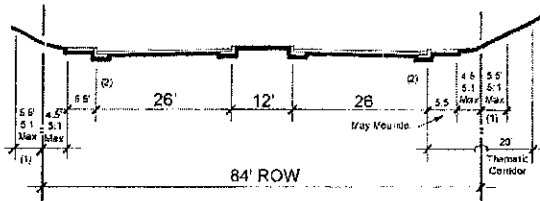


# Circulation Plan

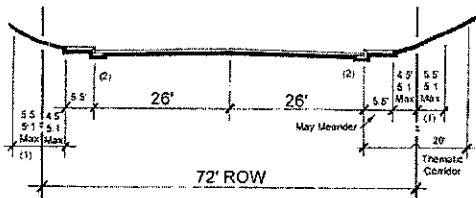
## Business Center II Supplemental SPA



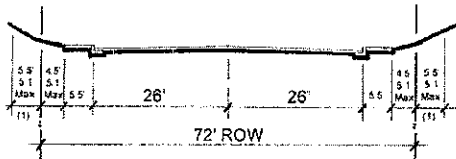
134' Otay Lakes Road (existing)



A - 84' Industrial Street with Median



B - 72' Indust. Street with Thematic Corridor



C - 72' Industrial Street

Notes:  
 (1) = Street Tree Easement  
 (2) = 6' Bike lane



#### **II.2.3.4 Street Standards**

Street standards for the arterial roads at the periphery of the SPA have been established in the Circulation Element of the Chula Vista General Plan and previous project development approvals. Internal streets will be constructed to meet City engineering standards. The Circulation/Street Section plan (Exhibit 6) indicates the proposed street sections. The final improvement designs, including any deviations from design standards, will be determined as a part of the subdivision approval process.

#### **II.2.3.5 Phasing of Road Improvements**

The phasing of community development concurrent with provision of adequate road capacity and access improvements is fully described in the Public Facilities and Financing Plan (Chapter II, Section II.5 of the SPA Plan package). These improvements have been phased and designed to maintain an adequate level of service in the circulation system serving the EastLake Business Center II project area and surrounding community throughout the development process. The provision of adequate internal circulation improvements is expected to be controlled via subdivision map conditions.

#### **II.2.3.6 Transit Planning Principles**

Transit stops will be strategically located near vehicular and pedestrian main access points through evaluations with the City's transit coordinator. Sites will be planned based on the following principles, which may be used in determining appropriate final locations:

1. Where there are numerous major pedestrian generators, access to stops for transit vehicles moving in both directions is facilitated by locating transit stops near intersections with striped crosswalks.
2. Transit stops should be located and walkways designed to provide access as directly as possible without impacting residential privacy.
3. At intersection points of two or more transit routes, stops should be located to minimize walking distance between transfer stops.
4. Transit vehicle conflicts with automobile traffic can be reduced by locating bus turnouts at the far side of intersections in order to permit right-turning vehicles to continue movement.
5. Transit stops should be provided with adequate walkway lighting and well-designed shelters.
6. Walkway ramps should be provided at transit stops to ensure accessibility to the handicapped and must be designed to be A.D.A. compliant.

#### **II.2.3.7 Trails, Edges and Buffers**

##### Thematic Corridor Link

The EastLake Community Trail (Thematic Corridor) which extends from EastLake Hills through the developed portion of the EastLake Planned Community to its current terminus at the end of Fenton Street, will also be extended with the street extension. This is a special landscaped trail

for pedestrians connects the major community destinations within EastLake. The Thematic Corridor also includes an on-street bicycle lane. Refer to Exhibits 6 and 7.

#### Scenic Highway Edge

Existing Otay Lakes Road is designated as a scenic highway. The treatment of this scenic highway shall reflect the landscape treatment that currently exists along its southern boundary within the Greens SPA. This highway includes a meandering walk and an on-street bicycle trail. Refer to Exhibit 7.

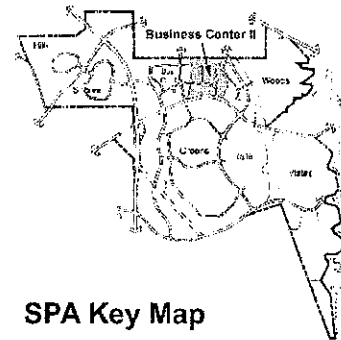
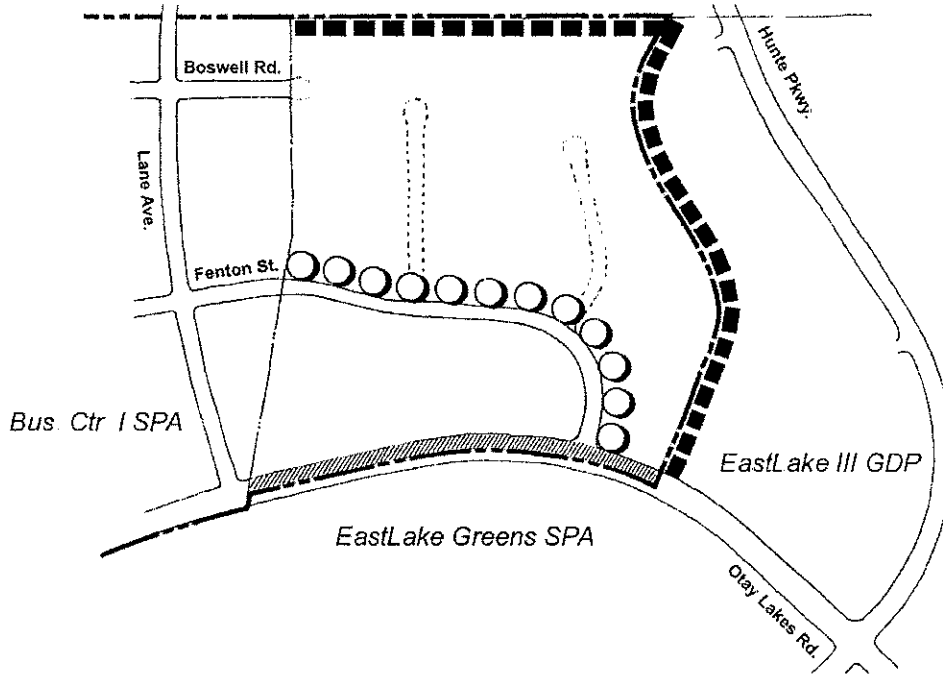
#### Residential Edge

The northern residential edge abutting the Rolling Hills Ranch SPA will have increased building setbacks and require dense landscaping along the upper portion of slope banks and within a ten foot landscape setback within the abutting lots. There shall be a requirement, prior to the issuance of the first building permit for any lot abutting Rolling Hills Ranch, that a Master Landscape Plan be approved by the Director of Planning for the slopes abutting Business Center II and Rolling Hills Ranch. This plan shall be offered to the Rolling Hills Ranch developers for comment and may include provisions for off-site tree planting to reduce the visual impact of Business Center II buildings as viewed from the adjacent homes. Refer to the Design Guidelines for location and criteria for this Master Landscape Plan. Refer to Exhibit 7.

The eastern residential edge is significantly higher than expected residential development in EastLake III GDP, but will also require dense landscaping along the upper portion of the Business Center lots and downslope. Refer to the Design Guidelines for additional detail. Refer to Exhibit 7.

# Trails, Edges & Buffers

## Business Center II Supplemental SPA



## **II.2.4 GRADING**

### **II.2.4.1 Introduction**

The Land Use Element of the Chula Vista General Plan states that the mesas, hilltops and gently rolling topography offer the best sites for development. Steeply sloped hillsides and valleys can serve as open space/greenbelt resources, linking the developed areas which they intersect. For the EastLake Business Center II Supplemental SPA, no on-site areas have been identified as such a greenbelt resource. Development sites within the SPA should be graded to blend with and create an aesthetically pleasing development site consistent with current or proposed grading of adjacent areas and the Otay Lakes Road scenic corridor.

### **II.2.4.2 Grading Concept**

The SPA level grading plan for the EastLake Business Center II is intended to provide a preliminary grading concept, identifying slope bank locations and necessary maintenance provisions. The preliminary grading design is as indicated on the Grading Concept, Exhibit 8.

The grading concept is based on the following objectives:

- Consistency with existing or proposed grading on adjacent properties
- Creating efficient man-made landforms that visually respond to natural terrain characteristics where practical
- Creating and maintaining on and off-site views.
- Creating useable building areas and landscape edges.
- Separating potential non-residential and residential use conflicts
- Creating, where possible, barriers or physical separation from traffic noise sources.

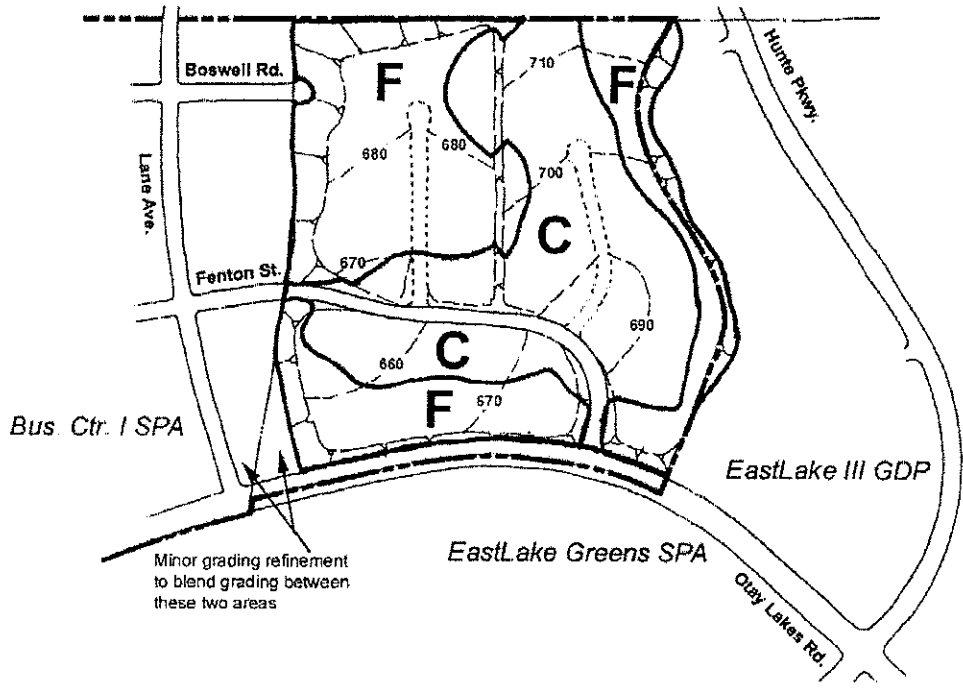
### **II.2.4.3 Grading Requirements**

Final grading design to implement the SPA grading concept should incorporate the following:

- **General Standards:** Grading within EastLake Business Center II shall be subject to Chapter 15.04 - Excavation, Grading and Fills of the City of Chula Vista Municipal Code and Subdivision Manual.
- **Grading Design:** Graded areas should be contoured to blend with natural landform characteristics. Rounding both vertical and horizontal intersections of graded planes; obscuring slope drainage structures with a variety of plant material massing; incorporating the use of variable slope ratios for larger slope banks; use of landscape planting for erosion control and to obscure man-made banks; and, other similar techniques should be used. Artificially appearing slope banks with rigid angular characteristics should be avoided.
- **Cut and Fill Slope Construction:** Slope banks in excess of four feet in height should be constructed at a gradient of 2 to 1 (horizontal to vertical) or flatter unless otherwise approved by the City Engineer. Minor interior slopes between lots up to 1 5/1 may be approved by the City Engineer.

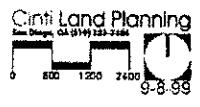
- Erosion Mitigation: Based on actual field conditions encountered, the erosion potential of slopes should be reduced with berms at the tops of all slopes, paved interceptor ditches and terrace drains and vegetation. Vegetation should consist of drought-tolerant native or naturalized species, requiring little or minimal irrigation, deep rooted and well suited to the on-site soils. Spray-on applications and coatings, combined with jute or hemp mesh can be effective methods for stabilizing soils. Final plans should be based on coordinated input from a licensed landscape architect.
- Maintenance: The application for any grading permit should provide assurance acceptable to the City Engineer that landscaped slope banks and medians will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slope banks which exceed ten feet in height should be maintained by a homeowners' or property owners' association.

# Grading Plan



	Slope Bank
	Elevation
	Area of Cut
	Area of Fill

Balanced Grading Quantity = Approx. 1.92 mil. cu. yds  
 This plan is conceptual and may be refined without amendment by the Tentative Tract Map & Grading Plans.



## **II.2.5 PARKS, RECREATION and OPEN SPACE**

### **II.2.5.1 Introduction**

The EastLake Business Center II Supplemental SPA Plan does not include any park land nor does it include any residential uses which would generate a public park demand. As noted previously, there is a private park within the existing Business Center which provides park and recreation opportunities to employees of companies located within the Business Center (I and II).

### **II.2.5.2 Open Space**

While generally accepted standards have been established for the provision of acreage and the function of a hierarchy of parks, the "need" for open space is more difficult to quantify. Usually the need, amount and location of open space is determined by the natural environmental conditions of the land and facility related needs such as detention basins, future road rights-of-way, and buffer space between unrelated land uses, etc. Steep slopes and sloping lands with unstable geologic conditions are obvious candidates for open space, as are noise buffer areas along major traffic ways.

Open space areas within EastLake Business Center II may be provided for buffer areas where required along Otay Lakes Road and where buffering is required to minimize the potential for land use conflicts. Alternatively, structural separations such as berm, walls or fences may be used or combined with landscaped open space. Open space lots and acres will be shown on the tentative tract map. Maintenance of all open space lots and medians shall be by a homeowners association or as otherwise approved by the City Engineer.

### **II.2.5.3 Landscape Concept**

The General Landscape Plan, Exhibit 9, provides a general design framework which allows latitude and flexibility while maintaining the overall goals and objectives of the community. The intent of the landscape concept is to reinforce the development pattern established by the Site Utilization Plan. This pattern consists of the predominate employment development areas served by a simple circulation/landscape corridor. Plant selection will follow that of the existing Business Center to perpetuate distinct identities and visual continuity throughout the Business Center as a whole. In addition, the thematic corridor and major thoroughfare have identified dominant trees and landscape designs which will be continued.

Additional elements in the Landscape Concept include:

- **Arterial - Scenic Corridor:** Otay Lakes Road is an existing arterial scenic highway. The landscape improvements existing on the south side of this road were developed with the EastLake Greens SPA. The landscape improvements on the north side, to be developed with this SPA, shall reflect the character and quality of those existing improvements to the south.
- **District Entry:** An entry sign and enhanced planting will be located at the intersection of Otay Lakes Road and Fenton Street. The design character shall be similar to the similar entry treatment at the intersection of Otay Lakes Road and Lane Avenue.

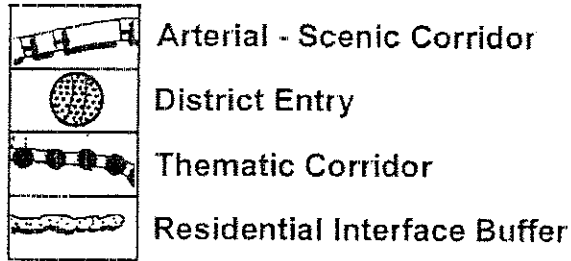
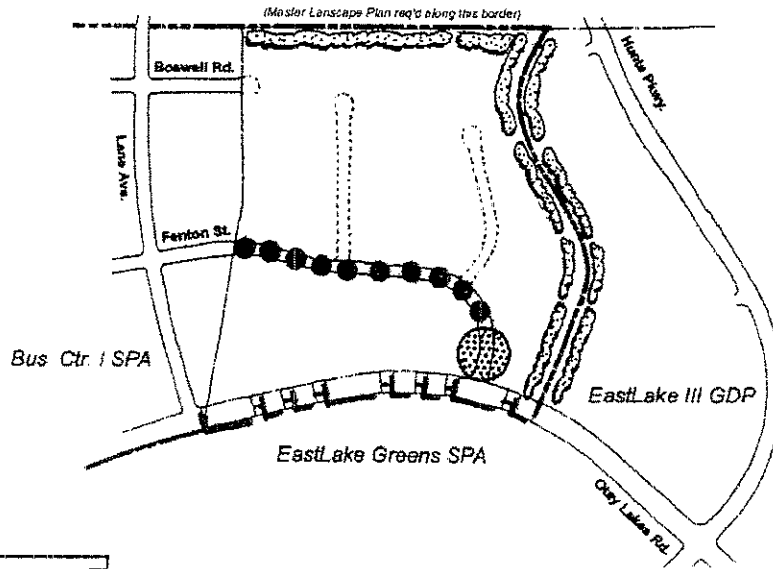


- Thematic Corridor: The existing Thematic Corridor along Fenton Street shall continue easterly to Otay Lake Road. Since this corridor does not connect to a dominant neighborhood feature in Business Center II it will be a transition as a continuation of the dominant tree theme in the corridor, but with a contiguous sidewalk.
- Residential Interface Buffer: The Business Center pads are above adjacent existing and future residential development to the north and east. In both locations a dense landscape buffer will be provided along the upper portions of the slope. Along the northern boundary with Rolling Hills Ranch an additional building setback is provided. A solid fence shall be required adjacent to all residential parcels. Refer also to Section II 2.3.7, Triangles Edges and Buffers, and the Design Guidelines.

All development in the EastLake Business Center II shall be in compliance with the Chula Vista Landscape Manual, adopted by Resolution No. 17735 in November 1994.

# General Landscape Plan

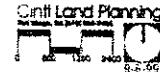
## Business Center II Supplemental SPA



Note: 10% of all lots to be landscaped open space



Exhibit 9



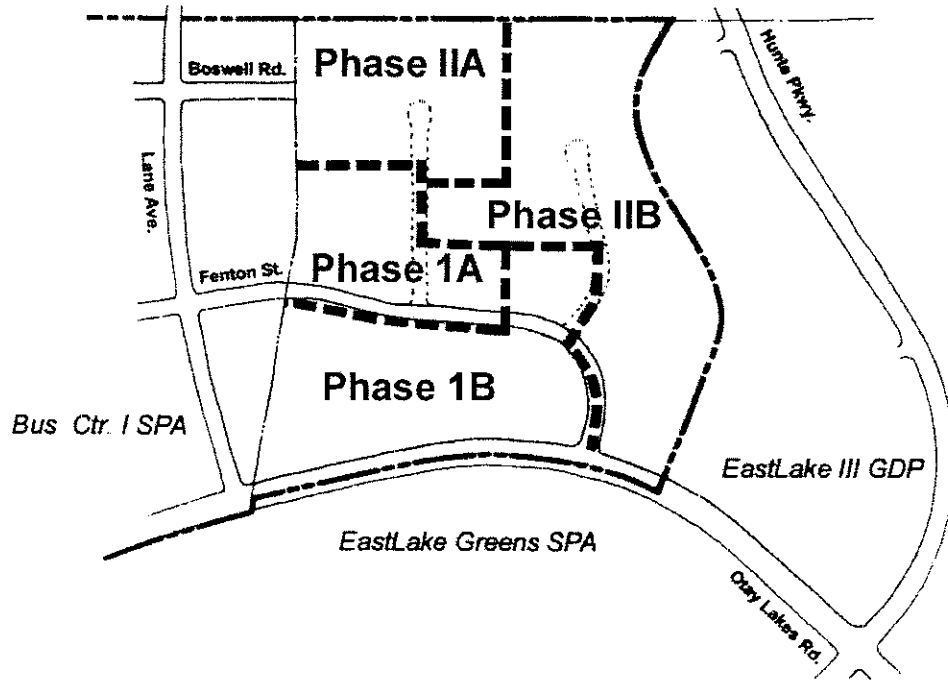
## **II.2.6 DEVELOPMENT PHASING**

Four phases of development are envisioned based on the need to balance grading and infrastructure improvements. The development of individual building sites will commence as the market dictates. Build-out of all building sites may occur over a several year period, as has been experienced within the existing Business Center I.

The proposed phasing indicated herein, on Exhibit 13, is more specifically defined by the Public Facilities Financing Plan and the Business Center II Master Tentative Map conditions of approval, which shall prevail in the event of conflict

# Phasing

*Business Center II Supplemental SPA*



**EASTLAKE**  
A planned community by The EastLake Company

Land Planning  
San Diego, CA (619) 233-7400  
0 600 1200 2400  
10-8-99

## **II.2.7 PUBLIC FACILITIES**

### **II.2.7.1 Introduction**

The inclusion of public facilities issues is a distinguishing feature of SPA Plans. This portion of the plan outlines the public facilities which enable the community to function properly. The companion Public Facilities and Financing Plan (Section II.5 of the EastLake Business Center II Supplemental SPA Plan) describes the "backbone" facilities in more detail and assigns the responsibility for construction and financing of all required facilities.

The facilities described in the SPA Plan have been identified and capacities determined based upon projected land uses and their distribution, as shown on the Site Utilization Plan (Exhibit 5)

### **II.2.7.2 Potable Water Supply**

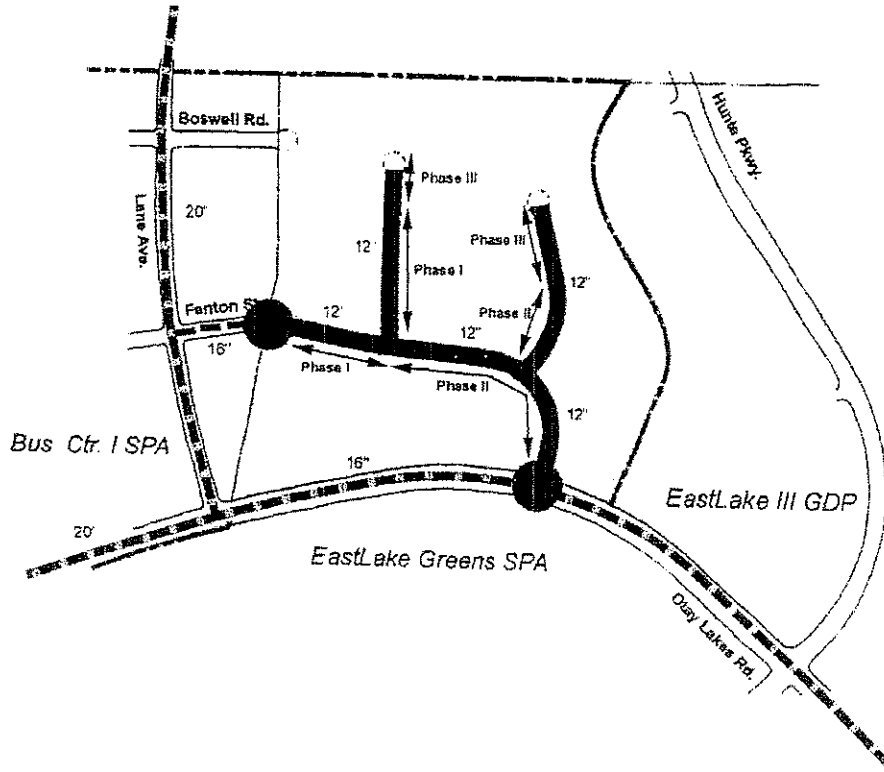
The EastLake Planned Community, including the EastLake Business Center II SPA, is located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. OWD is a member of the County Water Authority and the Metropolitan Water District of Southern California. The anticipated water supply system is depicted in Exhibit 11. This concept will be revised in consultation with the water district and detailed on the subdivision conditions and improvements plans. The phasing and financing requirements are provided in the Public Facilities Financing Plan (Section II.5 of the SPA Plan package).

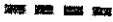


### **II.2.7.3 Potable Water Demand**

Domestic water demand for EastLake Business Center II will be estimated as a part of the water master plan to be approved by the OWD. An analysis of available water supply will also be completed to assure that sufficient supplies are planned to be available as demand is generated by the project.

Water "will serve" acknowledgments from the Water District will be required by the City during the subdivision map process.

# Water System



-  Existing 980 Zone
-  On Site
-  Connection to Existing System

**EASTLAKE I**  
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Cinfi Land Planning  
 8-12-99

Exhibit 11

#### **II.2.7.4 Reclaimed Water Supply and Master Plan**

Based on current District policies regarding new subdivision development, landscape irrigation for parks, schools, greenbelts, road medians, and multi-family residential is required to utilize, where available, recycled water. The project is located in the OWD Central Service Area which currently receives recycled water from the District's 1.3 MGD capacity Ralph W. Chapman Recycling Facility.

The existing reclaimed water distribution system serves EastLake Greens and connections to the system to serve the EastLake Business Center II SPA should be planned. Potential demand within the SPA will be estimated as a part of a Reclaimed Water Master Plan for the EastLake Business Center II Supplemental SPA to be approved by the OWD and the City of Chula Vista. A conceptual plan to distribute reclaimed water within the project is depicted on the Reclaimed Water plan (Exhibit 12).

Reclaimed water requirements for the project will be coordinated by the Water District and the City. The phased construction of reclaimed water facilities, based on the District approved master plan, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions to assure timely provision of required facilities.

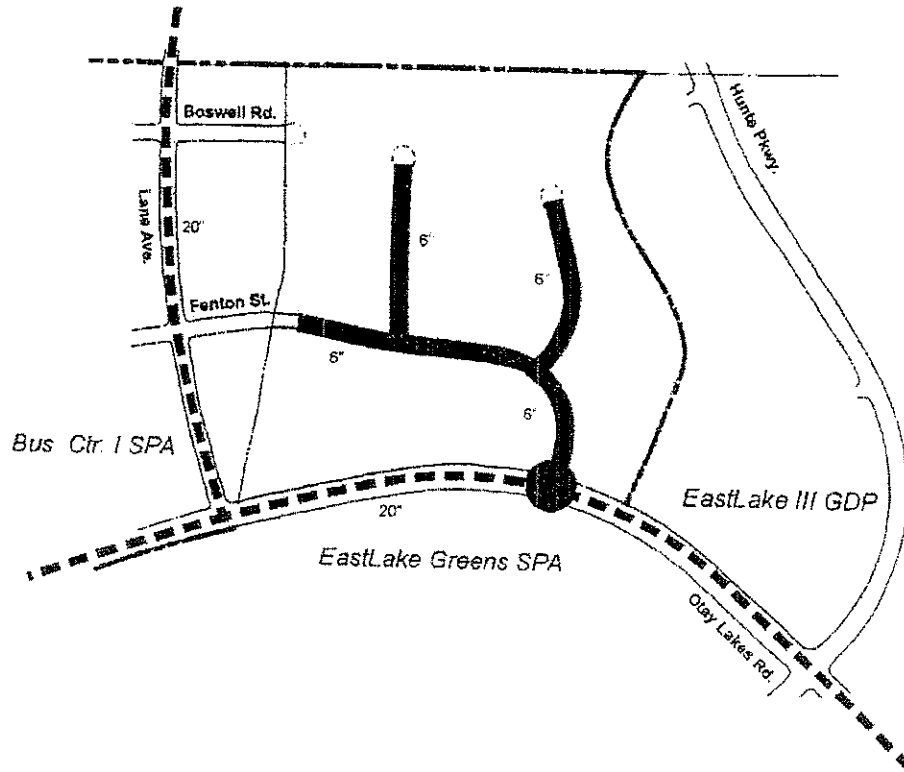
#### **II.2.7.5 Sewer Service**




The EastLake Business Center II Supplemental SPA is primarily located in the Telegraph Canyon drainage basin. A small portion of the site is within the Salt Creek drainage basin. The portion of the site within the Salt Creek basin may be approved by the City Engineer for diversion to the Telegraph Canyon sewer system. If not approved, Exhibit 12 indicates the alternative for connection to the Salt Creek sewer system. Extension of trunk sewer facilities to serve the Salt Creek basin by gravity flow are planned as a part of the Otay Ranch project. Currently, no facilities exist near the project site in the Salt Creek basin. Because of this, interim pumping of project flows to facilities in the Telegraph Canyon Gravity Sewer Basin is anticipated.

The trunk facilities in the Telegraph Canyon Basin currently convey pumped flows from EastLake Greens, Trails, and the Olympic Training Center, and will accommodate interim flows from Salt Creek Ranch and EastLake III. The City has established a flow monitoring program and financing plan for the Telegraph Canyon Basin to assure facilities can continue to accommodate pumped flows. The EastLake Business Center II Supplemental SPA will be required to participate in this program and development phasing may be constrained by sewer capacity. EastLake Business Center II Supplemental will also participate in the Salt Creek Gravity Basin Sewer Plan established by the City.

Sewer generation and facility requirements for the project will be determined in a Sewer Master Plan to be prepared for and approved by the City. The phased construction of sewer facilities and/or participation regional improvement programs, based on the approved master plan, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions to assure timely provision of required facilities. A plan for sewer collection within the project is depicted on the Sewer Plan (Exhibit 13)

# Reclaimed Water System



-  Existing 950 Recycled Zone
-  Proposed On Site
-  Connection to Existing System

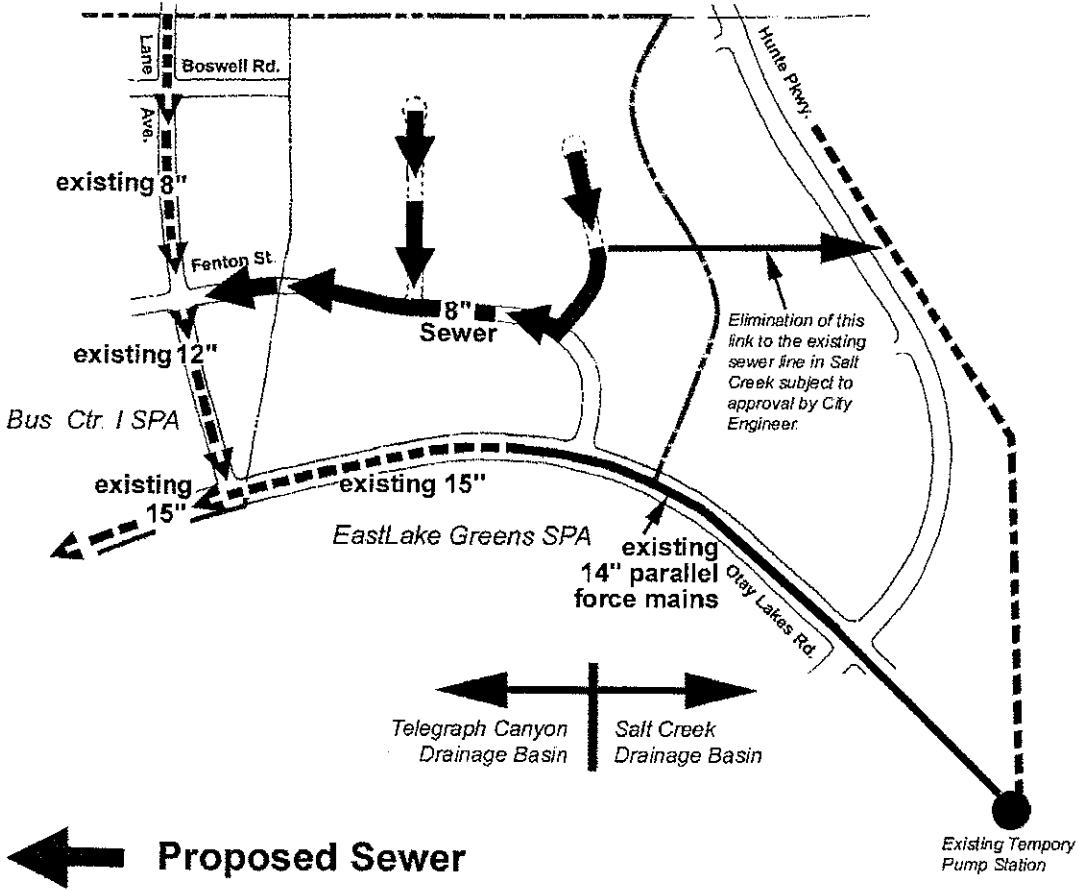
**EASTLAKE I**  
 A planned community by The EastLake Company

Exhibit 12

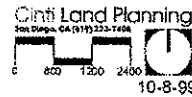
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# Sewer Plan



Note: This plan is conceptual and subject to refinement. Refer to adopted Tentative Tract Map for more precise details and requirements



### **II.2.7.6 Storm and Drainage System**

Conceptually, the on-site runoff from developed areas in the EastLake Business Center II Supplemental SPA will be collected by an on-site system and eventually discharged into the Telegraph Canyon and Salt Creek drainage basins. No significant diversion of run-off is anticipated. Anticipated flows will be calculated and a Storm Drain Master Plan will be prepared for and approved by the City. There will be a detention basin in Salt Creek north of Olympic Parkway, which is designed to serve development in EastLake III as well as EastLake II. No significant conflicts between storm drain facilities and recreation use of the Salt Creek corridor are anticipated.

The phased construction of storm drain facilities, based on the city-approved master plan, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions to assure timely provision of required facilities. A conceptual Storm Water Plan for the project is depicted in Exhibit 14

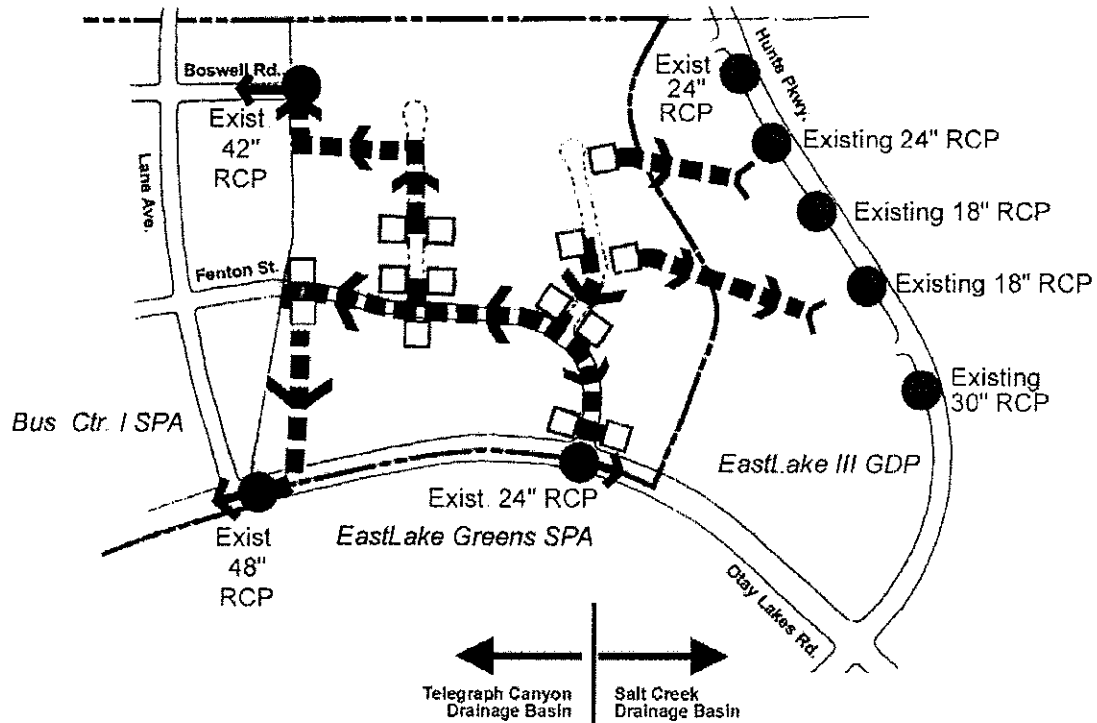
### **II.2.7.7 Urban Run-off**





The Upper and Lower Otay Lakes are operated by the City of San Diego as domestic water reservoirs. These reservoirs must be protected from urban run-off to maintain water quality for domestic use. The EastLake Business Center II SPA does not drain into the watersheds for these reservoirs. Salt Creek is a USGS blueline stream, which designates it as "waters of the United States" under the Clean Water Act (CWA). All development in excess of five acres which drains to waters of the United States must incorporate urban run-off planning, which, for EastLake Business Center II, will be detailed at the Tentative Tract Map level. The proposed development shall comply with all applicable Federal, State, and local regulations

### **II.2.7.8 Roads**

Roads included in this SPA proposal are addressed in Chapter II.2.3 Circulation of this SPA Plan. The Public Facilities Financing Plan (Section II.5 of the SPA Plan package) details their phasing and financing

# Storm Water



-  Flow Direction
-  Storm Drain Inlet
-  Connection to Existing System (Outlet)
-  Outlet

# EASTLAKE



## **II.2.7.9 Schools**

The EastLake Business Center II SPA includes only employment/light industrial park with supporting and complimentary commercial uses. It neither includes a school site nor does it directly create demand for new or additional school facilities which are associated with new residential development.

EastLake Business Center II is located within the Sweetwater Union High School District (grades 7-12) and the Chula Vista Elementary School District (grades K-6). The Board of Trustees of the Sweetwater Union School District and the Board of Education of the Chula Vista Elementary School District have each formed Community Facilities (Mello-Roos) Districts for the purpose of financing school facilities within the EastLake Community through the use of special taxes and the issuance of bonds. Since the SPA is located within the overall community, these special taxes will be applied to the Business Center II property.

Adult school services are provided in the evening at local school district facilities. Southwestern College, located approximately 1 mile west of EastLake, provides community college services to local residents. Neither of these services are expected to be affected by development of the Business Center expansion.

### **II.2.7.10 Child Care Facilities**

The city adopted the Child Care Element of the Chula Vista General Plan in March, 1995. The purpose of the Child Care Element is "to provide comprehensive policy direction for the provision of adequate child care facilities necessary to serve existing and future developed areas in the City in a coordinated and effective manner."

EastLake Business Center II SPA, and the EastLake Planned Community as a whole, may have a mix of child care providers, such as school, church, non-profit or commercial facilities. Child care facilities may be located within private homes, commercial centers, offices, government and industrial complexes, and/or adjacent to public and private schools when appropriate. Family day care homes and facility-based child care centers are discussed below.

Home-based child care includes small family day care homes (SFDCH) that serve up to 8 children and large family day care homes (LFDCH) that serve 9-14 children. The Chula Vista Municipal Code allows the establishment of SFDCHs and LFDCHs within the R-1 Zone as well as the RE and RS land use districts of the PC Zone found throughout the EastLake Community. A conditional use permit is required for all family day care homes within R-2 and R-3 Zones. Consistent with Chula Vista zoning, SFDCHs could potentially be located within all residential zones in the EastLake Community. Since the State of California has family day care home licensing responsibility, all family day care homes within the residential areas of EastLake would be required to comply with both state and local regulations.

The City of Chula Vista has established specific requirements for operating a large family day care home, which have been incorporated in the Planned Community District Regulations adopted for EastLake II (see Section II.3, Planned Community District Regulations). Facility-based child care may be conducted by non-profit quasi-public organizations or commercial providers. These facilities may be located on a variety of non-residential parcels (including PQ and CPF sites). Further, day care and nursery schools will be permitted within the Business Center itself, subject to Administrative Review (see PC District Regulations).

The State has adopted regulations related to licensing, application procedures, administrative actions, enforcement provisions, continuing requirements and physical environment for child day care and day care centers. All child care facilities within the SPA will need to comply with state, as well as local regulations.

#### **II.2.7.11 Police and Fire Services**

Both police and fire services are provided by the City of Chula Vista. Police services are provided from the central police facility in central Chula Vista. Two fire stations are in close proximity to the project site. One, a temporary facility, is located in the EastLake Business Center, immediately adjacent to the project site. The station will be relocated to a new permanent site as the City's Fire Master Plan is implemented. The final location of the new permanent site has yet to be determined. It is anticipated that the site will be in close proximity to EastLake Business Center. A second station is located approximately 5 minutes away on Otay Lakes Road, south of East "H" Street. This station is planned to be relocated to the Rancho del Rey community to the west of EastLake.

#### **II.2.7.12 Library Services**

Library services are provided by the City of Chula Vista. The City operates a central library, which is located at 4<sup>th</sup> and "F" Streets in central Chula Vista, to serve the entire community. Growth in eastern Chula Vista raises questions as to how library service is to be provided within the Eastern Territories and in what locations. Smaller branch libraries or a large facility to serve the area east of I-805 merit consideration.

A Library Service Master Plan has been completed which suggests a branch library in the eastern area of the City should be considered. Rancho del Rey reserves a site for a City library along East "H" Street. In addition, the EastLake Village Center Master Tentative Map reserves a 1 acre site for a library within EastLake I. Currently, the city operates a shared facility on the EastLake High School campus which provides neighborhood library services.

Again, library services are generally associated with increased residential development and, as a non-residential project, the Business Center expansion is not expected to affect library services.

#### **II.2.7.13 Community Purpose Facilities (CPF)**

Community Purpose Facilities are required in the City of Chula Vista at the rate of 1.39 acres per 1000 persons to be addressed with each SPA Plan. Since the proposed project does not affect the population in the project area, it does not affect the CPF plans adopted for the EastLake Community as a whole.

## II.2.8 APPENDIX

# **EastLake II Planned Community (PC) District Regulations**

Regulations for the following SPA Plans:

## **EastLake I**

(including: EastLake Hills, EastLake Shores, Business Center I, & Village Center North  
Supplemental SPA Plan)

## **EastLake Business Center II SPA Plan**

## **EastLake II SPA Plan**

(Consolidation of EastLake Greens & Trails)

**Ordinance No. 3018  
Resolution No. 2005-288  
Adopted August 23, 2005**

*Prepared by:*  
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(619) 223-7408

**Amended October 11, 2011  
By Ordinance No. 2011-3203**

**Amendments Prepared by:**  
**RBF Consulting**  
9755 Clairemont Mesa Boulevard, Suite 100  
San Diego, CA 92124  
Contact: Dan Wery, AICP  
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[dwery@rbf.com](mailto:dwery@rbf.com)

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## INTRODUCTION

These Planned Community (PC) District Regulations are adopted pursuant to Title 19, Zoning, of the Chula Vista Municipal Code and are intended to implement and integrate the Chula Vista General Plan, the General Development Plan, and the Sectional Planning Area Plans (SPAs) for EastLake I, Salt Creek I, EastLake Greens and EastLake Trails (Refer to Exhibit 2 in Chapter I, Section 1.1) These regulations set forth the development and use standards for all property within EastLake II General Development Plan Area by establishing:

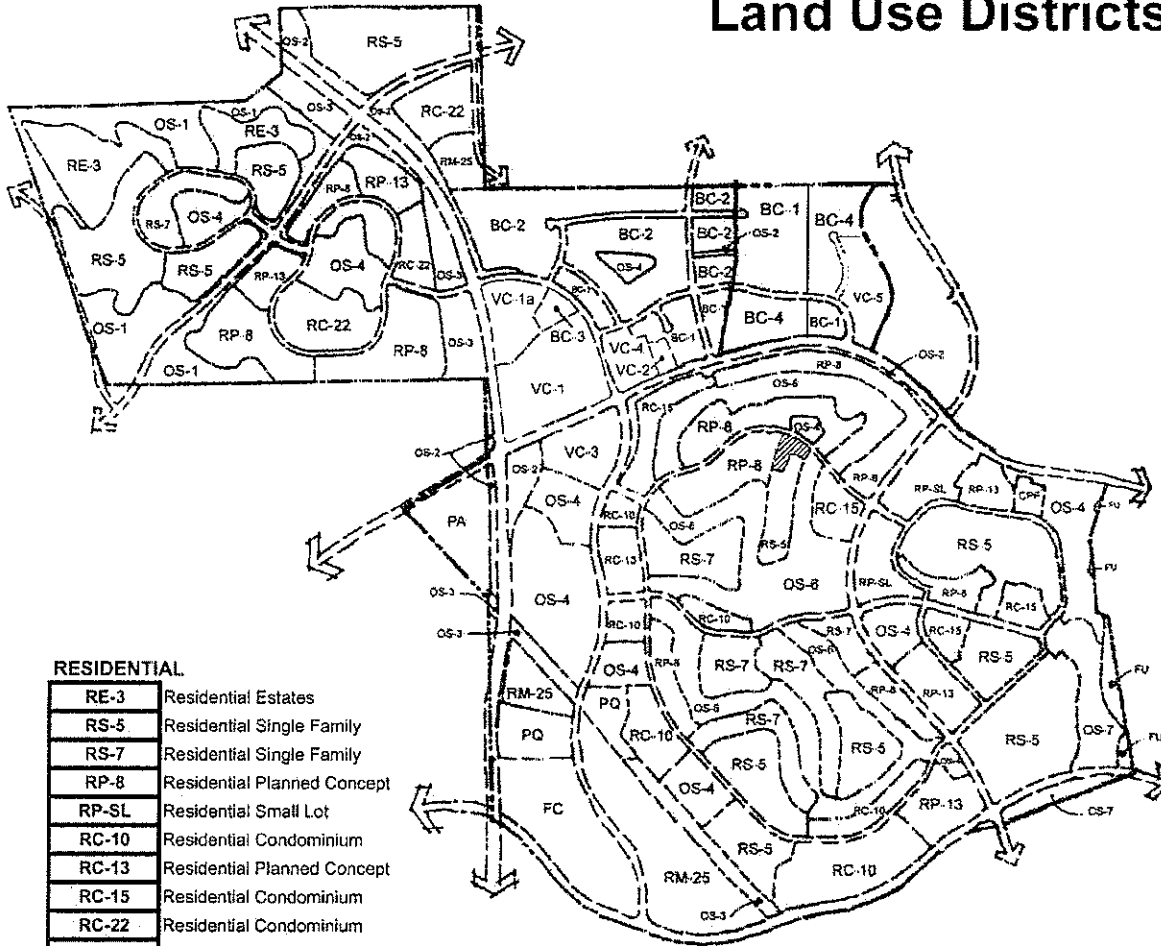
- setbacks;
- building heights;
- parking requirements;
- landscape requirements;
- use restrictions;
- animal regulations;
- density of development;
- lot size, width and depth;
- fencing requirements; and,
- signing regulations.

The PC District Regulations, along with the various SPA Plans, delineate precisely the allowable use of the property.

The PC District Regulations are organized into four basic land use districts:

- Residential;
- Village Center and Commercial;
- Business Center; and,
- Special Purpose.

# Land Use Districts



## RESIDENTIAL

RE-3	Residential Estates
RS-5	Residential Single Family
RS-7	Residential Single Family
RP-8	Residential Planned Concept
RP-SL	Residential Small Lot
RC-10	Residential Condominium
RC-13	Residential Planned Concept
RC-15	Residential Condominium
RC-22	Residential Condominium
RM-24	Residential Multi-Family
RM-44	Residential Multi-Family

## VILLAGE CENTER & COMMERCIAL

VC-1	Village Center (Retail)
VC-1a	Village Center (Retail)
VC-2	Village Center (Prof. Admin. / Ltd. Retail)
VC-3	Village Center (Retail)
VC-4	Village Center (Retail)
VC-5	Village Center (Retail)
FC	Freeway Commercial
PA	Professional & Administrative

## BUSINESS CENTER

BC-1	Business Center (Manufacturing Park District)
BC-2	Business Center (Manufacturing Service District)
BC-3	Business Center (Core District)
BC-4	Business Center (Core Professional District)

## SPECIAL PURPOSE

OS-1	Open Space
OS-2	Open Space
OS-3	Open Space
OS-4	Open Space
OS-5	Open Space
OS-6	Open Space
OS-7	Open Space
FU	Future Urban District
PQ	Public/Quasi-public District
CPF	Community Purpose District
(GH)	Guest House Land Use District Overlay (Refer to Section II 3D in PC Dist. Regs)

**EASTLAKE II**  
A planned community by The EastLake Co.

Revised 9/13/07

City of Eastlake Land Planning  
8/23/05  
Adopted 12/18/07

**SECTION I . GENERAL PROVISIONS**

**I . 0 Purpose and Scope**

For the purpose of promoting and protecting the public health, safety and welfare of the people of the City of Chula Vista, to safeguard and enhance the appearance and quality of development of EastLake II, and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources, these Planned Community District Regulations defining land use districts and regulations within those districts are hereby established and adopted by the City Council.

**I . 1 Private Agreements**

The provisions of this ordinance are not intended to abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions of this ordinance.

**I . 2 Repeal of Conflicting Ordinances**

Whenever the provisions of this ordinance impose more restrictive regulations upon construction or use of buildings or structures, or the use of lands or premises than are imposed or required by other ordinances previously adopted, the provisions of this ordinance or rules or regulations promulgated hereunder shall govern

**I . 3 Establishment of Land Use Districts**

**A. Division of EastLake II into Land Use Districts**

In order to classify, regulate, restrict and separate the use of land, buildings and structures, and to regulate and limit the type, height and bulk of buildings and structures in the various districts, and to regulate the areas of yards and other open area abutting and between buildings and structures, and to regulate the density of population, EastLake II GDP is hereby divided into the following Land Use Districts:

Residential Land Use Districts

RE-3	Residential Estate
RS-5	Residential Single Family
RS-7	Residential Single Family
RP-8	Residential Planned Development
RP-13	Residential Planned Development
RP-SL	Residential Planned Development
RC-10	Residential Condominium
RC-15	Residential Condominium
RC-22	Residential Condominium
RM-25	Residential Multi-Family
RM-44	Residential Multi-Family

Village Center and Commercial Land Use Districts

VC-1	Village Center
VC-2	Village Center
VC-3	Village Center
VC-4	Village Center
VC-5	Village Center
FC	Freeway Commercial
PA	Professional and Administrative

Business Center Land Use Districts

BC-1	Business Center Manufacturing Park
BC-2	Business Center Manufacturing Service
BC-3	Core District
BC-4	Core District

Special Purpose Land Use Districts

OS-1	Open Space
OS-2	Open Space
OS-3	Open Space
OS-4	Open Space
OS-5	Open Space
OS-6	Open Space
OS-7	Open Space
PQ-1	Quasi-Public Facilities
CPF	Community Purpose Facilities

**B** Adoption of Land Use Districts - Maps

Said several Land Use Districts and boundaries of said Districts and each of them hereby are established and adopted as shown, delineated and designated on the EastLake II Planned Community District Regulations Land Use Districts Map of the City of Chula Vista, San Diego County, which map, together with all notations, references, data, district boundaries and other information thereon, is made a part hereof and adopted concurrently herewith.

**C.** Filing

The original of the EastLake II Planned Community District Regulations Land Use District Map shall be kept on file with the City Clerk and shall constitute the original record. A copy of said Map shall also be filed with the Planning Department.

**D.** Changes to the Land Use District Map

Changes to the boundaries of the land use districts shall be made by ordinance and shall be reflected on the EastLake II Planned Community District Regulations Land Use District Map. Minor changes resulting from the approval of a tract map may be made to the land use district map as an administrative matter.

**I. 4 Clarification of Ambiguity**

If ambiguity arises concerning the appropriate classification of a particular use within the meaning and intent of this ordinance, or if ambiguity exists with respect to matters of height, yard requirements, area requirements or land use district boundaries as set forth herein, it shall be the duty of the Director of Planning and Building to ascertain all pertinent facts and forward said findings and recommendations to the Planning Commission, or on appeal, to the City Council and if approved by the Commission or, on appeal, by the City Council. Thereafter, the established interpretation shall govern.

Should any provision of these regulations conflict with those of the Municipal Code, the requirements herein shall apply.

**I. 5 Effects of Regulations**

The provisions of this ordinance governing the use of land, buildings, and structures, the size of yards abutting buildings and structures, the height and bulk of buildings, the density of population, the number of dwelling units per acre, standards of performance and other provisions hereby are declared to be in effect upon all land included within the boundaries of each and every land use district established by this ordinance.

**I . 6 Enforcement**

**A. Enforcement by City Officials**

The City Council, the City Attorney, the City Manager, the Director of Public Safety, the Building Official, the Director of Planning and Building, the City Clerk and all officials charged with issuance of licenses or permits, shall enforce the provisions of this ordinance. Any permit, certificate or license issued in conflict with the provisions of this ordinance shall be void.

**B. Actions Deemed a Nuisance**

Any building or structure erected hereafter, or any use of property contrary to the provisions of a duly approved Design Review, Site Plan, Variance, Conditional Use Permit or Administrative Permit and/or this ordinance shall be and the same hereby is declared to be unlawful and a public nuisance per se and subject to abatement in accordance with local ordinance

**C. Remedies**

All remedies concerning this ordinance shall be cumulative and not exclusive. The conviction and punishment of any person hereunder shall not relieve such persons from the responsibility of correcting prohibited conditions or removing prohibited buildings, structures, signs or improvements, and shall not prevent the enforced correction or removal thereof.

**D. Penalties**

Any person, partnership, organization, firm or corporation, whether as principal, agent, employee or otherwise, violating any provision of this ordinance or violating or failing to comply with any order or regulation made hereunder, shall be guilty of an infraction and, upon conviction thereof, shall be punishable as provided by local ordinance

**I . 7 Definitions**

For the purpose of this Ordinance, certain words, phrases and terms used herein shall have the meaning assigned to them by Title 19 of the City of Chula Vista Municipal Code.

When not inconsistent with the context, words used in the present tense include the future; words in the singular number include the plural; and, those in the plural number include the singular. The word "shall" is mandatory; the word "may" is permissive.

Any aspect of land use regulation within EastLake II General Development Plan Area not covered by these district regulations or subsequent plan approvals, shall be regulated by the applicable section of the Chula Vista Municipal Code (CVMC).

**SECTION II. RESIDENTIAL DISTRICTS**

**II.0 Purpose**

In addition to the objectives outlined in Section I.0 (Purpose and Scope), the Residential Districts are included in the Planned Community District Regulations to achieve the following purposes:

- To reserve appropriately located areas for family living at a broad range of dwelling unit densities consistent with the General Plan and with sound standards of public health, safety and welfare;
- To ensure adequate light, air, privacy and open space for each dwelling;
- To minimize traffic congestion and avoid the overloading of public services and utilities by preventing construction of buildings of excessive bulk or number in relation to the land area around them;
- To protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences; and,
- To facilitate the provision of utility services and other public facilities commensurate with anticipated population, dwelling unit densities and service requirements.

**II.1 Land Use District Grouping**

To facilitate the establishment of permitted use and development standards which are applicable to more than one land use district, land use groups are herein established. The following land use groups are established and shall be identified by the designation indicated below:

<u>Land Use Group Designation</u>	<u>Land Use District Included in Group</u>
RE	RE-3
RS	RS-5 and RS-7
RP	RP-8, RP-13 and RP-SL
RC	RC-10, RC-15 and RC-22
RM	RM-25 and RM-44

**II.2 Permitted Uses**

The following uses shall be permitted where the symbol "P" appears and shall be permitted subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be permitted subject to an Administrative Review. Uses where the symbol "N" appear shall not be permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

<u>Land Use</u>	<u>Land Use Group</u>				
	<u>RE</u>	<u>RS</u>	<u>RP</u>	<u>RC</u>	<u>RM</u>
A. <u>Residential Uses</u>					
1. Single family dwellings	P	P	P	P	P
2. Duplex dwellings	N	N	P	P	P
3. Guest dwellings or accessory living quarters	A	N	N	N	N
4. Mobile homes on individual lots which are certified under the National Mobile home Construction and Safety Standards Act of 1974	P	P	P	P	P
5. Group residential, including but not limited to, boarding or rooming homes, dormitories, and retirement homes	N	N	C	A	A
6. Multiple dwellings	N	N	A	P	P

<u>Land Use</u>	<u>Land Use Group</u>				
	<u>RE</u>	<u>RS</u>	<u>RP</u>	<u>RC</u>	<u>RM</u>
7 Townhouse dwellings	N	N	P	P	P
<b>B</b> <u>Agricultural Uses</u>					
1. All types of horticulture	P	P	P	P	P
2. Agricultural crops	A	A	A	A	A
3. Animal raising or grazing	A	N	N	N	N
4. Keeping of three (3) dogs and/or three (3) cats (over the age of four months)	P	P	P	P	P
<b>C.</b> <u>Public and Quasi-Public Uses</u>					
1. Day nurseries, day care schools and nursery schools (Children under 12 subject to City Standards)	C	C	C	C	C
2. Convalescent homes	C	C	C	C	C
3. Churches, convents, monasteries and other religious places of worship (subject to requirements of Section 19 58.110 CVMC)	C	C	C	C	C
4. Essential public services including but not limited to: schools, libraries, museums, parks, public works facilities and other civic uses	C	C	C	C	C
5. Public utility and public service substations, reservoirs, pumping plants and similar installations	C	C	C	C	C
6. Recreational facilities including but not limited to: country clubs, tennis and swim clubs, golf courses, racquetball and handball. (Sites for such facilities which are 2 acres or less in size shall be subject to Administrative Review only )	C	C	C	C	C
7. Recreational courts, including but not limited to: tennis, basketball, and similar uses	A	A	A	A	A
<b>D</b> <u>Home Occupations</u>					
1. Home occupations subject to the provisions of Section VI.1	A	A	A	A	A
<b>E</b> <u>Accessory Uses</u>					
1. Accessory structures and uses located on the same site as a permitted use	A	A	A	A	A
2. Accessory structures and uses located on the same site as a conditional use	A	A	A	A	A
<b>F.</b> <u>Temporary Uses</u>					
1. Temporary uses as prescribed in Section VI 0	A	A	A	A	A

### II.3 Property Development Standards: Residential Districts

A The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in their respective residential land use districts. The use of the symbol "SP" indicates that the standard is established by the approval of a Site Plan/Tentative Tract Map. Dimensions and



standards are minimums. Minor variations may be permitted subject to site plan or tract map approval providing that the minimums specified herein are maintained as average minimums. Lot widths and depths are herein maintained as average minimums. Lot widths and depths are typical minimums but may vary slightly with irregularly shaped lots and site specific conditions. The parking standards for a planned Senior Citizen or "affordable" residential development may be reduced from those specified herein for the district in which it is located by the Director of Planning.

B. Large Day Care

The City of Chula Vista has established specific requirements for operating a large day care facility, including:

1. A large day care facility shall not be within 1,200 feet of another such facility on the same street as measured from the exterior boundaries of the property.
2. An area shall be provided for the temporary parking of at least two vehicles for the safe loading and unloading of children. In most cases, the driveway in front of a two-car garage will satisfy this requirement.
3. A usable rear yard play area of 1,200 sq. ft. shall be provided. Outdoor play activity shall not be allowed in the front or exterior side yard of the home.
4. Play areas shall be designed and located to reduce the impact of noise on surrounding properties. The Zoning Administrator may impose reasonable requirements to alleviate noise, including but not limited to installation of a six-foot high block wall around the perimeter of the rear yard.

**Residential Property Development Standards**

	Site Condition	Land Use Group/District							
		RE	RS	RP-8	RP-13	RP-SL	RC	RM	
1	Lot area (in net 000' s square feet)	8	5	3*	3*	2.5	SP	SP	
2	Lot Width (in feet) (Attached Products in RP district)	70	50	38	38	50	SP	SP	
3	Lot depth (in feet)	100	100	90	50	50	SP	SP	
4	Lot coverage (percent)	40	50	SP	SP	SP	SP	SP	
5	Front yard setback: (garage) a) To direct entry garage b) To side entry garage (single story garage in RS district)	20 20	20 15 10	SP SP SP	SP SP SP	20 10	SP SP	SP SP	
6	Front yard setback: (main residence)	20	20	SP	SP	10	SP	SP	
7	Side yard setback: a) to adjacent residential lot (min. total/one side) b) to adjacent street (corner lot)	15/5	10/5**	SP	SP	10/5	SP	SP	
8	Rear yard setback	20	15	SP	SP	SP	SP	SP	
9	Building height (maximum in feet) (2 1/2 story max. RE, RS, & RP districts)	28***	28***	28***	28***	28***	45	45	
10	Parking spaces per unit: (g=garage; c=carport; op=open) SF Detached Units SF Attached Units MF Units (1 bedroom units) MF Units (2 bedroom units) MF Units (3+ bedroom units)	2g	2g	2g 1g+1c	2g 1g+1c	2g 1g+1c	2g 1g+1c 1c+0.5op 1c+1op 1c+1.5op	2g 1g+1c 1c+0.5op 1c+1op 1c+1.5op	

**Notes:**

- \* Refer to paragraph II.3E for detached structure overlay standards.
- \*\* May be modified for attached units with Site Plan Approval
- \*\*\* RS & RS-5 District only; 13/3 in RS-7 District.
- \*\*\* May be increased to 35 feet with Site Plan Approval.

C. Group Parking Standards for RC and RM Land Use Groups

The parking requirements include 0.5 spaces for guest parking. This requirement may be reduced to 0.3 space per unit by the Zoning Administrator which would result in a reduction of the standards set forth in the table. If more than one space per dwelling unit is assigned to the dwelling unit, then the required guest parking spaces shall be marked and clearly identified as guest parking. The guest parking spaces shall not be permitted to be assigned to individual dwelling units.

D. Special Requirements

1. Front yard setbacks shall be measured from the right-of-way of the fronting street. The front yard setback may be reduced, subject to site plan approval, within the RP, RC and RM districts. If the front yard setback is reduced to less than twenty (20) feet, and the dwelling unit is located on a street, cul-de-sac, or court containing more than twelve (12) dwelling units, then the garage shall be equipped with an automatic garage door opener.
2. The allowable building area for each lot shall be as permitted in the table below. The maximum building area for single family detached and attached products shall be the square footage listed or that permitted by the percentage of lot area, whichever is greater. Homeowner additions shall be allowed only where consistent with these standards. A 300 square foot open patio (covered but open on three sides) shall be permitted on each residential lot and shall be exempt from inclusion in this calculation.

E. Detached Structure Overlay Standards

1. The Detached Structure Overlay Standards shall only apply to those areas depicted on the Land Use Districts map as "Detached Structure Overlay."
2. Uses Permitted: A Guest House as defined in Section 10.04.106 CVMC, except as further defined as follows: A "Guest house" means detached living quarters of a permanent type of construction, without kitchen or cooking facilities and intended for use by occasional guests and occupants of the main building. Use by occasional guests shall not exceed 90 days for any one guest over a one year period. A guest house shall not be separately rented, let, or leased, whether compensation is direct or indirect.
3. Site Development Standards: Shall be as indicated for the base residential land use district, except that the front setback may be reduced to 15 feet if approved by the Director of Planning.

Permitted Building Area

<u>District</u>	<u>Square Footage</u>	<u>Lot Area Percentage (FAR)</u>
RE & RS-5	4,500	50%
RS-7	3,900	50%
RP-SL & RP-8	2,900	55%
RP-13	2,300	55%

All residential development north of Otay Lakes Road, within the EastLake I SPA, shall be exempt from this maximum building area standard. RP-13 parcels in the Greens SPA are limited to 2,000 square feet.

II.4 **Performance Standards: Residential Districts**

In all Residential Districts, the following performance standards shall be met:

- A. Air conditioners, antennas, ham radio antennas, solar panels, heating, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be so operated and located so that they do not disturb the peace, quiet and comfort of neighboring residents and shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all other applicable ordinances. Heights of said equipment shall not exceed the required height of the zone in which they are located. Private, individual satellite dish antennas greater than three (3) feet in diameter are subject to a Conditional Use Permit. Community or association operated satellite dish antennas may be allowed subject to a Conditional Use Permit.

- B Required front and exterior side yards shall be landscaped and shall consist predominantly of trees, plant materials, ground cover and decorative rocks, except for necessary walks, drives and fences. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris. Landscaping requirements may be met by either installation by the builder or developer, or for single family development, requirements through CC&R's that individual homeowners install their front yard landscaping within one year of occupancy, or sooner if required by CC&R's
- C. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with any appropriate screening treatment. Power lines and cables shall be installed underground.
- D. The acceptable outdoor noise exposure level, measured at the property line, for each residential district is provided in the table below. (See Chapter 19.66 CVMC for definitions and additional details).

Exterior Noise Limits\*

<u>Receiving Land Use District</u>	<u>7 a.m. – 10 p.m.</u>	<u>10 p.m. – 7 a.m.</u>
RE, RS, RP	55 dbA	45 dbA
RC, RM	60 dbA	50 dbA

\*Environmental Noise –  $L_{eq}$  in any hour

\*Nuisance Noise – not to be exceeded at any time

- E. The maximum permissible dwelling unit interior noise levels are provided in the table below.

Interior Noise Limits\*

<u>Time Interval</u>	<u>Any Time</u>	<u>1 min. in 1 hour</u>	<u>5 min. in 1 hour</u>
7 a.m. – 10 p.m.	55 dbA	50 dbA	45 dbA
10 p.m. – 7 a.m.	45 dbA	40 dbA	35 dbA

- F. Energy Conservation Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including but not necessarily limited to, the following conservation considerations:

- Co-generation;
- South facing windows;
- Eave coverage for windows;
- Double glazed windows;
- Earth berming against exterior walls;
- Greenhouses; and,
- Deciduous shade trees

- G In the RC and RM districts, including the conversion of apartments to condominiums where permitted, the following performance standards shall be met:
1. Masonry walls or fences six (6) feet in height, from the highest finished grade, shall be required where needed for noise attenuation and/or privacy
  2. Where a lot fronts on more than one street, it shall be considered to have multiple frontages and shall be required to meet special side yard setbacks
  3. When an RC and/or RM lot is adjacent to any single family zone, a minimum of fifteen (15) feet of landscaping shall be maintained on the RC and/or RM lot between such uses.
  4. Lockable, enclosed storage shall be provided in the carport area; substitutions may be approved by the Director of Planning;
  5. Conveniently located common laundry facilities shall be provided for units which do not have individual hook-ups

- 6 Conveniently located and well screened trash enclosures shall be provided for all dwelling units.
- 7 Recreation vehicle (including campers, boards and trailers) parking areas shall be provided, fully screened from view or the development CC&R's shall prohibit all parking of recreation vehicles.

#### **II . 5 Accessory Structures: Residential Districts**

Accessory Buildings and Structures: Accessory buildings and structures, attached or detached, used either wholly or in part for living purposes, shall meet all of the requirements for location of the main structure as constructed or required by the District, whichever is less restrictive; except as herein provided

- A. Enclosed accessory buildings or structures that are attached to the main building shall not be allowed to encroach into the required rear yard setback. Open structures may be allowed to encroach into the rear yard setback subject to approval by the Director of Planning.
- B. A detached accessory structure shall meet the setback requirements of the main building for the front and street side yard areas
- C. A detached accessory structure may be located within an interior side or rear yard provided that such structure is located no closer than five (5) feet to an interior side or rear lot line and is at least six (6) feet from the main structure and does not exceed one story in height
- D. Porches, steps, architectural features such as eaves, awnings, chimneys, balconies, stairways, wing walls or bay windows may project not more than four (4) feet into any required front or rear yard area, and not into any required side yard more than one-half of said required side yard

#### **II . 6 Walls and Fences: Residential Districts**

In any required front or side yard adjacent to a street, a wall, fence or hedge shall not exceed forty-two (42) inches in height, except as provided herein:

- A. A wall, fence or hedge not more than six (6) feet in height may be maintained along the interior side or rear lot line, provided that such wall, fence or hedge does not extend into a required front or side yard adjacent to a street except for noise attenuation as required by the City and as herein provided
- B. A wall, fence or hedge adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two (42) inches in height within the front or side yard setback area of the lot. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility.
- C. Fiberglass or bamboo sheeting or other similar temporary material shall not be permitted as a fencing material on street frontages

#### **II . 7 Signs: Residential Districts**

No sign or outdoor advertising structure shall be permitted in any residential district except as provided in Section VII.

## SECTION III. VILLAGE CENTER & COMMERCIAL DISTRICTS

### III.0 Purpose

In addition to the objectives outlined in Section I 0 (Purpose and Scope), the Village Center and Commercial Districts are included in the Planned Community District Regulations to achieve the following purposes:

- To provide appropriately located areas for office uses, retail stores, service establishments and wholesale businesses, offering commodities and services required by residents of the City and its surrounding market area;
- To provide an opportunity for commercial and quasi-public community support facilities;
- To encourage office and commercial uses to concentrate for the convenience of the public and for a more mutually beneficial relationship to each other;
- To provide adequate space to meet the needs of modern commercial development, including off-street parking and loading areas;
- To minimize traffic congestion and to avoid the overloading of utilities by preventing the construction of buildings suited to the amount of land around them;
- To protect commercial properties from noise, odor, smoke, unsightliness, and other objectionable influences incidental to industrial uses; and
- To promote high standards of site planning, architectural and landscape design for office and commercial developments within the City of Chula Vista

### III.1 Permitted Uses: Village Center Districts

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

"P"	=	Permitted
"C"	=	Permitted subject to Conditional Use Permit approved by the Chula Vista Planning Commission
"A"	=	Permitted subject to Conditional Use Permit by the Zoning Administrator.
"a"	=	Permitted Accessory Use to a Permitted or Conditional Use
"N"	=	Use Not Permitted
"P/N"	=	First symbol before "/" is the permissive status if all required discretionary applications for implementation have been submitted prior to December 31, 2004 Second symbol after "/" is the permissive status if all applications have not been submitted prior to December 31, 2004
"P <sub>1</sub> "	=	Subject to Zoning Administrator review and approval

<u>Land Use</u>	<u>Land Use District</u>					
	<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4<sup>1</sup></u>	<u>VC-5<sup>2,3</sup></u>
A <u>Administrative and Professional Services</u>	P	P	P	P	P	P
B <u>General Commercial Uses</u>						
1. Antique shops (no outdoor storage)	P	P	N	P	N	P
2. Apparel stores	P	P	P/N	P	P	P
3. Art, music and photographic studios and supply stores	P	P	P/N	P	P	P
4. Appliance stores and repair (no outdoor storage)	P	N	P/N	P	P	P
5. Arcades and electronic games (see Section VI 4)	C	C	P/N	C	P	A
6. Athletic and health clubs	C	C	C	C	C	A
7. Automobile and/or truck services, sales, rental agencies	A	N	N	A	N	A
8. Bakeries - retail	P	P	P	P	P	P
9. Barber and beauty shops	P	P	P	P	P	P
10. Bicycle shops, non-motorized	P	P	P	P	P	P
11. Blueprint and photocopy services	P	N	P	P	P	P
12. Book, gifts and stationery stores	P	P	P	P	P	P
13. Candy stores and confectioners	P	P	a	P	a	P
14. Car Wash subject to provisions of Section 19 58.060 CVMC	C	N	N	C	N	C
15. Catering establishments	P	P	N	P	N	P
16. Cleaners	P	P	P/N	P	P	P
17. Commercial recreation facilities not otherwise listed	C	C	C	C	C	C
18. Eating and drinking establishments:						
a Bars, nightclubs cabarets	C	C	N	N	N	C
b Restaurants, coffee shops, delicatessens:						P
1) with alcoholic beverages and/or entertainment	C	C	C	C	C	ZA

<u>Land Use</u>	<u>Land Use District</u>						
	<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4</u> <sup>1</sup>	<u>VC-5</u> <sup>2,3</sup>	
2) without alcoholic bev.	P	P	P	P	P	P	
3) with outdoor seating*	P	P	P	P	P	P	
c. Snack bars and refreshment stands contained within a building	P	P	P	P	P	P	
d. Fast food restaurants with drive-in or drive-through (subject to Site Plan and Arch. Review by the Zoning Administrator)	C	N	N	C	P	C	
19. Equipment rental (enclosed building)	P	N	P	P	P	P	
20. Feed and tack stores (no outside storage)	P	P	N	P	N	P	
21. Financial Institutions with drive thru	P	N	P	N	P	P	
22. Florists' shops	P	P	P	P	P	P	
23. Food stores, supermarkets, drug stores	P	P	N	P	N	P	
24. Furniture stores	P	P	N	N	N	P	
25. Gasoline service stations	C	N	N	C	N	N	
26. Hardware stores:							
a. > 10,000 square feet	P	N	N	P	N	P	
b. < 10,000 square feet	P	P	N	P	N	P	
27. Hobby shops	P	P	P/N	N	P	P	
28. Hotels and motels (and accessory uses, including restaurant, bar, shops)	P	N	P	N	P	P	
29. Janitorial services/supplies	P	N	N	P	N	P	
30. Jewelry stores	P	P	P	P	P	P	
31. Junior department, department stores, discount and membership department stores.							
a. > 50,000 square feet	P	N	P/N	N	P	P	
b. < 50,000 square feet	P	P	P/N	N	P	P	
32. Kiosks, and moveable vendors, including photo sales, located in parking lot	C	C	C	C	C	A	



Land Use	Land Use District					
	VC-1	VC-1a	VC-2	VC-3	VC-4 <sup>1</sup>	VC-5 <sup>2,3</sup>
33 Liquor stores	C	C	N	C	N	A
34 Medical and dental offices, clinics	P	P	P	P	P	P
36 Motorcycle sales and services including motorized bicycles	A	N	N	A	N	A
a Show room only, without service	A	P	N	A	N	A
37 Newspaper and magazine stores	P	P	a	P	N	P
35 Mortuaries	N	N	N	N	N	N
38 Nurseries and garden supply stores in screened area	P	P	N	P	N	P
39 Office suites, general	P	P	P	P	P	P
40 Office supplies/stationery stores	P	P	P	P	P	P
41 Parking facilities (commercial)	N	N	C	C	C	N
42 Pharmacies	P	P	P	P	P	P
43 Photocopying services	P	P	P	P	P	P
44 Printing shops	P	P	P	P	P	P
45 Recycling drop-off bins	A	N	N	A	N	N
46 Retail stores and shops	P	P	P/N	P	P	P
47 Sign painting shops (encl. bldg)	P	N	N	P	N	P
48 Stamp and coin shops	P	P	P/N	P	P	N
49 Swimming pool supplies	P	P	P/N	P	P	P
50 Television, stereo and radio stores including sales and repair	P	P	P/N	P	P	P
51 Theaters	A	A	N	N	N	A
52 Tire sales and services	A	N	N	A	N	N
53 Travel agencies	P	P	P	P	P	P
54 Veterinary offices and animal hospitals	A	A <sup>1</sup>	C	A	C	A

<sup>1</sup> Overnight animal boarding for non-medical purposes is prohibited.

C. Public and Semi-Public Uses

1 Day nurseries, day care schools (subject to provisions of the Municipal	A	A	A	A	A	A
---	---	---	---	---	---	---

Land Use	Code)	Land Use District					
		<u>VC-1</u>	<u>VC-1a</u>	<u>VC-2</u>	<u>VC-3</u>	<u>VC-4</u> <sup>1</sup>	<u>VC-5</u> <sup>2,3</sup>
2.	Convalescent homes and hospitals	C	N	N	C	N	N
3.	Clubs and lodges including YMCA, YWCA and similar youth group uses	A	N	N	N	N	A
4.	Libraries	P	P	N	P	N	N
5.	Educational institutions	C	C	C	C	C	A
6.	Hospital, medical care facilities	N	N	N	N	N	N
7.	Post office	P	P	N	P	N	N
8.	Religious institutions	N	N	C	N	N	N
9.	Group care facilities and residential retirement hotels	C	C	N	C	N	N
10.	Utilities, public and private	P	N	N	P	N	N
11.	Uses determined to be similar and consistent with the purposes of this chapter	C	P <sub>1</sub>	C	C	C	C
<b>D. <u>Accessory Uses</u></b>							
1.	Accessory structures and uses located on the same site as a permitted use	P	P	P	P	P	P
2.	Accessory structures and uses located on the same site as a conditional use	A	A	A	A	A	A
<b>E. <u>Temporary Uses</u></b>							
1.	Temporary uses as prescribed in Section VI 0	P	P	P	P	P	P

<sup>1</sup>The VC-4 is a "Project Specific Land Use," district intended only to accommodate an approximately 98,500 square-foot Kohl's department store substantially similar retail operation as Kohl's store located in Temecula, California store (31870 Redhawk Parkway, Temecula California 92592), 16,800 square feet for retail shops and restaurants. The Project Specific Land Use District will be in effect only until July 15, 2006 unless the following two requirements are met:

- 1) commence construction of the Kohl's department store no later than July 15, 2005. For purposes of this land use designation, "commence construction" means the date of commencement contained within a contract for the construction of the Kohl's building and related site improvements which has been entered into by Kohl's Department Stores; and
- 2) Kohl's department store is open for business no later than July 15, 2006

In the event that Kohl's has not commenced construction by July 15, 2005, the VC-4 "project specific land use" designation will revert back to VC-2 land use district. Furthermore, in the event that the Kohl's department store is not open for business by July 15, 2006, the VC-4 "project specific land use" designation will revert back to VC-2 land use district.

<sup>2</sup>All land uses within the VC-5 Land Use District must comply with the applicable parking standards outlined in section VIII.2 of the East Lake Business Center II PC District Regulations minus 15% reduction.

<sup>3</sup>Prior to the issuance of a business license or building permit for a new or existing tenant, the Parking Availability Table (see sample below) shall be updated, to the satisfaction of the City, to reflect the required number of parking spaces for the new use or additional floor area to insure that the new parking demand does not exceed the total number of parking spaces provided.

**Sample Parking Availability Table**

Permitted Land Use	Total Gross Floor Area by Use (s.f.)	Total Restaurant Seats	Parking Ratio (1 space / X s.f.)	Restaurant Parking Ratio (spaces per seat)	Required Parking (spaces)	15% Reduction	Total Parking Provided	Excess Parking Spaces
Furniture Showroom								
Medical, Dental Office								
Professional Office								
Retail								
Restaurant								
<b>TOTAL</b>								

**III.2 Property Development Standards: Village Center Districts**

The property development standards that shall apply to all land and buildings permitted in the Village Center Districts shall be those indicated on an approved site plan submitted pursuant to Section 19.14.420 through Section 19.14.480 inclusive in Title 19 of the Chula Vista Municipal Code.

The following property development standards apply to all land and buildings other than accessory buildings authorized in VC-1, VC-2 and VC-5 districts. Any legal lot may be used as a building site

**A General Requirements**

The following requirements are minimums unless otherwise stated:

	<u>VC-1</u>	<u>VC-2</u>	<u>VC-5</u>
1. Setback from Otay Lakes Road <sup>1</sup>	50 feet	50 feet	50 feet
2. Setback from Fenton Avenue** <sup>2</sup>	NA	20 feet	20 feet
3. Setback from SR-125 <sup>2</sup>	50 feet	NA	NA
4. Setback from EastLake Parkway <sup>4</sup>	30 feet	30 feet	NA
5. Building height, maximum <sup>3</sup>	45 feet	45 feet	35 feet
6. Side Yard Setback			10 feet
7. Rear Yard Setback			10 feet

<sup>1</sup>As measured from edge of curb may be modified with approval of DRC

<sup>2</sup>As measured from right-of-way

<sup>3</sup>Architectural features may exceed height with Design Review Approval

<sup>4</sup>As measured from R/W. May be modified with Design Review Approval.

**III.3 Performance Standards: Village Center Districts**

- A. Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- B. The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- C. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning.
- D. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Center.
- E. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- F. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Village Center District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- G. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.

- H Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls.
- I. Air Pollution There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718.
- J. Odor No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
- K. Energy Conservation. Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including but not necessarily limited to the following conservation measures:
  - Cogeneration;
  - South facing windows;
  - Eave coverage for windows;
  - Earth berming against exterior walls; and,
  - Deciduous shade trees
- L. Land Use Compatibility: Notwithstanding the range of uses permitted in the permitted use matrix, areas designated VC-3 that are also designated as Public/Quasi-Public on the General Development Plan shall be limited to those uses determined by the Zoning Administrator to be compatible with the Public/Quasi-Public designation.

**III.4 Permitted Uses: Commercial Districts**

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

- “P” = Permitted.
- “C” = Permitted subject to Conditional Use Permit approved by the Chula Vista Planning Commission
- “A” = Permitted subject to Conditional Use Permit by the Zoning Administrator
- “a” = Permitted Accessory Use to a Permitted or Conditional Use
- “N” = Use Not Permitted.

<u>Land Use</u>	<u>Land Use District</u>	
	<u>FC</u>	<u>PA</u>
A. Administrative and Professional Services	P	P
B. General Commercial Uses		
1. Antique shops (no outdoor storage)	P	N
2. Apparel stores	P	N
3. Art, music and photographic studios and supply stores	P	N
4. Appliance stores and repair (no outdoor storage)	P	N
5. Arcades and electronic games (see Section VI 4)	C	N
6. Athletic and health clubs	C	C
7. Automobile and/or truck services, sales, rental agencies;	C	N
8. Bakeries - retail	P	N
9. Barber and beauty shops	P	N
10. Bicycle shops, non-motorized	P	N
11. Blueprint and photocopy services	P	a
12. Book, gifts and stationery stores	P	N
13. Candy stores and confectioners	P	a
14. Car Wash subject to provisions of Section 19 58 060 CVMC	C	N
15. Catering establishments	P	N
16. Cleaners	P	N
17. Commercial recreation facilities not otherwise listed	C	N
18. Eating and drinking establishments:		
a. Bars, nightclubs cabarets	C	N
b. Restaurants, coffee shops, delicatessens:		
1) with alcoholic beverages and/or entertainment	C	N
2) without alcoholic beverage	C	a
c. Snack bars and refreshment stands contained within a building	P	a
d. Fast food restaurants with drive-in or drive-through	P	N
19. Equipment rental (in enclosed building only)	P	N
20. Feed and tack stores (no outside storage)	P	N
21. Florists' shops	P	a
22. Food stores, supermarkets, drug stores	P	N
23. Furniture stores (<10,000 sf)	P	N
24. Gasoline service stations	C	N
25. Hardware stores (<10,000 sf)	P	N
26. Hobby shops	P	N

<u>Land Use</u>	<u>Land Use District</u>	
	<u>FC</u>	<u>PA</u>
27 Hotels and motels (and accessory uses, including restaurant, bar, shops)	P	N
28 Janitorial services/supplies	P	N
29 Jewelry stores	P	N
30 Junior department, department stores, discount and membership department stores	P	N
31 Kiosks, and moveable vendors, including photo sales, located in parking lot	C	N
32 Liquor stores (package, off-sale only)	C	N
33 Medical and dental offices, clinics	P	P
34 Mortuaries	C	N
35 Motorcycle sales and services including motorized bicycles	P	N
36 Newspaper and magazine stores	P	a
37 Nurseries and garden supply stores in screened area	C	N
38 Office suites, general	P	P
39 Office supplies/stationery stores	P	a
40 Parking facilities (commercial)	C	C
41 Pharmacies	P	a
42 Photocopying services	P	a
43 Printing shops	P	a
44 Recycling drop-off bins	C	N
45 Retail stores and shops	P	N
46 Retail distribution centers and manufacturer's outlets which require extensive floor areas for the storage and display of merchandise, and high volume, warehouse-type sale of goods	P	N
47 Stamp and coin shops	P	N
48 Swimming pool supplies	P	N
49 Television, stereo and radio stores including sales and repair	P	N
50 Theaters	C	N
51 Tire sales and services	C	N
52 Travel agencies	P	P
53 Veterinary offices and animal hospitals	C	N
54 General offices, financial institutions, Real Estate offices, institutional offices	P	P
55 Any other retail business or service establishment supplying commodities or performing services determined by the Planning Commission to be of the same general character as the above mentioned permitted retail businesses or service uses and open during similar normal business hours	P	N

<u>Land Use</u>	<u>Land Use District</u>	
	<u>FC</u>	<u>PA</u>
C Public and Semi-Public Uses		
1. Day nurseries, day care schools (subject to provisions of the Municipal Code)	C	C
2. Convalescent homes and hospitals	C	N
3. Clubs and lodges including YMCA, YWCA and similar youth group uses	C	C
4. Libraries	C	C
5. Educational institutions	C	C
6. Hospital, medical care facilities	C	C
7. Post office	P	P
8. Religions institutions	C	N
9. Group care facilities and residential retirement hotels	C	N
10. Utilities, public and private	C	C
11. Any other public or semi-public use determined by the Planning Commission to be of the same general character as other uses permitted by this section	C	C
D. Accessory Uses		
1. Accessory structures and uses located on the same site as a permitted or conditional use	p	p



**III.5 Property Development Standards: Commercial Districts**

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, except no building permit shall be issued for any lot having a lot size less than 6,000 square feet. Each building site shall have a minimum 20 foot wide vehicular access to the street.

**A. General Requirements**

The following requirements are minimums unless otherwise stated:

		<u>FC</u>	<u>PA</u>
1	Lot area, net	1 ac.*	1 ac.*
2	Lot width (in feet)	100	150
3	Lot depth (in feet)	150	150
4	Front yard setback (in feet)	20	25
5	Side yard setback each side (in feet)	10	10
6	Public street setback (in feet)	20	20
	• Otay Lakes Road	20	20
	• Olympic Parkway	75**	n/a
7	Rear yard setback (in feet)	10***	10***
8	Building height, maximum	45 feet	45 feet

\* Map for condominium development does not need to meet lot area requirement. Minimum lot area may be reduced to 10,000 sf for master planned building complexes, subject to approval of a Site Plan. Such Site Plan shall be for a total site of no less than 60,000 sf.

\*\* As measured from edge of sidewalk/curb

\*\*\* Increase to 50 feet when abutting residential district

Note: Minor deviations may be approved by the Zoning Administrator with Site Plan Approval

**III.6 Performance Standards: Commercial Districts**

- A. Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape Manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- B. The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- C. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning.
- D. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Center.
- E. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- F. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Commercial District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.

- G All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- H. Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls. Permanent outdoor sales areas shall be screened to improve site aesthetics when viewed from a distance, but the screening materials are not required to be solid or opaque, and may allow filtered close-range views of the materials for sale. Screening materials and design shall be consistent with the architecture/materials of the adjacent building.
- I. Air Pollution. There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718.
- J Odor. No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
- K Energy Conservation. Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including but not necessarily limited to the following conservation measures:
1. Cogeneration;
  2. South facing windows;
  3. Eave coverage for windows;
  4. Earth berming against exterior walls; and,
  5. Deciduous shade trees.

**SECTION IV BUSINESS CENTER DISTRICTS**

**IV.0 Purpose**

In addition to the objectives outlines in Section I 0 (Purpose and Scope), the Business Center Districts are included to provide for a quality working environment and to achieve a harmonious mixture of uses which might otherwise be considered incompatible when located in close proximity. Activities are intended to promote employment opportunities in manufacturing, service, research and development, engineering and wholesale trade. In addition, the Business Center Districts are included to advance the following objectives:

- To reserve appropriately located areas for industrial use and protect these areas from intrusion by dwellings and other non-harmonious uses;
- To protect residential and commercial uses from noise, odor, dust, smoke, light intrusion, truck traffic and other objectionable influences and to prevent fire, explosion, radiation and other hazards incidental to certain industrial activities;
- To promote sufficient open space around industrial structures to protect them from hazard and to minimize the impact of industrial operations on nearby residential or commercial districts; and
- To minimize traffic congestion and avoid overloading utilities by restricting construction of buildings of excessive size in relation to the amount of land around them

**A Business Center Manufacturing Park District (BC-1)**

This district is intended as an area for modern industrial, research, and administrative facilities which can meet high performance and development standards.

**B Business Center Manufacturing Service District (BC-2)**

This district is intended as an area for light industrial and limited service commercial uses which can meet high performance and development standards

**C Business Center Core Districts (BC-3 and BC-4)**

These districts are intended as an area for modern light industrial, administrative and service uses as a transition from the Village Center Commercial Districts and the BC-1 & BC-2 Districts.

The Business Center District areas (BC-1, BC-2, BC-3 and BC-4) of the EastLake Business Center have been included and constitute a portion of the High Tech/Bio Tech Zone, an area of the City of Chula Vista, the territory of which is shown on the Land Use Districts exhibit, within which certain qualifying high technology, bio-technical and bio-medical uses are encouraged to locate by providing to those businesses economic and land use processing incentives.

**IV.1 Permitted and Conditional Uses: Business Center Districts**

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use. Uses where the symbol "A" appears shall be subject to an Administrative Design Review/Conditional Use Permit or Variance.

<u>Land Use</u>	<u>Land Use District</u>			
	<u>BC-1</u>	<u>BC-2</u>	<u>BC-3</u>	<u>BC-4</u>
<b>A. Manufacturing</b>				
1. Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared typical materials such as canvas, cellophane, cloth, cork, felt, fiber, fur, glass, leather, paper (no milling), precious or semi-precious stones or metals, plaster, plastics, shells, textiles, tobacco, wood, and yarns; novelty items (not including fireworks or other	P	C	C	C

Land Use		Land Use District			
		BC-1	BC-2	BC-3	BC-4
	explosive type items)				
2.	Electrical and related parts; electrical appliances, motors and devices; radio, television, phonograph and computers; electronic precision instruments; medical and dental instruments; timing and measuring instruments; audio machinery; visual machinery; cosmetics, drugs, perfumes, toiletries and soap (not including refining or rendering of fat or oils)	P	C	C	C
3.	Furniture upholstery	P	C	C	C
4.	Rubber and metal stamp manufacturing	P	C	C	C
5.	Laboratories; chemical	C	C	C	C
6.	Laboratories; dental, electrical, optical, mechanical and medical	P	P	P	P
7.	Bottling plants	P	P	P	P
8.	Cement products manufacturing	N	C	N	N
9.	Pharmaceuticals; laboratories and manufacturing	P	P	P	P
<b>B Storage and Wholesale Trades</b>					
1.	Mini-storage, public storage and storage warehouses	C	P	N	N
2.	Moving and storage firms	C	P	N	N
3.	Building materials and lumber storage yards and/or contractors' yards	N	C	N	N
4.	Building equipment storage, sales, rentals	N	C	N	N
5.	Automobile fleet storage	C	C	N	N
6.	Trailer, truck, or bus terminal	C	C	C	N
<b>C. Services</b>					
1.	Animal hospital or veterinary clinic and/or office	P	P	P	P
2.	Automobile and/or truck services including but not limited to: sales, rental agencies, body repair, painting and car washes	N	C	N	N
3.	Blueprinting and photocopying	P	P	P	P
4.	Cleaning and dyeing plant	N	C	C	C
5.	Distributors, showrooms and automobile offices	P	P	P	P
6.	Eating and drinking establishments:				
a.	Bars	C	C	C	C
b.	Restaurants, coffee shops, delicatessens:				
	1) With alcoholic beverages	C	C	C	C
	2) Without alcoholic beverages	A	A	A	A
c.	Snack bars, take-out only; refreshment stands within a building	P	P	P	P

Land Use		Land Use District				
		BC-1	BC-2	BC-3	BC-4	
	d.	Fast food restaurants with drive-in or drive-through	C	C	N	N
7		Furniture sales, new and used (no outdoor sales or display)	P	P	P	P
8.		Gasoline dispensing and/or automobile service station	C	C	N	N
9.		Kennels	N	C	N	N
10.		Heliports	C	C	C	C
11		Motels, hotels and convention centers	C	C	C	C
12		Newspaper publishing, printing, and distribution, general printing and lithography	P	P	P	P
13		Offices, businesses, medical, professional, real estate and research	P	P	P	P
14		Retail commercial when in conjunction with a permitted or conditional use	P	P	P	P
		Commercial recreation facilities	N	N	C	C
		Janitorial services/supplies	N	N	C	C
		Medical facilities, offices, clinics, convalescent homes, hospitals, group care, and similar related facilities	N	N	C	C
D.		High-Technology Uses				
		Research, development and manufacturing of advanced technology products (such as but not limited to systems, subsystems, components, peripherals and accessories), inclusive of prototype and experimental products, utilized in the fields of aerospace, avionics, computers, electronics, advanced materials, defense industries, communications, energy and environmental systems, transportation, telecommunication, optics/laser, fiberoptics, optoelectrics, video, imaging, magnetics, oceanography, and other related fields	P	P	P	P
E.		Bio-Technical Uses				
		Research, development and manufacturing of health care, food safety, nutrition, agriculture productivity and industrial and environmental improvement products, inclusive of prototype and experimental products involving use of organic, chemical, and biological processes	P	P	P	P
F.		Bio-Medical Uses				
		Research, development and manufacturing of organic drug delivery systems and diagnostic and therapeutic products, inclusive of prototype and experimental products, utilized in the field of medical care.	P	P	P	P
G.		Public and Semi-Public Uses				
1		Day nurseries, day care schools and nursery schools	A	A	A	A

Land Use		Land Use District			
		BC-1	BC-2	BC-3	BC-4
2.	Post offices and post office terminals	A	C	C	C
3.	Public utility pumping stations, equipment building and installation	A	A	A	A
4.	Public utility service yards	N	C	C	C
5.	Educational institutions, libraries, public or private including vocational schools	C	C	C	C
6.	Clubs, Churches, and lodges, including YMCA, and similar youth group uses	C	N	A	A
<b>H Other</b>					
1.	Uses determined to be similar and consistent with the purpose of this chapter.	C	C	C	C
<b>I. Accessory Uses</b>					
1.	Accessory structures and uses located on the same lot as permitted or conditional use	P	P	P	P
2.	Incidental services for employees on a site occupied by a permitted or conditional use, including day care, recreational facilities, showers and locker rooms	P	P	P	P
3.	Watchman's or caretaker's living quarters only when incidental to and on the same site as a permitted or conditional use	A	A	A	A
<b>J. Temporary Uses</b>					
1.	Temporary uses as prescribed in Section VI O	P	P	C	A

**IV.2 Property Development Standards: Business Center Districts**

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, except no building permit shall be issued for any lot having a lot size less than 6,000 square feet. Each building site shall have a minimum 20 foot wide vehicular access to the street.

**A. General Requirements**

The following requirements are minimums unless otherwise stated:

	<u>BC-1</u>	<u>BC-2</u>	<u>BC-3</u>	<u>BC-4</u>
1 Lot area, net <sup>1</sup>	1 ac.	1 ac.	1 ac.	1 ac.
2 Lot width (in feet)	100	150	150	150
3 Lot depth (in feet)	150	150	150	150
4 Front yard setback (in feet)	20	25	25	25 <sup>5</sup>
5 Side yard setback each side (in feet)	10	15	15	15 <sup>5</sup>
6 Public street setback (in feet)	20	20	20	20 <sup>5</sup>
7 Rear yard setback (in feet) <sup>2</sup>	10	10	10	10 <sup>5</sup>
8 Building height, maximum	35 feet or 2 stories, whichever is less <sup>3 &amp; 4</sup>	35 feet or 2 stories, whichever is less <sup>3 &amp; 4</sup>	60 feet <sup>3 &amp; 4</sup>	35 feet <sup>5</sup>
9 Lot coverage (percent, net)	60	70	70	70

<sup>1</sup> Map for condominium development does not need to meet lot area requirement. Minimum lot area may be reduced to 10,000 sf for master planned building complexes, subject to approval of a Precise Plan. Such Precise Plan shall be for a total site of no less than 60,000 sf.

<sup>2</sup> May be reduced to zero (0) with Site Plan approval for the purpose of this provision, lot means the minimum lot width and depth specified in the above minimum property development standards. Rear yard setback shall be a minimum of 20' along the northern boundary of the Business Center II SPA abutting Rolling Hills Ranch.

<sup>3</sup> Height limit for buildings on lots within Business Center II, that are not adjacent to the external boundary of the Business Center II SPA, may be considered to be increased subject to subsequent environmental analysis of the project specific Design Review application. For the purpose of this provision, "lot" means the minimum lot width and depth specified in the above minimum property development standards.

<sup>4</sup> Additional building height, up to 60', may be approved with Design Review approval, and must be consistent with the Design Guidelines established for this planning area.

<sup>5</sup> Height limit for buildings within the BC-4 District may be increased to 76 feet with approval of the Design Review Committee and provided that buildings taller than 35 feet comply with the following additional requirements:

- A. The building setbacks adjacent to residential district and scenic highways shall increase at a ratio of 1:1 and shall be measured from property line (except along Otay Lakes Road shall be measured from top of slope, regardless of where property line is located).

B Building design shall be subject to the design criteria contained in the Eastlake Business Center II Design Guidelines

The Design Review Committee, at their discretion, may authorize minor deviations from the building setback ratio, if the architectural composition, style and overall concept, merits such deviation.

B. Special Requirements

- 1 Along all street frontages situated across from any residentially zoned property, a minimum three foot high landscaped earthen berm shall be constructed long all other lot lines adjacent to residential districts, a maximum eight (8) foot high wall may be constructed if required following Director of Planning review Fences should blend in with the site's architecture
- 2 Streetscapes shall be enhanced to provide an easy transition from the street to the building Patios, circulation and parking spaces can be included in setback areas to help buffer adjoining parcels from one another
- 3 Reciprocal ingress and egress, circulation and parking arrangements shall be required where possible and feasible to facilitate vehicular movement between adjoining properties and to limit superfluous driveways



**IV.3 Performance Standards: Business Center Districts**

- A. In all Business Center Districts the required setbacks shall be landscaped. Landscaping shall consist predominantly of plant materials and shall be irrigated by automatic sprinklers. All planting and irrigation shall be in accordance with the City's Landscape Manual. All landscaping shall be permanently maintained in a clean, healthy and thriving condition, free of weeds, trash and debris
- B. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a parapet, wall or fence, or shall be enclosed within a building. Exposed gutters, downspouts, vents, louvers and other similar elements shall be painted to match the surface to which they are attached unless they are used as part of the design theme.
- C. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment
- D. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets and adjoining properties. Illuminators shall be integrated within the architecture of the building. The intensity of the light at the boundary of any Business Center District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- E. Electrical Disturbance, Heat and Cold, Glare. No use except a temporary construction operation shall be permitted which creates changes in temperature or direct glare, detectable by the human senses without the aid of instruments, beyond the boundaries of the site. No use shall be permitted which creates electrical disturbances that affect the operation of any equipment beyond the boundary of the site
- F. Fire and Explosive Hazard. All uses involving inflammable and explosive materials shall be subject to initial and continued compliance with all applicable State regulations contained in the California Code of Regulations and the Uniform Fire Code
- G. Noise. The acceptable outdoor noise exposure levels, measured at the property line, for the Business Center districts are given in the following table. (See amended Chapter 19 66 CVMC for definitions and additional details )

Exterior Noise Limits\*

<u>Receiving Land Use District</u> BC-1, BC-2, BC-3 & BC-4	<u>10 p.m. - 7 a.m.</u> 70 dbA
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\*Environmental Noise - Leg in any hour

\*Nuisance Noise - not exceeded at any time

- H. Odor. Any use involving the creation or emission of odorous gases or other odorous matter shall be subject to initial and continuous compliance with all applicable County regulations including, but not limited to Rule 51 of the San Diego County Air Pollution Control District (APCD) regulations.
- I. Radioactivity. Any use involving radioactive materials shall be subject to initial and continued compliance with all applicable State regulations including, but not limited to, Title 17 of the California Code of Regulations and Uniform Fire Code
- J. Vibration. No use except a temporary construction operation shall be permitted which generates inherent and recurrent ground vibration perceptible, without instruments, at the boundary of the lot on which the use is located.
- K. In any Business Center District, the conversion of a project to condominium ownership shall meet all the requirements of the zone to the maximum extent possible. Specific City Council waiver shall be required where the zone requirements cannot be met.
- L. Air Pollution. Emission of air contaminants shall be subject to initial and continued compliance with all applicable County regulations including, but not limited to, Rule 50 of the San Diego County Air Pollution Control District (APCD) regulations
- M. Outdoor Storage Areas shall be entirely enclosed by solid walls not less than eight (8) feet in height to adequately screen views from the external boundaries of the property.

N. Energy Conservation Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including, but not necessarily limited to the following conservation measures:

- Cogeneration;
- South facing windows;
- Eave covering for windows;
- Earth berming against exterior walls; and,
- Deciduous shade trees

O Toxic Materials. Any use involving hazardous materials shall be subject to initial and continued compliance with all applicable State regulations including, but not limited to, those contained in the California Code of Regulations, State Health and Safety Codes, and the Uniform Fire Code

P Liquid or Solid Waste. The discharge or deposit of liquid or solid wastes shall be subject to the provisions of Section 19.66.150 CVMC

NOTE: With the exception of the Uniform Building Code and Uniform Fire Code, the above referenced State and County regulations shall not be administered by City departments/agencies

**SECTION V. SPECIAL PURPOSE DISTRICTS**

**V.0 Purpose**

These districts are intended for general agriculture, open space, public and quasi-public uses. Only those additional uses which are complementary to, and can exist in harmony with, open space are permitted. For the open space districts, there is no lot size limitation and it is the intent that these districts may be applied to a portion of a lot provided that the remainder of the lot meets the requirements for which it is zoned

In addition to the objectives outlined in Subsection I 0 (Purpose and Scope), the Open Space District is included in the Planned Community District Regulations to achieve the following purposes:

- To preserve open space for the conservation of natural resources;
- Maintain the natural character of the land;
- Provide for public/quasi-public and recreational uses;
- Conserve areas of historic and community significance for the enjoyment of future generations;
- Provide for private use of land under limited development; and
- Promote public health and safety

**V.1 Permitted and Conditional Uses: Open Space Districts**

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted.

<u>Land Use</u>	<u>OS-1</u>	<u>OS-2</u>	<u>OS-3</u>	<u>OS-4</u>	<u>OS-5</u>	<u>OS-6</u>	<u>OS-7</u>
Agriculture - Interim	A	A	A	A	A	A	A
Arboreta (horticultural garden)	A	A	A	P	A	P	P
Christmas tree sales	A	N	A	A	A	A	A
Commercial equestrian facilities	N	N	N	N	N	N	A
Conference facilities	N	N	N	N	N	C	C
Field crops	A	N	A	A	A	N	A
Fruit and vegetable stands	N	N	C	N	A	N	A
Golf course/Country Club	N	N	N	N	N	P	A
Health Club/Spa	N	N	N	P	N	P	P
Heliport	N	N	N	N	C	C	C
Hotel/Motel/Lodging facilities	N	N	N	N	N	C	C
Incidental concessions	N	N	N	P	P	P	P
Parks and recreation facilities	P	P	P	P	P	P	P
Public and quasi-public uses	C	C	A	C	P	A	A
Temporary tract signs and offices	A	A	A	A	A	A	A
Tree farming	A	A	A	A	A	A	A
Utilities (public and private)	P	P	P	P	P	P	P

**V. 2 Permitted and Conditional Uses: Quasi-Public Facilities (PQ),**

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

<u>Land Use</u>	<u>PQ</u>
Agriculture - Interim	A
Arboreta (horticultural garden)	P
Christmas tree sales	A
Church/Religious Institution	P
Church related schools	C
Club, lodge, fraternal organization	A
Community Facility	P
Crops, Field	N
Fruit and vegetable stands	C
Grading and Infrastructure Improvements	P
Incidental Concessions	A
Parks and Recreation Facilities	P
Public and Quasi-public uses	P
Temporary tract signs and offices	A
Utilities (public and private)	P
Senior Care and recreation	P
Day Care Facilities	a
Recreation, non-profit, such as ball fields <sup>1</sup>	P

<sup>1</sup> Subject to the requirements outlined in Section 19 48 040 (B) (6) (d) CVMC

**V. 3 Community Purpose Facilities (CPF) District Regulations**

Lands designated "CPF" shall be subject to the applicable provisions in Title 19 of the Chula Vista Municipal Code for "Community Purpose Facilities", including, but not limited to, Section 19 48 020 through 19 48 025

Permitted and Conditional Uses: Community Purpose Facilities (CPF) Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

	<u>CPE</u>
1 Boy Scouts, Girl Scouts and other similar organizations	C
2 Social and human service activities, such as Alcoholics Anonymous	C
3. Services for homeless	C
4. Services for military personnel during the holidays	C
5. Senior care and recreation	C
6. Worship, spiritual growth and development, and teaching of family values	C
7. Day care facilities that are ancillary to any of the above	C
8 Private schools that are ancillary to any of the above	C
9 Interim uses, subject to the findings outlined in 19 48 025(E)	C
10 Recreation facilities, such as ballfields, for non-profit organizations serving the local community, subject to the requirements outlined in 19.48.004 (B)(6)(d)	C

**V. 4 Property Development Standards: Special Purpose Districts**

A. The following regulations shall apply to the site of a Permitted or Conditional Use. The requirements are minimum unless otherwise stated.

1. Density - Maximum Dwelling unit per legal lot	0
2 Lot width (in feet)	None Required
3 Lot depth (in feet)	None Required
4. Front yard setback (in feet)	20
5. Rear yard setback (in feet)	20
6 Side yard setback (in feet) each side	20/10
7. Building height	35 feet or two stories, whichever is less

**V. 5 Signs: Special Purpose Districts**

Signs approved as a component of a SPA Plan (or Comprehensive Sign Program) shall be permitted within open space districts included within the SPA. Other signs shall be permitted only as provided in Section VII of these regulations.

## SECTION VI . SPECIAL USES AND CONDITIONS

The provisions of this ordinance shall apply to the uses and conditions hereinafter enumerated. Where this section prescribes regulations more restrictive than the land use district in which a use or conditional use is permitted, the provisions of this section shall apply.

### VI .0 Temporary Uses

The provisions of this Section shall be known as the Temporary Use Regulations and shall provide regulations for the uses hereinafter enumerated. Where this Section prescribes regulations more restrictive than the zone in which a use or conditional use is permitted, the provisions of this Section shall apply. Temporary uses are subject to approval by the Director of Planning, except as noted.

#### A. Temporary Uses Listed

1. Circuses, rodeos, parades or similar outdoor entertainment or enterprises, subject to not more than five (5) calendar days of operation in any calendar year. Requests exceeding these limitations will require the submittal and approval of a conditional use permit.
2. Christmas tree sales lots, Halloween pumpkin sales, and other holiday sales subject to not more than forty (40) calendar days of site occupation and operation in any calendar year.
3. Subdivision sales offices, sales information centers, sales pavilions, and model home complexes located within the subdivision, subject to the following minimum requirements:
  - a. Offices shall be no closer than one vacant lot to an existing dwelling unit not part of the subdivision, trailers may be used for no more than ninety (90) calendar days or until such time as the subdivision sales offices have been completed, whichever is less;
  - b. An AC paved parking lot shall be provided with sufficient parking spaces to accommodate said use;
  - c. Offices shall be allowed for a maximum of four years;
  - d. Faithful performance bonding in an amount appropriate to guarantee removal and/or conversion of the sales office and attendant facilities shall be required; and,
  - f. Other conditions that the Director of Planning deems necessary to assure that the sales office will not constitute a nuisance or be objectionable to the residential uses in the neighborhood.
4. Outdoor art and craft shows and exhibits, subject to not more than three (3) calendar days of operation or exhibition in any sixty (60) calendar day period.
5. Contractors' offices and storage yards on the site of an active construction project.
6. Mobile home residences for security purposes on the site of an active construction project.
7. Outdoor display and sales located within commercially zoned properties not to exceed more than five (5) calendar days in any sixty (60) calendar days and subject to appropriate conditions of the Planning Department.
8. Seasonal retail sales of agricultural products (fruit and vegetable stands) for periods of less than ninety (90) days, if said products are raised on the premises.
9. Temporary use of properly designed mobile trailer units for classrooms, offices, banks, etc., for periods not to exceed ninety (90) days subject to Administrative Review. Requests for such uses of more than ninety days duration shall require approval of a Conditional Use Permit by the Planning Commission. Such units shall meet all necessary requirements of building, fire and health codes.
10. For any agricultural and animal husbandry activity or project (4-H, FFA, or similar) conducted for educational purposes or school credits, a permit may be granted in any district when the Director of Planning determines that such use will not cause a public nuisance relative to sanitation and health conditions.

11. Charitable or school sponsored drop-off bins for recycling of cans, newspapers or similar items, or for drop-off of clothes and small items. Bins shall be located in the parking lots of businesses or other public or semi-public property on a temporary basis when written permission is granted by the property or business owner. Said bins shall be kept in a neat and orderly manner.
12. Additional uses determined to be similar to the foregoing in the manner prescribed by Section 14 of these regulations.

**B. Permits and Bonds**

All temporary uses shall be subject to the issuance of a Temporary Use Permit by the Director of Planning and other necessary permits and licenses, including but not limited to building permits, sign permits, and solicitors or vending licenses. In the issuance of such a permit, the Director of Planning shall indicate the permitted hours of operation and any other conditions, such as walls or fences and lighting, which are deemed necessary to reduce possible detrimental effects to surrounding developments and to protect the public health, safety and welfare. Prior to the issuance of a permit for a temporary use, except those listed under C, F, G, K and L above, a cash deposit may be required to be deposited by the City. This cash deposit shall be used to defray the costs of clean-up of the property by the City in the event the Permittee fails to do same.

**C. Extension or Modification of Limits**

Upon written application, the Director of Planning may extend the time within which temporary uses may be operated, or may modify the limitations under which such uses may be conducted if the Director of Planning determines that such extension or modification is in accord with the purposes of the zoning regulations.

**D. Condition of Site Following Temporary Usage**

Each site occupied by a temporary use shall be left free of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of the zoning regulations.

**E. Fee**

The application shall be accompanied by a fee established by the Master Fee Schedule to cover the cost of processing the application prescribed in this section. This fee may be waived by the approving authority for charitable groups that do not need any public services.

**VI. 1 Home Occupations**

**A.** Home occupations may be permitted only when in compliance with the conditions listed herein. A permit must be issued by the Director of Planning prior to operation of such use. The fee shall be in accordance with the Master Fee Schedule.

1. There shall be no stock in trade or exterior storage of materials in the conduct of a home occupation.
2. A home occupation shall be conducted entirely within a dwelling; if in an attached or a detached garage, it shall not impede the use of said garage for vehicle storage.
3. Electrical or mechanical equipment which creates visible or audible interference in radio or television receivers or causes fluctuations in lint voltage outside the dwelling unit, shall be prohibited.
4. Only the residents of the dwelling unit may be engaged in the home occupation.
5. There shall be no sale of goods on the premises.
6. The establishment and conduct of a home occupation shall not change the principal character or use of the dwelling unit involved.
7. There shall be no signs other than those permitted by this ordinance.
8. The required residential off-street parking shall be maintained.

9. A home occupation shall not create vehicular or pedestrian traffic in excess of that which is normal for the land use district in which it is located.
10. No vehicles or trailers (including pick-up trucks and vans) or construction or other equipment, except those normally incidental to residential use, shall be kept on the site

## **VI.2 Recreational Courts**

Construction of recreation courts, including necessary fencing and lighting, may be permitted subject to administrative review and a finding that adjacent properties will not be unduly affected

Recreation courts shall meet the following minimum standards:

- A. A maximum 20-foot high fence (measured from the finished grade of the court) shall be allowed. Fences shall include a screening material which screens the court activity from off-site view and which improves the appearance of the fence
- B. Setbacks for the court shall be:
  - Side yard: 10 feet
  - Rear yard: 10 feet
- C. Maximum of eight (8) lights permitted, height not to exceed 22 feet. All lights and light fixtures shall be certified by a qualified lighting engineer to:
  1. Be designed, constructed, mounted and maintained such that, the light source is cut off when viewed from any point five (5) feet above the ground measured at the lot line
  2. Be designed, constructed, mounted and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed 2 foot candle above ambient levels
  3. Be used between 7:00 a.m. and 10:00 p.m.
- D. The surface area of any recreational court shall be designed, painted, colored and/or textured to reduce the reflection from any light incident thereon
- E. Landscaping shall be installed as required between the fence and the property line

## **VI.3 Kennels - Commercial and Non-commercial**

The following regulations are established for operation and maintenance of commercial and non-commercial kennels in the Manufacturing Service Land Use Districts pursuant to Section IV.1 C.9.

- A. Animal runs shall meet the following minimums:
  1. Minimum sizes:
    - 3'0" x 5'0" for small size animals
    - 3'0" x 9'0" for medium size animals
    - 9'0" x 9'0" for large size animals
  2. Animal runs shall be constructed and/or coated with non-porous material to discourage the breeding of ticks and other similar pests.
  3. All animal runs and animal holding areas shall have concrete or other durable flooring sloped for proper drainage
  4. All animal runs shall be provided with adequate enclosures to provide protection from inclement weather
  5. All animal runs shall be provided with drains sufficient to control drainage and daily washing of the runs
  6. All animal runs shall be washed down daily to control odor, flies and the breeding of ticks, fleas, bacteria and other similar pests



- B. All kennels shall be served by sewer and/or all excrement produced by said kenneled animals shall be dispersed on a regular basis so as to control flies and odor, or stored in an enclosed container and dispersed on a regular basis.
- C. All noise shall be sound attenuated so that the noise level measured at the property line is within the ambient level for the land use district in which the site is located
- D. No animal runs, exercise areas or keeping of the kenneled animals for commercial and non-commercial purposes shall be located within the required front, street side or side yards of the land use district in which the site is located

**VI. 4 Arcades**

- A. In order to minimize adverse effects that arcades and electronic games may have on the neighborhood or area in which it is located, the following regulations are established. Arcades may be permitted only in the Village Center Commercial land use district subject to a conditional use permit and to the conditions listed herein:
  - 1. All such facilities shall provide parking with ingress and egress designed so as to minimize traffic congestion; shall be not less than twenty feet away from any adjacent residential zone; and shall show that adequate controls or measures will be taken to prevent offensive noise and vibration. Should the Municipal Code be amended to provide additional regulation of these uses, such amendments shall apply to arcade or similar uses within EastLake II
  - 2. The operation of four or less machines shall be permitted provided their operation is ancillary to the use of the building and said use does not materially alter the principal use of such a building. The operation of four or less machines where they are the principle use may be approved by the Director of Planning where, in his judgment, the location does not constitute a traffic or safety hazard to the public or abrogate the intent of the regulations contained in this section.

## SECTION VII. COMPREHENSIVE SIGN REGULATIONS

### VII.0 Purpose

The provisions of Sections VII 0 through VII 3, inclusive, shall be known as the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs.

The City of Chula Vista recognizes the need for signs as a means to identify businesses within the community. However, the City also recognizes that signing is an important design element of the physical environment. Regulations consistent with the goals and objectives of the community are necessary to ensure that the character and image the community is striving for can be attained.

It is the purpose of this chapter to make EastLake II attractive to residents, visitors, and commercial, industrial and professional businesses while maintaining economic stability through an attractive signing program. Specifically, the purposes of this chapter are to:

- Protect the general public health, safety and welfare of the community;
- Reduce possible traffic and safety hazards through good signing;
- Direct persons to various activities and uses, in order to provide for maximum public convenience;
- Provide a reasonable system of sign regulations, to ensure the development of a high quality visual environment;
- Encourage signs which are well designed and pleasing in appearance and to provide incentive and latitude for variety, good design relationship to the business or use it identifies, and spacing between signs and buildings;
- Encourage a desirable urban character which has a minimum of clutter;
- Enhance the economic value of the community and each area, business and use thereof, through the regulation of such elements as size, number, location design and illumination of signs; and,
- Encourage signs which are well located, and take in to account the service and usage of adjacent areas.

### VII.1 Permit Requirement and Review

#### A Sign Permit Required

A sign permit shall be required in accordance with Section 19 60.030 of the Municipal Code for any sign except as follows; provided, however, any signage in excess of the specific exemption listed below is prohibited:

- 1 Permanent window signage not exceeding twelve (12) square feet per business frontage and limited to the name of the business, service, or use, hours of operation, address and emergency information, except exposed neon tubing signs advertising products for sale on the premises, are permitted as permanent signs
- 2 Temporary advertising signage painted on the window or constructed of paper, cloth, or similar expendable material affixed on the window, wall or building surface, provided that all of the following conditions are met:
  - a. The total area of such signs shall not exceed twenty-five (25) percent of the window area; however, in all cases, twelve (12) square feet per business frontage is permitted.
  - b. Such signs shall be affixed to the surface for no more than thirty (30) continuous calendar days but for not more than sixty (60) days each calendar year, to promote a particular event or sale of product or merchandise.
- 3 Real Estate Signs for Residential Sales: One (1) sign per street frontage not exceeding four (4) square feet in area and five (5) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow or the rental or lease has been accomplished. Signs placed on the rear street frontage are prohibited. Open House signs not exceeding four (4) square feet in area

and five (5) feet in height are permitted for directing prospective buyers to property offered for sale.

4. Political signs: Political signs having to do with any issue, ballot measure, political statements and expressions, or candidate in any Municipal, County, State or Federal election shall be permitted subject to the following provisions and any other applicable provisions within this chapter.
  - a. Any person, party or group posting signs in the City shall abide by the provisions herein set forth.
  - b. All political signs shall be placed, erected, constructed, painted or assembled, no earlier than thirty (30) calendar days prior to the election and shall be removed no later than ten (10) calendar days following the date of the election
  - c. A political sign shall not exceed thirty-two (32) square feet in total area for one side; double-faced signs shall not exceed thirty-two (32) square feet per side. No signs shall be placed in a manner that would obstruct visibility of or impede pedestrian or vehicular traffic, or to endanger the health, safety, or welfare of the community.
  - d. All political signs shall not exceed an overall height of eight (8) feet from the finished grade immediately around the sign
  - e. No political signs shall be lighted either directly or indirectly unless said sign is erected, painted or constructed on an authorized structure already providing illumination
  - f. No political sign shall be placed or affixed to a traffic signal, street light, tree, fence, utility pole or existing sign, nor shall be posted on any public property or in the public right-of-way, if in the opinion of the Director of Planning, said sign impedes or renders dangerous public access to any public improvement, including but not limited to utility poles and fire hydrants; or obstructs the vision of any sign designed to regulate, control or assist public or private transportation or obstructs the vision of any user of a public right-of-way
  - g. No political sign shall be posted in violation of any provisions of this chapter. Further, the Director of Planning or his designee shall have the right to remove all signs placed contrary to the provisions of this section. Any political sign placed on private property without the consent of said private property owner may be removed by said owner or representative of said owner.
5. Contractor or Construction Signs: For residential projects greater than four (4) dwelling units, commercial and industrial projects, two (2) directory signs shall be permitted on the construction site for all contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the City. For all other projects, a total of two (2) signs per development site may be installed with a maximum of four (4) square feet in area and five (5) feet in height for each sign. Such sign(s) shall be removed upon finalization of building permits
6. Future Tenant Identification Sign: Future tenant identification signs may be placed on vacant or developing property to advertise the future use of an approved project on the property and where information may be obtained. Such signs shall be limited to one (1) per fronting street and to a maximum of ninety-six (96) square feet in area and twelve (12) feet in overall height each. Further, such signs shall be placed no closer than ten (10) feet to any property line. Any such sign shall be removed upon finalization of building permits. Where a project has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed
7. Real Estate Signs for Sale of Commercial or Industrial Property: One (1) sign per street frontage not to exceed thirty-two (32) square feet in area to advertise the sale, lease or rent of such property. No such sign shall exceed eight (8) feet in overall height and shall not be located within the public right-of-way. Where a property has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed.

8. Interior signs within a structure or building when not visible or readable, nor intended to be read from off-site or from outside of the structure or building
9. Identification signs for a business, service or use no greater than four (4) square feet in area may be permitted. Said signs shall not be visible from the public right-of-way, shall be attached to the main building, shall be for pedestrian traffic, and shall not otherwise require a building permit.
10. Memorial tablets, plaques, or directional signs for community historical resources, installed by a City recognized Historical Society or civic organization
11. Convenience signs and secondary directional signs not exceeding four (4) square feet in area (see SPA Plan).
12. Residential building identification signs used to identify individual residences and not exceeding four (4) square feet in area.
13. One name plate per parcel not exceeding four (4) square feet in area for single family residential uses and agricultural uses
14. Official and legal notices issued by any court, public body, person, or officer or in furtherance of any nonjudicial process approved by state or local law.
15. Signs providing direction, warning, or informational signs or structures required or authorized by law or by Federal, State, County, or City authority.
16. A single official flag of the United States of America and/or two (2) flags of either the State of California or other states of the United States, counties, municipalities or official flags for nations, and flags of internationally or nationally recognized organizations or the company flag. Flags shall be a maximum of five (5) feet by eight (8) feet unless otherwise specifically approved on a Site Plan.
17. Signs of public utility companies, indicating danger or which serve as an aid to public safety, or which show locations of underground facilities or public telephones.
18. Safety signs on construction sites.
19. One (1) freestanding time and temperature sign that conveys time and temperature only and not exceeding twelve (12) square feet in area nor fifteen (15) feet in height, or not higher than the roofline, whichever is less, when combined with business identification in accordance with Section VII.3, and counted toward sign area for the freestanding sign.
20. One (1) wall mounted time and temperature sign that conveys time and temperature only not exceeding twelve (12) square feet in area shown when combined with business identification in accordance with Section VII 3, and counted toward sign area for the wall sign.
21. "No Trespassing", "no parking", and similar warning signs not exceeding four (4) square feet.
22. Signs on public transportation vehicles regulated by a political subdivision, including but not limited to buses and taxicabs.
23. Signs on licensed commercial vehicles, provided such vehicles are not used or intended for use as portable signs or as may be prohibited in Section VII 1 B.
24. A change of copy conforming to an approved Comprehensive Sign Program. All other changes of copy shall comply with Section VII 1.
25. Incidental signs for automobile repair stores, gasoline service stations, automobile dealers with service repairs, motels and hotels, showing notices of services provided or required by law, trade affiliations, credit cards accepted, and the like, attached to a freestanding sign, structure or building; provided that all of the following conditions exist:
  - a. The signs number no more than four (4).
  - b. No such sign project beyond any property line.
  - c. No such sign shall exceed an area per face of four (4) square feet.

26. Copy applied to fuel pumps or dispensers by the manufacturer such as fuel identification, station logo and other signs required by the law
27. Agricultural signs, either wall or freestanding types, non-illuminated, and not exceeding four (4) square feet for lots two (2) acres or less and sixteen (16) square feet for lots greater than two (2) acres, identifying only the agricultural products grown on the premises. The number of such signs shall be one (1) per street frontage or a maximum of two (2), with all signs to be located below the roofline and freestanding signs to be no higher than eight (8) feet

B. Prohibited Signs: All signs not expressly permitted are prohibited in all zones, including but not limited to the following:

1. Roof signs
2. Flashing signs (except time and temperature signs).
3. Animated signs (conveying the illusion of motion).
4. Revolving or rotating signs.
5. Vehicle signs (when parked or stored on property to identify a business or advertise a product)
6. Portable signs (except where permitted in this chapter)
7. Off-site signs (except temporary subdivision signs)
8. Signs within the public right-of-way (except those required by a governmental agency). No sign shall be so placed, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs except as may be permitted in Section VII 1 A 4 of this Chapter.
9. Signs located on public property except as may be permitted in by Section VII.1.A.4 of this chapter or those required by a governmental agency.
10. Signs within the public right-of-way prohibited by the Streets and Highways Code (Sec 101 et seq. and Sec. 1460 et seq ), the Vehicle Code (Sec 21400 et seq.) and the Public Utilities Code (Sec. 7538 et seq )
11. Signs blocking doors or fire escapes.
12. Outside light bulb strings and exposed neon tubing outside of building (except for temporary uses such as Christmas tree lots, carnivals and other similar events with prior approval of the City)
13. Banners, flags, pennants and balloons (except as permitted in Section VII A 16 and except for special events as provided for in this chapter in Section VII 2 A 3)
14. Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in this Chapter in Section VII.2 A 3).
15. Advertising structures (except as otherwise permitted in this chapter).
16. Statuary (statues or sculptures) advertising products or logos of the business that are located outside of the structure that houses the business
17. The use of decals, stick-on or transfer letters, or tape on the walls or parapets of buildings, fences, walls or other structures
18. Readerboard/changeable copy signs, either electric or non-electric except as permitted in this chapter.
19. Signs which purport to be or are an imitation or resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic.

C. Signs Relating to Inoperative Activities: Signs pertaining to activities or businesses which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises has been vacated. Any such sign not removed within the specified time shall constitute a nuisance and shall be subject to removal under the provisions of this chapter and local ordinance

- D. Enforcement, Legal Procedures, and Penalties: Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by the Municipal Code. Unauthorized illegal signs may be abated by the City in accordance with local ordinance. If said sign is stored by the City the owner may recover said sign from the City upon payment to the City of any storage and/or removal charge incurred by the City. The minimum charge shall be no less than three dollars (\$3.00) per sign. All signs removed by the City may be destroyed thirty (30) calendar days following removal. If any sign, in the opinion of the Director of Planning, is an immediate threat to the public health and safety, said sign shall be immediately and summarily removed with the cost of said removal charged to the property owner in accordance with local ordinances.
- E. Construction and Maintenance:
1. Construction: Every sign and all parts, portions, and materials shall be manufactured, assembled, and erected in compliance with all applicable State, Federal, and City regulations and the Uniform Building Code.
  2. Maintenance: Every sign and all parts, portions, and materials shall be maintained and kept in proper repair. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked or broken surfaces, and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification of the business by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural change, is permitted.

## VII.2 Sign Regulations

Sign permits may be issued for signs included under this section provided the signs are in compliance with all other applicable laws and ordinances.

### A. Signs Permitted in any Land Use District:

The following signs may be permitted in any land use district. These signs are in addition to those signs expressly permitted in each land use district and are subject to the provisions listed:

1. Convenience Signs: On-site signs no greater than six (6) square feet necessary for public convenience or safety may be approved by the Director of Planning or his designee. Signs containing information such as "entrance," "exit," or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
2. Comprehensive Sign Program for Commercial and Industrial Zones: A Comprehensive Sign Program shall be developed for all commercial and industrial centers consisting of four (4) or more tenant spaces. The purpose of the program shall be to integrate signs with building and landscaping design into a unified architectural unit. This shall be achieved by:
  - a. Using the same background color on all signs.
  - b. Using not more than three (3) different colors for sign lettering.
  - c. Using the same type of cabinet supports, or method of mounting for signs of the same type, or by using the same type of construction material for components, such as sign copy, cabinets and supports, or by using dissimilar signing determined compatible by the Director of Planning.
  - d. Using the same form of illumination for all signs, or by using varied forms of illumination determined compatible by the Director of Planning.
  - e. Allowing the use of different colors for logos.
3. Special Event Signs: Special event signs may be approved for a limited period of time as a means of publicizing special events such as grand openings, new management, inventory sales, Christmas tree lots, parades, rodeos, and fairs that are to take place within EastLake II.
  - a. Community Special Events such as a rodeo or community fair may be permitted the following signage:

- (1) No more than four (4) off-site signs up to thirty-two (32) square feet and eight (8) feet in height to publicize the event indicated above.
  - (2) Temporary advertising signing consistent with the requirements set forth in Section VII I A 2.
- b. Commercial Special Events such as grand openings, Christmas tree lots, painted seasonal holiday window displays, and notice of new management may be permitted the following signage:
- (1) No more than one (1), thirty-two (32) square foot or smaller, eight (8) feet in height, on-site, freestanding, special event sign
  - (2) All other on-site special event signs can be either wall and window signs, flags, banners and pennants. Inflatable advertising devices of a temporary nature may be permitted. In no case shall any signage, flag, pennant, inflatable device or banner be placed in a location not approved by the Director of Planning
4. On-Site Subdivision Signs:
- a. One (1) temporary, on-site subdivision sign not to exceed 64 square feet total area for two (2) sides or 32 square feet for one (1) side and total overall height of twelve (12) feet may be permitted on each Circulation Element street frontage of the property being subdivided, not to exceed two (2) such signs for all phases of any subdivision; otherwise a maximum of one (1) sign is permitted
  - b. Such sign shall be for the identification of a subdivision, price information and the developer's name, address and telephone number.
  - c. Such signs shall be removed within ten (10) calendar days from the date of the final sale of the land and/or residences or within twenty-four (24) months, whichever comes first. Extensions of twelve (12) months may be approved by the Director of Planning
  - d. Signs shall be maintained in good repair at all times
  - e. A cash deposit of three hundred dollars (\$300) per sign shall be deposited with the sign application to ensure compliance with this chapter and removal of such sign. Said deposit shall be refunded to the applicant upon sign removal by the applicant. If the City is forced to remove any signs, then the cost of removal shall be deducted from the deposit.
5. Off-Site Subdivision Directional Sign:
- a. A maximum of four (4) signs may be used to lead customers to the site.
  - b. Signs shall be made of panels which shall be no longer than seventy-two (72) inches by twelve (12) inches each and shall be grouped on a single, double or four-sided kiosk. Such structure shall contain no more than seven (7) panels per side nor exceed seven (7) feet in height.
  - c. A sign kiosk shall be located not less than three hundred (300) feet from an existing approved sign site. Further, each sign may only contain the name of the planned community, subdivision, developer or development logo and a directional arrow
  - d. The placement of each sign structure and its copy shall be reviewed and approved by the Director of Planning prior to installation.
  - e. All kiosks that are to be placed on private property shall be with prior written consent of the property owner, to allow the City, in the event of noncompliance, to enter said property and remove the sign. A copy of said consent shall be filed with the Department of Planning prior to the acceptance of a sign permit application.
  - f. A kiosk location plan shall be prepared showing the site of each kiosk and shall be submitted to and approved by the Director of Planning prior to the acceptance of a sign permit application.

- g Any sign approved for a particular subdivision within EastLake II shall not be changed to another subdivision without prior approval of the Director of Planning
- h There shall be no addition, tag signs, streamers, devices, display boards, or appurtenances added to the sign as originally approved. Further, no other directional signing may be used as posters, portable signs, vehicle signs, trailer signs or temporary subdivision (bootleg) signs
- i All off-site subdivision signs not conforming to this ordinance shall be deemed a public nuisance and removed prior to the program.
- j A three hundred dollar (\$300) cash deposit shall be placed with the City to ensure compliance with this chapter. Any sign placed contrary to the provisions of this chapter may be removed by the City and the cost of removal shall be deducted from said deposit. Additional costs incurred by the City resulting from the removal of illegal signs shall be charged to the developer.
- k Said sign shall be allowed until the units within the subdivision are sold out, or for a period of twenty-four (24) months, whichever occurs first. Extensions of twelve (12) months may be approved by the Director of Planning.

### VII 3 Sign Design Standards

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings, or type of business on the site, and to the extent possible, signs located on commercial sites; but in a predominantly residential area, shall take into consideration compatibility with the residential area.

- A Relationship to Buildings: Signs located upon a lot with only one main building housing the use which the sign identifies, shall be designed to be compatible with the predominant visual elements of the building, such as construction materials, color, or other design details. Each sign located upon a lot with more than one main building, such as a shopping center or other commercial or industrial area developed in accordance with a common development plan, shall be designed to be compatible with predominant visual design elements common or similar to all such buildings or the buildings occupied by the "main tenants" or principal uses

The Director of Planning may condition approval of any sign to require such visual elements to be incorporated into the design of the sign where such element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings.

- B. Relationship to other signs: Where there is more than one (1) freestanding sign located upon a lot, all such signs shall have designs which are complementary to each other by either similar treatment or incorporation of one (1) or more of the following five (5) design elements:

1. Type of construction materials (such as cabinet, sign copy, supports);
2. Letter style of sign copy;
3. Type or method used for supports, uprights or structure on which sign is supported;
4. Sign cabinet or other configuration or sign area; or
5. Shape of entire sign and its several components

- C. Landscaping: Each freestanding sign shall be located in a planted landscaped area which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting and ground definition to the sign. The planted landscaped area shall be maintained in a neat, healthy and thriving condition.

- D. Illumination and Motion: Signs shall be non-moving stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing)

- E. Sign Copy: The name of the business, use, serve and/or identifying logo shall be the dominant message on the sign. The use of advertising information such as lists of products (more than one product), is prohibited



F. Relationship to Streets: Signs shall be designed so as not to obstruct any pedestrian, bicyclist or driver's view of right-of-way

## SECTION VIII . OFF-STREET PARKING

### VIII .0 Purpose

All regulations set forth in this section are for the purpose of providing convenient off-street parking space for vehicles. The parking requirements of this section are to be considered as the minimum necessary for such uses permitted by the respective zone.

The intent of these regulations is to provide adequately designed parking areas with sufficient capacity and adequate circulation to minimize traffic congestion and promote public safety. It shall be the responsibility of the developer, owner or operator of the specific use to provide and maintain adequate off-street parking.

The provisions and standards set forth in this section apply primarily to non-residential uses. The standards for residential uses are included in Section II.3, Property Development Standards: Residential Districts

### VIII .1 General Provisions

- A. Off-street parking facilities, for both motor vehicles and bicycles, shall be provided for any new building constructed, for any new use established, for any addition or enlargement of an existing building or use, and for any change in the occupancy of an existing building.
- B. For additions or enlargement of any existing building or use, or any change of occupancy or manner of operation that would increase the number of parking space required, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval of a Conditional Use Permit.
- C. The required parking facilities needed for any development shall be located on the same site, or if an irrevocable access and/or parking easement is obtained, the parking may be on an adjacent site. Property within the ultimate right-of-way of a street or highway shall not be used to provide required parking or loading or unloading facilities.
- D. The requirements of this ordinance shall apply to temporary as well as permanent uses.
- E. All required off-street parking spaces shall be designed, located, constructed and maintained so as to be fully usable during workday periods or as needed by the use of the premises.
- F. Where the application of these schedules results in a fractional space then the fraction shall be rounded to the higher whole number.
- G. The parking requirement for uses not specifically listed in the matrix shall be determined by the approval body for the proposed use on the basis of requirements for similar uses, and on any traffic engineering and planning data that is appropriate to the establishment of a minimum requirement.
- H. In the calculation of parking requirements for village centers, off-peak hour uses from the normal operating hours of the center shall not be counted toward the parking requirement.
- I. In situations where a combination of uses are developed on a site, parking shall be provided for each of the uses on the site according to the schedule given in this section. Where residential and commercial uses are mixed, reduced guest parking may be permitted by the Zoning Administrator in consideration of shared parking with the commercial uses.
- J. A maximum of 25 percent (1/4) of the parking spaces required on any site may be provided as "compact" spaces for non-residential uses.
- K. Tandem parking shall not qualify as required parking unless specifically approved by the Planning Commission.
- L. Required parking may be reduced by the Planning Commission with approval of a Conditional Use Permit.
- M. In the VC-5 and BC-4 land use districts, as a condition of any required entitlement or permit, the total number of required parking spaces for a single use or a mix of uses may be satisfied using off-site parking within 500 feet of the subject property(ies) provided:

- i A shared parking agreement is recorded for the duration of the subject uses and need for shared parking
- ii Demonstration of adequate parking for the proposed mix of uses with complimentary parking use patterns via a parking use or needs survey to the satisfaction of the approving agency.

Any use not sufficiently specified herein, as determined by the Director of Planning, or where the parking for a use may require additional detail, the provisions of Title 19 of the Chula Vista Municipal Code relative to parking shall be applied.

**VIII . 2            Schedule of Off-street Parking Requirements**

<u>USE</u>	<u>MINIMUM OFF-STREET PARKING REQUIRED</u>
A. Administrative and Professional Services	1 space/300 square feet of gross floor area; minimum of 4 spaces
B. Shopping Centers and General Commercial Uses except as noted below:	1 space/200 square feet of gross floor area
1 Eating & drinking establishments	1 space/each 2.5 seats or 1 space/50 square feet of seating area where there are no fixed seats.
a Fast food restaurants with drive-in or drive through.	1 space/each 7 seats plus one (1) space per employee, minimum 15 spaces and an on-site queue line for at least eight (8) vehicles when drive through is included.
b Planned Shopping Centers Complexes (VC-1)	5 spaces per 1000 square feet of building area for all uses (outdoor garden areas and dining patios are not required to provide additional parking)
2 Gasoline dispensing and/or automotive services stations	2 spaces plus four (4) for each service bay.
3 Appliance and/or furniture stores	1 space/600 square feet of gross floor area <sup>1</sup>
4 Hotels and motels	1 space per unit plus 1 space for every 25 rooms or portion thereof provided on the same lot
5 Auto and/or truck sales	1/10 the car storage capacity of the facility
6 Medical and dental offices or clinics, veterinary offices or clinics	1 space/200 square feet of gross floor area; minimum of 5 spaces
7 Commercial recreation facilities <sup>2</sup>	
a Bowling alleys, billiard halls	5 spaces/alley plus 2 for each billiard table plus required parking for other uses on the site.

<sup>1</sup>Parking for furniture stores within the BC-4 and VC-5 Districts shall be provided at a rate of 1 space/1,100 square feet of gross floor area

<sup>2</sup>Parking may be reduced by Director of Planning when facility is provided as a residential development amenity, recognizing that some local residents will not drive to facilities

- b. Commercial stables 1 space/5 horses boarded on-site
- c. Driving range (golf) 1 space/tee plus required parking for any other uses on the site
- d. Golf course (regulation) 6 spaces/hole plus required parking for any other uses on the site
- e. Miniature golf 3 spaces/hole plus required parking for any other uses on the site
- f. Skating rinks 1 space/100 square feet of gross floor area.
- g. Tennis, handball, and racquetball facilities 3 spaces/court plus required parking for any other uses on the site.
- h. Theaters
  - (1) Motion picture 1 space/3.5 seats
  - (2) Playhouse 1 space/3.5 seats.

C Public and Semi-Public Uses

- 1. Day nurseries, day care schools 1 space/staff member plus 1 space/5 children or 1 space/10 children if adequate drop-off facilities are provided. Drop-off facilities must be designed to accommodate a continuous flow of passenger vehicles to safely load and unload children. The adequacy of drop-off facilities proposed shall be determined by the Director of Planning.
- 2. Convalescent and/or nursing homes (congregate care facilities) 1 space/3 beds
- 3. Hospitals 1.5 spaces/bed
- 4. Educational institutions, private
  - a. Elementary and junior high school 1 space per employee plus 5 spaces
  - b. Senior high schools 1 space per 4 students.
  - c. Colleges and vocational schools 0.5 space/faculty member and employee plus 1 space/3 students
  - d. Churches, convents, monasteries, other religious institutions, and other spaces of public assembly 1 space/3.5 seats within the main auditorium or 1 space/45 square feet of gross floor area within the main auditorium where there are no fixed seats
- 5. Public Utilities To be determined by the Director of Planning.

D. Manufacturing Uses

- |                             |   |
|-----------------------------|---|
| 1. Manufacturing            | 1 space per 1.5 employees or 1 space/800 square feet of gross floor area devoted to manufacturing plus the required parking for square footage devoted to other uses, whichever is greater. Ten (10) percent of the spaces provided must be designed for use by carpools                      |
| 2. Research and Development | 1 space/300 square feet of gross floor area Ten (10) percent of the spaces provided must be designed for use by carpools.   |
| 3. Storage                  | 1 space/1,000 square feet of gross area for the first 20,000 square feet devoted to storage plus the required parking for square footage devoted to other use 1 space/2,000 square feet for the second 20,000 square feet. 1 space/4,000 square feet for area in excess of 40,000 square feet |

E. Single Family Residential and Multiple Family Residential Indicated in their respective land use districts

- |                            |  |
|----------------------------|--|
| 1. Senior Housing Projects | 1 space/bedroom (may be reduced by City Council) |
|----------------------------|--|

F. Handicapped Parking Requirements

Handicapped parking requirements are established by the State of California. The parking standards contained in this section are identical to those established by the State. Any future change in the State handicapped parking standards would preempt the requirements given in this section.

1. Handicapped parking for residential uses shall be provided at the rate of one space for each dwelling unit that is designed for occupancy by the handicapped.
2. Handicapped parking spaces shall be provided for all uses other than residential at the following rate:

<u>Number of Automobile Spaces Provided</u>	<u>Number of Handicapped Spaces Required</u>
1 - 40	1
41 - 80	2
81 - 120	3
121 - 160	4
161 - 300	5
301 - 400	6
401 - 500	7
Over 500	7 + 1 for each 200 additional automobile spaces provided

3. Handicapped parking spaces required by this section shall count toward fulfilling automobile parking requirements.

G. Bicycle Parking Requirements

The matrix below contains the minimum bicycle parking requirements. Only those uses identified in the matrix are required to install bicycle parking. Bicycle parking facilities shall be stationary storage racks or devices designed to secure the frame and wheel of the bicycle.

<u>Use</u>	<u>Minimum Bicycle Parking Required</u>
1. Administrative and Professional Services over 20,000 square feet of gross floor area	5 spaces
2. Shopping centers with 50,000 square feet of gross floor area	1 space/33 automobile parking spaces required
3. Eating and drinking establishments	2 spaces
a. Fast food restaurants, coffee shops, delicatessens, etc	5 spaces
4. Medical and dental offices or clinics, veterinary offices or clinics	2 spaces
5. Commercial Recreation	1 space/33 automobile parking spaces required
6. Hospitals	4 spaces
7. Churches	4 spaces

H. Motorcycle Off-Street Parking Requirements

Motorcycle parking areas shall be provided for all uses, except residential, at the following rate:

- 1 Uses with 20 to 100 automobile parking spaces shall provide one designated area for use by motorcycles
- 2 Uses with more than 100 automobile parking spaces shall provide motorcycle parking areas at the rate of one motorcycle parking area for every 100 automobile parking spaces provided

VIII . 3 **Property Development Standards: Off-street Parking**

The following property development standards shall apply to all land, buildings, and uses authorized by the Planned Community District Regulations.

A General Requirements

The following are minimums unless otherwise stated:

- 1 Residential
  - a Covered in a garage or carport: 10' x 20' each space
  - b Uncovered: 9' x 18.5' each space
- 2 All others shall use Parking Table, on following page
3. Motorcycle parking space: 4 feet by 8 feet.
- 4 Bicycle parking space: 2 feet by 6 feet.
- 5 Automobile, handicapped, motorcycle and bicycle: All parking stalls and maneuvering areas shall be paved and permanently maintained with asphalt, concrete, or any other all-weather surfacing approved by the Director of Planning and subject to current city standards
6. Striping and Identification
  - a Automobile: All parking stalls shall be clearly outlined with double lines on the surface of the parking facility
  - b Handicapped: All handicapped spaces shall be striped and marked according to the applicable State standards
  - c. Motorcycle: All motorcycle spaces shall have bollards installed and appropriately spaced to prevent automobile usage of the motorcycle area. Motorcycle spaces shall be marked so that they can be clearly identified for motorcycle usage
  - d. Bicycle: All bicycle spaces shall be clearly identified

B Special Requirements

- 1 Any unused space resulting from the design of the parking area shall be used for landscaping purposes.
- 2 All parking lot landscaped islands shall have a minimum inside dimension of four (4) feet and shall contain a twelve (12) inch wide walk adjacent to parking stall and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland cement concrete curb
3. All landscaping areas shall be irrigated automatically and kept in a healthy and thriving condition free from weeds, debris and trash.
4. All parking facilities shall have lighting in accordance with the current City standards. The lighting shall be designed and installed so as to confine direct rays to the site. Parking lot lights shall be a maximum height of eighteen (18) feet from the finished grade of the parking surface and directed away from the property lines.
- 5 All parking facilities shall be graded and drained so as to provide for the disposal of all surface water on the site.

- 6 In any R zone except RC and RM, the parking of motorized and non-motorized vehicles shall be subject to the following requirements:
- a No motorized or non-motorized vehicle shall be parked, stored and kept in the front yard except on land adjacent to the driveway or in the driveway.
  - b If motorized or non-motorized vehicles are to be parked, stored, or kept on the lot, other than as permitted in "a" above, they must be for the personal use of the resident.

**VIII.4 Performance Standards: Off-Street Parking**

- A All parking facilities required by this ordinance shall be maintained in good operating condition for the duration of the use requiring such facilities. Such facilities shall be used exclusively for the parking of vehicles. The parking facilities shall not be used for the storage of merchandise, or for the storage or repair of vehicles or equipment. Parking facilities shall not be used for the sale of merchandise, except on a temporary basis pursuant to Section VI.0 (Temporary Uses).
- B All shopping centers that use shopping carts shall provide convenient and safe on-site storage areas for the shopping carts.
- C Handicap, motorcycle, and carpool parking areas, when required, shall be located within close proximity of the entrance to the facility.



## Parking Table

A	B	C	D	E	F	G		A	B	C	D	E	F	G
0°	8'0"	8.0	12.0	23.0	28.3	--		60°	8'6"	20.7	18.5	9.8	59.9	55.6
	8'6"	8.5	12.0	23.0	29.0	--			9'0"	21.0	18.0	10.4	60.0	55.5
	9'0"	9.0	12.0	23.0	30.0	--			9'6"	21.2	18.0	11.0	60.4	55.6
	9'6"	9.5	12.0	23.0	31.0	--			10'0"	21.5	18.0	11.5	61.0	56.0
	10'0"	10.0	12.0	23.0	32.0	--								
20°	8'0"	14.0	12.0	23.4	40.0	31.5		70°	9'0"	21.0	19.0	9.6	61.0	57.9
	8'6"	14.5	12.0	24.9	41.0	32.0			9'6"	21.2	18.5	10.1	60.9	57.7
	9'0"	15.0	12.0	26.3	42.0	32.5			10'0"	21.2	18.0	10.6	60.4	57.0
	9'6"	15.5	12.0	27.8	43.0	33.1								
	10'0"	15.9	12.0	29.2	43.8	33.4								
30°	8'0"	16.5	12.0	16.0	45.0	37.1		80°	9'0"	20.3	24.0	9.1	64.3	62.7
	8'6"	16.9	12.0	17.0	45.8	37.4			9'6"	20.4	24.0	9.6	64.4	62.7
	9'0"	17.3	12.0	18.0	46.6	37.8			10'0"	20.5	24.0	10.2	65.0	63.3
	9'6"	17.8	12.0	19.0	47.6	38.4								
	10'0"	18.2	12.0	20.0	48.4	38.7								
45°	8'6"	19.4	13.5	12.0	52.3	46.5		90°	9'0"	19.0	24.0	9.0	62.0	--
	9'0"	19.8	13.0	12.7	52.5	46.5			9'6"	19.0	24.0	9.5	62.0	--
	9'6"	20.1	13.0	13.4	53.3	46.5			10'0"	19.0	24.0	10.0	62.0	--
	9'6"	20.5	13.0	14.1	54.0	46.9								
	10'0"	20.5	13.0	14.1	54.0	46.9								

**\*Min. Stall Widths**

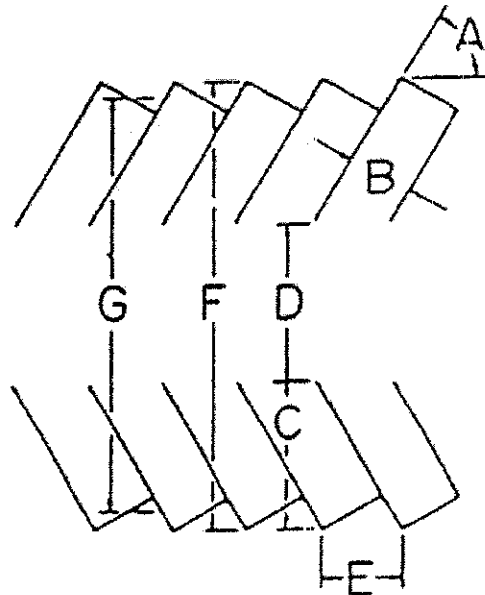
Std.	Compact	
8'0"	7'6"	0°-40°
8'6"	7'6"	41°-60°
9'0"	7'6"	61°-90°

**Average gross area required for parking one car at different angles:**

0° = 310 sq.ft.	30° = 310 sq.ft.	60° = 260 sq.ft.
10° = 350 sq.ft.	40° = 280 sq.ft.	80° = 275 sq.ft.
20° = 400 sq.ft.	50° = 270 sq.ft.	90° = 275 sq.ft.

- \*Note: a) Compact space 7½' x 15' - standard.  
 b) Add 1' in width for all stalls adjacent to any structures.

- A PARKING ANGLE
- B STALL WIDTH
- C STALL TO CURB
- D AISLE WIDTH
- E CURB LENGTH PER CAR
- F CURB TO CURB
- G STALL CENTER



## SECTION IX. ADMINISTRATION

### IX.0 Purpose

The Land Use District Map and these Planned Community District Regulations shall be administered as provided for herein.

### IX.1 Standard Procedures

- A. General: The Administrative Procedures, Conditional Uses, and Variances, Chapter 19.14 of the Chula Vista Municipal Code, shall be utilized as applicable to the administration of the Planned Community of EastLake II.
- B. High Tech/Bio Tech Zone: Notwithstanding the above provisions, the High Tech/Bio Tech Subcommittee shall act in place of the Planning Commission and Design Review Committee on discretionary applications for high technology, bio technical and bio medical projects located within the High Tech/Bio Tech Zone, as described and established by Ordinance No. 2621, in accordance with the authority vested in the High Tech/Bio Tech Subcommittee by said ordinance.
- C. Sectional Planning Areas (SPA) and Section Planning Areas Plans (SPA Plans). The administration of SPA Plans shall be as provided for in Section 19.48.090 through Section 19.48.130 inclusive of the Chula Vista Municipal Code, except that the Director of Planning may accept less detail or require additional detail to suit the scope of the SPA.

### IX.2 Administrative Review

- A. Purpose: Certain uses may vary greatly in its effect depending on the scope, location, or exact circumstances. In order to avoid the permitting of these uses without any formal review, and to relieve the Planning Commission and City Council of formally reviewing uses which have insignificant or compatible effects, an Administrative Review is established.
- B. Application: The Administrative Review is applicable to uses identified on the Permitted Use matrices herein with the symbol "A".
- C. Procedures: The procedure shall be as specified in Section 19.14.030, Zoning Administration - Actions authorized without public hearing, in the Chula Vista Municipal Code; except that in addition, the Zoning Administrator may determine after reviewing the scope, location, or exact circumstances of the proposed use that the formal hearing process of the Conditional Use Permit procedure is warranted. If the Zoning Administrator makes the determination that a Conditional Use Permit is warranted, then the applicant shall be required to comply with the Conditional Use Permit procedures as specified in Sections 19.14.060 through 19.14.110 inclusive in the Chula Vista Municipal Code.

### IX.3 Site Plan and Architectural Approval

- A. Purpose: The purpose of site plan and architectural approval is to review proposed projects to determine compliance with the provisions of those regulations and to promote orderly and harmonious development with good design character.
- B. Application: This approval process is applicable to projects within all districts except RE and RS districts, where the Tentative Tract Map approval process may be used. Single family detached units on lots exceeding 5,000 sf (including those in the RE or RS districts) may use the Tentative Map to satisfy the Site Plan Review Requirement. Such single family units on lots larger than 5,000 sf may, at the discretion of the developer, apply for Site Plan Review.
- C. Procedures: The procedures shall be as specified in Section 19.14.420 through Section 19.14.480 inclusive.

### IX.4 Other Provisions

In the event that these regulations do not address any particular matter relevant to the proper development and use of property within EastLake II, the provisions of Title 19 of the Chula Vista Municipal Code shall apply.

# **Design Guidelines for EastLake Business Center II Supplemental SPA**

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DESIGN GUIDELINES  
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## **II.4.1 INTRODUCTION**

### **II.4.1.1 Purpose**

This document is a manual to guide the design of site plans, architecture, and landscape architecture within the EastLake Business Center II Supplemental Sectional Planning Area (SPA) of the EastLake Planned Community. It illustrates the master developer's philosophy and commitment to a high quality, planned development program.

This manual includes design concepts to guide specific areas of consideration, but more importantly it establishes design context within which each element is important to the success of the entire program. Thus, the purpose of this manual is to ensure that all development within EastLake Business Center II will maintain a high standard of design through consistency with these published standards to which all project designers are expected to refer. The standards of these guidelines are consistent with those established for previous development phases of the EastLake Planned Community.

While it is the intention of the master developer to allow as much freedom as possible for creative design expression at the parcel and individual project levels, it is sometimes mandatory to precisely control the design of areas critical to the success of the overall community; locations where only a limited number of solutions are acceptable. These situations are emphasized in these guidelines.

These guidelines are intended to encourage tasteful, imaginative site planning and building design while retaining a sense of homogeneity within the Business Center (I & II) as a whole. Special emphasis has been placed upon methods that tend to reduce visual impacts of larger scale buildings and that balance the elements of structure, landscaping and paving.



## **II.4.2 DESIGN REVIEW PROCESS**

### **II.4.2.1 Introduction**

The design review process includes two integrated procedures: 1) design review and approval by the master developer; and, 2) design review and approval by the City of Chula Vista. Essentially the process requires the builder to formulate the design for his parcel review it with the master developer and obtain its approval prior to formal design review application with the City. Refer to the City of Chula Vista's Design Review process and procedures for additional detail

### **II.4.2.2 Design Review by Master Developer**

In order to ensure that these Business Center Design Guidelines are adhered to and maintained, specific review and approval and enforcement procedures have been established. Initial construction and development plans will be considered by the EastLake Company Design Review Committee (ECDRC) Additional, future improvements will be evaluated by the Architectural Review Committee of the EastLake Business Center Owners' Association. These review committees will assure the integrity of the business park by reviewing and approving all development proposals within the EastLake Business Center. The committees will consider the level of conformance to the intent and specific requirements of these guidelines and the adopted CC&R's, in addition to all applicable statutes, codes, ordinances, or regulations of controlling governmental jurisdictions

All applicants shall submit four sets of accurate and complete plans to the appropriate review committee for each plan submission stage. Each set shall include the necessary architectural site plans, floor plans, exterior elevations or perspectives, and schematic grading and landscaping plans to fully describe the proposed improvements. In order to facilitate design coordination between individual buildings, all architectural and landscape plans for other Business Center projects will be available for review through the committees

Any changes or modifications to approved plans proposed during the initial construction period shall be submitted to the EastLake Company for review and approval prior to submittal to City or incorporation in building or site improvements.

#### Submittal Requirements for Master Developer Review

##### Schematic Master Plan Submittal

A Schematic Master Plan will be required only when ultimate site development occurs in phases. Information shall include but is not limited to:

- Gross and net acreage of lots
- Building footprints and coverage
- Number of stories and approximate square footage of buildings
- Location of circulation roads and parking areas
- Conceptual landscape design
- Conceptual grading and drainage
- Phasing Plan indicating the phasing of the ultimate Master Plan development illustrating the extent of development at the completion of each phase

### Preliminary Plan Submittal

A Preliminary Plan shall be submitted to the ECDRC, and obtain approval, prior to submission of plans to the City of Chula Vista. The Preliminary Plan, detailing specific information about the site planning and architecture of the project shall be submitted and approved by the ECDRC prior to submittal of construction documents to ECDRC. Submittal shall include but is not limited to:

1. Site Plan
  - a. Gross and net acreage of lots
  - b. Building footprints and setbacks
  - c. Total building floor area
  - d. Site coverage (non-landscaped area/lot area)
  - e. Building coverage (footprint area/lot area)
2. Parking and Circulation
  - a. Location of interior circulation and parking areas (designate guest)
  - b. Dimensions of typical parking stalls and parking aisles
  - c. Parking table (required vs. provided)
  - d. Pedestrian circulation
  - e. Location/design of trash enclosures
3. Grading and Drainage Plan
  - a. Existing contours and grades
  - b. Proposed finish grades, slopes and building pad elevations
  - c. Site drainage structures and systems
4. Landscape Plan
  - a. Plant materials, sizes and locations
  - b. Walkways and paved areas (specify type of materials)
  - c. Description of irrigation system
5. Architecture
  - a. Schematic floor plans
  - b. Schematic building elevations with materials and colors
  - c. Street elevation(s)
  - d. Color and material board
6. Signage Plan
  - a. Sign copy and placement
  - b. Elevations and sections
  - c. Colors and materials
  - d. Lighting details

### Construction Documents

All applicants are required to submit two copies of the construction documents to the ECDRC as well as the City of Chula Vista, for approval, in order to demonstrate the precise construction details for implementing the approved Preliminary Plan.

#### **II.4.2.3 City of Chula Vista Design Review Process**

The requirements of the City are fairly typical and are further detailed below, but each builder should contact the City for current, specific requirements. As noted above, the approval from the master developer should be obtained prior to formal review by the City.

#### **II.4.2.4 Zoning Administrator Design Review**

The Zoning Administrator is authorized to consider and approve, disapprove or modify applications on several subjects as provided in Section 19 14 030 of the Chula Vista Zoning Code

#### **II.4.2.5 Design Review Committee**

The Design Review Committee (DRC) shall review all projects. The DRC shall base their findings on the City's Design Manuals and these Design Guidelines. Refer to Sections 19 14.581 through 19.14.600 of the City's Zoning Ordinance for additional information.

#### **II.4.2.6 Appeals**

An appeal to the Planning Commission on a decision of the Design Review Committee may be filed within ten days after the decision as provided for in Section 19 14 583 of the City's Zoning Ordinance.

# Design Review Approval by Master Developer

Preliminary Design Meeting with The EastLake Company



Developer Review of EastLake Company and City Guidelines & Ordinances



Review Preliminary Design Concept with The EastLake Company



Revise and Prepare Formal Plans for The EastLake Company Design Review Committee



Submit Plans for Approval by The EastLake Company Design Review Committee



Approval & stamping of Plans by The EastLake Company Design Review Committee



Preliminary City Review with The EastLake Company & Developer



City Design Review Process Begins

The EastLake Company Design Review Process

Informal City Review

Formal City Design Review Committee Processing

## **II.4.3 BUSINESS CENTER DESIGN GUIDELINES**

### **II.4.3.1 Site Planning**

#### Planned Community District Regulations

Development standards for each land use area (*i.e.*, permitted land uses, lot coverage, height and bulk requirements, signs, *etc.*) are established in the EastLake PC District Regulations which should be referenced for specific property development standards. The following design guidelines supplement those requirements. Notwithstanding these guidelines, compliance with the planned community district regulations and other regulations of the City of Chula Vista or other authorized agencies shall take precedence. Any aspect of development not addressed in the EastLake Business Center II Supplemental SPA Plan, EastLake II PC District Regulations, or these guidelines shall be governed by the City of Chula Vista regulations.

#### Site Planning

The location and "footprint" of a structure on its lots is as important as the "design" (appearance) of the building. Because of the variety of lot sizes and uses, special attention must be paid to the location of each structure.

- Office and commercial buildings should be arranged to make efficient use of the site.
- All site plans shall observe the setback standards described in the specific parcel criteria herein.

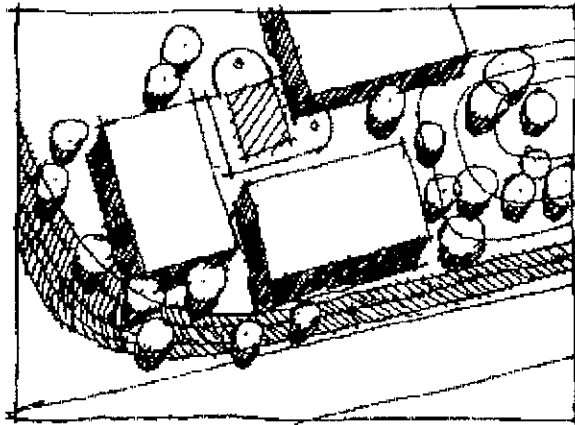
The following guidelines are intended to supplement the EastLake I SPA Plan and PC Regulations and, if followed, should guarantee the development of a business park whose occupants will have maximum opportunity for creative site planning and building design while ensuring that the overall business park is homogenous and well maintained

- 1 Coverage: Maximum building coverage shall not exceed 60% of the net lot area on any lot.
- 2 Setbacks:
  - a. All setbacks shall be measured from the property line which, on a street frontage, is the same as the street right-of-way line.

## Site Planning

### DO THIS

Create enclaves of buildings and courtyards; vary site topography and street scenes



### NOT THIS

Avoid rigid, repetitive, and monotonous site layouts.

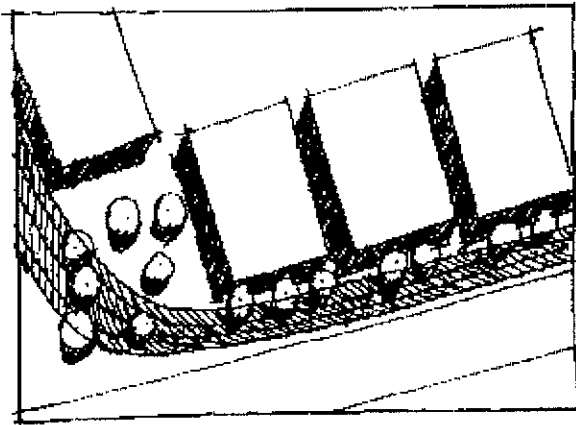


Exhibit 1

Revised 12/18/07

III-2

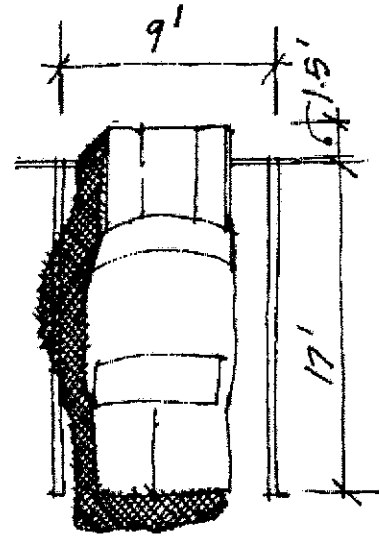
- b. Landscape Setbacks: All landscape setbacks shall be improved, predominantly with plant materials. Other improvements shall be limited to service and access driveways, walkways, fences, walls and planters
- 1) Front yard landscape setbacks: All front yard landscape setbacks shall be 20 feet minimum. Where a lot abuts two public streets, the Site Plan may designate a front yard and a corner side yard. The landscape setback for a corner side yard shall be 10 feet minimum. Unless otherwise approved on the Site Plan, the longest street frontage shall be considered the front yard.
  - 2) Side and rear yard landscape setbacks shall be 6 feet minimum, except for corner side yards noted above.
  - 3) Rear yard setbacks for lots abutting residential neighborhoods shall be 10 feet from top of slope.

#### Building Heights

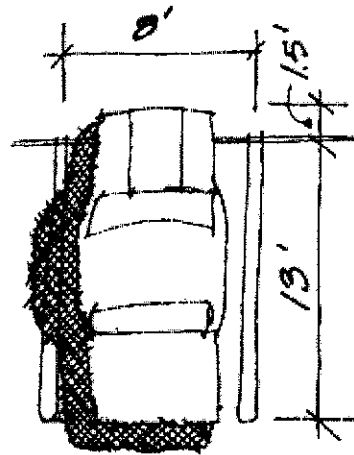
The maximum height of structures within the business park shall not exceed two stories, or 35 feet, whichever is less. A provision that allows certain interior lots to be considered for buildings above 35' is provided in the PC District Regulations.

Circulation and Parking

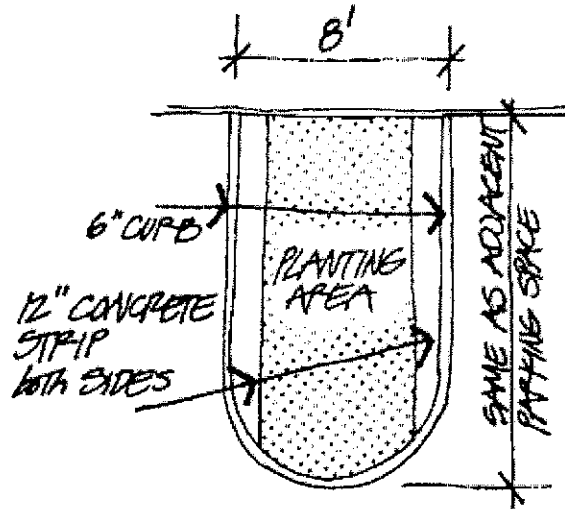
- a. Textured and/or enhanced paving may be used to accent driveways and building entries or other significant areas
- d. All parking stalls shall be clearly outlined by stripes on the surface of the parking facility.
- e. Standard car size parking spaces shall have a minimum size of 9 feet by 17.5 feet (with 1.5 foot overhang at front curb).
- f. Compact car size parking spaces shall have a minimum size of 8 feet in width and 13.5 feet in depth (with 1.5 foot overhang at front curb). Compact car parking spaces may comprise a maximum of 25% of the total parking space requirement providing said spaces are controlled or appropriately marked to ensure their utilization by compact cars.
- g. Two-way private driveways shall have a minimum width of 24 feet for perpendicular parking.
- h. All parking facilities shall be lighted in accordance with current City standards. Lighting standards shall not be greater than 18 feet in height.
- i. 10% of parking areas shall be landscaped.



Standard Car Parking Space



Compact Car Parking Space





### Landscaping

One eight foot wide landscape node shall be provided between every ten linear parking spaces, for parking visible from streets. Variation in spacing is permitted in order to allow landscape design to respond to each building and site plan. Design flexibility should be used to create the appropriate balance (subject to approval) between landscape, hardscape, site improvements and buildings. All tree wells shall include a 12" poured concrete pad (in addition to the 6" curb) on every edge adjoining a parking space to provide a step-out area for vehicle occupants.

### Service and Storage Areas

- a. All outdoor storage and sales yards shall be completely enclosed, screened from public view by landscaping, wall, or fence, not less than eight feet in height, constructed of material complementary to the building materials. Outdoor storage includes material involved in fabrication, as well as, the parking of all company owned or operated motor vehicles with the exception of regular passenger vehicles. No chain link fences will be permitted without special approval of the ECDRC.
- b. No storage shall be permitted between the street and the building.
- c. No loading shall be allowed which would be visible from Otay Lakes Road or adjacent residential lots.
- d. Streetside loading shall be allowed provided the loading dock is screened from all adjacent streets.
- e. All outdoor refuse collection areas shall be completely enclosed and screened from view by a wall or fence constructed of materials which are complementary to the building materials. All such areas shall have concrete floors and loading pads, and shall be of sufficient size to contain all business generated refuse.
- f. No refuse collection areas shall be permitted between street and the building.

### Community Fencing

One of the most dominant visual elements of a community is its fencing. It is essential for this element to be aesthetically pleasing and provide continuity in design to unify the various architectural styles within individual neighborhoods into a single community theme.

Although community fencing is not expected to be a significant element of the Business Center II project, if it is used the following guidelines should be observed, particularly along residential edges.

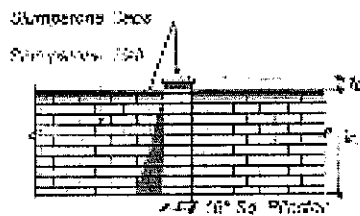
Fences and walls can serve many functions including security, identity, enclosure, privacy, etc. However care must be exercised in the design of fencing in order to avoid long, boring or awkward sections of fencing. It is intended that the available fencing types be combined to attract interest and provide variety. Using a combination of open and solid styles, changing angles and directions is encouraged. Long straight runs of a single fence style is monotonous and inappropriate.

The elevations of the EastLake Planned Community fencing program are sketched below.

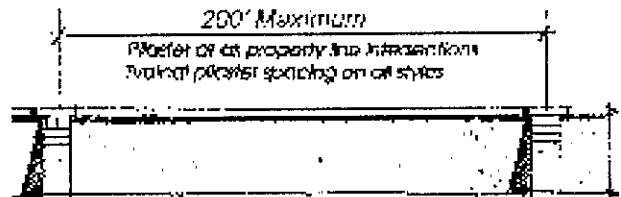
These are to be used for all fencing indicated on the community Fencing Plan. Refer to Exhibit 3a on page 6a.

The pilaster serves as the unifying design element among the different fence types and will establish the theme for community fencing. Each type of fence serves a particular purpose. The sound wall is a masonry wall intended to provide noise mitigation and privacy. The solid wall is used where visual privacy is needed, but protection from the noise of arterial highways is not important. This wall uses a pilaster similar to the sound wall, but may use fence boards between. An open wall is used where a physical barrier is needed, but a view needs to be preserved. Within EastLake, wrought iron fencing between the theme pilasters is proposed as the open wall. Pilasters should be provided at each property line intersection or at a typical spacing of approximately 200 feet.

## Fencing Types



**SLUMPSTONE WALL**  
(See Community Fencing Plan)



**SOLID WALL**  
Plaster coated masonry  
Noise mitigation and privacy



**OPEN WALL**  
View preservation



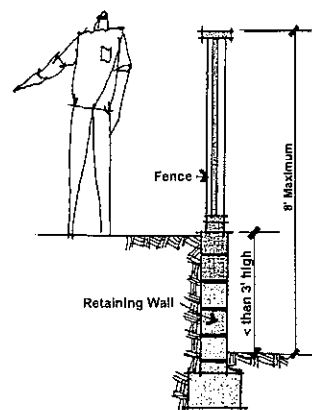
**STAGGERED WALL DETAIL**  
Stagger wall where possible for interest

Exterior fences should be designed and placed according to the following guidelines:

1. Walls should be made of a textured surface material that is compatible with the design of the neighborhood area
2. The monotony of a long wall should be broken by visual relief through periodically recessing the wall or constructing pilasters.
3. Landscaping, such as trees, shrubs or vines, should be used to soften the appearance of the wall.
4. Walls which serve as a subdivision exterior boundary should be up to six feet in height from the highest finished grade
5. Walls used as rear or side yard walls should be constructed up to six feet height depending upon the conditions that exist.
6. Combined solid fencing, walls and open fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation.
7. Fencing design should avoid long continuous runs Jogging the fence line to avoid monotony is encouraged.
8. Landscape planting should be used to supplement and soften fencing and obscuring long lengths of fence with vines and shrubs is encouraged.

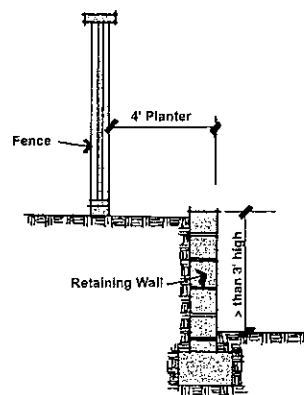
#### Combined Wall and Fence Guidelines

The combining of a conventional fence on top of a retaining wall can result in combined wall height that is not desirable. The combining of walls is generally discouraged. Where necessary, it shall be within the combined limits indicated in the sketch to the below.



**Exhibit 4**

#### **Combined Wall and Fence**



### Fences and Walls

- a. No fence or wall exceeding three feet in height shall be constructed within 20 feet of the front (streetside) property line
- b. Walls and fences between buildings and the front property line are not allowed.
- c. All fences and walls shall be an integral part of the building design concept and shall be constructed of materials that are complementary to the building materials. Textures and colors shall also be complementary.

### Utilities, Antennae and Flagpoles

- a. All exterior on-site utilities (gas, water and sewer lines; drainage systems; electrical, telephone and communications wires and equipment, etc.) shall be placed underground or properly screened.
- b. On-site underground utilities shall be located so as to minimize disruption during maintenance and repair
- c. No antenna or transmission or reception device which can be viewed from ground level is permitted without specific approval of the ECDRC or EastLake's Architectural Review Committee, as appropriate.
- d. Temporary overhead power and telephone lines shall be permitted during construction.
- e. A maximum of three flagpoles may be permitted per lot. Any such flagpoles shall be subject to the 35 foot maximum height limitation.

### Grading Standards

Rather than create one large pad, the grading concept for the EastLake Business Center II should provide separate pads for almost every lot. This reduces grading quantity and height of large slopes, and produces smaller slopes which are more easily revegetated and less obtrusive visually. Parcel grading should respect existing terrain and take into account surrounding topography. Attention to thoughtful grading practices can do much to enhance the aesthetic quality of EastLake Business Center. Grading within EastLake Business Center is subject to Chapter 15.04 of the Chula Vista Municipal Code. The following items are intended as guidelines to direct site grading:

- a. Site grading should complement and reinforce the overall architectural and landscape design character.
- b. Finish grading in all landscaped areas should assure positive drainage away from building floors and footings.
- c. All buildings should be equipped with adequate roof drains, downspouts or other drainage conveyances. All drain exits should deposit into storm drains or onto hard surfaces. No roof drainage should be deposited into landscaped areas.

### **II.4.3.2 Architecture**

It is the objective of these guidelines to create a business park which is well planned and which is compatible with the street scene. Each building, though expressing its own individuality shall also be an integral part of the complete Business Center and must be designed accordingly.

#### Building Massing

- a. All buildings are to be functional and contemporary.
- b. Large-scale, uninterrupted walls facing a street shall be visually reduced to human scale by:
  - Mature landscaping/mounding
  - Clustering small-scale elements such as planter walls around the major form
  - Creation of horizontal shadow line
  - Landscaping terraces
  - Offset building planes and recessed areas
- c. Radical theme structures which draw unnecessary attention to the building shall not be acceptable.
- d. Structures should be designed to create transitions in form and scale between large buildings and adjacent smaller buildings

#### Building Entries

- a. Facilities entrance drive shall be readily observable
- b. Entry points to the building shall be incorporated into the design. The main entry shall be readily identifiable and accessible.

#### Textures

- a. Simple and uniform texture patterns are encouraged to enhance the architecture of buildings.
- b. Building should be designed with materials to complement landscaping materials

#### Equipment Screening

- a. All roof-mounted equipment shall be hidden from view with parapet walls or screening. Screens shall be attractive in appearance and reflect or complement the architecture and color of the building. Mechanical equipment shall not extend above the enclosing wall or screen.
- b. All exterior mechanical equipment which is visible from the upper floors of adjacent buildings shall be kept to a minimum, shall be installed in an orderly,

compact manner, and shall be painted a color to blend with the adjacent background.

- c. Exterior mounted electrical equipment shall be mounted in a location where it is screened from public view

#### Building Materials

- a. Materials shall be low maintenance
- b. Materials shall complement existing materials within the development.
- c. Use of glass is encouraged
- e. Pre-engineered metal buildings are not permitted.

#### Art/Sculpture

Any art or sculpture placed within EastLake Business Center must be included in the original plans approved for the project or subsequently approved by the ECDRC

### **II.4.3.3 Lighting**

#### Safety/Security Lighting

1. Lighting shall be indirect and subtle. Overhead pole mounted down lighting is encouraged. Light standards shall not exceed 18 feet in height.
2. Exterior pole lighting shall be High Pressure Sodium (HPS)
3. Lighting levels should emphasize walking areas so as to clearly identify the pedestrian walkway and direction of travel
4. Parking areas, access drives, and internal vehicular circulation areas shall have sufficient illumination for safety and security. Lighting fixtures shall be a zero cutoff. The parking lot illumination level shall achieve a uniformity ration of 3 to 1 (average to minimum) with a maintained average of 1 foot candle and a minimum of 0.3 foot candle.
5. Outdoor pedestrian use areas (courtyards, entry ways, walkways, etc.) shall have sufficient illumination for safety and security. Primary pedestrian use area lighting should achieve a uniformity ratio of 3.5 to 1 average illumination of 0.60 foot candles and a minimum of 0.18 foot candles.
6. Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover is allowed.

#### Architectural/Landscaping Lighting

1. Lighting shall be indirect, such as soffit lighting, or incorporate a full cutoff shield type fixture.
2. Architectural overhead down lighting, or interior illumination which spills outside is encouraged. Said lighting should articulate and animate the building design.

- 3 Exterior illumination to enhance building identity should respect and reinforce the architectural treatment of the building. Patterns of light and fixture concealment should be considered to avoid glare and intrusion onto adjacent properties.
- 4 Landscaping lighting shall be subtle, indirect and should accentuate rather than overpower landscape features
- 5 Special lighting may be introduced at gateways and other key entries to indicate entrances and identity

#### **II.4.3.4 Sign Program**

The purpose of these sign guidelines is to provide the means for adequate identification of buildings and businesses by regulating and controlling the design, location and maintenance of all tenant signs within EastLake Business Center II. In addition, the sign program is intended to convey information to motorists and pedestrians that will simplify and clarify their movement throughout the project.

The intent is to establish specific standards for all exterior signage that will ensure continuity, consistency and harmony with the architecture. Each user/tenant is expected to establish and maintain an "integrated" concept in the design of their signage. Signs and finishes shall be harmonious with the general character of the user/tenant's building.

##### Approval and Submittal

- All signs shall be subject to the approval of the City Zoning Administrator prior to installation.
- All proposed exterior signs for each facility shall be submitted to the ECDRC as part of the Preliminary Plan submittal and shall be consistent with this sign program. Sufficient renderings indicating size, location, design, color, lighting and materials shall be submitted to the ECDRC for their review.

##### General Standards

- Signs shall be subtle, tasteful, imaginative, and an integral part of the building design concept.
- Signs shall be for identification or instruction only; no advertising is allowed.
- Signs shall require regular maintenance.

##### Maintenance

All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by the EastLake Business Center Owners' Association. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

### Illumination

Signs and logos visible from the exterior of any building may be internally illuminated, but no signs shall be devised or constructed so as to rotate, gyrate, blink or move in any animated manner.

### Hardware

All attachments, devices, wiring, clips, transformers, lamps, tubes and other mechanisms required for all signs shall be concealed

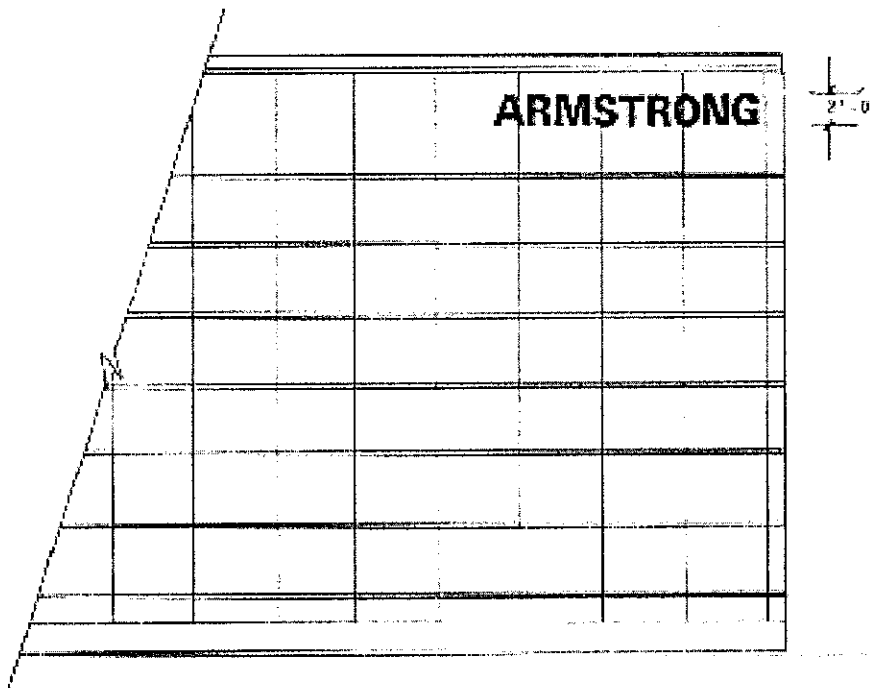
#### **II.4.3.5 Prohibited Sign Types and Components**

- Moving or rotating.
- Moving or flashing lights
- Exposed ballast boxes or transformers.
- Box or cabinet-type sign with transparent, translucent or luminous plastic background panels.
- Internally illuminated letters with transparent, translucent or luminous plastic face
- Luminous vacuum formed plastic letters.
- Cloth, paper or cardboard signs on exterior surfaces of the tenant building or lot
- Signs employing noise-making devices and components.
- Signs with no returns and exposed fastenings
- Rooftop signs.
- Post and panel-type signs (except temporary signs).
- No sign, notice or other lettering shall be exhibited or affixed on any part of any building except as specifically approved in writing by the EastLake Company



### II.4.3.6 Sign Criteria Summary for Business Center

Specific sign types will be permitted only with designated building types, as described in the Sign Criteria Summary matrix on the following page. Building type shall be determined by the EastLake Company, which decision is final. Listed below are the building type definitions utilized in the matrix.



**Exhibit 5**

#### Building Mounted Signs

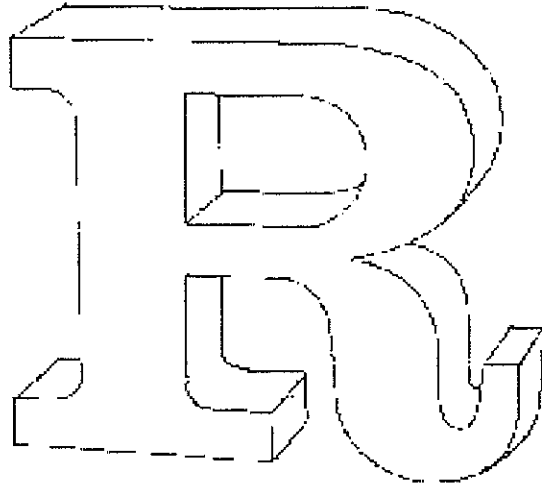
Only one tenant name per building permitted, utilizing metal reverse channel numbers.

Example illustrates the maximum height permitted for all cap letterforms.

*Note Refer to Section II 4 3 7 for Sign Criteria within the Design District Overlay area*

Mounted Signs

Fabricated letters have open backs (reverse channel) and may be either non-illuminated, illuminated, exterior illuminated, back-lit, etc. Font style shall be selected which permit readability without the need to oversize.



**Exhibit 6**

Building Mounted Signs

Maximum height for upper and lower case letterforms is 2'-7" from the top of ascending letters to the bottom of descending letters

Maximum height for all uppercase letterforms is 2'-0"



Exhibit 7

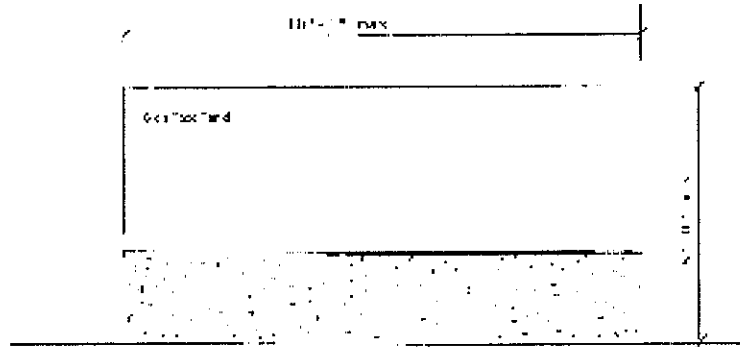
- b Sign Type 2 applies to all building types.
- 1) Sign type 2 shall be limited to identifying one major tenant or to identifying a specific area, e.g , Gateway.
  - 2) The copy shall be limited to the tenants' names and building address only
  - 3) The maximum height of all monument signs is 5'-0".
  - 4) The maximum length of all monument signs is 10'-0".
  - 5) The base or side supports of the sign shall incorporate a design element that will "architecturally tie" it to the tenant building (Figure 4).
  - 6) All graphics and identifying marks shall be within the limitations of the sign face panel (Figure 4).
  - 7) All sign background colors are to be neutral shades. Primary colors may be used for tenant names and/or logos; however, colors must be compatible with corporate colors and corporate identity.
  - 8) If monument signs are to be illuminated, only ground lighting is permitted.
  - 9) Signs are not to be placed in sight distance triangle (Figure 5).
  - 10) One Sign Type 2 is allowed only at each building vehicular access point. If on a corner lot, one additional Sign Type 2 is permitted at the corner. A maximum of two signs of this type are permitted per project

Example of Freestanding Monument Sign

Graphics and letterforms not to extend beyond sign face.

Spot lighting may be done by recessed, incandescent, adjustable angle fixtures. Internally illuminated signs are not permitted.

Sign materials must be compatible with building materials



**Exhibit 8**

Site Distance Triangle

Determination of traffic safety site triangle for City of Chula Vista and EastLake Business Center.

Setbacks:

BC-1 Zone: Front S.B : 20'; Side S B : 20'

BC-2 Zone: Front S B : 25'; Side S B : 20'

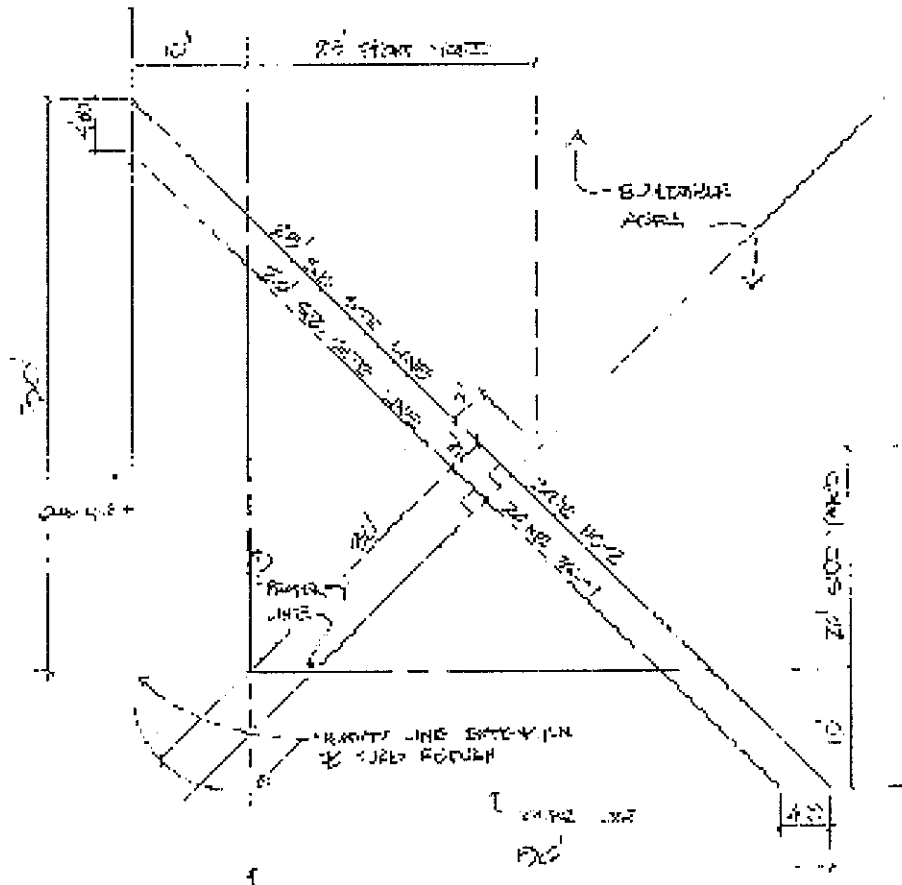


Exhibit 9

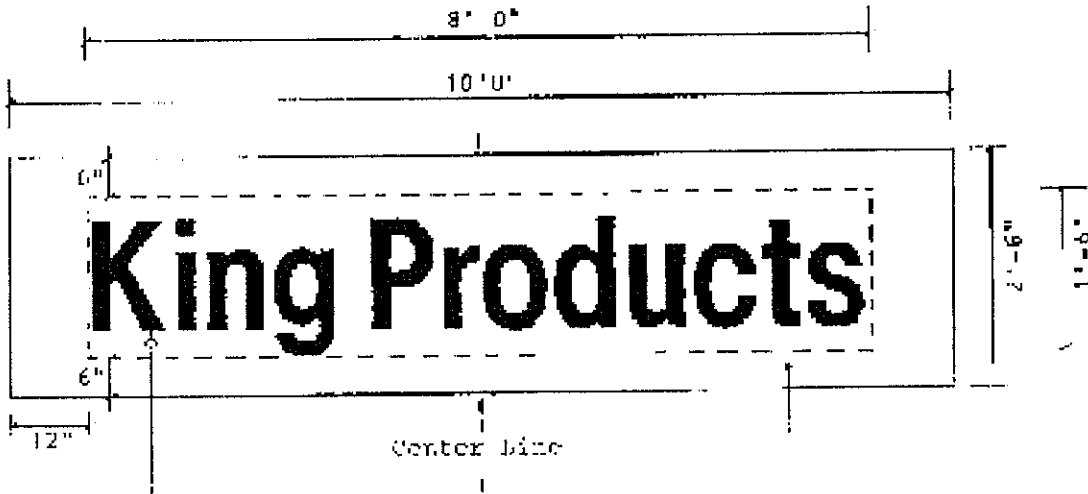
c. Sign Type 3 - Building Panel Signs

Sign Type 3 applies to Building Types A, D, E and G.

- 1) Sign Type 3 shall be limited to the identification of various tenants, each having their own building entrance. There is a limit of one sign per tenant regardless of the number of entries a tenant may have. For building type "G", either Sign Type 3 or Sign Type 4 may be utilized but not both; selection must be approved by ECDRC.
- 2) Signs to be positioned over tenant entry, centered if possible.
- 3) Signs to consist of an aluminum panel 10'-0" long, 2'-6" high, set 4" from surface (Figure 6).
- 4) Maximum allowable area for graphics - 10'-0" long by 2'-0" high (Figure 6).
- 5) Tenants may use their own logotype or symbol and colors; however, colors must be compatible with corporate colors and corporate identity.
- 6) Background color on all Type 3 signs to be cool grey (PMS 441).
- 7) All Type 3 signs are non-illuminated
- 8) No decorative elements such as borders are allowed.

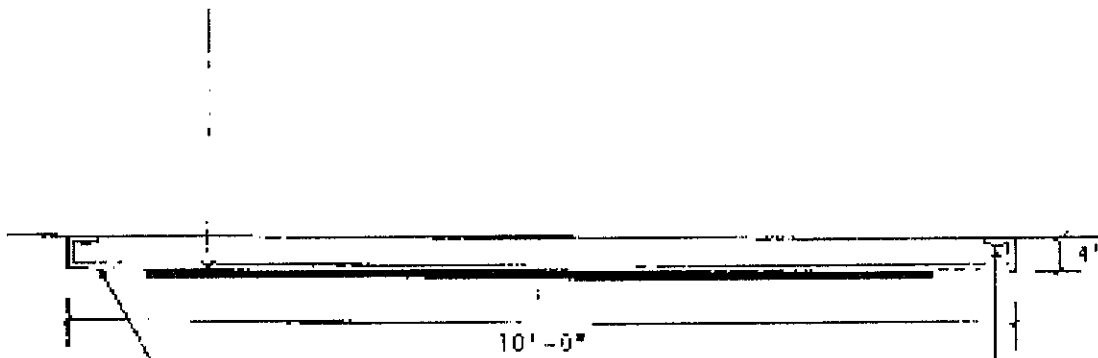
Building Mounted Panel Signs

Dotted line indicates the maximum allowable area for graphics - 10'-0" long by 2'-0" wide. Graphics not to extend beyond this area.



Center graphics in sign band

background color:  
Cool Gray R45 447



Aluminum or Acrylic Panel (painted gray)  
Non illuminated

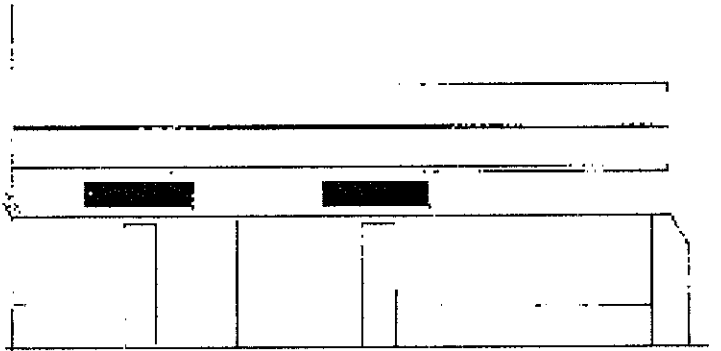
Mounting hardware

Exhibit 10



Building Mounted Panel Signs

Centered over entry doors.



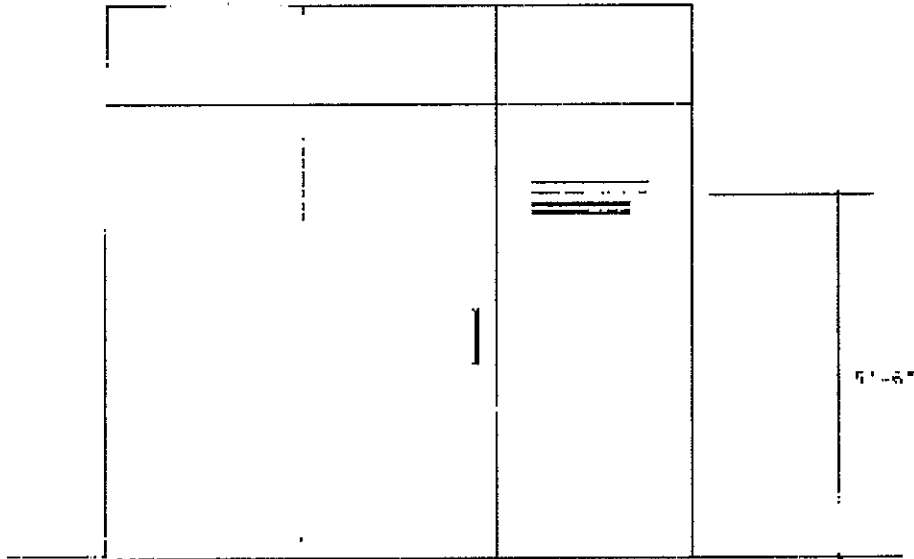
**Exhibit 11**

d. Sign Type 4 - Entry Window Graphics

Sign Type 4 addresses the general standards for all graphics placed on glass entry windows. Sign Type 4 is limited to buildings with more than 2 entries. Sign Type 4 specifically applies to Building Type G (note option listed under Sign Type 3)

- 1) Sign Type 4 shall be limited to the name of the tenant and tenant's business hours.
- 2) Sign Type 4 may be placed either on entry door or windows to the left or right of entry door (Figure 8).
- 3) Type style to be used is ITC Avant Garde Demibold, upper and lower case, 2" cap height for tenant name and ITC Avant Garde, upper and lower case, 1" cap height for business hours, unless a different Type style is integral with a trademark and/or logotype. Position is flush left (Figure 8).
- 4) Material is to be white vinyl die cut letters placed directly on glass. No other colors or materials are allowed

Entry Window Graphics



**Kye**  
Hours  
8:00am

- 2" Tenant Name
- 1"
- 1" Business hours information
- 4"
- 1" Business hours information

Exhibit 12

e Sign Type 5 - Building Address and Suite Numbers

Sign Type 5 addresses the general standards for all buildings in EastLake Business Center. Sign Type 5 applies to all building types.

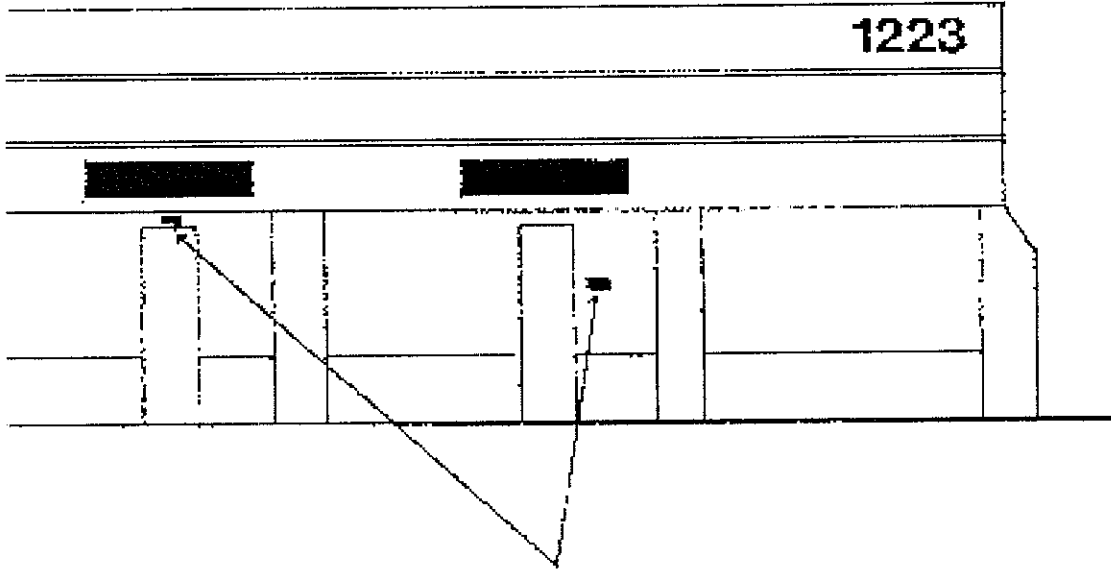
Addresses

- 1) Sign Type 5a shall be limited to the identification of the building address number.
- 2) 18" height ITC Avant Garde Demibold.
- 3) Precision cut aluminum or bronze, opaque black or white acrylic numbers
- 4) Numbers to be applied to the appropriate building face visible from the street.
- 5) Non-illuminated

Building Suite Numbers

- 1) Sign Type 5b shall be limited to building suite number identification
- 2) Suite number must be displayed at both front and rear entrances.
- 3) 2" height ITC Avant Garde Demibold, black or white acrylic or vinyl die cut numbers
- 4) Numbers to be applied above or to the right of the appropriate entrance
- 5) Non-illuminated

Building Address Numbers



**Exhibit 13**

Site Numbers

f. Sign Type 6 - Construction/Leasing Sign

Sign Type 6 addresses the general standards for temporary leasing and construction information, and applies to all building types.

- 1) Sign Type 6 shall be limited to one per building
- 2) Overall size: 10'-0" high, 4'-0" wide (Figure 10)
- 3) Colors: PMS 441C light grey, PMS 447 dark grey (Figure 10).

Construction/Leasing Sign

Figure 10. Sign Type 6: Construction/Leasing Sign

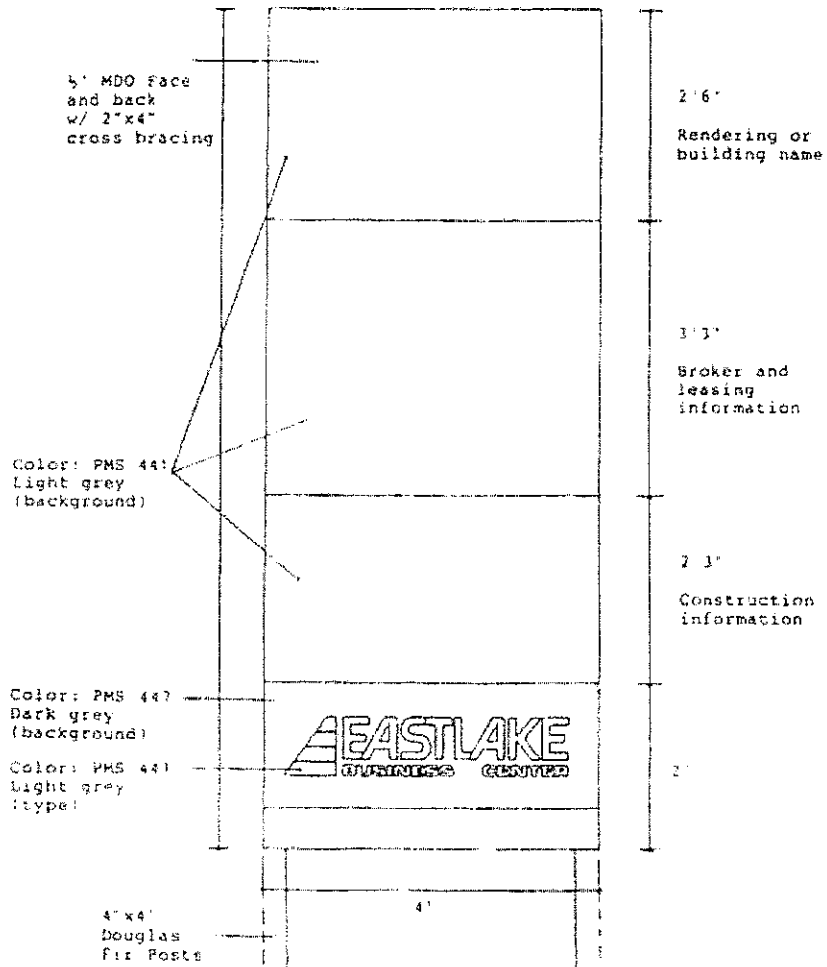


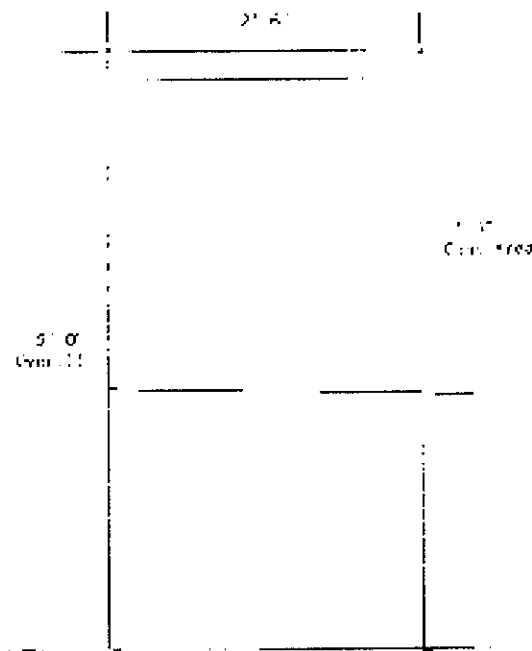
Exhibit 14

g. Sign Type 7 - Vehicular Directional Sign

Sign Type 7 addresses the general standards for vehicular directional information and may apply to all building types.

- 1) Copy should be limited to tenant, suite or address and any necessary directional arrows.
- 2) Overall size: 2'-6" wide, 5'-0" high; copy area: 2'-6" by 2'-6".
- 3) Colors, materials and typefaces shall compliment existing signs and building architecture.
- 4) The ECDRC must approve appropriate application of any of these criteria. Such decision shall be binding and final.

Vehicular Directional Sign



**Exhibit 15**



## II 4.3.7 Sign Criteria for Design District Overlay D

The purpose of this section is to address some specific signs for the Design District, as established in the EastLake II Planned Community District Regulations. In the event that these criteria do not address any particular sign condition, the applicable provisions of Title 19 of the Chula Vista Municipal Code shall apply.

The Design District will attract business and consumers of home improvement products and services. In order to identify the location and efficiently guide the users to their destination six types of signs are provided for herein. Additional minor on-site signs will be reviewed as part of the Architecture and Site Plan review. Following approval of a master Use Permit for a Design District, the sign criteria contained in this section shall apply to all signing within the area covered by the Design District Overlay.

Deviations to the sign standards herein may be approved (up to twenty percent by the Zoning Administrator or greater than twenty percent by Design Review Committee) based upon the following findings:

- That the sign is consistent with the general quality and character of the EastLake Business Center II Planned Community;
- That the sign provides a benefit to the viability of the Design District;
- That the sign provides a benefit to the customers of the Design District;
- That the sign is compatible with the character of the other signs in the Design District and its surroundings.

Sign Locations: Exhibit DD-a, Sign Locations by Type, indicates the conceptual locations of the four freestanding sign types. The exact locations will be established by approval by the Design Review Committee. Additional typical tenant signs on the buildings are shown on Exhibit DD-f, whose location is a component of the overall building design, subject to Design Review.

Fonts should be simple and clearly legible, except that tenants may use their identity fonts. The colors of sign materials and letters shall be as shown on the approved Design Review drawings.

District Identification Monument - Sign Type "A": This sign is located at the base of the slope bank at the intersection of Otay Lakes Road and Fenton Street. It is intended to identify the district and the major tenants along this arterial highway. This maximum dimensions and criteria are illustrated on Exhibit DD-b.

Max. Size: Base- 30.0' W x 5.0' H;  
Vertical element - 15.0' W x 25.0' H  
Tenant Panels: (8) 2.5' H x 10.0' W each  
Logo & Copy to fit within 2'-0" H x 9'6" area

Illumination: Internally illuminated

District Entry Monument – Sign Type “B”: This sign identifies the entry to the Home Improvement District at the intersection of Fenton Street and Showroom Place to efficiently guide customers to the district. The criteria for this sign is illustrated on Exhibit DD-c

Max. Size: 40.0' W x 9.0' H

Letter size:

District Name: 17”H

Logo & Copy for Tenant Names: 8”H

Maximum number of tenant names - 50

Illumination: Internally illuminated

Tenant Identification Sign - Sign Type “C”: This sign directs customers along Showroom Place by indicating the best entry location to use for identified tenants. The criteria for this sign is illustrated on Exhibit DD-d.

Max. Size: 6.0' W x 7.0' H

Tenant Panels: (5) 10.5”H x 4.0”W each

Logo & copy to fit within 5.25” x 3.7” area

Illumination: Externally illuminated

Project Directional Sign - Sign Type “D”: After entering the district from an entry drive, this sign further directs a customer to the specific tenant location. The criteria for this sign is illustrated on Exhibit DD-e.

Max. Size: 2.5' W x 5.0' H

Copy to fit within 2-1/2”H x 2'0” area

Tenant panels - 5

Illumination: Non-illuminated

Tenant Sign on Tower Element (Refer to Exhibit DD-f). These are for the tower element in the buildings and identify the primary tenant locations.

Max. Size: 20.0' W x 9' H

Logo & Copy to fit within 9' H x 20' area (5' max letter height)

Illumination: Internally illuminated.

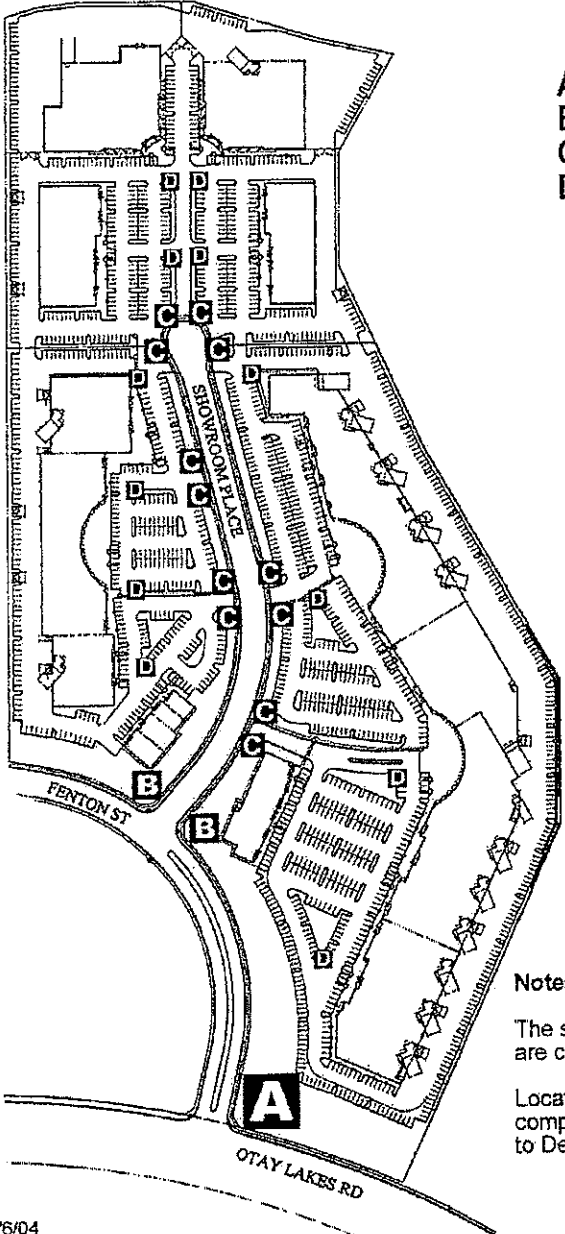
General Tenant Sign on Buildings (Refer to Exhibit DD-f) These are for individual tenants storefronts within buildings

Max. Size: 70% of storefront width x 32”H

Logo & Copy to fit within 2'-0”H x 70% storefront length area.

Illumination: Internally illuminated.

# Sign Locations by Type



- A** District Identification Monument
- B** District Entry Monument
- C** Tenant Identification Sign
- D** Project Directional Sign

**Notes:**

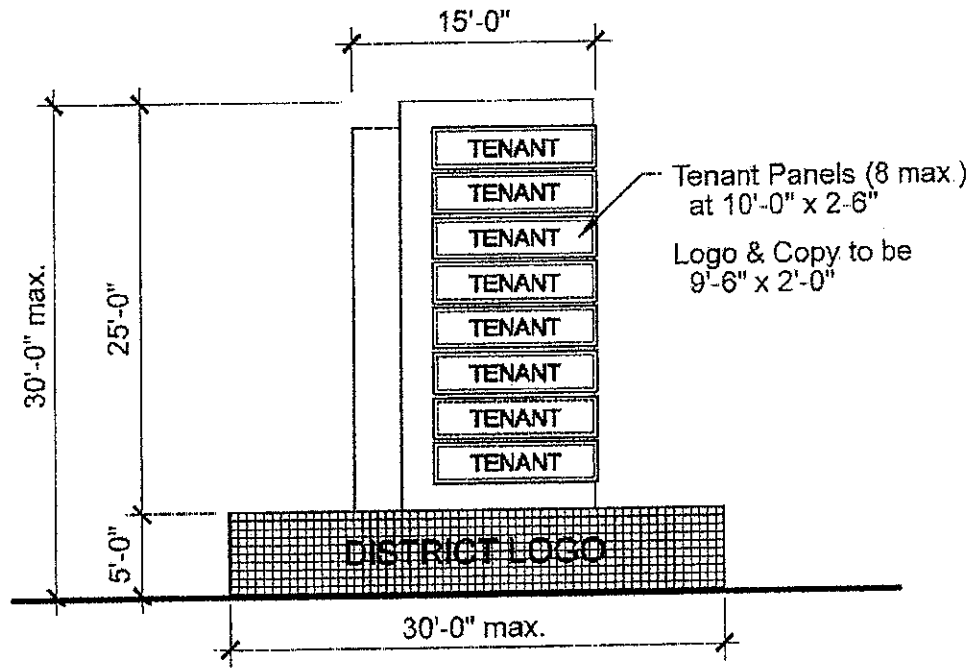
The sign locations indicated on this exhibit are conceptual, subject to Design Review

Location of signs on buildings shall be a component of the building design, subject to Design Review

12/6/04

Exhibit DD-a

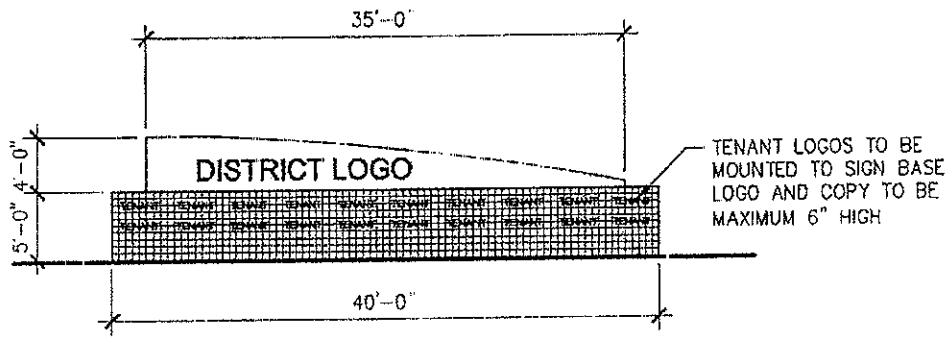
# Sign Type "A"



**District Identification Monument**

Exhibit DD-b

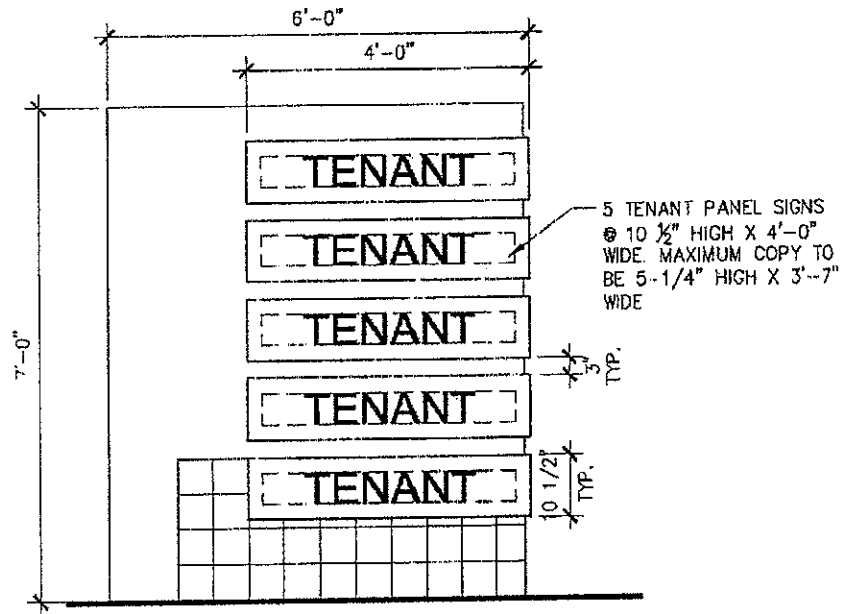
# Sign Type "B"



**District Entry Monument**

Exhibit DD-c

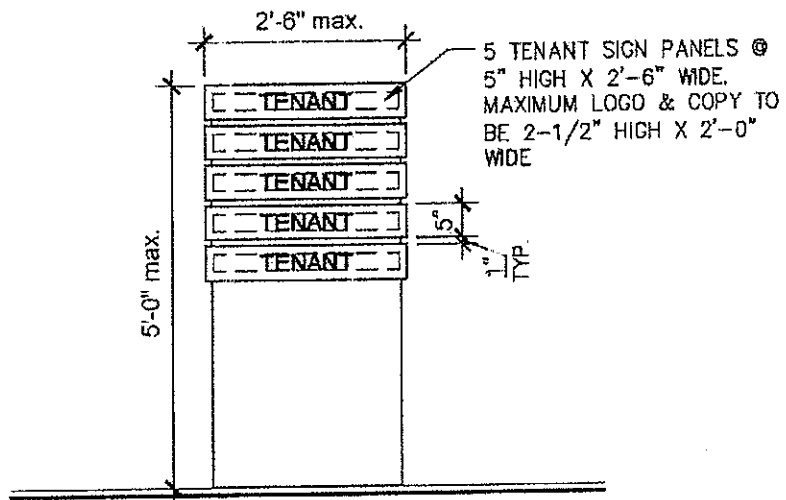
# Sign Type "C"



Tenant Identification Sign

Exhibit DD-d

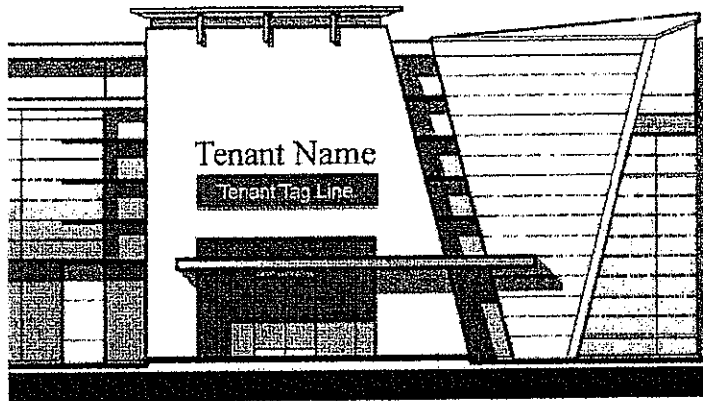
# Sign Type "D"



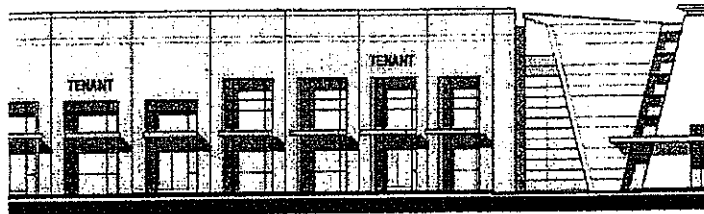
## Project Directional Sign

Exhibit DD-e

# Building Signs



Tenant Sign on tower Element



General Tenant Sign

Exhibit DD-f



## **II.4.4 LANDSCAPE DESIGN**

### **II.4.4.1 Purpose**

The purpose of the General Landscape Concept is to establish the overall landscape treatment of the project. Various entities will be responsible for the planning and implementation of landscape improvements; therefore, this plan will provide the guidance necessary to achieve a visually compatible landscape.

The concept will provide a general design framework which allows latitude and flexibility to each individual project while maintaining the overall goals and objectives of the community. The landscape character of EastLake Business Center II will be created by the use of pre-selected dominant plant materials and a selective plant palette. These plant materials have been coordinated with other EastLake districts in accordance with the general landscape plan.

Landscape will reinforce the design patterns established by the land use plan. Since the Business Center II project is an extension of the existing Business Center I development, the landscape materials and patterns will be an extension of those previously established. Generally, trees and landscape intensity zones will be used to establish distinct identity, visual continuity, order and contrast.

### **II.4.4.2 Landscape Concept**

The landscaping of the EastLake Business Center will create a serene, park-like setting for high quality employment uses. Landscaped parkways, attractive entries, a central park facility and coordinated site and slope plantings will create a distinctive controlled environment of visually pleasing landscaping.

The basic landscape character will be created by the use of pre-selected, dominant accent and parcel trees. These trees have been coordinated with the overall landscaping of the EastLake Community so that the EastLake Business Center maintains its own distinctive identity.

The General Landscape Plan, Exhibit 9, provides a general design framework which allows latitude and flexibility while maintaining the overall goals and objectives of the community. The intent of the landscape concept is to reinforce the development pattern established by the Site Utilization Plan. This pattern consists of the predominate employment development areas served by a simple circulation/landscape corridor. Plant selection will follow that of the existing Business Center to perpetuate distinct identities and visual continuity throughout the Business Center as a whole. In addition, the thematic corridor and major thoroughfare have identified dominant trees and landscape designs which will be continued.

Additional elements in the Landscape Concept include:

- Arterial - Scenic Corridor: Otay Lakes Road is an existing arterial scenic highway. The landscape improvements existing on the south side of this road were developed with the EastLake Greens SPA. The landscape improvements on the north side, to be developed with this SPA, shall reflect the character and quality of those existing improvements to the south. Buildings shall be setback 75' from back of sidewalk along this corridor.

- District Entry: An entry sign and enhanced planting will be located at the intersection of Otay Lakes Road and Fenton Street. The design character shall be similar to the similar entry treatment at the intersection of Otay Lakes Road and Lane Avenue

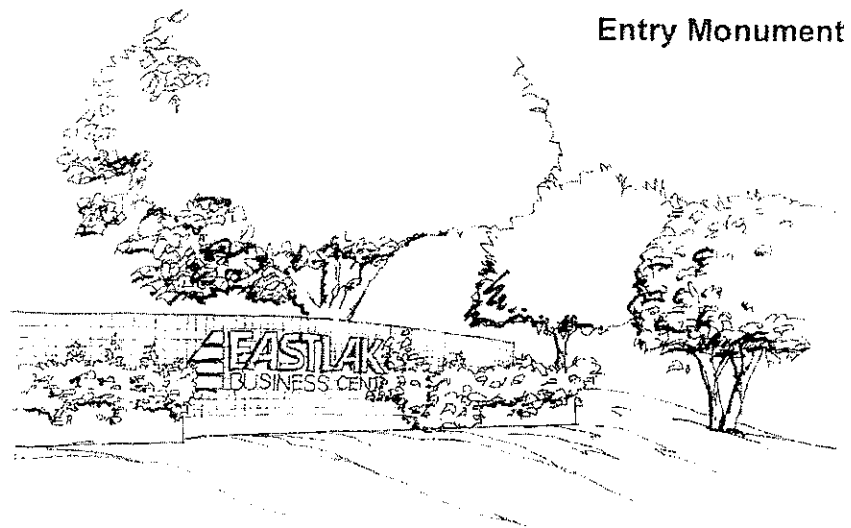


Exhibit 17

Thematic Corridor: The existing Thematic Corridor along Fenton Street shall continue easterly to Otay Lake Road. Since this corridor does not connect to a dominant neighborhood feature in Business Center II it will be a transition as a continuation of the dominant tree theme in the corridor, but with a contiguous sidewalk.

### Thematic Corridor

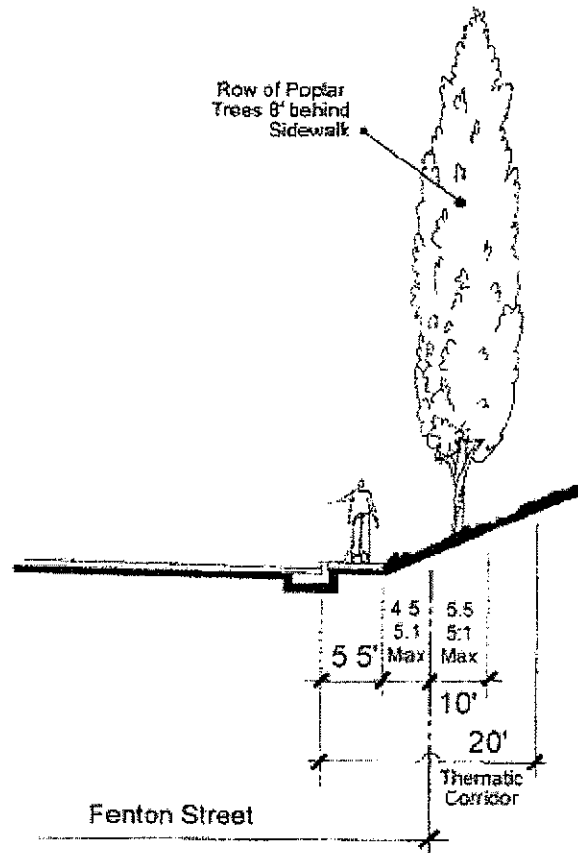
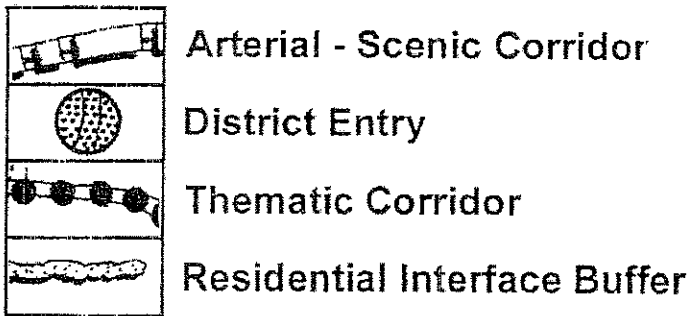
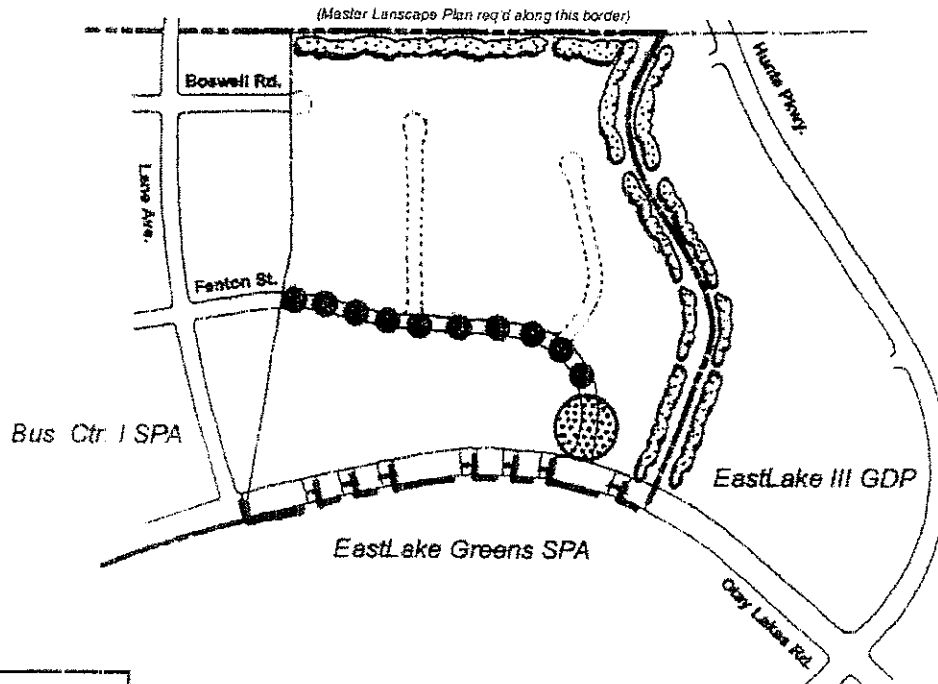


Exhibit 18

Residential Interface Buffer: The Business Center pads are above adjacent existing and future residential development to the north and east. In both locations a dense landscape buffer will be provided along the upper portions of the slope. Along the northern boundary with Rolling Hills Ranch an additional building setback is provided. A solid fence shall be required adjacent to all residential parcels. Refer also to Section II.4.4.8, herein for Special Landscape Master Plan criteria.

# General Landscape Plan

## Business Center II Supplemental SPA



Note: 10% of all lots to be landscaped open space

**EASTLAKE I**  
 A planned community by The EastLake Company

Exhibit 19



### II.4.4.3 Landscaping Requirements

The landscape concept of each specific site should be simple, with an emphasis on massing of plant materials rather than sporadic, intermittent planting. Rolling berms and drought tolerant trees, shrubs, and ground covers should be used to create a heavily landscaped setting and to visually soften parking lots and other objectionable views. Preselected dominant and accent trees should be utilized on the street frontages. A limited number of different plant materials should be used. Each tree selected, for example, should fulfill a specific role in the landscape (*i.e.*, entry tree, parking lot tree, *etc.*). Lawn shall be kept to a minimum.

1. All development in the EastLake Business Center II shall be in compliance with the Chula Vista Landscape Manual, adopted by Resolution No. 17735 in November 1994.
2. All landscaping shall be in conformance with the principles of the General Landscape Plan. Landscape plans must be approved by the ECDRC.
3. Plant materials with invasive and shallow root systems and/or which create litter which would stain paving or automobiles, or create a safety hazard should be avoided.
4. A general soil amendment program should be a part of the landscaping operation. This should include soil tests by an approved agricultural soil laboratory to determine corrective procedures.
5. Parking lots, service or storage areas, trash enclosures, *etc.*, should be visually screened. A 42 inch high landscape berm, wall, plant materials, or any combination thereof, shall be used to screen parking lots from streets.
6. Off-site landscaping. Irrigation and landscaping at the street frontage should include the area between the property line and the street sidewalk. These improvements and their ongoing maintenance is the responsibility of the property owner, unless it is part of a "common landscape area". The "common landscape area" shall be the responsibility of the EastLake Business Center Association.
7. Site developer must plan to incorporate existing landscaped areas into their overall landscape design and irrigation system.
8. The use of landscape related walls, planters, sculpture, enriched paving, *etc.* is encouraged. The inclusion of such features may alleviate deficiencies in other components of the overall landscape plan, subject to the determination of the ECDRC and the City Landscape Architect.
9. Root barriers, special irrigation and adequate setbacks from improvements shall be provided for trees that can damage public improvements.

The trees designated for the Business Center are:

Dominant trees - *Platanus acerifolia* and *Pinus eldarica*

Accent tree - *Erythnia corralloidies*

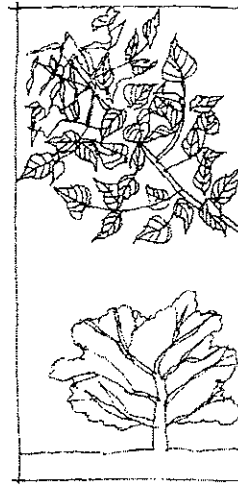
Parcel tree - select from the approved list



Dominant Tree  
London Plane Tree  
*Platanus acerifolia*



Dominant Tree  
Mondell Pine  
*Pinus eldarica*



Accent Tree  
Naked Coral Tree  
*Erythrina coralloides*

Exhibit 20

Trees shall be utilized in the following ratios:

On external streets (Otay Lakes Road):

80% Dominant trees

20% Accent trees

On internal streets:

50% Dominant trees

25% Accent trees

25% Parcel trees

On Thematic Corridor:

Populus species

To create a balanced landscape environment sensitive to maintenance and conservation concerns, specific landscape intensity classifications have been established (refer to Landscape Intensity Plan). These indicate the type of planting at a specific location or area. The classifications are made based on maintenance and watering requirements. All landscape materials shall be tolerant of reclaimed water used for irrigation.

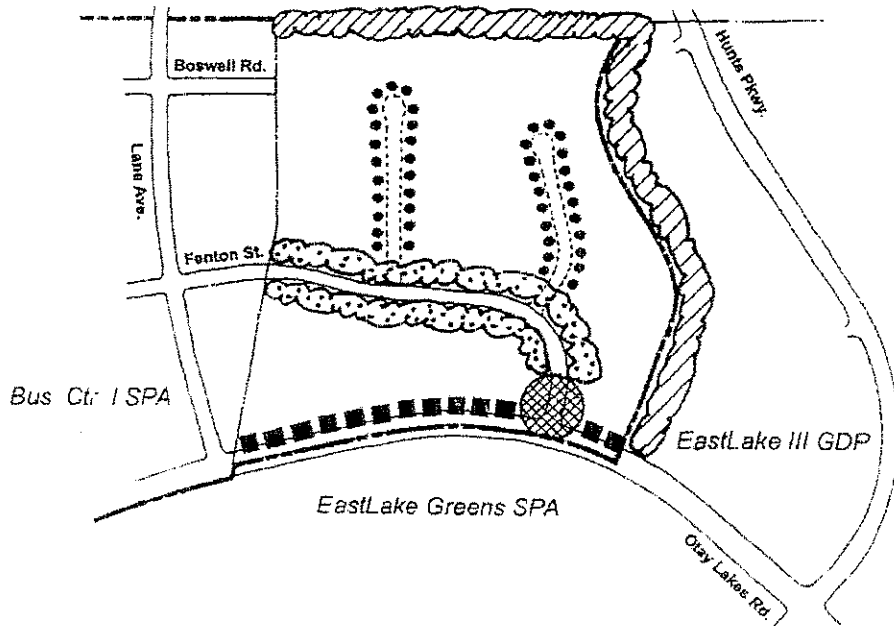
1. Native Areas - These are existing vegetated areas undisturbed by construction operations. Natural rainfall only is required for irrigation. Periodic cleanup and grubbing of seasonal growth may be required.
2. Naturalized Areas - These are newly planted areas provided with temporary irrigation systems. Once plants become established, they shall be capable of surviving with no artificial irrigation.
3. Drought-Tolerant Areas - These are newly planted areas provided with permanent irrigation systems. Water demand will be low, requiring substantially less irrigation than ornamental areas.
4. Ornamental Areas - These are areas and corridors with a high degree of visual impact. Plant materials will require regular maintenance and watering.
5. Manicured Areas - These are ornamental areas that require "special" attention due to their significance (e.g., entries). These areas shall be kept to a minimum.






#### Plant Materials Matrix

The plant materials matrix, located at the end of this section, includes a partial list of trees, shrubs, and ground covers suitable for use in the various landscape intensity classifications. Other plant materials may be utilized with approval of the ECDRC and the City.



# Landscape Intensity



-  Ornamental Areas (Drought Tolerant)
-  Manicured Areas
-  Naturalized Areas
-  Potential Ornamental Areas
-  Scenic Highway Edge

**EASTLAKE**  
 A planned community by The EastLake Company

Exhibit 21

City Land Planning  
 10-8-98

#### **II.4.4.4 Street Landscaping**

The major external street related to EastLake Business Center II is Otay Lakes Road. It is designated "Scenic Highway" by the City. Much of the landscape for this street was installed with previous development in the EastLake Community. Due to the significance of this street, specific landscape standards have been prepared:

1. Medians - median planting consisting of pre-selected trees and shrub beds shall be utilized
2. Parkways - adjacent parkways shall be planted generously with ornamental and drought tolerant plantings. A combination of landscaped berms and/or plant materials shall be utilized to visually block parking areas and any other objectionable views.
3. Slope areas - slope areas will increase the visibility of the landscaping from this street because of the elevation of the Business Center above the street, two important goals are achieved:
  - The view of parking lots will be greatly reduced.
  - The prominence of attractive buildings can be highlighted

#### **II.4.4.5 Slope/Erosion Control**

The general intent of the slope erosion control program is to protect newly created slopes or denuded areas from erosion or unsightliness. Dust abatement is also a concern. All slope erosion control planting shall conform to the requirements of the City of Chula Vista Landscape Manual and the City Landscape Architect.

Generally, five types of erosion control planting may exist subject to the direction and approval of the City Landscape Architect:

Type 1 - These are permanent slope areas where permanent automatic irrigation systems, trees, shrubs and ground covers are required.

Type 2 - These are permanent individual homeowner lot slopes where permanent manual irrigation systems, trees, shrubs and/or ground covers are required.

Type 3 - These are permanent slope areas to be naturalized. One-gallon and larger trees and shrubs with hydroseeded ground cover will be required. Irrigation requirements will be at the direction of the City LAFPD.

Type 4 - These are fire retardant slopes where fire retardant plant materials are used between structures and native or naturalized slopes.

#### **II.4.4.6 Landscape and Irrigation Standards**

Standards have been established for the planning of irrigation systems and landscaping. Some of these are municipal standards, while others are specific to the EastLake Community. The City of Chula Vista has specific standards in its Landscape Manual which must be met by all projects. Additionally, the Planning Department may have specific standards related to each individual project. The EastLake Company has specific standards in those common areas where the EastLake Community Association will assume eventual maintenance responsibility.

##### Landscape Standards

Streetscape and common area landscape shall be planted to the following minimum standards:

- Ground covers shall be used to eventually cover the entire planting area (flattened material at the appropriate spacing or hydroseed with City and Master Developer approval).
- Spreading shrubs shall be used to eventually cover a minimum of fifty percent (50%) of the area at mature growth. Shrub and ground covers shall be selected subject to approval.
- Tree plantings shall consist of the designated dominant, accent and other approved trees (subject to City and Master Developer approval)
- All trees will be staked in accordance with the City Standard detail. Type, size and installation of trees in the City right-of-way are subject to City approval.
- Agricultural suitability tests shall be completed for each landscape project. Soil amendment and leaching recommendations by an independent laboratory shall be implemented.

##### Irrigation Standards

- All irrigation systems shall conform to the City of Chula Vista Landscape Manual and EastLake Irrigation Design Manual.
- Irrigation systems shall be designed to allow separate areas of maintenance responsibility. For example, separate systems and meters for:
  - EastLake Community Association
  - Private homeowners' or business owners' association
  - Private entity
  - Governmental agency
  - Open space maintenance assessment district
  - Private individual
  - Other

- Open space maintenance district irrigation shall be coordinated with the City of Chula Vista Open Space coordinator (Parks and Recreation Department). The system shall conform to standard equipment and installation techniques.
- Equipment shall be located and installed to minimize negative visual impact. Low precipitation sprinkler heads should be utilized for optimum coverage and maximum water conservation.
- All irrigation systems shall be fully automatic with the exception of individual homeowner properties.

#### Site Specific Guidelines

The landscape concept of each specific site should be simple, with an emphasis on massing of plant materials rather than sporadic, intermittent planting. Rolling berms and drought tolerant trees, shrubs, and ground covers should be used to create a heavily landscaped setting and to visually soften parking lots and other objectionable views. Preselected dominant and accent trees should be utilized on the street frontages. A limited number of different plant materials should be used. Each tree selected, for example, should fulfill a specific role in the landscape (*i.e.*, entry tree, parking lot tree, *etc.*). Lawn shall be kept to a minimum.

1. All landscaping shall be in conformance with the principles of the General Landscape Plan. Landscape plans must be approved by the ECDRC.
2. Plant materials with invasive and shallow root systems and/or which create litter which would stain paving or automobiles, or create a safety hazard should be avoided.
3. A general soil amendment program should be a part of the landscaping operation. This should include soil tests by an approved agricultural soil laboratory to determine corrective procedures.
4. Parking lots, service or storage areas, trash enclosures, *etc.*, should be visually screened. A 42 inch high landscape berm, wall, plant materials, or any combination thereof, shall be used to screen parking lots from streets.
5. Off-site landscaping. Irrigation and landscaping at the street frontage should include the area between the property line and the street sidewalk. These improvements and their ongoing maintenance is the responsibility of the property owner, unless it is part of a "common landscape area". The "common landscape area" shall be the responsibility of the EastLake Business Center Association.
6. Buyer must plan to incorporate existing landscaped areas into their overall landscape design and irrigation system.
7. The use of landscape related walls, planters, sculpture, enriched paving, *etc.* is encouraged. The inclusion of such features may alleviate deficiencies in other components of the overall landscape plan, subject to the determination of the ECDRC and the City Landscape Architect.

#### **II.4.4.7 Landscape Maintenance**

All landscape maintenance shall conform to the City Landscape Manual, community requirements and project CC&R's.

Maintenance is divided into the following categories of responsibility:

- Individual property ownership
- Neighborhood association
- Community association
- Governmental agency
- Maintenance assessment district

In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction of multi-family, commercial, industrial, planned unit development and unclassified uses shall be landscaped in accordance with a City approved landscape plan, subject to City inspection of adequate maintenance levels.

**Exhibit 22**  
**EASTLAKE BUSINESS CENTER II**  
**PLANT MATERIALS MATRIX by LANDSCAPE INTENSITY ZONE**  
(Partial List)

Plant Names - Botanical (Common)	Manicured	Ornamental	Drought Tolerant	Naturalized	Fire Retardant
<b>TREES</b>					
Albizzia julibrissin (Type varies)		x	x		
Agonis flexuosa (Peppermint Tree)		x	x		
Arbutus unedo (Strawberry Tree)		x	x	x	x
Arecastrum romanzoffianum (Green Palm)		x	x		
Bauhinia blakeana (Hong Kong Orchid Tree)	x	x	x		
Callistemon viminalis (Weeping Bottlebrush)		x	x		x
Cupaniopsis anacardioides (Carrotwood Tree)	x	x			
Eriobotrya japonica (Loquat)	x	x			
Erythrina corralloidies (Naked Coral Tree)	x	x			
Eucalyptus species (Eucalyptus)		x	x	x	
Ficus rubiginosa (Rusty Leaf Fig)	x	x			
Geijera parvifolia (Australian Willow)		x	x		
Jacaranda acutifolia (Jacaranda)	x	x			
Koelreuteria paniculata (Chinese Flame Tree)	x	x			
Leptospermum laevigatum (Australian Tea Tree)	x	x			
Liquidambar styraciflua (American Sweetgum)	x	x			
Lyonothamnus floribundus (Catalina Ironwood)			x	x	
Melaleuca quinquenervia (Cajeput Tree)		x	x		
Melaleuca nesophila (Pink Melaleuca)		x	x		
Phoenix reclinata (Senegal Date Palm)	x	x			
Pinus brutia (Calabrian Pine)		x	x		
Pinus canariensis (Canary Island Pine)		x	x		
Pinus eldarica (Mondell Pine)		x	x		
Pinus halepensis (Aleppo Pine)		x	x		
Pinus pinea (Italian Stone Pine)	x	x	x		
Pinus torreyana (Torrey Pine)		x	x		
Pistacia chinensis (Chinese Pistache)		x	x		
Platanus acerifolia (London Plane Tree)	x	x			
Populus species (Poplar)		x	x	x	
Quercus ilex (Holly Oak)		x	x		
Quercus agrifolia (Coast Live Oak)		x	x		
Rhus lancea (African Sumac)		x	x		
Schinus molle (California Pepper)		x	x	x	

**Exhibit 22 (cont'd)**  
**EASTLAKE BUSINESS CENTER II**  
**PLANT MATERIALS MATRIX by LANDSCAPE INTENSITY ZONE**  
(Partial List)

Plant Names - Botanical (Common)	Manicured	Ornamental	Drought Tolerant	Naturalized	Fire Retardant
<b>SHRUBS</b>					
Acacia species (Acacia)				x	
Agapanthus africanus (Lily of the Nile)	x	x			
Arctostaphylos species (Manzanita)			x	x	
Calliandra tweedii (Trinidad Flame Tree)		x	x		
Ceanothus species (Wild Lilac)			x	x	
Cistus species (Rockrose)			x	x	x
Coprosma kirkii (Coprosma)		x	x		x
Cotoneaster species (Cotoneaster)		x	x		
Dodonaea viscosa (Hopseed Bush)		x	x		
Echium fastosum (Pride of Madeira)		x	x		
Escallonia species (Escallonia)		x	x		
Feijoa sellowiana (Pineapple Guava)		x	x		x
Hemerocallis hybrids (Day Lily)	x	x	x		
Heteromeles arbutifolia (Toyon)			x	x	x
Lantana species (Lantana)		x	x		
Leptospermum scoparium (New Zealand Tea Tree)		x	x		
Nandina domestica (Heavenly Bamboo)	x	x			
Nerium oleander (Oleander)		x	x		x
Photinia fraserii (Photinia)		x	x		
Pittosporum species (Mock orange)	x	x	x		x
Plumbago auriculata (Cape Plumbago)			x		
Podocarpus species (Yew pine)	x	x			
Prunus lyonii (Catalina Cherry)			x	x	
Punica ganatum nana (Dwarf Pomegranate)			x		
Raphiolepis indica (India Hawthorn)	x	x			
Rhamnus alaternus (Italian Buckthorn)			x		x
Rhus integrifolia (Lemonade Berry)			x	x	
Tecoma capensis (Cape Honeysuckle)		x	x		x
Viburnum species (Viburnum)		x			
Xylosma congestum (Xylosma)		x	x		

**Exhibit 22 (cont'd)**  
**EASTLAKE BUSINESS CENTER II**  
**PLANT MATERIALS MATRIX by LANDSCAPE INTENSITY ZONE**  
(Partial List)

Plant Names - Botanical (Common)	Manicured	Ornamental	Drought Tolerant	Naturalized	Fire Retardant
<b>GROUND COVER</b>					
Acacia redolens (Prostrate Acacia)		x			
Arctotheca calendula (Cape Weed)		x	x		x
Arctostaphylos species			x	x	x
Baccharis pilularis 'Twin Peaks' (Dwarf Coyote Bush)			x	x	x
Ceanothus species (Wild Lilac)			x	x	
Cerastium tomentosum (Snow in Summer)		x	x		
Fragaria chiloensis (Ornamental Strawberry)	x	x			
Gazania species (Gazania)	x	x	x		x
Hedera helix (English Ivy)	x	x			
Ice plants (vary)	x	x	x		x
Lantana species (Lantana)		x	x		
Limonium perezii (Statice)		x	x		x
Myoporum parvifolium (Prostrate Myoporum)		x	x		x
Ophiopogon japonicum (Mondo Grass)	x	x			
Pelargonium peltatum (Ivy Geranium)	x	x			
Potentilla verna (Spring Cinquefoil)		x	x		
Rosmarinus officinalis 'Prostratus' (Prostrate Rosemary)	x	x		x	
Santolina virens (Santolina)		x	x		x
Verbena hybrids (Verbena)		x	x		
Vinca major and minor (Periwinkle)		x	x		



**Exhibit 22 (cont'd)**  
**EASTLAKE BUSINESS CENTER II**  
**PLANT MATERIALS MATRIX by LANDSCAPE INTENSITY ZONE**  
(Partial List)

Plant Names - Botanical (Common)	Manicured	Ornamental	Drought Tolerant	Naturalized	Fire Retardant
<b>VINES</b>					
Bougainvillea species (Bougainvillea)	x	x	x		
Cissus species (Cissus)	x	x			
Ficus repens (Climbing Fig)		x	x		
Hibbertia scandens (Guinea Gold Vine)	x	x			
Parthenocissus tricuspidata (Boston Ivy)	x	x			
Trachelospermum jasminoides (Star Jasmine)	x	x			
Wisteria sinensis (Chinese Wisteria)	x	x	x		

#### II.4.4.8 Special Master Landscape Plan

The northern portion of Business Center II abuts Rolling Hills Ranch. To minimize the visual impacts of development in Business Center II, as viewed from the adjacent homes, a special master landscaping plan is required. This special master landscaping plan shall be approved by the Director of Planning prior to the issuance of the first building permit for Lots 2, 3, 12, or 13. This plan shall be offered to the Rolling Hills Ranch developers for comment and may include provisions for off-site tree planting to supplement the tree planting within Business Center II.

Criteria for preparation and approval of the special master landscape plan shall be:

The plan shall be designed to reduce the visual impact of buildings by planting trees that provide screening

The container size of the trees to be planted shall that which would produce the most screening over a five year period for the tree species, up to 24" box maximum. Spacing of trees shall not constrain full maturity branching

The trees shall be maintained by the respective property owners association

The emphasis on the location of the special tree shall be at the top of slope or in locations that best serve to screen the Business Center II buildings

The scope of the plan area shall be as indicated in the exhibit below.

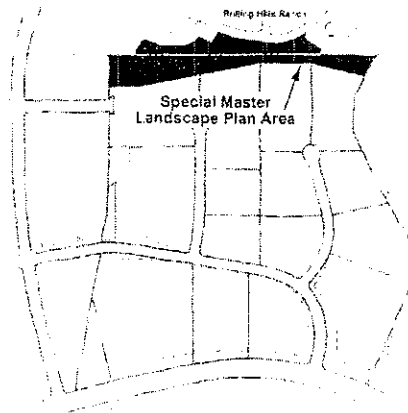


Exhibit 23

## **II.4.5 INDIVIDUAL LOT DESIGN CRITERIA**

### **II.4.5.1 Individual Lot Design Criteria**

The descriptions and lot criteria described in this section are intended to provide specific guidance for each lot. They have been prepared using general criteria and standards provided in various documents in the Business Center II SPA, Design Guidelines, and Planned Community District Regulations. These criteria and specifications are subject to change and refinement in conjunction with the tract map approval process.

### **II.4.5.2 Organization of the Criteria**

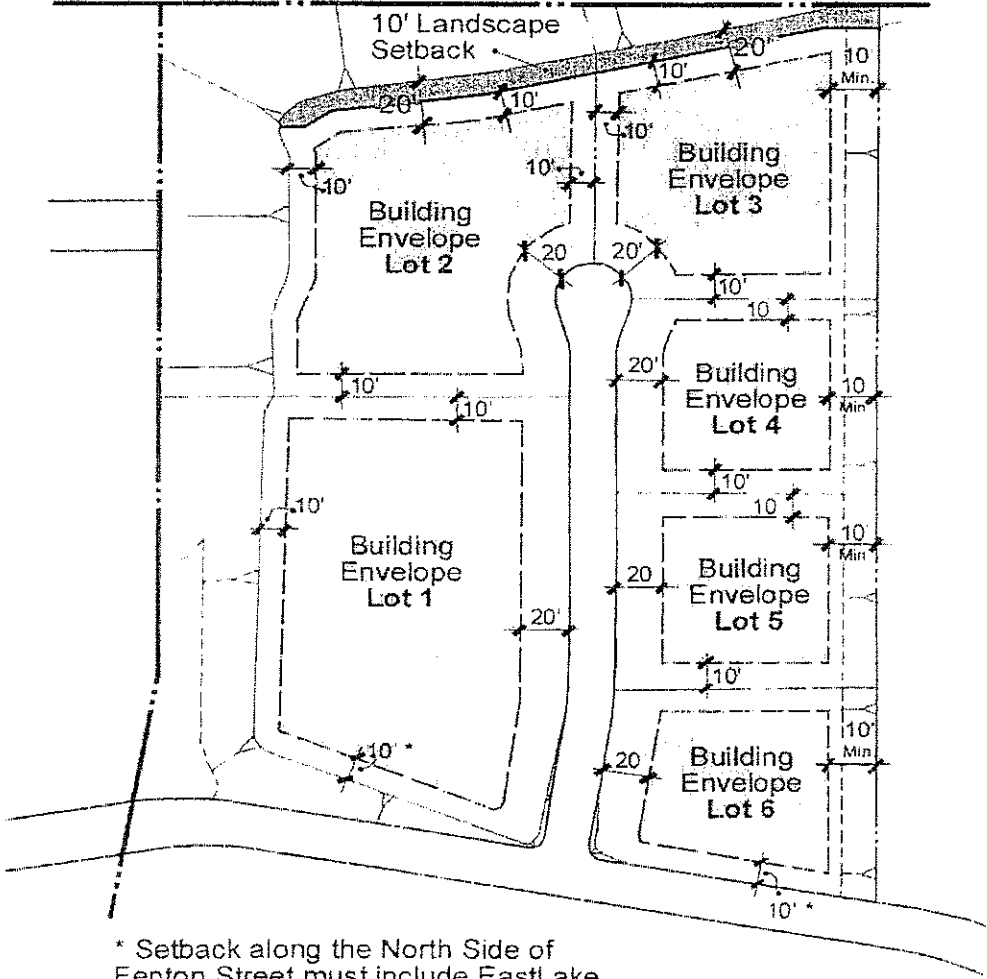
This section presents issues relating to building envelopes and building architecture in groups of lots based on geographic areas, as follows:

- Lots 1 to 6
- Lots 7 to 9
- Lots 10 to 16

Following these geographical groups are individual pages for each lot defining lot specific issues and criteria.

# Building Envelope

( ROLLING HILLS RANCH )



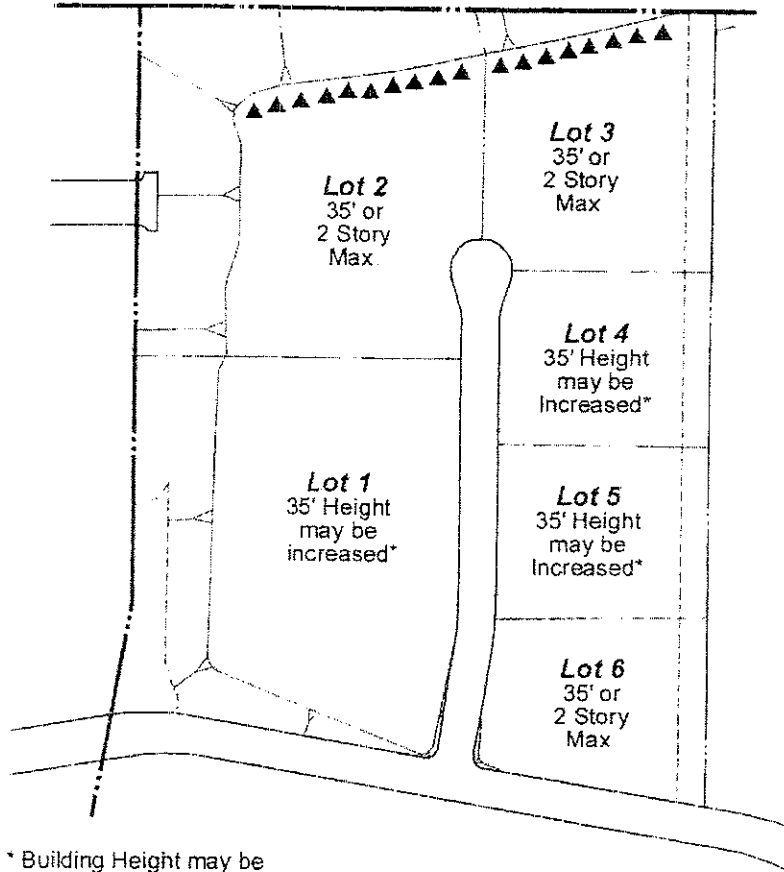
\* Setback along the North Side of Fenton Street must include EastLake Thematic Corridor Criteria

Building Coverage may not exceed 60% of Lot Area

Exhibit 24

# Building Architecture

(ROLLING HILLS RANCH)

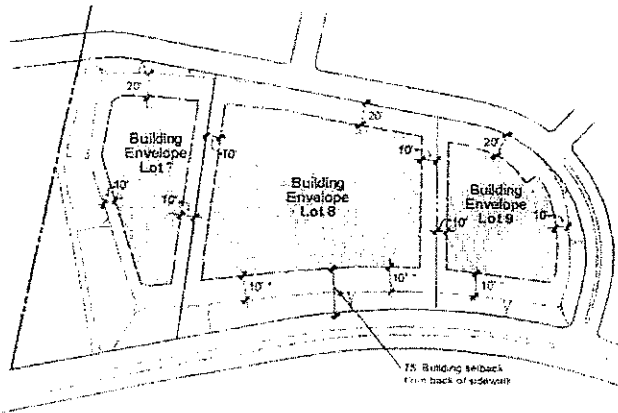


\* Building Height may be Considered to be Increased (see P C Regulations)

▲ Building Elevations Facing Residential Areas must be Architecturally Treated

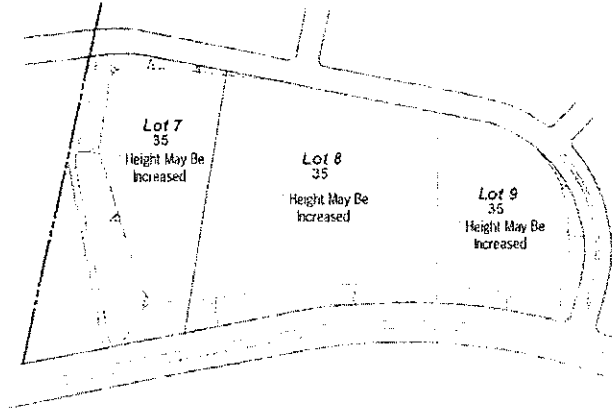
Exhibit 25

**Exhibit 26  
Building Envelope**



*\*Setback along the North Side of Otay Lakes Road must include Scenic Highway Criteria (75')  
Building Coverage may not exceed 60% of lot area*

**Exhibit 27  
Building Architecture**



*\*35' Building Height may be increased per P.C. Regulations Section IV 2 A 8, and as noted below.*

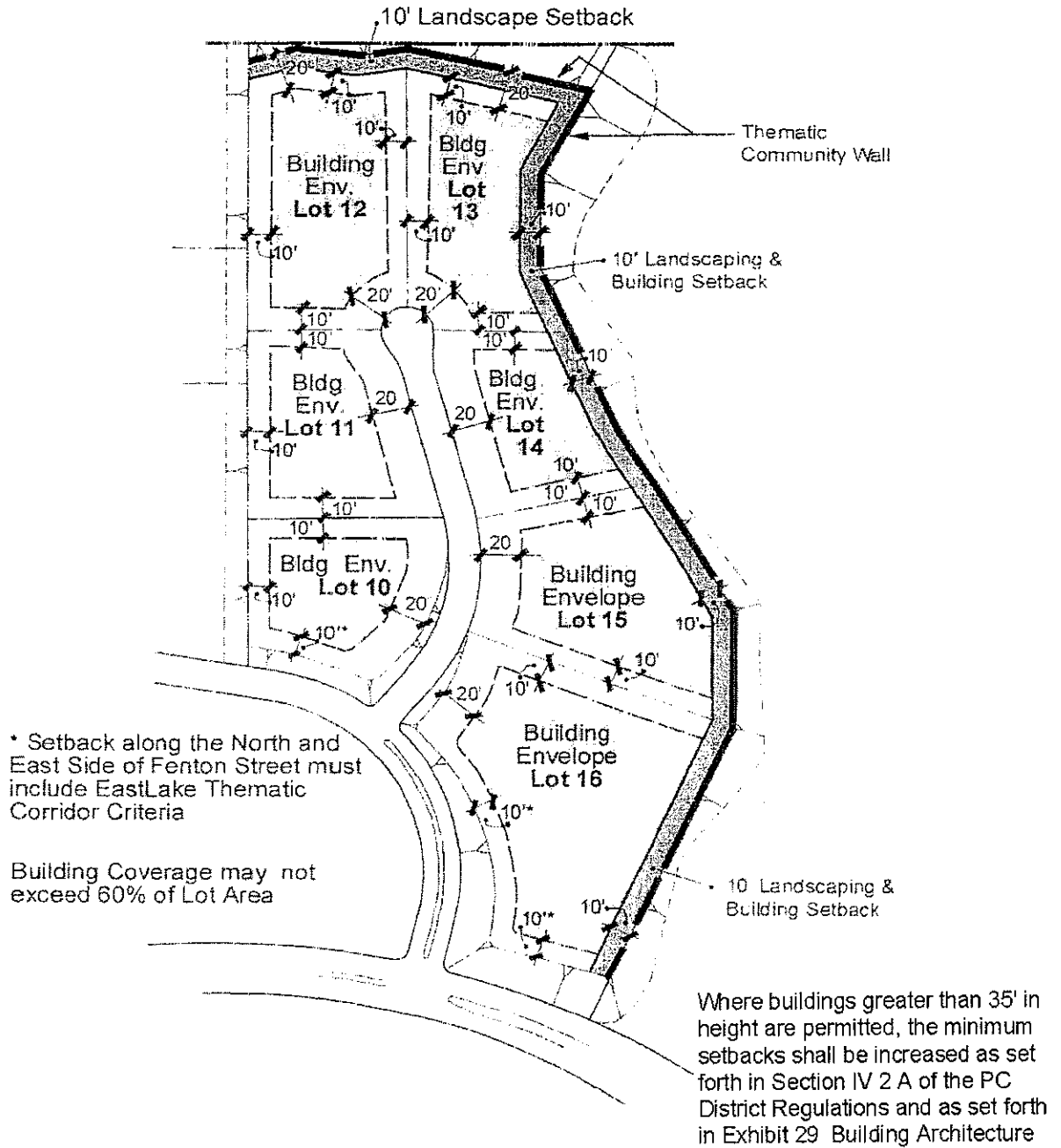
For commercial and industrial buildings greater than 35 feet in height, the Design Review Committee shall consider the following special design objectives:

- 1 Ensure high quality and fully finished architecture on elevations facing adjoining residential development and properties equal to that of the other sides of the building
- 2 Provide enhanced screening via increased size and/or amount of buffer landscaping and/or screening walls
- 3 Maintain comparable access to light and air at the perimeter lot line based on a 35' building height at the minimum setbacks
  - a. Maintain a comparable height to setback (H:S) ratio (See IV 2.A of the Planned Community (PC) District Regulations)
  - b. Maintain a comparable façade area (maximum building width X base height of 35 feet) for elevations facing residential developments or adjoining residential lots. This may be accomplished by reducing the total building width as the height of the building increases so that the total façade area remains roughly the same

Example: 35' height X 100' width between side yard setbacks = building area of 3,500 square feet  
A 70' tall building would have a target width of approximately 50 feet wide (70' X 50' = 3,500' square feet)

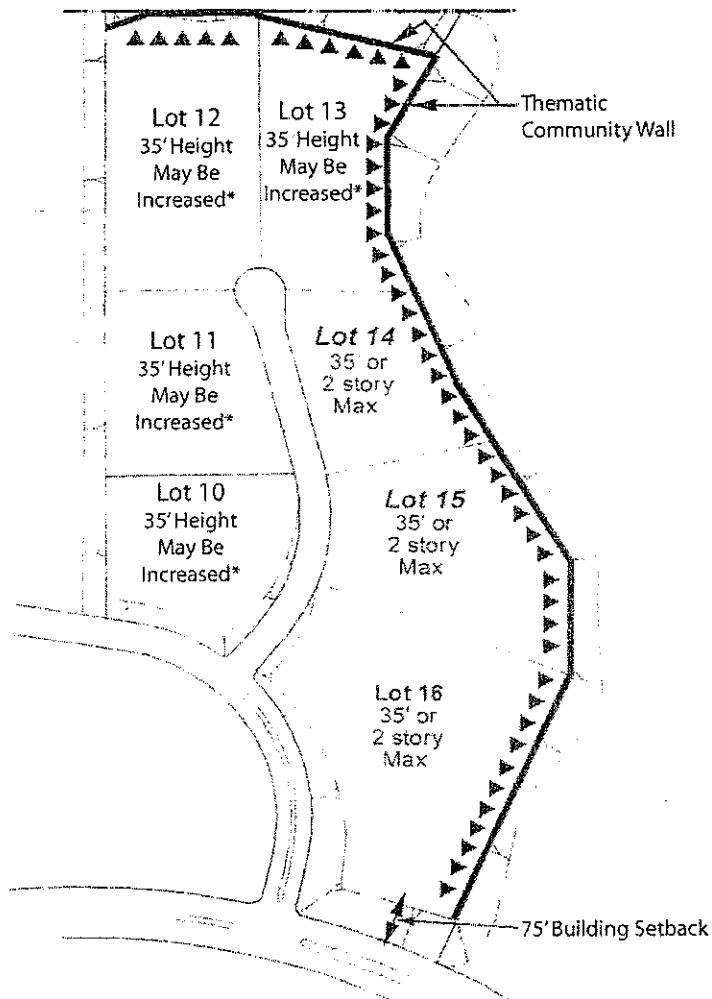
**Exhibit 28  
Building Envelope**

( ROLLING HILLS RANCH )



## Exhibit 29 Building Architecture

(ROLLING HILLS RANCH)



▲ Building Elevations facing residential areas must be architecturally treated (examples: Substantial building line offsets, variable building heights, harmoniously arranged windows, cohesive colors and materials, and overall design composition compatible with the residential neighborhood to the north and east).

\*Building Height may be increased per P.C. Regulations Section IV 2.A 8, and as follows

For commercial and industrial buildings greater than 35 feet in height, the Design Review Committee shall consider the following special design objectives:

1. Ensure high quality and fully finished architecture on elevations facing adjoining residential development and properties equal to that of the other sides of the building
2. Provide enhanced screening via increased size and/or amount of buffer landscaping and/or screening walls
3. Maintain comparable access to light and air at the perimeter lot line based on a 35' building height at the minimum setbacks.
  - a. Maintain a comparable height to setback (H:S) ratio. (See Section IV 2.A of the Planned Community (PC) District Regulations)
  - b. Maintain a comparable façade area (maximum building width X base height of 35 feet) for elevations facing residential developments or adjoining residential lots. This may be accomplished by reducing the total building width as the height of the building increases so that the total façade area remains roughly the same.

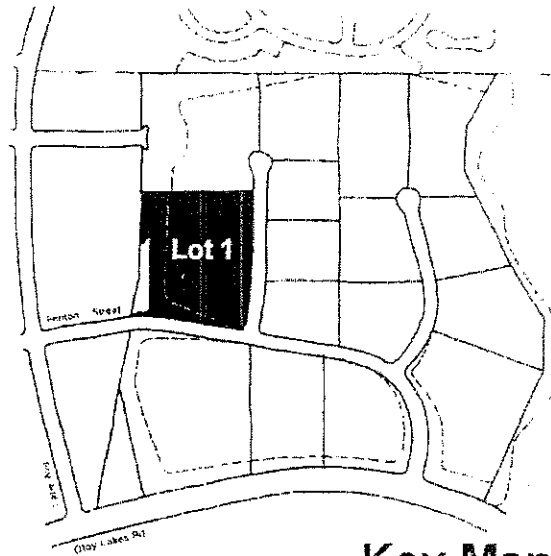
*Example: 35' height X 100' width between side yard setbacks = building area of 3,500 square feet. A 70' tall building would have a target width of approximately 50 feet wide (70' X 50' = 3,500' square feet)*



## Lot 1

### Design Issues Summary

Land Use/Land Use District:	Manufacturing Park/BC-1
Fencing:	Screening on site storage and parking only.
Landscaping:	Blend with existing Business Center I. Thematic Corridor along southern boundary.
Edges:	Blended edge with Business Center I and Thematic Corridor.
Special Conditions:	Within first phase and will establish precedent for Business Center II. View from residential neighborhood in the Greens.



Key Map

Exhibit 30

**Lot 2**

**Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-1
Fencing:	Mandatory Solid wall at top of Slope along north boundary. Screening on site storage and parking.
Landscaping:	Dense landscape screening required along north boundary abutting Rolling Hills Ranch on pad and slope. Blend eastern landscape with existing Business Center I.
Edges:	Northern residential edge requires sensitivity to visual impact on residential use.
Special Conditions:	Additional 10' setback (20' total) along northern border. Architectural treatment on north facing elevation.

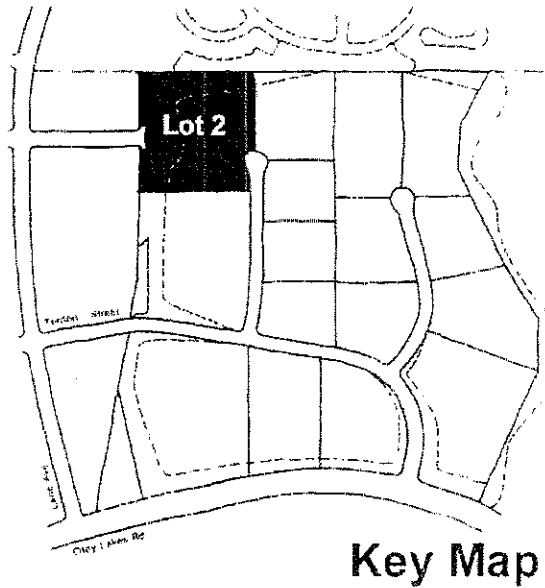


Exhibit 31

## Lot 3

### Design Issues Summary

Land Use/land Use District:	Manufacturing Park/BC-1
Fencing:	Mandatory Solid wall at top of Slope along north boundary. Screening on site storage and parking.
Landscaping:	Dense landscape screening required along north boundary abutting Rolling Hills Ranch on pad and slope
Edges:	Northern residential edge requires sensitivity to visual impact on residential use.
Special Conditions:	Additional 10' setback (20' total) along northern border. Architectural treatment on north facing elevation

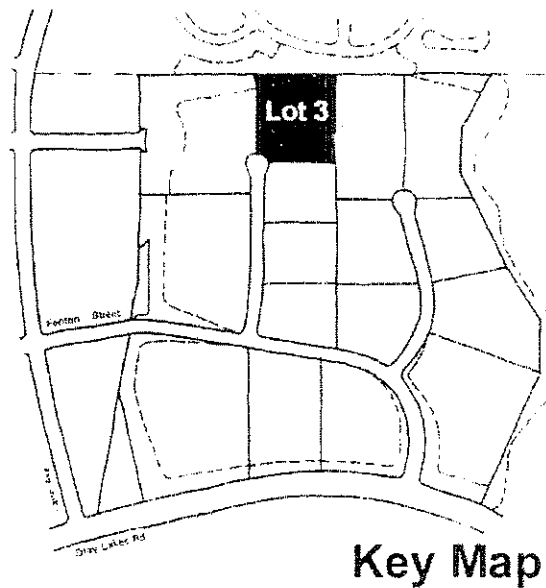


Exhibit 32

**Lot 4**

**Design Issues Summary**

Land Use/land Use District:	Manufacturing Park/BC-1
Fencing:	Screening on site storage and parking only.
Landscaping:	No special conditions for landscaping.
Edges:	Surrounded by Business Center uses.
Special Conditions:	Increase height potential.

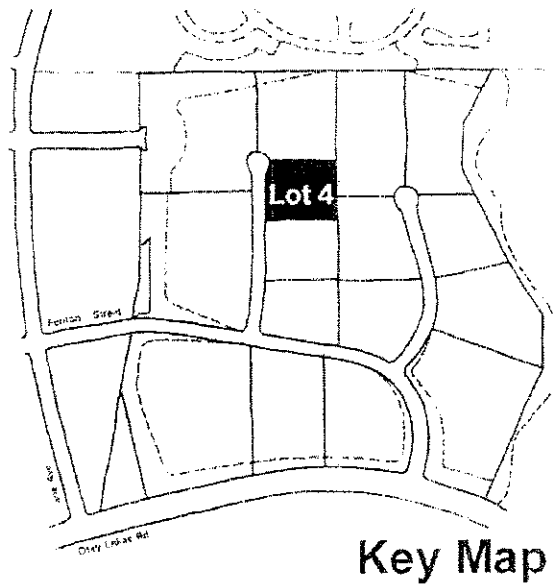


Exhibit 33

## Lot 5

### Design Issues Summary

Land Use/land Use District:	Manufacturing Park/BC-1
Fencing:	Screening on site storage and parking only
Landscaping:	No special conditions for landscaping.
Edges:	Surrounded by Business Center uses
Special Conditions:	Increased building height potential.

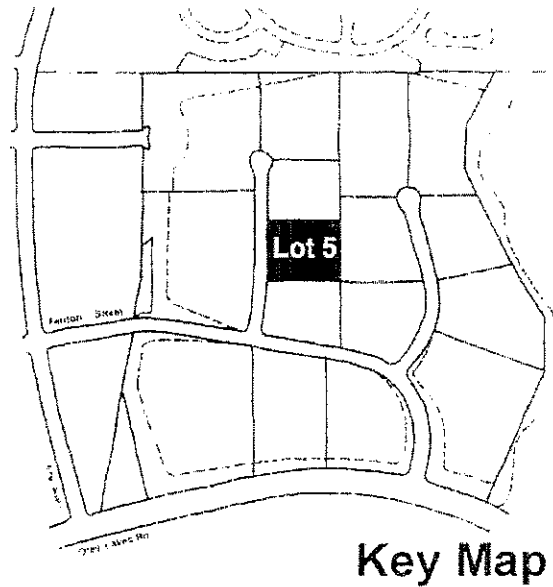
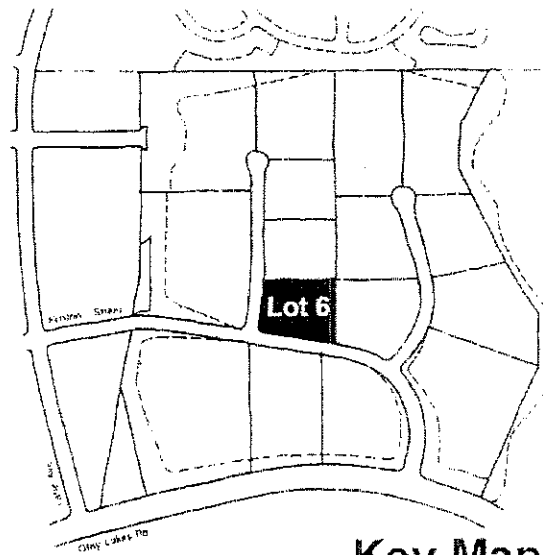


Exhibit 34

## Lot 6

### Design Issues Summary

Land Use/land Use District:	Manufacturing Park/BC-1
Fencing:	Screening for on-site storage and parking only.
Landscaping:	Thematic Corridor along southern boundary.
Edges:	Surrounded by Business Center uses.
Special Conditions:	Increase building height potential



**Key Map**

Exhibit 35

**Lot 7**  
**Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-1
Fencing:	Screening on-site storage and parking
Landscaping:	Southern boundary requires Scenic Highway landscaping
Edges:	Western edge to blend with established Business Center I. Southern edge is Scenic Highway Northern and eastern edges relate to Business Center II uses
Special Conditions:	Southern exposure to Scenic Highway and residential development in the Greens SPA requires sensitivity to visual impacts. Increased building height potential.

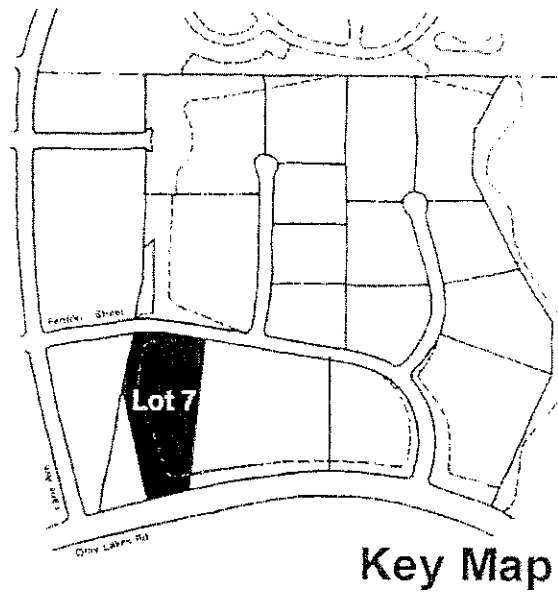
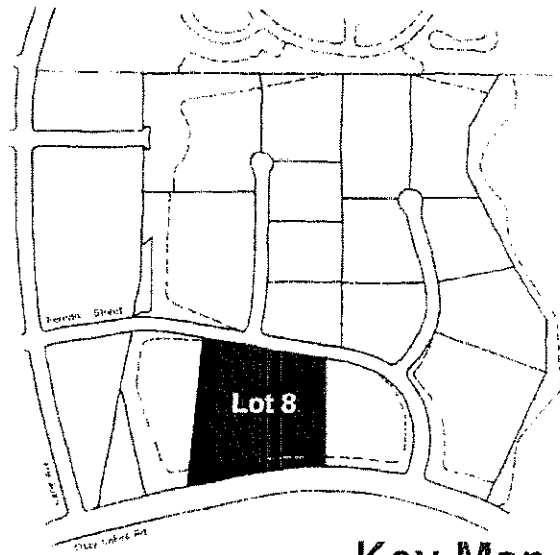


Exhibit 36

**Lot 8  
Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-4
Fencing:	Screening for on-site storage and parking.
Landscaping:	Southern boundary requires Scenic Highway landscaping.
Edges:	Southern edge is Scenic Highway. Northern, western, and eastern edges relate to Business Center II uses.
Special Conditions:	Southern exposure to Scenic Highway and residential development in the Greens SPA requires sensitivity to visual impacts. Increased building height potential.



**Key Map**

Exhibit 37



**Lot 9  
Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-1
Fencing:	Screening on-site storage and parking.
Landscaping:	Southern boundary requires Scenic Highway landscaping
Edges:	Southern edge is Scenic Highway. Northern, western, and eastern edges relate to Business Center II uses
Special Conditions:	Southern exposure to Scenic Highway and residential development in the Greens SPA requires sensitivity to visual impacts. Exposure at Business Center II entry requires high quality architectural design. Increased building height potential.

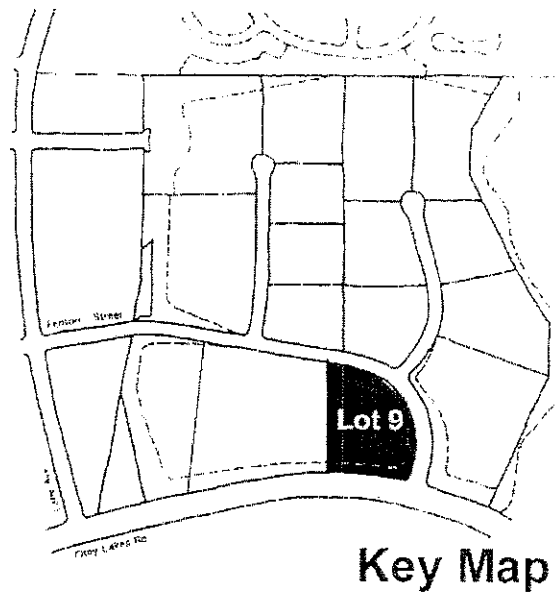


Exhibit 38

**Lot 10**  
**Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-4
Fencing:	Screening on-site storage and parking.
Landscaping:	Southern boundary requires Scenic Highway landscaping
Edges:	Southern edge is Scenic Highway Northern, western, and eastern edges relate to Business Center II uses.
Special Conditions:	Southern exposure to Scenic Highway and residential development in the Greens SPA requires sensitivity to visual impacts. Exposure at Business Center II entry requires high quality landmark building design. Increased building height potential.

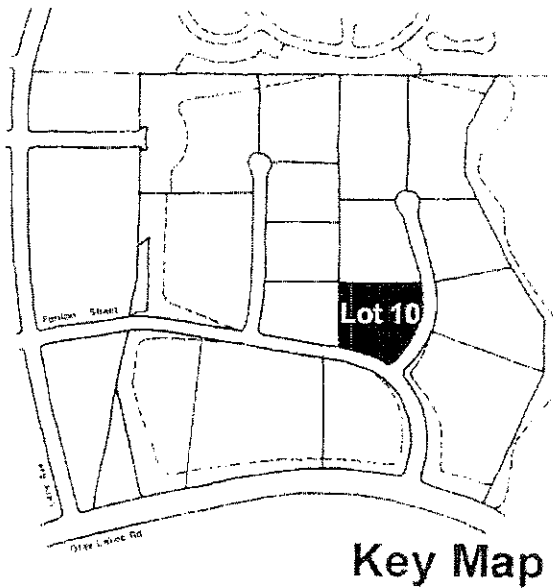


Exhibit 39

**Lot 11  
Design Issues Summary**

Land Use/Land Use District: Manufacturing Park/BC-4  
Fencing: Screening for on-site storage and parking  
Landscaping: No special requirements.  
Edges: Surrounded by Business Center uses  
Special Conditions: Increased building height potential

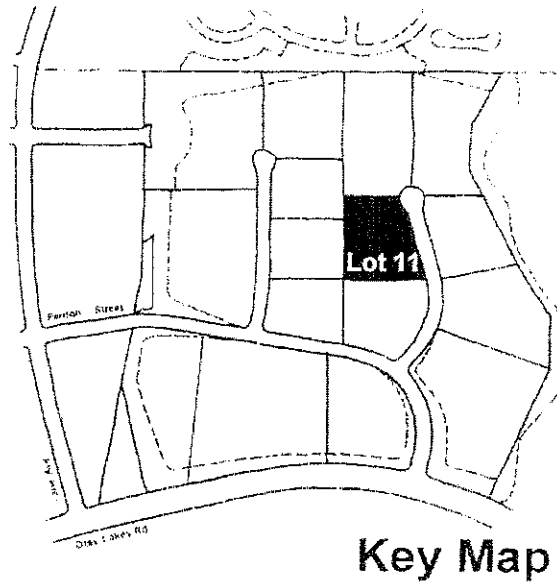


Exhibit 40

**Lot 12**  
**Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-4
Fencing:	Mandatory Solid wall at top of slope along north boundary. Screening on site storage and parking.
Landscaping:	Dense landscape screening required along north boundary abutting Rolling Hills Ranch on pad and slope.
Edges:	Northern residential edge requires sensitivity to visual impact on residential use.
Special Conditions:	Additional 10' setback (20' total) along northern border. Architectural treatment on north facing elevation. Increased building height potential.

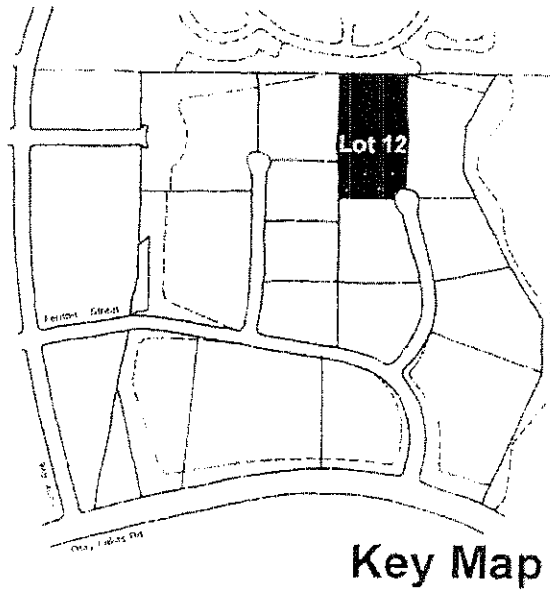


Exhibit 41

**Lot 13  
Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/BC-4
Fencing:	Mandatory Solid wall at top of slope along northern and eastern boundary. Screening on site storage and parking
Landscaping:	Dense landscape screening required along northern and eastern boundary, abutting residential use, on pad and slope.
Edges:	Northern and eastern residential edge requires sensitivity to visual impact on residential use
Special Conditions:	Additional 10' setback (20' total) along northern border. Architectural treatment on north facing elevation Increased building height potential

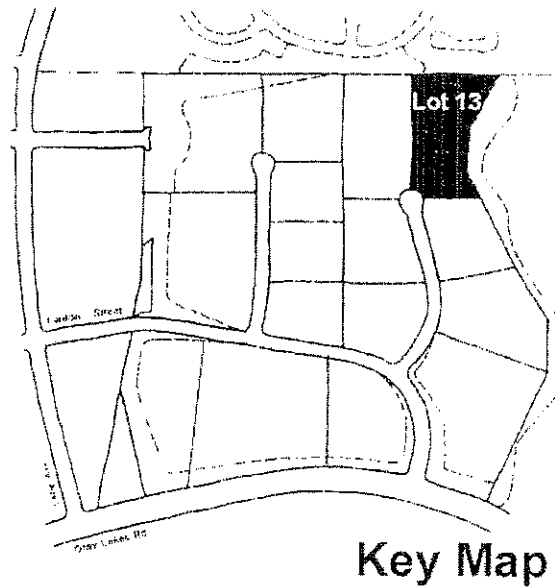


Exhibit 42

**Lot 14**  
**Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/ VC-5
Fencing:	Mandatory Solid wall at top of slope along eastern boundary. Screening on site storage and parking.
Landscaping:	Dense landscape screening required along eastern boundary, abutting residential use, on pad and slope.
Edges:	Eastern residential edge requires sensitivity to visual impact on residential use.
Special Conditions:	10' dense landscape along eastern boundary.

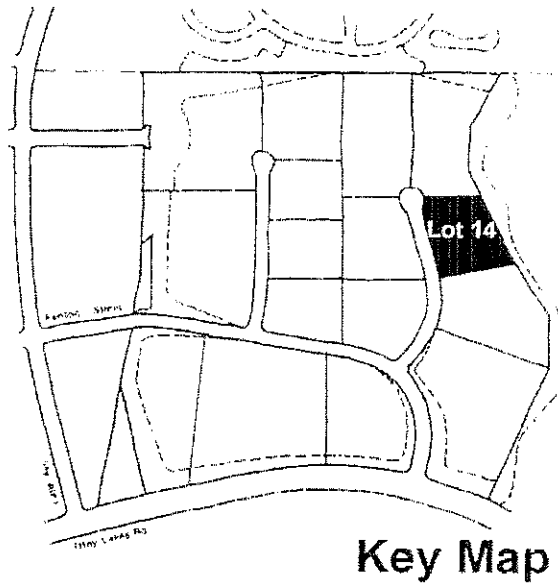


Exhibit 43

**Lot 15**  
**Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/ VC-5
Fencing:	Mandatory Solid wall at top of slope along eastern boundary. Screening on site storage and parking.
Landscaping:	Dense landscape screening required along eastern boundary, abutting residential use, on pad and slope.
Edges:	Eastern residential edge requires sensitivity to visual impact on residential use.
Special Conditions:	10' dense landscape along eastern boundary

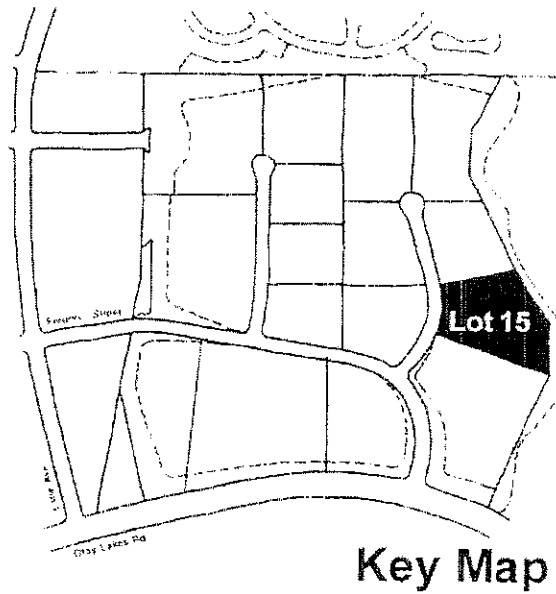


Exhibit 44

**Lot 16  
Design Issues Summary**

Land Use/Land Use District:	Manufacturing Park/ VC-5
Fencing:	Mandatory Solid wall at top of slope along eastern boundary. Screening on site storage and parking.
Landscaping:	Dense landscape screening required along eastern boundary, abutting residential use, on pad and slope Thematic Corridor along western boundary Scenic Highway along southern boundary
Edges:	Eastern and southern residential edges require sensitivity to visual impact on residential use
Special Conditions:	Southern exposure to Scenic Highway and residential development in the Greens SPA requires sensitivity to visual impacts. Exposure at Business Center II entry requires high quality architectural design.

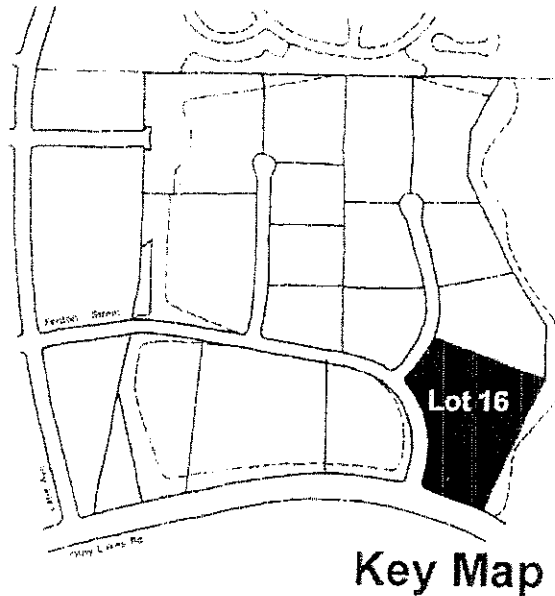



Exhibit 45



**THE EASTLAKE BUSINESS CENTER II  
SUPPLEMENTAL  
PUBLIC FACILITIES FINANCING PLAN  
AMENDMENT**

**Approved by:  
Chula Vista City Council  
~~November 16, 1999~~  
December 18, 2007  
Resolution No. ~~19666-2007-299~~**

**Prepared by:  
**burkett & wong**   
October 27, 1999  
Amended November 19, 2007**

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## EXECUTIVE SUMMARY

This supplemental Public Facilities Financing Plan (PFFP) to the EastLake SPA Plan Amendment PFFP (dated June 30, 1992) addresses the public facility needs associated with the EastLake I SPA Plan Amendment to include the EastLake Business Center II project. The supplement, as amended, has been prepared under the requirements of the City of Chula Vista's Growth Management Program and Implementation Ordinance Number 2448. Further, this supplement is a hybrid meant to bridge the gap between current version of the EastLake SPA Plan Amendment PFFP and the city's current guidelines.

The preparation of an Amendment to the supplemental PFFP is required in conjunction with the preparation of the Amended supplemental Sectional Planning Area (SPA) Plan for EastLake Business Center II. This supplemental PFFP, as amended, ensures that the future development of the Business Center II project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, the Amended EastLake II General Development Plan (GDP) and the Amended EastLake I SPA Plan. Further, the supplemental PFFP, as amended, ensures that the development of the project will not adversely impact the City's Quality of Life Standards. Lastly, this supplemental PFFP, as amended, meets the policy objectives of the EastLake II GDP.

~~In 1999, the 104.7 acre EastLake Business Center II project will be was deleted from the EastLake III General Development Plan (GDP) and annexed to the EastLake II GDP and the EastLake I SPA Plan. The EastLake Business Center II planning area encompasses approximately 104.7 gross acres (76 net acres) within the City of Chula Vista. The EastLake Business Center II development is bordered by the EastLake Business Center I to the west, the Rolling Hills Ranch subdivision to the north, Otay Lakes Road to the south, and the future EastLake Woods residential development to the east.~~

~~The project will consist of four development phases. The development of Phase 1A and 1B is expected to commence immediately upon approval of the final map. The development of Phases 2A and 2B will be linked to the market demand and the completion of certain transportation and sewer improvements.~~

In 2007, a new project was filed to change or modify the uses on approximately 45 acres within the EastLake Business Center II SPA Plan. The proposed changes and modifications are as follows:

- A change in the land use designation of approximately 16.7 previously developed acres at 851-891 Showroom Place (hereafter referred as Area "A") from Limited Industrial to Commercial Retail. This includes amendments to the General Plan, existing General Development Plan (GDP) and Supplemental Sectional Planning Area (SPA) Plan to reflect the land use change.
- A change in land use district designation for Lot 2 of Map 13971 and Lots 5-8 of Map 14395 (herein after referred to as Area B) and 2430 Fenton Street (hereinafter referred to as Area C) from BC-1 to BC-4. This change would permit hotels and medical clinics with a Conditional Use Permit and increase the building height to 76 feet.

- A five story hotel and four story office building are proposed on Area C and are included in the PFFP analysis in addition to the aforementioned change in land use for Area A.

**A. Public Facility Cost and Fee Summary**

The following discussion identifies and summarizes the various facility costs associated with development of the EastLake Business Center II project. The facilities and the buildings on Area A acres have been constructed and their cost are identified in detail in Section 5.3 of this supplemental PFFP. Development Impact Fees (DIF) have been paid for Area A but not Area B and C. Each subsection indicates ~~a recommended financing alternative for of this Supplemental PFFP Amendment updates existing facilities and the threshold facilities based upon current City practices and policies.~~ However, where another financing mechanism may be shown at a later date to be more effective, the City may implement such other mechanisms in accordance with City policies. ~~In addition, Table 5-20 summarizes the public facility phasing and associated costs within a table format.~~

Transportation DIF Fees generated by and Traffic Signal Fees for the EastLake Business Center II Area A project total approximately \$10,494,750 have been paid when building permits were issued based on the previous Industrial land use designation and an earlier fee schedule. Fees generated for Pre-SR 125 facilities are approximately \$2,152,500 while the traffic Traffic signal fees are approximately \$115,830. New fees are applicable to Area B and C. Area B fees will be paid in the future and Area C fees will be paid when building permits are issued for the hotel and office.

Backbone sewer and water improvements ~~will be~~ were funded, in part, through the payment of DIF fees and capacity fees established for these purposes. On-site facilities will be funded by the Developer.

~~The total costs for the EastLake Business Center II project Capital Improvement Plan (CIP) Potable Water and Recycled Water facilities will be~~ were determined by the Otay Water District (OWD) and constructed. ~~According to the OWD policy No. 26, OWD will provide reimbursement for construction and design costs associated with development of these improvements.~~

~~The total cost for Wastewater backbone system for the EastLake Business Center II project is approximately \$342,656. Most of the project site is within the Telegraph Canyon Gravity Sewer Basin DIF. A portion of the site, approximately 20% (all in Phase 2B), is within the Salt Creek Sewer Basin. has been constructed.~~

The EastLake Business Center II project will not have an impact on the schools, parks and libraries and ~~therefore will~~ did not generate fees.

Police, fire and emergency medical services, civic center, corporation yard, and other public facilities ~~will be~~ have been funded from revenues generated from the payment of Public Facilities Development Impact Fees (PFDIF) at the time building permits were issued for Area A issuance. These fee revenues total approximately \$940,500. New fees are applicable to Area B and C. Area B fees will be paid in the future and Area C fees will be paid when building permits are issued for the hotel and office.

The net fiscal impact from the amendment is negative in 2007 (\$91,800 Loss) and 2008 (\$57,400 Loss) but becomes positive in 2009 (\$306,500) and positive at buildout (\$345,000).

## B. Public Facility Thresholds

City Council Resolution Number 13346 identified eleven different public facilities and services with related threshold standards and implementation measures. The following is a summary of the threshold compliance by the EastLake Business Center II project, as amended:

- Based upon the traffic analysis prepared for the EastLake Trails project (Linscott, Law & Greenspan (LL&G), September 7, 1999) and the Traffic Impact Analysis for EastLake Design District by LL&G September 10, 2007, threshold compliance is projected to be maintained with implementation of the improvements identified therein and with the payment of transportation DIF fees or the construction of street improvements also identified therein. The EastLake Business Center II project shall be conditioned to pay Transportation DIF Fees, Pre-SR 125 DIF Fees and Traffic Signal Fees at the rate in effect at the time building permits are issued.
- The Otay Water District's Water Resource Master Plan and the Sub-Area Master Plan (SAMP) identify water facilities to be constructed that will provide the necessary water service to meet OWD criteria. The Developer shall request and deliver to the City a service availability letter to the Otay Water District prior to each final map new building construction. In addition the Developer will provide water improvements according to OWD approved SAMP.
- Provide Recycled water improvements according to the SAMP. Recycled water requirements for the project will be coordinated has been constructed and approved by the Otay Water District and City of Chula Vista. The phased construction of recycled water facilities, was based on the SAMP, will be incorporated into the conditions of approval for a future subarea map.
- The sewer facilities to accommodate sewer flows from the EastLake Business Center II project have been identified and constructed per the Supplemental PFFP. The construction of new sewer facilities must be phased with the construction of streets, however, this would not apply to the upgrade of existing facilities. As such, the facilities identified in this supplemental PFFP will be required of the Developer either as constructed facilities or through the payment of fees.
- The City will monitor Fire Department responses to emergency fire and medical calls and report the results to the City Management Oversight Commission (GMOC) on an annual basis.
- The City will monitor police responses to calls for service in both the Police Emergency (priority one) and Urgent (priority two) categories and report the results to the GMOC on an annual basis.
- The City continues to provide development forecast to the APCD in conformance with the threshold standard. A separate Air Quality Improvement Plan is provided as part of the SPA document.
- Civic Center facilities and Corporate Yard facilities will be have been funded through the collection of the public facility fees at the rate in effect at the time building permits are were issued.

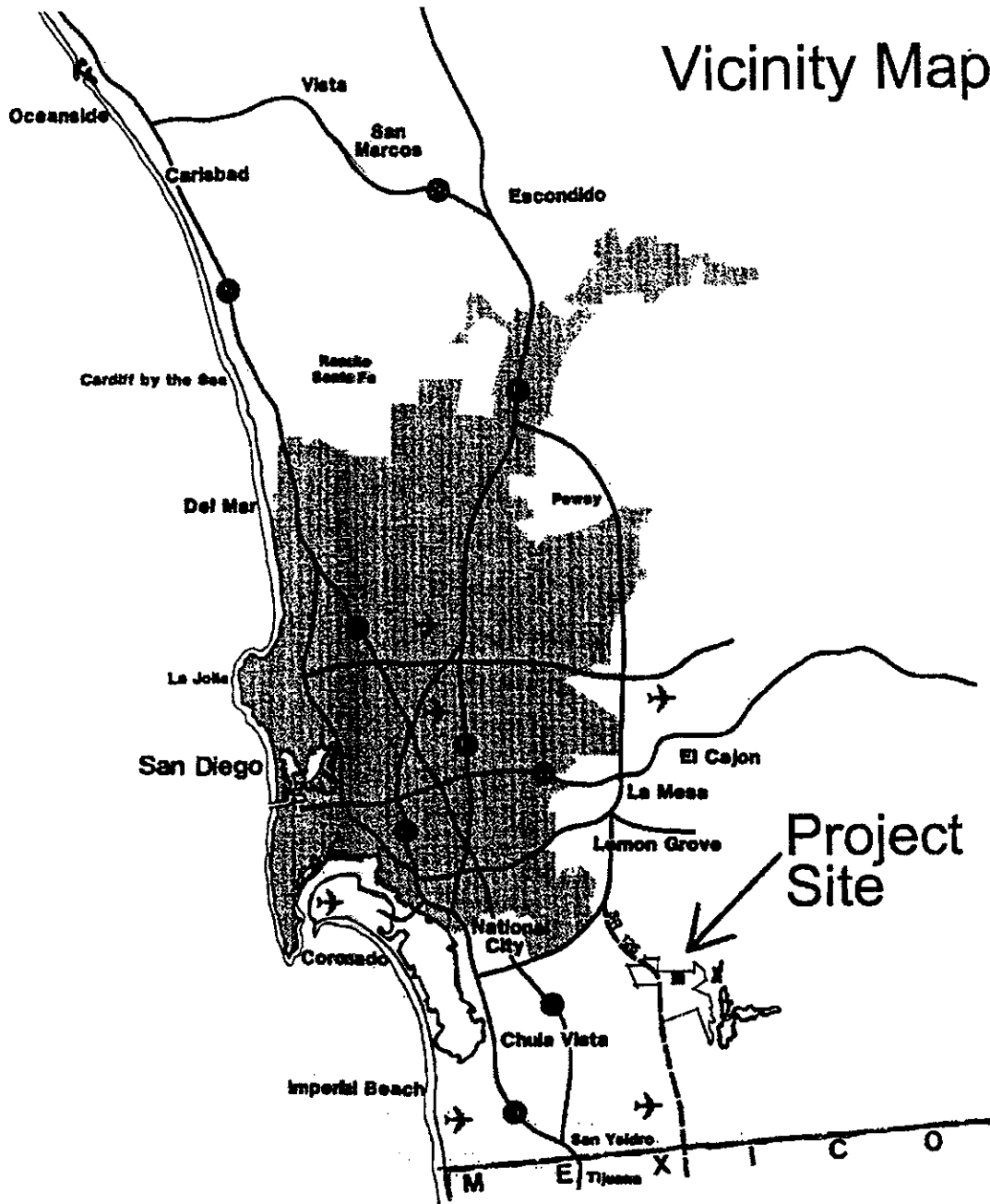
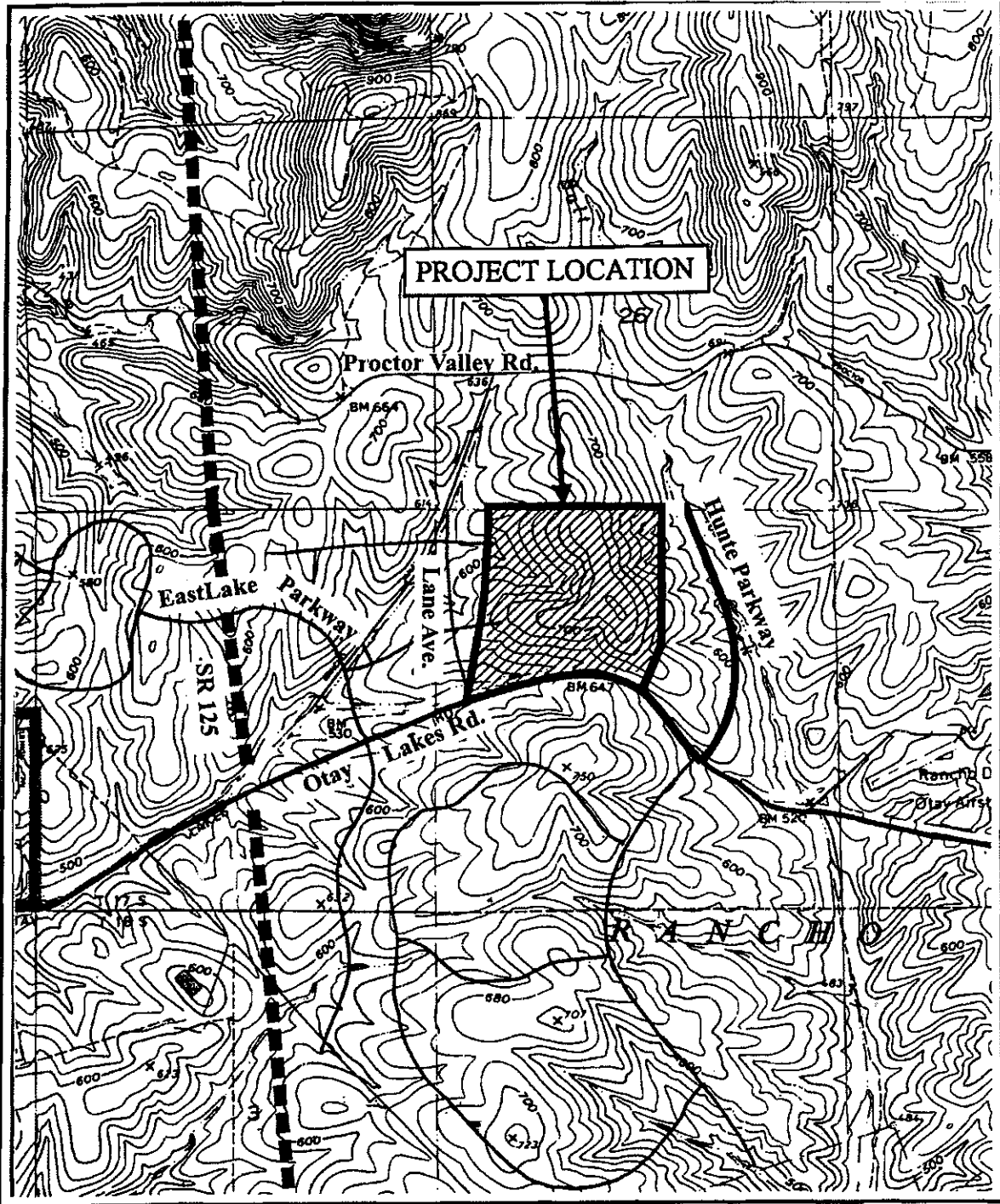


Exhibit 1

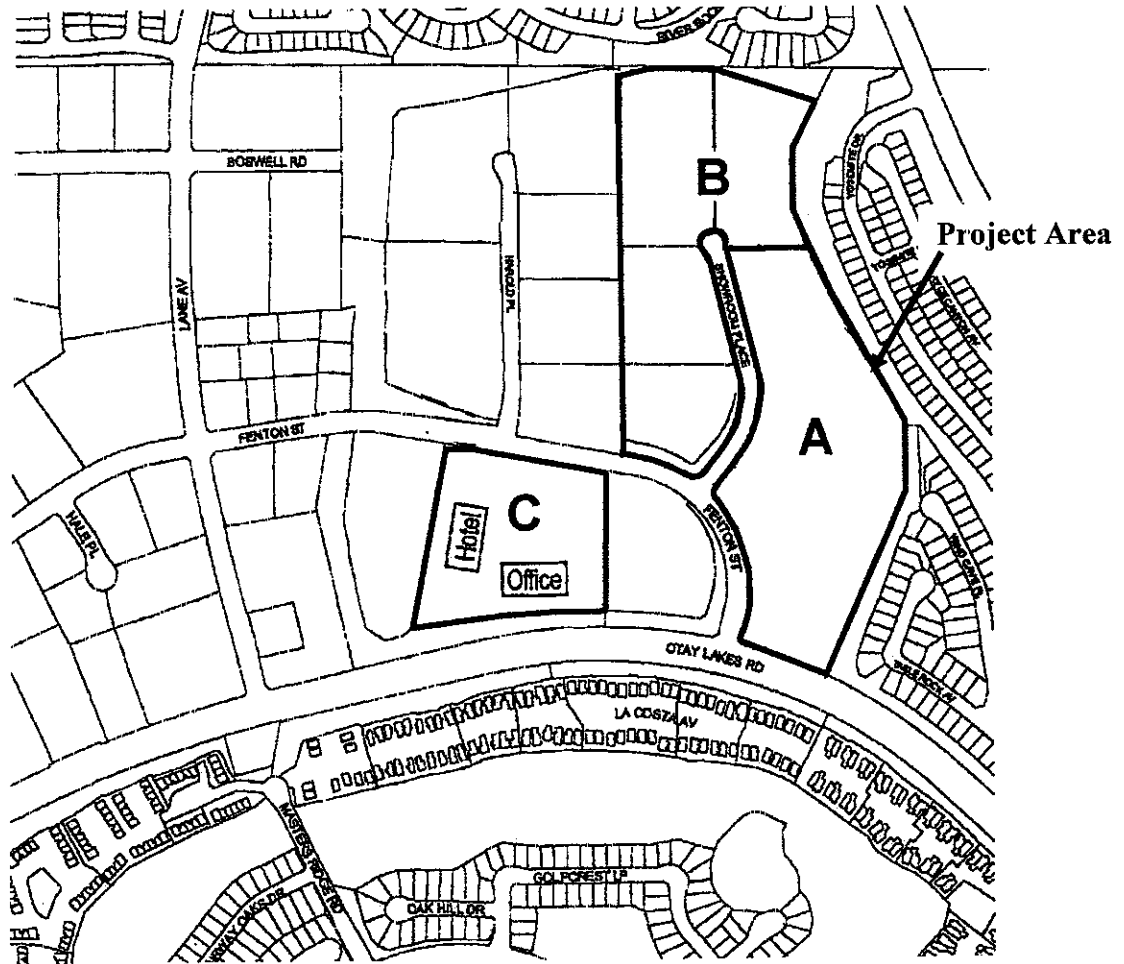


**Topographic Map**  
Scale: 1" = 2000'  
Exhibit 2

Map Source: San Diego County 2000' Regional Base Map Series, Jamul Quad



## Project Location Supplemental PFFP Amendment



The project area includes approximately 45 acres of EastLake Business Center II within three areas. Area A is the subject of a land use change from Light Industrial to Commercial Retail. Area B and C is the subject of the EastLake Business II SPA Amendment to modify the Planned Community (PC) District Regulations. Areas A, B and C have been analyzed as part of this Supplemental PFFP Amendment.

### Exhibit 3

## 5.1. INTRODUCTION:

This document is a supplement to the approved EastLake I SPA Plan Amendment amends the supplemental Public Facilities Finance Plan (dated June 30, 1995 October 27, 1999). The amendment addresses the conversion of approximately 16.7 acres of Limited Industrial to Commercial Retail land within the EastLake Business Center II development and a new Light Industrial Land Use designation for the remainder of the project site. The project site consists of approximately 43.7 acres located on the northside of Otay Lakes Road and west of Hunte Parkway. The project site contains three distinct areas (See Exhibit 3). Area A contains the existing Eastlake Design District which consists of the aforementioned 16.7 acres. Area B consists of relatively flat vacant building pads. Area C is vacant land located next to Otay Lakes Road. The supplement, as amended, addresses the public facility needs associated with the EastLake II SPA Plan Business Center II project. Further, the supplemental PFFP, as amended, identifies each improvement needed to service the Business Center II property, the phasing and the appropriate funding sources.

The implementing actions covered by the Public Facilities and Financing Plan are:

- Use of Public Financing Mechanisms where applicable
- Construction of major streets, sewer, water and drainage facilities
- Internal subdivision improvements pursuant to the Subdivision Map Act
- Provision of other public facilities
- Maintenance of certain facilities such as open space areas and street medians.

### 5.1.1 BACKGROUND:

The EastLake Business Center II is an expansion of the original EastLake Business Center established in the EastLake I SPA approval in 1985. It will continue the eastward development of the original plan and complete the anticipated planned employment/industrial uses to be developed within the planned community of EastLake. The first three residential neighborhoods and the commercial and industrial districts were approved in the EastLake I SPA. The Business Center II will extended development eastward, north of Otay Lakes Road, towards the future EastLake Woods neighborhood.

- **Amendment History**

February 19, 1985: The Chula Vista City Council adopted the EastLake I SPA and PFFP.

June 30, 1992: The Chula Vista City Council adopted the EastLake I SPA Amendment including an amended PFFP. The amended PFFP updated and replaced the original 1985 PFFP and addressed the construction of a Kaiser Permanente Medical Center.

November 24, 1999: The Chula Vista City Council adopted the EastLake II GDP Amendment and the EastLake I SPA Amendment. This action included the EastLake Business Center II Supplemental PFFP to reflect the incorporation of 108 acres of

Research and Limited Manufacturing (Business Center II expansion) into the EastLake I Public Facilities Finance Plan. The Supplemental PFFP is a separate document, which is intended to supplement the original EastLake I PFFP, identifies additional public facilities needed for the EastLake Business Center II project and ensured that the phased development is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the EastLake II General Development Plan.

September 17, 2007: The EastLake Business Center II Supplemental PFFP Amendment was submitted to the City of Chula Vista to address the conversion of approximately 16.7 developed acres (Area A) at 851-891 Showroom Place from Limited Industrial to Commercial Retail. The amendment would allow additional commercial retail uses to compliment the existing tenant mix. Concurrent amendments to the Eastlake II General Development Plan (GDP), Supplemental Sectional Planning Area (SPA) Plan for Eastlake Business Center II and associated regulatory documents are proposed for Area A and parcels identified as Lot 2 of Map 13971 and Lots 5-8 of Map 14395 (Area B) and 2430 Fenton Street (Area C). The GDP and SPA Amendment consist of changing the land use designation of Area A from BC-1 (Business Center Manufacturing Park District) with Design District Overlay to a new commercial (VC-5) land use district and Area B and C from BC-1 (with Area B currently including the Design District Overlay) to BC-4 (Business Center Core District). Also rescind the previously adopted Design District Overlay Zone and include certain modifications to the adopted property development regulations in order to accommodate greater design and land use flexibility including increasing the building height to 76 feet for Area B and C.

#### **5.1.2 PURPOSE:**

The purpose of this document is to supplement the approved EastLake I PFFP (dated June 30, 1992). This supplement, as amended, addresses public facility needs associated with the conversion of approximately 16.7 acres of previously developed industrial land to Commercial Retail (also known as the Design District) and the introduction of a new Light Industrial Land Use designation within the EastLake Business Center II project. The new Light Industrial Land Use designation will change Area B and C from BC-1 to BC-4. This change would permit hotels and medical clinics with a Conditional Use Permit and increase the building height to 76 feet. Additionally, a five story hotel and four story office building are proposed on Area C and are included in this analysis. Regarding required public facilities needs, the supplemental PFFP, as amended, identifies a preliminary cost estimate for each improvement installation, phasing and appropriate funding sources.

The purpose of all PFFP's in the City of Chula Vista is to implement the City's Growth Management Program and to meet the General Plan goals and objectives, specifically those of the Growth Management Element. The Growth Management Program ensures that development occurs only when the necessary public facilities and services exist or are provided concurrent with the demands of new development. The Growth Management Program requires that a PFFP be prepared for every new development

project, which requires either SPA Plan or tentative map approval. Similarly, amendments to a supplemental SPA Plan require an amendment ~~or in this case a supplement~~ to the supplemental PFFP.

The PFFP is intended to be a dynamic and flexible document. The goal of the Financing Plan is to assure adequate levels of service are achieved for all public facilities impacted by the project. It is understood that assumed growth projections and related public facility needs are subject to a number of external factors, such as the state of the economy, the City's future land use approval decisions, etc. It is also understood that the funding sources specified herein may change due to financing programs available in the future or requirements of either state or federal law. It is intended that revisions to cost estimates and funding programs be handled as administrative revisions, whereas revisions to the facilities-driven growth phases are to be accomplished through an update process via an amendment to or a supplement to the PFFP.

### 5.1.3 ASSUMPTIONS

There are a number of key assumptions implicit to this supplemental PFFP, ~~as amended~~. The assumptions play a major part in determining public facility needs, the timing of those needs and the staging of growth corresponding to the various facilities. Key land use and phasing assumptions can be summarized as follows:

A. ~~The proposed 1999 EastLake I SPA Plan Amendment Business Center II Supplemental SPA Plan Amendment is limited to: the annexation of 104.7 acres of Research and Limited Manufacturing, known as EastLake Business Center II, to the EastLake I SPA Plan boundaries (See Exhibit 3):~~

1. An amendment to the City of Chula Vista General Plan (GPA) to change the land use designation of approximately 16.7 previously developed acres at the northeast corner of Fenton Street and Showroom Place (851-891 Showroom Place) within the Eastlake Business Center (Area "A") from Limited Industrial to Commercial Retail. The GPA amendment would allow additional commercial retail types of uses to complement the existing tenant mix.
2. Concurrent amendments to the Eastlake II GDP, supplemental SPA Plan and associated regulatory documents are also proposed for Area A, B and C. The GDP and SPA Amendment consist of repealing the existing Design District Overlay from Area A and B. The amendment would change the land use designation of Area A from BC-1 (Business Center Manufacturing Park District) to a new commercial (VC-5) land use district and Area B from BC-1 to BC-4 (Business Center Core District). Also included are certain modifications to the adopted property development regulations in order to accommodate greater design and land use flexibility, including an increase in building height from 35 to 60 feet up to a maximum of 76 feet for Area B and C.

3. The project proposes the repeal of previously adopted Master Use Permit PCC-05-070 for Area A and B and the approval of new conditional use permit and design review for a proposed hotel and office building on Area C.
4. The new conditional use permit application requests permission to establish and operate an approximately 148,024 square foot, five-story hotel with 156 rooms and approximately 9,000 square feet of conference rooms and other amenities on Area C. The hotel will also provide a restaurant for its guests and a total of 163 parking spaces.
5. A design review application was also filed for the construction of an approximately 122,071 square foot, four-story Class A office building providing approximately 433 parking spaces in Area C of the EastLake Business Center (2430 Fenton Street).

B. Land use allocation and intensity of development will be regulated by the EastLake Planned Community (PC) General Development Plan, PC District Regulations, and the Supplemental SPA Plan for EastLake Business Center II I-SPA Plan, as amended.

~~C. The proposed project consists of a 70,000 square foot corporate office and a 20,000 square foot warehouse on 10 acres (known as the Leviton Project) and an additional 98 acres of general industrial uses.~~

~~D-C. Future development will be implemented in phases generally consistent with the information utilized in the City's Transportation Phasing Plan. Development of Phases 1A and 1B consist of approximately 42 gross acres (including public streets). This 42 acres includes the 10 acre Leviton project plus 32 additional acres of the total 104.7 acre that could be built and occupied before reaching a significant threshold impact.~~

~~Approximately 17 acres (gross acreage including public streets) of Phase 2A can be built when Olympic Parkway is extended to Hunte Parkway.~~

~~The remaining approximately 45.7 acres (gross acreage including public streets) including Phase 2B can be built when Olympic Parkway is extended to Wueste Road or the construction of SR 125.~~

~~E. The project consists of approximately 104.7 gross acres, approximately 97 acres excludes the public streets and approximately 74.8 net acres includes padded lot areas only.~~

#### **5.1.4. THRESHOLD STANDARDS:**

City Council Resolution No. 13346 approved eleven public facilities and services with related threshold standards and implementation measures, which were listed in a policy statement dated November 17, 1987 and have subsequently been refined based on recommendations-from the Growth Management Oversight Commission (GMOC).

The eleven public facilities and services with related threshold standards are:

- Traffic
- Police
- Fire/EMS
- Schools
- Libraries
- Parks and Recreation
- Water
- Sewer
- Drainage
- Air Quality
- Fiscal

During the development of the Growth Management Program two new facilities were added to the list of facilities to be analyzed:

- Civic Facilities
- Corporation Yard

Threshold standards are used to identify when new or upgraded public facilities are needed to mitigate the impacts of new development. Building permits will not be issued unless compliance with these standards can be met. These threshold standards have been prepared to guarantee that public facilities or infrastructure improvements will keep pace with the demands of growth.

The 2005 General Plan Update includes a Growth Management Element that provides a framework for continuing the evolution of the City's Growth Management Program. A revised Growth Management Ordinance and Growth Management Program Guidelines is planned for City Council review and adoption in 2007.

# SPA Boundaries

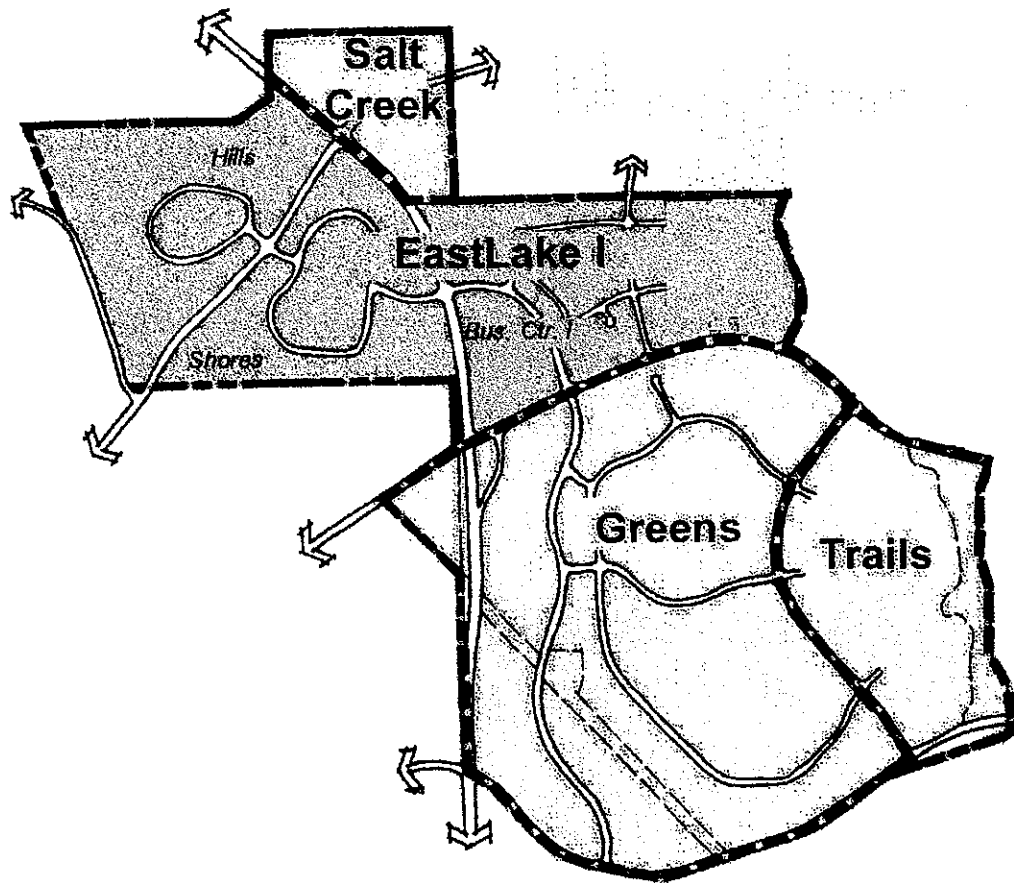


Exhibit 4



## 5.2. DEVELOPMENT SUMMARY

### 1999 Supplemental PFFP Summary

The EastLake Company proposes to develop the EastLake Business Center II project prior to the completion of the overall EastLake III General Development Plan (GDP) and Sectional Planning Area (SPA) planning program. To do this, The EastLake Company proposes to delete the EastLake Business Center II site from the EastLake III GDP and annex it to the EastLake II GDP and the EastLake I SPA Plan. The land use designations shown in the EastLake II GDP for the Business Center II Supplemental SPA Plan area consists of Research & Limited Manufacturing and Circulation. This project is designed to implement the EastLake II General Development Plan (as amended). ~~Comparison of the Proposed General Development Plan (Exhibit 4a and 4b) and the Site Utilization Plan (Exhibit 5a) shows the relationship of land use and acreage's between the policy plan and the more refined and detailed SPA Plan.~~

### 2007 Supplemental PFFP Amendment Summary

IRE Development proposes to redevelop approximately 16.7 previously developed acres at 851-891 Showroom Place (Area A) from Limited Industrial to Commercial Retail. This redevelopment will involve commercial uses of the existing buildings. IRE also proposes to develop areas B and C with new uses consistent with the proposed GPA, GDP and SPA Amendment. The Supplemental PFFP Amendment addresses GPA to change the land use designation of Area A from Limited Industrial to Commercial Retail. Concurrent amendments to the Eastlake II GDP, Eastlake Business Center II Supplemental SPA Plan and associated regulatory documents are also proposed for Area A, B and C. The GDP and SPA amendment consist of changing the land use designation of Area A from BC-1 (Business Center Manufacturing Park District) with Design District Overlay to a new commercial (VC-5) land use district; and Area B and C from BC-1 (with area B currently including a Design District Overlay) to BC-4 (Business Center Core District). Also included are certain modifications to the adopted property development regulations in order to accommodate greater design and land use flexibility, including an increase in building height from 35 to 60 feet up to a maximum of 76 feet for Areas B and C. More specifically for Area C, the project further proposes repeal of the previously adopted Master Use Permit PCC-05-070 for Area A and B and approval of conditional use permit and design review for a new 156 room, 5-story, hotel and a new approximately 122,000 square foot, 4-story, office building.

### 5.2.1. DEVELOPMENT PHASING:

#### 1999 Supplemental PFFP Summary

Proposed land use within the EastLake Business Center II ~~will~~ was proposed to be exclusively industrial designations. The subdivision is ~~was~~ proposed to be developed as summarized in Table 5-1 ~~below; and illustrated in Exhibit 7.~~



**TABLE 5-1  
PROPOSED 1999 SUPPLEMENTAL PFFP LAND USES**

<b>Phasing</b>	<b>Land Use</b>	<b>Gross Acreage</b>	<b>Net Acreage w/out Streets</b>	<b>Net Acreage Pad Areas Only</b>
1A	Research & Limited Mfg.	15.2	13.1	9.5
1B	Research & Limited Mfg.	32.8	29.9	22.5
2A	Research & Limited Mfg.	18.1	17.5	12.0
2B	Research & Limited Mfg.	38.6	36.5	30.8
<b>Total</b>		<b>104.7</b>	<b>97.0</b>	<b>74.8</b>

Acreage's provided by Hunsaker & Associates, 10/15/99.

The 1999 project will be built in four phases (see Exhibit 5). Phase 1A will include construction of the entrances to the project from Fenton Street, portions of the Fenton Street extension and Street "A" Harold Place, and development of Lot 1 and 6. Phase 1B will consist of the completion of the Fenton Street extension and development of Lot 7 through 10. Phase 2A will include completion of Street "A" Harold Place and development of Lot 2 through 4. Phase 2B construction will include the construction of Street "B" Showroom Place and development of Lot 5, 11 through 16. Any changes in the phasing will need to be approved by either the City Engineer or the Director of Planning and Building.

**2007 Supplemental PFFP Amendment:**

There is no planned phasing for Area A. All of the streets and public utilities have been constructed for the EastLake Business Center II project. A summary of the EastLake Business Center II project phasing is provided in the following table.

**TABLE 5-1A  
PROPOSED 2007 SUPPLEMENTAL PFFP AMENDMENT LAND USES**

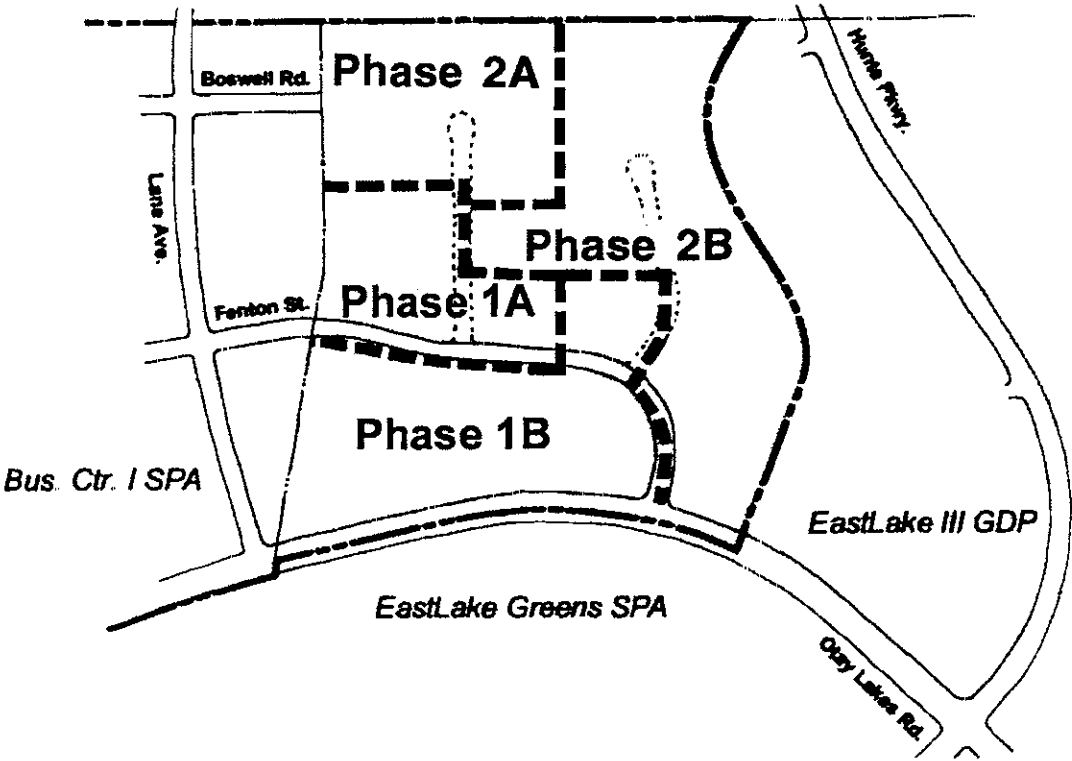
<b>Land Use</b>	<b>Gross Acreage*</b>	<b>Net Acreage w/out Streets*</b>	<b>Net Acreage Pad Areas Only</b>
<u>Research &amp; Limited Mfg.</u>	<u>84.0</u>	<u>84.0</u>	<u>58.1</u>
<u>Commercial Retail</u>	<u>16.7</u>	<u>16.7</u>	<u>16.7</u>
<u>Circulation</u>	<u>4.1</u>		
	<b>104.8</b>	<b>100.7</b>	<b>74.8</b>

\* Acreage's provided by RBFC Consulting.

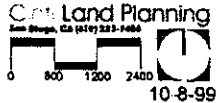
**Table 5-2**  
**1999 SUPPLEMENTAL PFFP PHASING SUMMARY**

Facility	Facility Description	Phase 1A	Phase 1B	Phase 2A	Phase 2B	Timing	Financing Method
Traffic	4-Way Stop @ Lane & Fenton St.	X				Concurrent w/ Building Permit	Fee Program
	Olympic Pkwy to Hunte Pkwy			X		Concurrent w/ Building Permit	Fee Program
	Olympic Pkwy to Wueste Rd.				X	Concurrent w/ Building Permit	Fee Program
	Traffic Signal & median mod. @ Fenton/Otay Lakes		X			Concurrent w/ Building Permit	Fee Program
Potable	Improvements to Lane & Fenton St.			X		Concurrent w/ Building Permit	Fee Program
	Pay DIF Fees	X	X	X	X	"	Fee Program
	Service Avail Letter from OWD to City	X	X	X	X	Concurrent w/ Final Map	N/A
Water	Water Improvements per OWD & SAMP	X	X	X	X	Concurrent w/ Final Map	Capacity Fees and Exactions
	OWD CIP Fees	X	X	X	X	Concurrent w/ Final Map	Capacity Fees and Exactions
	Improvements per OWD & SAMP	X	X	X	X	Concurrent w/ Final Map	Capacity Fees and Exactions
Sewer	Connection to Tele. Cyn. Trunk Sewer	X				Concurrent w/ Building Permit	Fee Program
	Connection to Salt Creek Trunk Sewer				X	Concurrent w/ Building Permit	Fee Program
	Pay Fees	X	X	X	X	"	Fee Program
Storm Drain	Connect to Tele Cyn Drainage System	X				Per Ordinance	Subdivision exaction
	Connect to Salt Creek Drainage System				X	Per Ordinance	Subdivision exaction
Schools	No specific facility	N/A	N/A	N/A	N/A	Concurrent w/ Final Map	CFD
Parks	Park dedication & construction	N/A	N/A	N/A	N/A	Pay @ Building Permit	Fee Program
Library	Pay PFDIF Fee	N/A	N/A	N/A	N/A	Pay @ Building Permit	Fee Program
	Pay PFDIF Fee	X	X	X	X	Pay @ Building Permit	Fee Program
Police	Pay PFDIF Fee	X	X	X	X	Pay @ Building Permit	Fee Program
	Pay PFDIF Fee	X	X	X	X	Pay @ Building Permit	Fee Program
Corp. Yard	Pay PFDIF Fee	X	X	X	X	Pay @ Building Permit	Fee Program
	Pay PFDIF Fee	X	X	X	X	Pay @ Building Permit	Fee Program
Other	Pay PFDIF Fee	X	X	X	X	Pay @ Building Permit	Fee Program

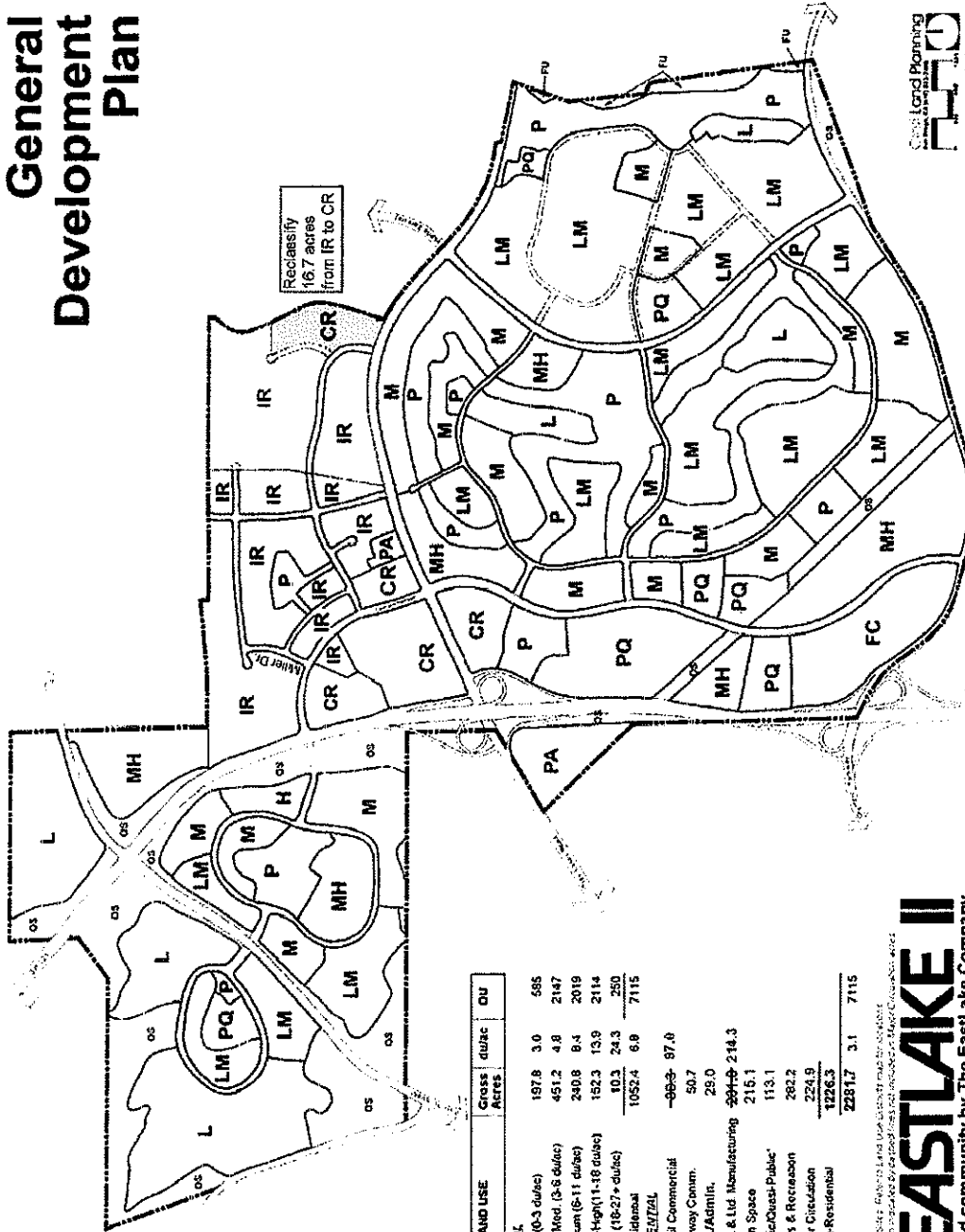
**1999 Phasing**  
*Business Center II Supplemental SPA*



**Exhibit 5**



# PROPOSED General Development Plan



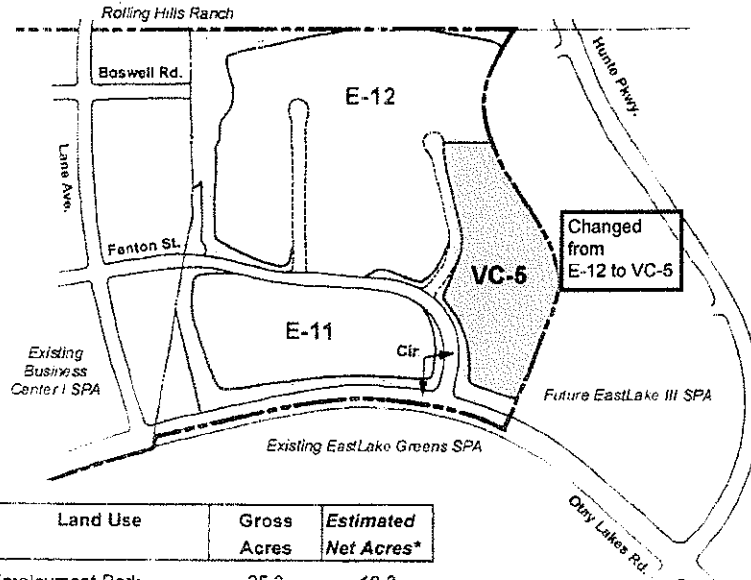
EastLake Planning  
8/23/05  
Revised 10/23/07

Exhibit 6

LAND USE	Gross Acres	dwt/ac	DU
<b>RESIDENTIAL</b>			
L Low (0-3 du/ac)	197.8	3.0	585
LM Low-Med. (3-6 du/ac)	451.2	4.8	2147
M Medium (6-11 du/ac)	240.8	8.4	2019
MH Med-High (11-18 du/ac)	152.3	13.9	2114
H High (18-27+ du/ac)	10.3	24.3	250
Sub-total Residential	1052.4	6.9	7115
<b>NON-RESIDENTIAL</b>			
ER Retail Commercial	-86.8	87.8	
FC Freeway Conv.	50.7		
PA Prof./Admin.	29.0		
IR Res. & Ltd. Manufacturing	294.0	214.3	
OS Open Space	215.1		
PQ Public/Quasi-Public	113.1		
P Parks & Recreation	282.2		
Major Circulation	224.9		
Sub-total Non-Residential	1226.3		
<b>Project Total</b>	<b>2281.7</b>	<b>3.1</b>	<b>7115</b>

**EASTLAKE II**  
A planned community by The EastLake Company

# PROPOSED Site Utilization Plan Business Center II Supplemental SPA



Parcel No.	Land Use	Gross Acres	Estimated Net Acres*
E-11	Employment Park	25.3	19.8
E-12	Employment Park	58.7	41.5
VC-5	Village Center	16.7	16.7
<b>Sub-total</b>		<b>100.7</b>	<b>78.0</b>
Cir	Otay Lakes Road	3.3	
	Fenton Street	4.1	
<b>Total</b>		<b>108.1</b>	

**Addition of VC-5**

\* Estimated Net Acres = Gross Acres less an estimated area for Streets & Slopes.  
Final Gross and Net Acres will be determined at the tract map/grading permit level.

- Consists of internal Circulation not in Circulation statistics
- Open Space (Slopes) included in Employment Park statistics.

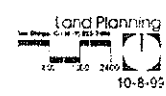
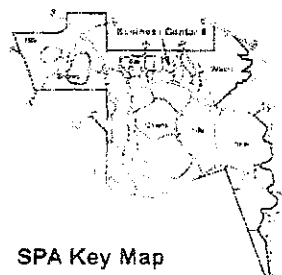


Exhibit 5

**Revised 11/01/07**

**Exhibit 7**

## 5.3 PUBLIC FACILITIES THRESHOLD STANDARDS AND INFRASTRUCTURE REQUIREMENTS

### 5.3.1. TRAFFIC

#### 5.3.1.1. CITY THRESHOLD STANDARDS:

City-wide: Maintain Level of Service (LOS) 'C' or better as measured by observed average travel speed on all signalized arterial segments except that during peak hours a LOS 'D' can occur for no more than two hours of the day.

West of Interstate 805: Those signalized intersections which do not meet the standard above, may continue to operate at their current (year 1991) LOS, but shall not worsen.

#### 5.3.1.2. EXISTING CONDITIONS:

The supplemental circulation component of the EastLake Business Center II project is based on a comprehensive Traffic Impact Analysis report that was prepared by Linscott, Law & Greenspan (LL&G), October 13, 1999. The Supplemental PFFP amendment circulation is based on the Traffic Impact Analysis, EastLake Design District by LL&G, dated September 10, 2007 (herein referred to as the LL&G traffic analysis). The analysis within both of the LL&G traffic analysis report determined the appropriate size and phasing of circulation improvements.

~~Otay Lakes Road and Lane Avenue provide the primary access to the project. Otay Lakes Road is classified as a Six-Lane Prime Arterial. Today, Otay Lakes Road is a four-lane street, with enhanced intersection geometry at East 'H' Street, providing north-south access between Bonita Road and Telegraph Canyon Road, at which point it turns to the east. At the intersection with Telegraph Canyon Road/La Media Road, Otay Lakes Road transitions into a Six-Lane Prime Arterial, and eventually into a Class 2 Collector (two lanes) east of Hunte Parkway. Lane Avenue is classified as a Class I Collector Street. It currently provides one lane in each direction and is stop-controlled at Otay Lakes Road.~~

#### A. Existing Segments

- Otay Lakes Road provides east-west access to the site. Otay Lakes Road is classified as a Six-Lane Major west of Paseo del Rey, and as a Six-Lane Prime Arterial from Paseo del Rey to the SR 125 alignment in the City of Chula Vista Circulation Plan. Between SR 125 and Eastlake Parkway, Otay Lakes Road is classified as a Seven-Lane Prime Arterial with four lanes westbound and three lanes eastbound. East of Eastlake Parkway to Hunte Parkway, it is a Six-Lane Prime Arterial, transitioning to a two-lane collector, east of Hunte Parkway. Otay Lakes Road is currently built to its ultimate classification. Bike lanes exist on both sides of the road and bus stops are located intermittently along Otay Lakes Road.
- Eastlake Parkway is classified as a Four-Lane Major Street in the City of Chula Vista Circulation Plan, between north of Otay Lakes Road to South of SDG&E

easement and as a Six-Lane Major Road south of the SDG&E easement in Eastlake Greens. Currently, it provides four lanes (two lanes in each direction). Bike lanes exist on either side of the road and curbside parking is prohibited.

- Fenton Street is classified as a Class I Collector in the City of Chula Vista Circulation Plan. Currently, the mid-section of this roadway has two through lanes (one lane in each direction) and a center two-way-left-turn lane. Just east of Eastlake Parkway and just north of Otay Lakes Road, this roadway is four lanes wide with a median and is built to Class I Collector standards, with four-lanes, two in each direction.
- Lane Avenue is classified as a Class I Collector in the City of Chula Vista Circulation Plan. Currently, it provides four through lanes (two lanes in each direction). Bike lanes exist on either side of the road and curbside parking is prohibited.
- Showroom Place is a 40-foot wide unclassified two-lane cul-de-sac providing access to Areas A & B of the project site.
- SR 125 is a north / south six-lane toll facility connecting SR-54 and the SR-905 Route to the International US / Mexico border, through the City of Chula Vista. This facility is currently under construction and is expected to be open to traffic by the end of 2007.

**TABLE 5-3  
EXISTING SEGMENT OPERATIONS**

<u>Segment</u>	<u>Existing Roadway Class<sup>a</sup></u>	<u>LOS C Capacity<sup>b</sup></u>	<u>Existing</u>	
			<u>Volume</u>	<u>LOS</u>
<b><u>Otay Lakes Road</u></b>				
<u>SR 125 Ramps to Vons Dwy</u>	<u>7-Ln Prime Arterial</u>	<u>58,300</u>	<u>49,400</u>	<u>B</u>
<u>Vons Dwy to Eastlake Pkwy</u>	<u>7-Ln Prime Arterial</u>	<u>58,300</u>	<u>39,400</u>	<u>A</u>
<u>Eastlake Pkwy to Lane Ave</u>	<u>6-Ln Prime Arterial</u>	<u>50,000</u>	<u>25,500</u>	<u>A</u>
<u>Lane Ave to</u>	<u>6-Ln Prime Arterial</u>	<u>50,000</u>	<u>17,100</u>	<u>A</u>
<b><u>Eastlake Parkway</u></b>				
<u>Fenton St to Otay Lakes Rd</u>	<u>4-Ln Major Street</u>	<u>30,000</u>	<u>21,300</u>	<u>A</u>
<u>Otay Lakes Rd to Clubhouse Dr</u>	<u>6-Ln Prime Arterial</u>	<u>50,000</u>	<u>33,200</u>	<u>A</u>
<b><u>Fenton Street<sup>c</sup></u></b>				
<u>Eastlake Pkwy to Lane Ave</u>	<u>Class I Collector</u>	<u>22,000</u>	<u>7,200</u>	<u>A</u>
<u>Lane Ave to Harold Pl</u>	<u>Class I Collector</u>	<u>22,000</u>	<u>3,700</u>	<u>A</u>
<u>Harold Pl to Otay Lakes Rd</u>	<u>Class I Collector</u>	<u>22,000</u>	<u>1,900</u>	<u>A</u>

*Source: LL&G traffic analysis*

*Footnotes:*

- Roadway Classification per City of Chula Vista Circulation Element and currently existing
- Table B-1, City of Chula Vista Roadway Capacity Standards, Average Daily Vehicle Trips.
- Fenton Street is classified as a Class I Collector in the City of Chula Vista Circulation Plan. Currently, the mid-section of this roadway has two through lanes (one lane in each direction) and a center two-way-left-turn lane. Just east of Eastlake Parkway and just north of Otay Lakes Road, Fenton Street is four lanes wide with a median and is built to Class I Collector standards, with four-lanes, two in each direction. For the purpose of calculating the operations, the capacity of a Class I Collector is assumed.

The LL&G traffic analysis of existing conditions includes the assessment of the study area street segments and intersections. Table 5-3 shows that under existing conditions the daily street segment LOS of the study area segments are calculated to operate at LOS B or better. Table 5-4 shows that under existing conditions the peak hour intersection LOS all of the study area intersections are calculated to operate at LOS D or better.

~~The LL&G traffic analysis assessed the following key intersections in the project area:~~

- ~~• Telegraph Canyon Road/I-805 Southbound Ramps~~
- ~~• Telegraph Canyon Road/I-805 Northbound Ramps~~
- ~~• Telegraph Canyon Road/Halecrest Drive~~
- ~~• Telegraph Canyon Road/Crest Drive/Oleander Avenue~~
- ~~• Telegraph Canyon Road/Otay Lakes Road~~
- ~~• Otay Lakes Road/Eastlake Parkway~~
- ~~• Otay Lakes Road/Lane Avenue~~
- ~~• Otay Lakes Road/Fenton Street~~

Both of the LL&G traffic analyses assessed the following key intersections in the project area:

- Otay Lakes Road / SR 125 SB Ramps
- Otay Lakes Road / SR 125 NB Ramps
- Otay Lakes Road / Vons Driveway
- Otay Lakes Road / Eastlake Parkway
- Otay Lakes Road / Lane Avenue
- Otay Lakes Road / Fenton Street
- Fenton Street / Eastlake Parkway
- Fenton Street / Lane Avenue
- East "H" Street / Lane Avenue
- Fenton Street / Showroom Place
- Fenton Street / Harold Place

~~The LL&G report indicates that the aforementioned key intersections are currently operating at LOS C during the AM or PM peak hours with the exception of the Telegraph Canyon Road/I-805 Northbound Ramps intersection (LOS F, AM and PM peak hours). Further, the Lane Avenue and Otay Lakes Road intersection currently operates at LOS C or better with the exception of the southbound left turn movement during the AM peak hour (LOS D). However, this intersection will be signalized by the second quarter of the year 2000 and is bonded by the Rolling Hills project.~~

The aforementioned City Growth Management Thresholds Standards require that LOS C or better operations at an intersection except that LOS D is acceptable during peak periods (for a total of two hours). However, the City of Chula Vista does not have criteria that specifically addresses the situation if the existing intersection LOS is LOS E or LOS F.



**TABLE 5-4**  
**EXISTING INTERSECTION OPERATIONS**

<u>Intersection</u>	<u>Traffic Control</u>	<u>Peak Hour</u>	<u>Existing</u>	
			<u>Delay</u> <sup>a</sup>	<u>LOS</u> <sup>b</sup>
1. <u>Otay Lakes Rd / SR 125 SB Ramps</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>ε</u> <u>ε</u>	<u>ε</u> <u>ε</u>
2. <u>Otay Lakes Rd / SR 125 NB Ramps</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>ε</u> <u>ε</u>	<u>ε</u> <u>ε</u>
3. <u>Otay Lakes Rd / Vons Driveway</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>28.3</u> <u>45.0</u>	<u>C</u> <u>D</u>
4. <u>Otay Lakes Rd / Eastlake Pkwy</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>31.5</u> <u>33.2</u>	<u>C</u> <u>C</u>
5. <u>Otay Lakes Rd / Lane Ave</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>23.0</u> <u>24.6</u>	<u>C</u> <u>C</u>
-				
6. <u>Otay Lakes Rd / Fenton St</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>4.2</u> <u>9.2</u>	<u>A</u> <u>A</u>
-				
7. <u>Fenton St / Eastlake Pkwy</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>28.0</u> <u>33.3</u>	<u>C</u> <u>C</u>
-				
8. <u>Fenton St / Lane Ave</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>23.4</u> <u>27.6</u>	<u>C</u> <u>C</u>
-				
9. <u>East "H" St / Lane Ave</u>	<u>Signal</u>	<u>AM</u> <u>PM</u>	<u>35.8</u> <u>34.9</u>	<u>D</u> <u>C</u>
-				
10. <u>Fenton St / Showroom Pl</u>	<u>IWSC</u> <sup>d</sup>	<u>AM</u> <u>PM</u>	<u>9.0</u> <u>9.2</u>	<u>A</u> <u>A</u>
-				
11. <u>Fenton St / Harold Pl</u>	<u>IWSC</u> <sup>d</sup>	<u>AM</u> <u>PM</u>	<u>19.8</u> <u>25.5</u>	<u>B</u> <u>C</u>
-				

Source: LL&G traffic analysis

**Footnotes:**

- a Average delay expressed in seconds per vehicle.
- b Level of Service.
- c This intersection does not exist
- d TWSC – Two-Way Stop Controlled intersection. Minor street left turn delay is reported.

<u>SIGNALIZED</u>		<u>UNSIGNALIZED</u>	
<u>DELAY/LOS THRESHOLDS</u>		<u>DELAY/LOS THRESHOLDS</u>	
<u>Delay</u>	<u>LOS</u>	<u>Delay</u>	<u>LOS</u>
0.0 < 10.0	A	0.0 < 10.0	A
10.1 to 20.0	B	10.1 to 15.0	B
20.1 to 35.0	C	15.1 to 25.0	C
35.1 to 55.0	D	25.1 to 35.0	D
55.1 to 80.0	E	35.1 to 50.0	E
> 80.1	F	> 50.1	F

Source: LL&G

### 5.3.1.3. TRAFFIC FACILITY & ADEQUACY ANALYSIS:

#### **1999 Supplemental PFFP**

The ~~proposed project consists of EastLake Business Center II Supplemental PFFP~~ addressed a 70,000 square foot corporate office and a 20,000 square foot warehouse on 10 acres (known as the Leviton Project) and an additional 98 acres of general industrial uses. The number of trips estimated to be generated by the project are based on traffic generation rates published by SANDAG in the Brief Guide of Vehicular Traffic Generation Rates, July, 1998 for corporate offices (7 daily trips/1,000 square feet) and warehousing uses (5 daily trips/1,000 square feet). For the remaining 98 acres, an average of the corporate office rate and warehousing rate on a per acre basis was utilized. This rate was calculated to be 85 daily trips per acre by LL&G.

#### **2007 Supplemental PFFP Amendment**

The EastLake Business Center II Supplemental PFFP Amendment addresses a land use change of previously developed 16.7 acres of Research & Limited Manufacturing to Commercial Retail (Area A, see Exhibit 3). The document also addresses the concurrent amendments to the Eastlake II GDP, SPA Plan and associated regulatory documents that are affect Area A, B and C). The amendment trip generation was estimated by LL&G based on the Brief Guide of Vehicular Traffic Generation Rates for the San Diego Region, April 2002, by SANDAG.

Table 5-5 summarizes the existing and amendment trip generation with the proposed land uses. Currently, Area A is calculated to generate a total ADT of 1,110 ADT with 44 trips during the AM peak hour (31 inbound and 13 outbound) and 100 trips during the PM peak hour (50 inbound and 50 outbound). The land use change will generate a net 3,900 ADT with 139 trips during the AM peak hour (110 inbound and 29 outbound) and 355 trips during the PM peak hour (189 inbound and 166 outbound)

Area B site land uses were calculated to generate a total of 5,440 ADI with 163 trips during the AM peak hour (98 inbound and 65 outbound) and 448 trips during the PM peak hour (224 inbound and 224 outbound).

The traffic study calculated the traffic for Areas A & B to be a net of 9,340 ADI with 302 trips during the AM peak hour (208 inbound and 94 outbound) and 803 trips during the PM peak hour (413 inbound and 390 outbound), with the pass by reduction.

#### **A. Project Buildout:**

##### **1999 Supplemental PFFP**

A buildout analysis was included in the LL&G Traffic Impact Analysis (dated October 13, 1999). The analysis indicates that all intersections in the project area are calculated to operate at LOS D or better with the addition of the project traffic with the exception of the Telegraph Canyon Road/I-805 Northbound Ramps intersection. The buildout analysis also indicates that all studied street segments in the project area will operate at LOS D or better.

## **2007 Supplemental PFFP Amendment**

The Supplemental PFFP amendment focuses on the land use change of Area A from Limited Industrial to Commercial Retail. However, from a traffic perspective there are two projects proposed on Fenton Street between Harold Place and Otay Lakes Road. The first is the Eastlake Design District (Area A and B) and the second is the Eastlake Corporate Center (Area C). Individual Traffic Impact Analysis reports have been prepared for each of the two projects by LL&G (Traffic Impact Analysis, EastLake Design District by LL&G, dated August 7, 2007 and Traffic Impact Analysis, EastLake Corporate Center by LL&G, dated August 9, 2007. Exhibit 3 depicts the locations of these projects. As seen in Exhibit 3, A and B depict the Eastlake Design District and C depicts the location of the Eastlake Corporate Center. The traffic section of the Supplemental PFFP amendment includes both projects for analysis purposes. Following are brief descriptions of each project.

### **1. Eastlake Design District**

The Eastlake Design District (Area A) is located in the northeastern quadrant of the Otay Lakes Road / Fenton Street intersection in eastern Chula Vista. The only access to the site is from Fenton Street via Showroom Place, north of Otay Lakes Road. The Eastlake Design District currently consists mostly of furniture stores. Area A consists of 231,566 Square Feet (SF) building area of which 189,697 SF is currently occupied by furniture stores. It is now planned to modify the land uses in Area A of the project and provide 125,100 SF furniture retail, 39,350 SF office, 39,350 SF Specialty Retail / Strip Commercial and 27,800 SF Restaurant for a total of 231,566 SF.

Area B is presently vacant and even though no site-specific project is proposed, the traffic impact report analyzed a worst-case scenario (see Table 5-5), which included specialty retail uses. Subsequent changes to the applicant's proposal have resulted in Area B being proposed for BC-4 industrial land uses instead. BC-4 uses are industrial in nature and have less daily trip generation potential than specialty retail, which were analyzed in the traffic study. The City Engineering Department has determined that this change will not result in any additional daily trip generation. However, conditional uses may require additional traffic analysis not contemplated in the LL&G Traffic Analysis.

### **2. Eastlake Corporate Center**

The planned Eastlake Corporate Center (Area C) is located on the south side of Fenton Street at its intersection with Harold Place / Hitachi Place in the City of Chula Vista. Two access driveways will be provided, one via the existing Hitachi Driveway on Fenton Street opposite Harold Place and the second east of Harold Place. Two buildings are proposed to be constructed, a 155-room hotel with an approximate 9,000 square foot convention / meeting rooms and an approximate 120,000 square foot office building.

**TABLE 5-5  
TRIP GENERATION FOR AREA A & B**

Land Use	Quantity	Daily Trip Ends (ADT)				AM Peak Hour				PM Peak Hour			
		Rate <sup>a</sup>	ADT	Rate	In:Out Split	Volume		Rate	In:Out Split	Volume			
						In	Out			In	Out	Total	Total
<b>A. Current Land Use</b>													
Area A – Furniture/Specialty Design Ctr <sup>b</sup>	189,697 SF	6 / KSF	1,110	4%	70	30	31	13	44	50	50	50	100
<b>Total Current Land Uses</b>	<b>189,697 SF</b>		<b>1,110</b>				<b>31</b>	<b>13</b>	<b>44</b>			<b>50</b>	<b>100</b>
<b>B. Proposed Land Uses</b>													
<b>Area A</b>													
Furniture Retail (54%)	125,100 SF	6 / KSF	750	4%	70	30	21	9	30	50	50	34	68
Office (17%)	39,350 SF	20 / KSF	790	14%	90	10	100	11	111	80	21	82	103
Specialty Retail / Strip Commercial (17%)	39,350 SF	40 / KSF	1,570	3%	60	40	28	19	47	50	71	71	141
Restaurant (12%)	27,766 SF	100 / KSF	2,780	1%	60	40	17	11	28	70	155	67	222
<b>Subtotal Area A Land Uses</b>	<b>231,566 SF</b>		<b>5,890</b>				<b>166</b>	<b>50</b>	<b>216</b>			<b>281</b>	<b>535</b>
Reduction due to Mixed-Use (15%) <sup>c</sup>			-880				-25	-8	-32			-42	-80
<b>Subtotal Area A Land Uses With Mixed-Use Reduction</b>			<b>5,010</b>				<b>141</b>	<b>42</b>	<b>183</b>			<b>239</b>	<b>455</b>
<b>Total Increase due to Area A</b>			<b>3,900</b>				<b>110</b>	<b>29</b>	<b>139</b>			<b>189</b>	<b>355</b>
<b>Area B</b>													
Specialty Retail / Strip Commercial <sup>d</sup>	160,000 SF	40 / KSF	6,400	3%	60	40	115	77	192	50	50	320	640
Reduction due to Passby (15% Daily and AM and 30% PM) <sup>e</sup>			-960				-17	-12	-29			-96	-192
<b>Subtotal Area B Land Uses With Passby Reduction</b>			<b>5,440</b>				<b>98</b>	<b>65</b>	<b>163</b>			<b>224</b>	<b>448</b>
<b>Total Increase due to Area A &amp; B</b>			<b>9,340</b>				<b>208</b>	<b>94</b>	<b>302</b>			<b>413</b>	<b>803</b>
<b>Total Project</b>													
Furniture Retail	125,100 SF	6 / KSF	750	3%	60	40	14	9	23	50	50	34	68
Office	39,350 SF	20 / KSF	790	14%	90	10	100	11	111	80	21	82	103
General Retail	39,350 SF	40 / KSF	1,570	3%	60	40	28	19	47	50	71	71	141
Restaurant	27,766 SF	100 / KSF	2,780	1%	60	40	17	11	28	70	155	67	222
Specialty Retail / Strip Commercial	160,000 SF	40 / KSF	6,400	3%	60	40	115	77	192	50	50	320	640
Reduction (Mixed-Uses: Furniture/Retail/Restaurant - 15%) <sup>c</sup>			-880				-24	-8	-32			-42	-80
Reduction (Passby: Specialty Retail - 15% Daily and AM and 30% PM) <sup>e</sup>			-960				-17	-12	-29			-96	-192
<b>Subtotal Proposed Project With Mixed-Use and Passby Reductions</b>			<b>10,450</b>				<b>233</b>	<b>107</b>	<b>340</b>			<b>463</b>	<b>903</b>

**Footnotes:**

- Brief Guide of Vehicular Traffic Generation Rates for the San Diego Region*, SANDAG, April 2002
- Currently occupied and generating traffic
- A mixed-use reduction of 15% is assumed due to the same vehicle patronizing both the furniture and the restaurant or both the restaurant and retail, etc. and is consistent with the parking analysis.
- Worst-case scenario. The applicant has agreed to BC-4 uses instead of Specialty Retail. BC-4 uses have less daily trip generation potential than specialty retail, which were analyzed in the traffic study.
- A pass-by reduction of 15% for daily traffic and AM peak hour traffic and 30% for PM peak hour traffic is applied to the Community Shopping Center portion of the project, per ITE (Institute of Transportation Engineers) trip generation rates

**TABLE 5-6**  
**TRIP GENERATION FOR AREA C**

<u>Land Use</u>	<u>Quantity</u>	<u>Daily Trip Ends</u> (ADT)		<u>AM Peak Hour</u>					<u>PM Peak Hour</u>						
		<u>Rate<sup>a</sup></u>	<u>ADT</u>	<u>Rate</u>	<u>In:Out</u> <u>Split</u>	<u>Volume</u>		<u>Rate</u>	<u>In:Out</u> <u>Split</u>	<u>Volume</u>					
						<u>In</u>	<u>Out</u>			<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
<u>Office</u>	<u>120,000 SF</u>	<u>20 /KSF</u>	<u>2,400</u>	<u>14%</u>	<u>90</u>	<u>10</u>	<u>302</u>	<u>34</u>	<u>336</u>	<u>13%</u>	<u>20</u>	<u>80</u>	<u>62</u>	<u>250</u>	<u>312</u>
<u>Hotel</u>	<u>155 Rooms</u>	<u>10 /Rm</u>	<u>1,550</u>	<u>6%</u>	<u>60</u>	<u>40</u>	<u>56</u>	<u>37</u>	<u>93</u>	<u>8%</u>	<u>60</u>	<u>40</u>	<u>74</u>	<u>50</u>	<u>124</u>
<b><u>Total</u></b>	<b><u>==</u></b>	<b><u>==</u></b>	<b><u>3,950</u></b>	<b><u>==</u></b>	<b><u>==</u></b>	<b><u>==</u></b>	<b><u>358</u></b>	<b><u>71</u></b>	<b><u>429</u></b>	<b><u>==</u></b>	<b><u>==</u></b>	<b><u>==</u></b>	<b><u>136</u></b>	<b><u>300</u></b>	<b><u>436</u></b>

Source:

a. *Brief Guide of Vehicular Traffic Generation Rates for the San Diego Region*. SANDAG, April 2002

~~The results of the LL&G analysis indicate that approximately 42 gross acres (the 10 acre Leviton project + 30 additional acres) of the approximate 104.7 acres could be built before reaching a significant threshold impact. The gross acreage includes streets, slopes and pad areas.~~

~~The extension of Olympic Parkway to Paseo Ranchero was found to partially, but not fully, mitigate the project impacts. Once Olympic Parkway extends to Paseo Ranchero, 59 gross acres could be built before a significant impact would be calculated.~~

~~Construction on the remaining 45.7 acres is restricted until Olympic Parkway is extended from Paseo Ranchero to Wueste Road or SR 125 is completed.~~

## **B. Adequacy Analysis:**

~~The current LL&G analysis determined how much of the site could be developed before a significant impact occurred to the circulation network. LL&G's initial assessment was that the I-805/ Telegraph Canyon Road interchange, and particular the northbound ramps is the constraint in the circulation system in regards to the proposed project.~~

~~The Telegraph Canyon Road/Northbound I-805 ramps intersection are expected to operate at LOS F during the AM peak period in the Year 2000 without the project. LL&G added project traffic volumes to the interchange until the two second significant criteria threshold was reached. LL&G's calculations show that 42 gross acres (the 10 acre Leviton project + 32 additional acres) of the 105 acres could be built before reaching a significant impact (greater than two second delay increase) at the I-805 Telegraph Canyon Road interchange.~~

The LL&G Traffic Analysis determined that the project at buildout has significant impacts at the following:

- **Intersections**  
Otay Lakes Road / Vons Driveway (Cumulative Impact)  
Showroom Place / Fenton Street (Direct Impact)

These impacts can be mitigated by implementation of the following measures:

- **Intersections**  
Otay Lakes Road / Vons Driveway:  
Dual left-turn lanes, one shared through / right lane should be provided in the northbound approach and the existing signal phasing should be modified to provide north / south protected phasing. LOS E conditions are calculated prior to the addition of project traffic. The project traffic is estimated to contribute towards worsening the existing condition. This impact has been previously identified and these mitigation measures have been previously recommended for the Eastlake Village Walk and Eastlake

Village Center Projects. These mitigation measures have not yet been implemented. It is recommended that these improvements be included in the next CIP.

Showroom Place / Fenton Street:

Install a traffic signal when warrants are satisfied (expected to be needed upon implementation of Area B). Provide one shared through / right-turn lane and one left-turn lane on southbound (outbound) Showroom Place. Provide one left-turn lane and one right-turn lane on northbound Fenton Street with right-turn overlap phasing.

The LL&G Traffic Analysis also concluded that an overall decrease in peak hour traffic would occur on the Otay Lakes Road street segment, from SR 125 to Eastlake Parkway, based on a comparison of the proposed project to the approved industrial land uses. The proposed project trip generation was compared by LL&G to the amount of traffic that would be generated by the existing zoning site land uses. LL&G determined that the proposed project is calculated to generate a net increase of 3,250 ADT, but 518 fewer trips during the AM peak hour (452 fewer inbound trips and 66 fewer outbound trips) and 39 additional trips during the PM peak hour (290 additional inbound trips and 251 fewer outbound trips). The lesser number of trips in the peak hour volumes is due to the modified land uses since each land use has different trip generation characteristics. Therefore, the project is calculated to not significantly impact the Otay Lakes Road segment.

**1. Eastlake Design District**

Analysis of intersections and segments were conducted for the following timeframes:

- Existing Scenario 1 – Near-Term Without Project (Existing + Growth + Cumulative Projects)
- Scenario 2 - Near-Term with Area A (Project Phase I)
- Scenario 3 - Mid-Term (Near-Term without Project)
- Scenario 4 - Mid-Term With Project Area B (Phase II)
- Scenario 5 - Year 2030 Without Project
- Scenario 6 - Year 2030 With Project

**2. Eastlake Corporate Center**

Analysis of intersections and segments were conducted for the following timeframes:

- Existing
- Scenario 1 - Near-Term Without Project (Existing + Growth + Cumulative Projects)
- Scenario 2 - Near-Term with Project
- Scenario 3 - Year 2030

#### **5.3.1.4. MASS TRANSIT:**

The mass transit requirements were identified and required as part of the original EastLake I PFFP in 1985. All of the provisions identified in the adopted EastLake I PFFP and subsequent amendments shall remain in effect as a requirement of this Supplemental PFFP, as amended, at buildout.

#### **5.3.1.5. TRANSPORTATION FACILITY REQUIREMENTS:**

An analysis of Telegraph Canyon Road using the City's Transportation Management Plan (TMP) methodology shows that Telegraph Canyon Road can accommodate project traffic, especially since the project will add the majority of its generated traffic in the counterflow direction on Telegraph Canyon Road. However, there is a "point" constraint on Telegraph Canyon Road, the I-805 northbound ramps intersection which LL&G believes should be evaluated to provide a worst case analysis. This analysis showed that a maximum of 42 gross acres could be developed before a significant impact (two second increase in delay) would be calculated at this location assuming no new network is provided in the eastern Territories.

The extension of Olympic Parkway from Brandywine Avenue to Paseo Ranchero was found to partially, but not fully, mitigate the project impacts. Once Olympic Parkway extends to Paseo Ranchero, 59 gross acres could be built before a significant impact would be calculated. For the remaining 45.7 acres, the applicant must wait for Olympic Parkway to be extended from Paseo Ranchero to Wueste Road or SR 125 is constructed. These limitations are no longer in effect since Olympic Parkway has been extended from Paseo Ranchero to Wueste Road and SR 125 is eminent.

#### **5.3.1.6. FINANCING TRAFFIC IMPROVEMENTS:**

##### **A. Transportation Development Impact Fees (TDIF):**

~~On December 7, 1993, the Chula Vista City Council adopted Ordinance 2580 amending Ordinance 2251. The purpose of the ordinance is to collect development impact fees (DIF) for the construction of circulation element transportation facilities to accommodate increased traffic generated by new development in the eastern territories. The fee is \$2,399 per Multi-Family dwelling unit and \$99,950 per gross acre effective January 1, 1995.~~

~~Also effective January 1, 1995 is an interim pre-SR 125 development impact fee (Ordinance 2579) in the amount of \$820 per equivalent dwelling unit (EDU) to implement the pre-SR 125 strategy as defined in the study entitled "Interim State Route 125 Facility Feasibility Study" dated May 1993.~~

~~The EastLake Business Center II project is within the boundaries of the Transportation DIF program and are subject to the payment of the fees at the rates in effect at the time building permits are issued. The DIF ordinance, however, does allow for the issuance of credit in lieu of fees when an eligible facility is constructed by the project. If the total eligible construction cost amounts to more than the total required DIF fees as is~~



indicated below, the owner/Developer will be given credits toward future building permits outside of the SPA area.

The Transportation DIF beginning January 1, 1995 is \$3,998 per EDU. Each new single family detached dwelling is considered one EDU for the purposes of this fee. A single family attached dwelling is 0.8 EDU's. A unit within a multi-family dwelling is considered 0.6 EDU's. Commercial/Office is charged at the rate of 25.0 EDU's per gross acre of land.

The Interim Pre-SR 125 DIF beginning January 1, 1995 is \$820 per EDU. The same EDU rates apply to the Interim Pre-SR 125 DIF as for the Transportation DIF.

Area A, the 16.7 acre project area, has been built out and no additional TDIF is required. TDIF will be required for Area B and C at the time building permits are requested. See estimated TDIF for Area B and C.

**TABLE 5-3  
TRANSPORTATION & INTERIM PRE-125 DIF FEES**

Land-Use	Acres	EDU's	Transportation DIF		Interim Pre-SR 125 DIF		Total
			\$3,998/ EDU	Transportation Fee	\$820/ EDU Factor	SR 125 Fee	
Industrial	105	NA	25/Gross Acre	\$10,494,750	25/Gross Acre	\$2,152,500	\$12,647,250
<b>Total</b>				<b>\$10,494,750</b>		<b>\$2,152,500</b>	<b>\$12,647,250</b>

**TABLE 5-7  
ESTIMATED TRANSPORTATION DIF FEES FOR AREA B & C**

<u>Land Use</u>	<u>Acreege</u>	<u>Transportation Fee<sup>1</sup> per Industrial Acre</u>	<u>Total</u>
Industrial	27.36	\$86,218	\$2,358,924

**B. Traffic Signal Fee:**

Future development on the EastLake Business Center II project will be required to pay Traffic Signal Fees pursuant to Chula Vista Council Policy No. 475-01. The fee is calculated at \$13.00 per vehicle trip generated per day for various land use categories. Based upon the LL&G report the fees for EastLake Business Center II project are estimated at \$115,830 (8,910 ADT).

Area A: The 16.7 acre project area, has been built out and no additional Traffic Signal Fees are required.

Area B: The Applicant/Developer shall be required to enter into an agreement with the city to design and construct a traffic signal at the intersection of Showroom Place and Fenton Street. In addition, Traffic Signal Fees will be required for Area B at the time building permits are issued.

Area C: Traffic Signal Fees are required for Area C at the issuance of building permits.

<sup>1</sup> Table based on City of Chula Vista Form 5509, dated 9/25/2007. Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.

**TABLE 5-7A  
TRAFFIC SIGNAL FEES FOR AREA B & C**

<u>Land Use</u>	<u>Area</u>	<u>ADT</u>	<u>Traffic Signal Fee<sup>2</sup></u>	<u>Total</u>
<u>Industrial</u>	<u>B</u>	<u>5,440</u>	<u>\$28.55</u>	<u>\$155,312</u>
<u>Industrial</u>	<u>C</u>	<u>3,950</u>	<u>\$28.55</u>	<u>\$112,773</u>
		<u>9,390</u>		<u>\$268,085</u>

**5.3.1.7. THRESHOLD COMPLIANCE:**

Threshold compliance will continue to be monitored through the annual intersection monitoring program and the Eastern Chula Vista Transportation Phasing Plan updates.

~~Based upon the EastLake Business Center II Traffic Impact Analysis dated October 13, 1999, The Supplemental PFFP Amendment circulation is based on the Traffic Impact Analysis, EastLake Design District by LL&G, dated August 7, 2007 and the Traffic Impact Analysis, EastLake Corporate Center by LL&G dated August 9, 2007, threshold-Threshold compliance is projected to be maintained with implementation of the improvements that were identified above to have a significant impact and with the payment of transportation impact fees or the construction of street improvements identified herein.~~

~~The EastLake Business Center II project shall be was built in four phases. Phase 1A will included construction of entrances to the project from Fenton Street, portions of the Fenton Street extension and Street "A" Harold Place, and the development of Lots 1 and 6 (original TM numbers), located at the northwest and northeast corner of Fenton and Harold Place. Phase 1B will consisted of the completion of the Fenton Street extension and development of Lots 7 through 10 (original TM lot numbers 7-9 included Area C and lot 10 included a part of Area B). Phase 2A will included the completion of Street "A" Harold Place and development of the remaining frontage lots. (Lots 2 through 5). Lots fronting on Harold Place have been built out. Phase 2B construction will included the construction of Street "B" Showroom Place and development of the remaining Lots 11 through 16 (lots 11-13 included Area B except for lot 10 and lots 14-16 included Area A).~~

~~Phases 1A and 1B will consist of approximately 42 gross acres. The Traffic Analysis indicates that up to 42 acres (gross acreage including public streets) of the project could be built without exceeding City Threshold Standards.~~

**~~Phase 1A Development:~~**

~~Phase 1A will include construction of entrances to the project from Fenton Street, portions of the Fenton Street extension and Street "A", and development of Lots 1 and 6.~~

**~~1A Required Improvements:~~**

- ~~1. Install all-way stop at the intersection of Lane Avenue and Fenton Street prior to approval of the first Grading Plan.~~

<sup>2</sup> ~~Table based on City of Chula Vista Form 5509, dated 9/25/2007. Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.~~

- ~~2. Construct per City Design Standards or guarantee the construction, agree to construct and construct a cul-de-sac, to the satisfaction of the City Engineer, at the easterly terminus of Boswell Road prior to approval of the first Final Map.~~
- ~~3. Pay Transportation DIF, Interim Pre-SR 125 DIF and Traffic Signal Fee.~~

**Phase 1B Development:**

~~Phase 1B will consist of the completion of the Fenton Street extension, construction of a portion of Street "B," and development of Lots 7 through 10.~~

**1B Required Improvements:**

- ~~1. Construct per City Design Standards or guarantee the construction, agree to construct and construct the median modification at the intersection of Fenton Street/Otay Lakes Road prior to approval of the Final Map.~~
- ~~2. Install a fully activated traffic signal, including interconnect wiring and pull rope as determined by the City Engineer, at the intersection of Fenton Street and Otay Lakes Road prior to approval of the Final Map.~~
- ~~3. Pay Transportation DIF, Interim Pre-SR 125 DIF and Traffic Signal Fee.~~

**Phase 2A Development:**

~~Phase 2A will include completion of Street "A" and development of Lots 2 through 4.~~

**2A Required Improvements:**

- ~~1. Construct per City Design Standards or guarantee the construction, agree to construct and construct cul-de-sacs for Street A at the terminus of Street A and, prior to approval of the Final Map.~~
- ~~2. Guarantee the installation, agree to install and install all on-site Fenton Street improvements, including underground improvements, traffic signal standards with luminaries, as determined by the City Engineer, for the intersection of Lane Avenue/Fenton Street from the westerly subdivision boundary to Street A prior to approval of the corresponding final map.~~
- ~~3. Pay Transportation DIF, Interim Pre-SR 125 DIF and Traffic Signal Fee.~~

~~No development (issuance of building permits) beyond a combined total of 59 (build-out) gross acres once Olympic Parkway from I-805 to Hunte Parkway is completed and accepted by the City.~~

**Phase 2B Development:**

~~Phase 2B can be built after Olympic Parkway from Paseo Ranchero to Wueste Road is completed or the completion of the construction of SR 125. Phase 2B construction will include completion of Street "B" and development of the remaining Lots which includes 5 and 11 through 16.~~

**2B Required Improvements:**

- ~~1. Construct per City Design Standards or guarantee the construction, agree to construct and construct cul-de-sacs for Street B at the terminus of Street B and, prior to approval of the Final Map.~~
- ~~2. Pay Transportation DIF, Interim Pre-SR 125 DIF and Traffic Signal Fee.~~

~~Any changes in the phasing will need to be approved by either the City Engineer or Director of Planning and Building.~~

1. Area A: In the near-term with development of Area A, all segments are calculated to operate at a LOS C or better. The segment of Eastlake Parkway between Fenton Street and Otay Lakes Road is calculated to operate at an LOS D.
  
2. Area B: The Applicant/Developer shall be required to enter into an agreement to design, construct, and secure a fully actuated traffic signal including interconnect wiring, mast arms, signal heads and associated equipment, underground improvements, standards and luminaries prior to completing development of Area B at the intersection of Showroom Place and Fenton Street or as determined and approved by the City Engineer. The Applicant/Developer shall bond for the signal improvement prior to the issuance of the first building permit for Area B. The bond shall be in an amount equal to 200% of the engineer's estimate for development of Area B. If signal plans are submitted prior to the first building permit for Area B with an approved engineer's cost estimate, then the bond may be reduced to as low as 100% of the estimated cost. The Applicant/Developer shall also provide one shared through/right-turn lane and one left-turn lane on southbound (outbound) Showroom Place. The Applicant/Developer shall also provide one left-turn lane and one right-turn lane on northbound Fenton Street with right-turn overlap phasing.

Area B will be used for BC-4 uses instead of specialty retail. BC-4 uses are industrial in nature and have less daily trip generation potential than specialty retail uses, which were analyzed in the traffic study. The City Engineering Department has determined that this change will not result in any additional daily trip generation.

Prior to the issuance of the first building permit for Area B the Applicant/Developer shall pay the required TDIF and Traffic Signal Fees.

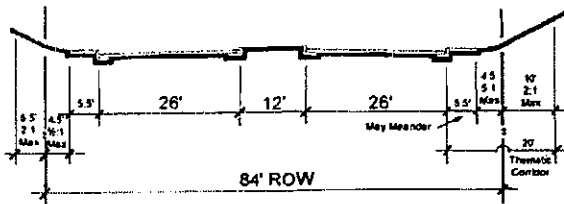
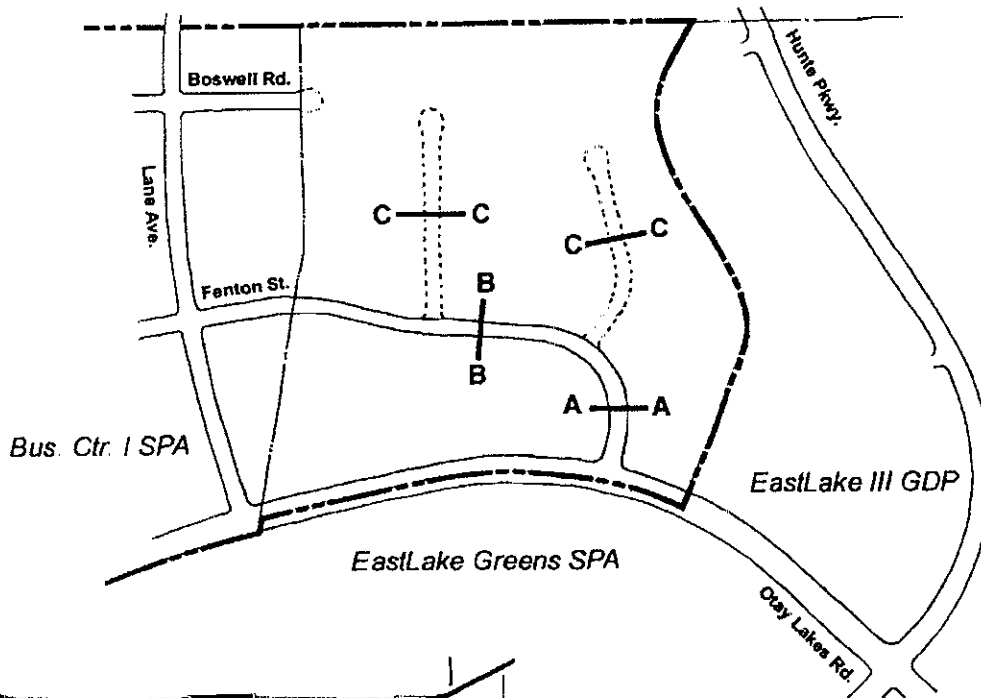
3. Area C: Prior to the issuance of the first building permit for Area C the Applicant/Developer shall pay the required amount of TDIF as confirmed by the City of Chula Vista City Engineer to cover its share of the cost of improvements at the intersection of Otay Lakes Rd/Vons Driveway, as described in the Project's Traffic Impact Analysis (September 10, 2007).

Fenton Street / Hitachi Place / Harold Place: Prior to occupancy permits for Area C, the Applicant/Developer shall provide one left-turn lane and one through / right turn lane on all approaches, with Two-Way STOP Control in the North / South direction or as determined and approved by the City Engineer. Provide additional striping and traffic control on Hitachi Place (Main Driveway) as shown in the LL&G Traffic Analysis.

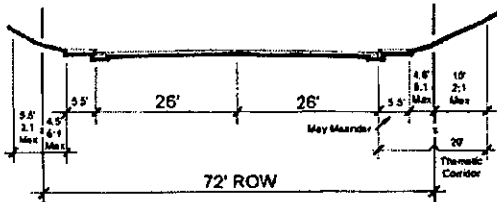
Prior to the issuance of the first building permit for Area C the Applicant/Developer shall pay the required TDIF and Traffic Signal Fees.

# Circulation Plan

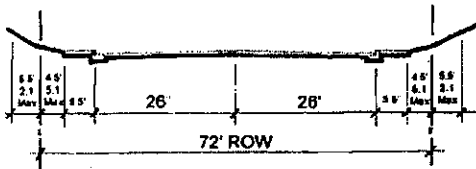
## Business Center II Supplemental SPA



**A - 84' Industrial Street with Median**



**B - 72' Indust. St. with Thematic Corridor**



**C - 72' Industrial Street**

**EASTLAKE I**  
A planned community by The EastLake Company



Exhibit 8

### 5.3.2. POLICE

#### 5.3.2.1 CITY THRESHOLD STANDARDS:

Police Services are provided by the City of Chula Vista Police Department. The purpose of the Threshold Standard is to maintain or improve the current level of police services throughout the City by ensuring that adequate levels of staff, equipment and training are provided.

- A. Emergency Response (Priority I): properly equipped and staffed police units shall respond to ~~84~~ 81 percent of "Priority One" emergency calls within seven (7) minutes and maintain an average response time to all "Priority One" emergency calls of ~~4.5~~ five minutes and thirty seconds (5.5 minutes) or less (measured annually).
- B. Urgent Response (Priority II): properly equipped and staffed police units shall respond to 62 57 percent of "Priority Two Urgent" calls within seven (7) minutes and maintain an average response time to all "Priority Two" calls of seven 7 minutes and thirty seconds (7.5 minutes) or less (measured annually).

#### 5.3.2.2. EXISTING CONDITIONS:

Police protection for the EastLake II project is provided by the Chula Vista Police Department (CVPD). The CVPD is headquartered in its new facility located at 276 315 Fourth Avenue in Chula Vista. Currently, CVPD maintains a staff of 179 approximately 258 sworn officers and 82 approximately 98 civilian/support personnel. The department is recruiting new officers and has approximately 15 officers in training either in the field or in the academy. The EastLake Business Center II project is ~~east of~~ within police patrol beat 32, which is served by one patrol car 24 hours per day.

#### 5.3.2.3. ADEQUACY ANALYSIS:

Based upon the Growth Management Oversight Commission ~~1997~~ 2007 Annual Report dated April 1998 August 2007, both measures for Priority I Calls for Service (CFS) were met, ~~while only one of the two measures for Priority I CFS was met.~~ For Priority I CFS, the Police Department responded to ~~83.8~~ 82.3% of the calls within an average of ~~4.5~~ 4.85 minutes. The Priority II CFS has not been met for several years. For Priority II CFS, the department responded to 40% of the calls within an average of 12.5 minutes. The GMOC has submitted recommendations for continued improvement of the response to priority II CFS. Included in the recommendations is a call for City Council support of the Police Department's efforts to adequately staff and fund the completion of a long range strategic plan to direct the City Manager to have the Police Department prepare and implement an action plan addressing the departments performance in meeting the threshold for Priority II calls. It was further recommended that the plan be completed in 2008 so that progress in development and implementation can be reflected in the department's next report to the GMOC.

#### 5.3.2.4. POLICE FACILITY REQUIREMENTS:

The development of the Business Center II project, as amended, will incrementally increase the demand for police services. The development of the project has the potential of impact of 475 equivalent dwelling units (EDU) which will increase the population by approximately 1428 persons (3.007 persons per dwelling unit). According to City standards, this population will require an additional 2.0 officers (1.38 officers/1,000 citizens) plus approximately 2.8 support staff to maintain current levels of police service. In addition, approximately 444.5 square feet of police facilities would be required to house the additional 2.0 officers (222.25 square feet per officer). Since the approval of the EastLake Business Center II project in 1999, the CVPD has had a nearly 30% increase in officer staffing. The department is properly equipped and staffed to meet Priority I thresholds, however in previous years, the number of actual on-duty staff was substantially lower than the number of authorized and/or employed patrol officers; it appeared that priority II thresholds were not met as a result of the low actual on-duty staffing levels. The Department has recently reached full authorized staffing and expects a full complement of trained patrol officers to be working in the field. In addition, the new headquarters facility at 315 Fourth Avenue is expected to be adequate through the build-out of eastern Chula Vista.

Although the overall number of calls for service, as well as the number of Priority II calls have not increased during the past reporting period, Priority II CFS to the department's largest geographical beat – beat 32 – increased 9% since the last reporting period. The department projects that additional staff may be necessary for at least one additional beat in the Eastern part of the City.

#### 5.3.1.5. DEVELOPMENT PHASING

The EastLake Business Center II parcels are within the Priority I response time that meets the Threshold Standards.

#### 5.3.1.6. FINANCING POLICE FACILITIES

In January, 1991 the City of Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. ~~The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The proposed new fee is \$2,618.00 per equivalent dwelling unit. The Public Facilities Development Impact Fee (PFDIF) is adjusted every October 1<sup>st</sup> pursuant to Ordinance 3050, which was adopted by the City Council on November 7, 2006. The current fee for commercial (including office) development is \$25,874/acre and industrial development is \$8,173/acre. This amount is subject to change as it is amended from time to time. Area A is built out and will not be obligated to pay PFDIF fees. Area B and C will pay PFDIF fees at the time building permits are obtained. At the current fee rate, the estimated obligation for Area B and C at buildout is \$41,724.00 (see Table 5-8)<sup>3</sup>.~~

<sup>3</sup> Fee based on Form 5509 dated 9/25/2007. Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.

The portion of the fee attributable to the police services in the proposed program is \$735/EDU.

The EastLake Business Center II project is within the boundaries of the Public Facilities DIF Program and, therefore, the project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the EastLake Business Center II Supplemental SPA Plan obligation at buildout is \$349,125.00

**TABLE 5-4  
POLICE FEE FOR BUSINESS CENTER II**

<b>Development Phase</b>	<b>EDU's</b>	<b>Police Fee @ \$735/EDU</b>	<b>Police Fee for EastLake Business Center II</b>
<b>EastLake Business Center II</b>	<b>475</b>	<b>\$349,125</b>	<b>\$349,125</b>

EDU's based on 5 dwelling units per gross acre minus public streets.

**TABLE 5-8  
POLICE FEE**

<b><u>Development Area</u></b>	<b><u>Acres</u></b>	<b><u>Police Fee/ Industrial Acre</u></b>	<b><u>Police Fee for Area B &amp; C</u></b>
<b><u>Area B &amp; C</u></b>	<b><u>27.36</u></b>	<b><u>\$1,525</u></b>	<b><u>\$41,724</u></b>

**5.3.1.7. THRESHOLD COMPLIANCE AND RECOMMENDATIONS**

The City will continue to monitor police responses to calls for service in both the Emergency (priority one) and Urgent (priority two) categories and report the results to the GMOC on an annual basis. ~~In addition, the following requirements shall be addressed:~~

Compliance ~~will be~~ has been satisfied with the payment of Public Facilities Fees. ~~The proposed project will be~~ was required to pay public facilities fees for police services based on equivalent dwelling units by development phase at the rate in effect the time building permits are ~~were~~ issued. Remaining unbuilt lots in Area B and C will pay current DIF fees at the time building permits are issued.

Currently, the police department is addressing the threshold standard for deficiency by ~~preparing a long range~~ requesting funding for a 5-year strategic plan and a police facility master plan. The strategic plan will evaluate service levels, staff levels, methods of development, and any other factors related to service delivery. ~~This will also include an evaluation of the established threshold, which may need to be adjusted. The public facility master plan will address the possibility of relocating the current police facility to a more central location.~~



### 5.3.3. FIRE AND EMERGENCY MEDICAL

#### 5.3.3.1. THRESHOLD STANDARD:

Fire and Emergency Medical Services are provided by the City of Chula Vista Fire Department (CVFD). Emergency Medical Services (EMS) is provided on a contract basis with American Medical Response (AMR). The City also has county wide mutual aid agreements with surrounding agencies should the need arise for their assistance. The purpose of the Threshold Standard and the monitoring of response times is to maintain and improve the current level of fire protection and ~~emergency medical services (EMS)~~ in the City. Fire/EMS facilities are provided for in the 1997 Fire Station Master Plan, dated March 23, 1989 as amended. The Master Plan indicates that response time is primarily determined by the number and location of fire stations. The Fire Station Master Plan evaluates the planning area's fire coverage needs, and recommends ~~an eight~~ a nine (9) station network at buildout to maintain compliance with the threshold standard (see Table 5-5).

Emergency response: Properly equipped and staffed fire and medical units shall respond to calls throughout the City within seven (7) minutes in ~~85~~ 80 percent (current service to be verified) of the cases (measured annually).

#### 5.3.3.2. EXISTING CONDITIONS:

~~Currently, the City of Chula Vista Fire Department (CVFD) provides two fire facilities to serve the EastLake area. These two facilities are Fire Station No. 4 located at 861 Otay Lakes Road and Interim Fire Station No. 6 located at 975 Lane Avenue. Fire Station No. 4 provides backup and support to Interim No. 6.~~

~~City staff recently completed the 1998 Fire Station Master Plan Update which is reported to adequately address future fire needs. The update may be considered for adoption by the City Council in the near future.~~

There are currently eight (8) city stations and one (1) fire protection district station serving the City of Chula Vista. The existing and future stations are listed below:

**TABLE 5-9  
FIRE STATION INVENTORY**

<u>CHULA VISTA EXISTING FACILITIES</u>	<u>LOCATION</u>	
Station #1 & Fire Prevention Bureau	447 "F" Street	
Station #2	80 East "J" Street	
Station #3	1410 Brandywine	
Station #4 + Fire Training Tower	850 Paseo Ranchero	
Station #5 (Montgomery)	391 Oxford Street	
Station #6	605 Mt. Miguel Rd.	
Station #7 (Otay Ranch)	1640 Santa Venetia	
Station #8 (Woods Fire Station)	1180 Woods Drive	
<b><u>COUNTY FIRE PROTECTION DISTRICT FACILITY<sup>4</sup></u></b>		
Bonita/Sunnyside Fire Protection Dist.	4900 Bonita Road	
<b><u>PLANNED CHULA VISTA FACILITIES</u></b>		<b><u>COST ESTIMATE<sup>5</sup></u></b>
Station #5 (to be reconstructed)	391 Oxford Street	\$1,200,000
Station #9	EUC	None Established
<b><u>OTHER CAPITAL IMPROVEMENTS</u></b>		
Public Safety Communications (CAD/RMS)	Dispatch Center	\$4,612,050
Public Safety Communications (800MHz)	Citywide	None Established
Brush Engine	Eastern Territories	\$225,000

**5.3.3.3. ADEQUACY ANALYSIS:**

Two fire stations are in close proximity to the project site. One, a temporary facility, is located in the EastLake Business Center, immediately adjacent to the project site. The station will be relocated to a new permanent site as the City's Fire Master Plan is implemented. The final location of the new permanent site has yet to be determined. It is anticipated that the site will be in close proximity to EastLake Business Center. A second station is located approximately 5 minutes away on Otay Lakes Road, south of East "H" Street. This station is planned to be relocated to the Rancho del Rey community to the west of EastLake.

The Business Center II project is within the existing Fire and EMS Facility response times that meet the Threshold Standards.

The CVFD currently serves the EastLake Business Center II area. The closest CVFD stations to the project site are:

- Fire Station #8, the "Woods Fire Station" located at 1180 Woods Drive (this station would respond first).
- Fire Station #6, located at 605 Mt. Miguel Road.

<sup>4</sup> The City of Chula Vista has an Automatic Aid Agreement with Bonita/Sunnyside and the cities of National City, Imperial Beach, Coronado and San Diego.

<sup>5</sup> Cost Estimates are approximate figures and subject to refinement by the City of Chula Vista.

- Fire Station #7, located at 1640 Rancho Venetia Road, Otay Ranch Village 2.
- Fire Station #4, located at Paseo Ranchero, Rancho Del Rey

The Fire/EMS response time threshold was met for calendar year 2006. This is the second year in a row that the CVFD met the threshold even with a substantial increase in the number of reported emergency calls. Dispatch time improved significantly with full operation of its dispatch center.

**TABLE 5-9A  
FIRE/EMS - EMERGENCY RESPONSE TIMES SINCE 1994**

<u>Years</u>	<u>Call Volume</u>	<u>% of All Call Response Within 7:00 Minutes</u>
<u>CY 2006</u>	<u>10,390</u>	<u>85.2%</u>
<u>CY 2005</u>	<u>9,907</u>	<u>81.6%</u>
<u>FY 2003-04</u>	<u>8,420</u>	<u>72.9%</u>
<u>FY 2002-03</u>	<u>8,088</u>	<u>75.5%</u>
<u>FY 2001-02</u>	<u>7,626</u>	<u>69.7%</u>
<u>FY 2000-01</u>	<u>7,128</u>	<u>80.8%</u>
<u>FY 1999-00</u>	<u>6,654</u>	<u>79.7%</u>
<u>CY 1999</u>	<u>6,344</u>	<u>77.2%</u>
<u>CY 1998</u>	<u>4,119</u>	<u>81.9%</u>
<u>CY 1997</u>	<u>6,275</u>	<u>82.4%</u>
<u>CY 1996</u>	<u>6,103</u>	<u>79.4%</u>
<u>CY 1995</u>	<u>5,885</u>	<u>80.0%</u>
<u>CY 1994</u>	<u>5,701</u>	<u>81.7%</u>

Source: GMOC 2007 Annual Report

**5.3.3.4. FIRE & EMS FACILITY REQUIREMENTS:**

~~Annexation of Business Center II into EastLake II and its subsequent development would not change the need for fire service in the area as previously analyzed in the EastLake III/Olympic Training Center EIR (City of Chula Vista 1990). The Chula Vista Fire Department currently meets the standard threshold for fire protection for the EastLake II area. The station nearest to the EastLake Business Center II project is Fire Station #8. This station is within the EastLake Woods neighborhood approximately less than a mile from the project area. Interim Fire Station No. 6, located at 975 Lane Avenue in Business Center 1, would be the primary station to serve Business Center II. In the long term, Fire Station No. 6 will be relocated to East "H" Street and San Miguel Road and Fire Station No. 8 will be constructed for the Salt Creek Ranch when EastLake Trails is fully developed.~~

**5.3.3.6. FINANCING FIRE & EMS FACILITIES:**

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. ~~The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The proposed new fee is \$2,618 per equivalent dwelling unit. The Public Facilities Development Impact Fee (PFDIF) is adjusted every October 1<sup>st</sup> pursuant to Ordinance 3050, which was adopted by the City Council on November 7, 2006. The current fee for commercial (including office) development is \$25,181/acre and industrial development is \$8,173/acre. This amount is subject to change as it is amended from time to time. Area A is built out and will not be obligated to pay PFDIF fees. Area B and C will pay PFDIF fees at the time building permits are obtained. At the current fee rate, the estimated obligation for Area B and C at buildout is \$16,470.00 (see Table 5-10)<sup>6</sup>.~~

The portion of the proposed fee attributable for Fire and EMS is \$203/EDU

**TABLE 5-5  
FIRE/EMS FEE FOR BUSINESS CENTER II**

Development Phase	EDU's	Fire Fee @ \$203/EDU	Fire & EMS Fee Per For Business Center II
Business Center II	475	\$96,425	\$96,425

EDU's based on 5 dwelling units per gross acre minus public streets.

**TABLE 5-10  
FIRE & EMS FEE FOR BUSINESS CENTER II Area B & C**

<u>Development Area</u>	<u>Acreage</u>	<u>Fire &amp; EMS Fee/ Industrial Acre</u>	<u>Police Fee for Area B &amp; C</u>
<u>Area B &amp; C</u>	<u>27.36</u>	<u>\$602</u>	<u>\$16,470</u>

By prior agreement, the EastLake Development Company established a credit in the amount of \$616,153.00 by establishing the temporary fire station in the EastLake Business Center. In recognition of the cost of this facility, the City has been providing credits towards the payment of the fire component of the Public Facilities DIF amount. ~~As of September 30, 1999, the remaining credit balance was \$335,581.70 (per Bob Beeman, City of Chula Vista). It is intended that the fire component of the PFDIF calculated in table 5-5 above will further reduce this credit balance, if any.~~

~~The project will be subject to the payment of the fee at the rate in effect at the time permits are issued. At the current fee rate, the EastLake Business Center II obligation at buildout is \$96,425.~~

<sup>6</sup> Fee based on Form 5509 dated 9/25/2007. Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.

#### **5.3.3.7. THRESHOLD COMPLIANCE ACCOMMODATION:**

The City will continue to monitor fire department responses to emergency fire and medical calls and report the results to the GMOC on an annual basis. Remaining unbuilt lots in Area B and C will pay current DIF fees or apply available credits at the time building permits are issued. ~~In addition, the following requirements shall be addressed. The Business Center II will be conditioned to pay public facilities fees at the rate in effect at the time building permits are issued. These fire conditions are also described in the Public Facilities Financing Plans (PFFP) for the EastLake II SPA, which describes public facilities fees for fire and emergency medical services based on equivalent dwelling units by development phase. Inclusion of the project in the PFFP would allow acceptable fire protection response times in the area at buildout.~~

#### **5.3.4. SCHOOLS**

The proposed project will not generate an increase in dwelling units or population in the project area. Therefore, the prior annexation of the business park into EastLake II, the conversion of 16.7 acres of industrial land to commercial use for Area A, the change in land use district designation for Area B and C, and the proposed five story hotel and four story office building on Area C will not result in a need for new or altered school facilities or services.

#### **5.3.5. LIBRARIES:**

The proposed project will not generate an increase in dwelling units or population in the project area. Therefore, the annexation of the business park into EastLake II and the conversion of 16.7 acres of industrial land to commercial use for Area A, the change in land use district designation for Area B and C, and the proposed five story hotel and four story office building on Area C will not result in a need for Library services.

#### **5.3.6. PARKS AND RECREATION:**

The proposed project will not generate an increase in dwelling units or population in the project area. Therefore, the annexation of the business park into EastLake II and the conversion of 16.7 acres of industrial land to commercial use for Area A, the change in land use district designation for Area B and C, and the proposed five story hotel and four story office building on Area C will not result in a need for new parks or park services.

## **5.3.7 WATER**

### **5.3.7.1 CITY THRESHOLD STANDARDS:**

#### **A. Potable Water:**

Objectives and thresholds for water quality and availability have been determined by the City of Chula Vista. To ensure that water quality standards are not decreased during development and that adequate storage and construction of facilities occurs concurrently with growth, the City of Chula Vista requires a service availability letter from the water district for each project. A 12- to 18-month development forecast from the City and the County Water Authority (CWA) to the Otay Water District (OWD), requesting information on water availability, current capacity, storage capacity, and quality is also required. The Growth Management Oversight Committee (GMOC) reviews impacts to water availability and quality on an annual basis, after reviewing the water district's response letters. The GMOC then presents its reports to the City Council of Chula Vista with its determination.

#### **B. Recycled Water:**

Currently, the City of Chula Vista does not have threshold standards for Recycled water quality and availability.

### **5.3.7.2. EXISTING CONDITIONS:**

#### **A. Potable Water:**

The approximate 104.7 gross acre (74.8 net acres) EastLake Business Center II is located within the OWD Central Service Area and is incorporated in Improvement District (I.D.) 27. Pursuant to the Triad Agreement, that was entered into between the EastLake Company and OWD on May 31, 1989, all parcels within the EastLake Business Center II are required to annex into OWD's Improvement District (I.D.) 22 prior to approval of plans or water service being available.

The Triad Agreement established a capacity fee per EDU for the majority of the EastLake development that is intended to fund construction of regional storage facilities. As shown in Table 5-6 11, the Triad Agreement includes 9,355 EDU's for the EastLake development. Of this amount, EastLake has constructed 2,731 EDU's in the Greens subdivision and is currently developing 1,481 planned EDU's in the Trails subdivision. Additionally, EastLake has relinquished 1,450 EDU's back to OWD. Per the agreement, all of the planned Business Center II, totaling 648 EDU's, will be counted against the total EastLake EDU allocation in the Triad Agreement and will be required to pay capacity fees as specified in the agreement.

**TABLE 5-6 11**  
**EASTLAKE TRIAD AGREEMENT EDU BALANCE**

<b>Existing and Approved Development</b>	<b>Business Center II*</b>	<b>Relinquished**</b>	<b>Subtotal</b>	<b>Total Allocation</b>	<b>Remaining</b>
4,212	648	1,450	6,310	9,355	3,045

\* EDU's based on conversion factor for commercial development equal to 6 EDU's per gross acre as given in the Triad Agreement

\*\* Per July 2, 1996 letter from EastLake Development Company to Otay Water District

Potable water is provided to the Central Service Area by the San Diego County Water Authority via the Second San Diego Aqueduct. Water is delivered at Aqueduct connections No. 10 and No. 12 (former connections No. 4 and No. 9) and is conveyed by gravity to OWD's emergency/operating reservoirs at a grade of 624 feet. Water is then pumped from the 624 Zone to the 711 and 980 Zones.

The Central Area Pump Station located at the Patzig 624 Reservoir site, pumps water to the 711 distribution system and storage reservoirs. The 980 Zone is supplied by the EastLake Pump Station, which lifts water from the 711 Zone distribution system to the 980 Zone distribution system and storage reservoirs.

There are two existing reservoirs in the 980 Zone system, designated as the 980-1 and 980-2 Reservoirs. The reservoirs are located within the Otay Water District Use Area situated north of the Rolling Hills Ranch development. The reservoirs have a capacity of five million gallons (MG) each for a total of 10 MG.

Potable water ~~can be~~ is delivered to the EastLake Business Center II through existing transmission mains in Lane Avenue and Otay Lakes Road. The ~~proposed~~ on-site distribution system ~~will connect~~ s to the 20-inch 980 Zone main in Otay Lakes Road and the 16-inch main in Fenton Street. Connections to both existing transmission mains ~~can be made as part of Phase 1A development, providing~~ provides redundant sources of supply to the project.

**B. Recycled Water:**

Recycled water supply is currently available to the EastLake area from the 1.3 million gallon per day (mgd) capacity Ralph W. Chapman Water Recycling Facility located near the intersection of Singer Lane and Highway 94. Recycled water is delivered to storage ponds located in OWD Use Area situated north of Proctor Valley Road. The ponds operate with a high water level of approximately 950 feet. The EastLake Business Center II ~~will receive~~ s recycled water from the existing 20-inch 950 Zone transmission main in Otay Lakes Road.

Supplemental recycled water supply ~~will be~~ is available from the City of San Diego's ~~planned 7 mgd capacity South Bay Water Reclamation Plant, which has an anticipated completion date of year 2001.~~ was completed in 2002. The plant ~~will be~~ is located in the Tijuana River Valley near the Mexican border. Construction of the supply-link project pipeline began in October 2005 and was completed in the Spring of 2007. Deliveries to

OWD will be pumped up to the planned through the supply-link pipeline to the 680 Zone Recycled Reservoir to be located in EastLake Greens. OWD will have has the option of pumping recycled water from the 680 Zone reservoir to supply 950 Zone demands.

#### 5.3.7.4 WATER FACILITY REQUIREMENTS

##### A. Potable Water:

Water demands for the EastLake Business Center II were projected using unit water demand factors in the draft Sub-Area Master Plan (Draft SAMP) for the EastLake Business Center II project by John Powell & Associates, August 1999. An Otay Water District approved SAMP will be is required prior to processing water improvement plans. Water demands for the development were projected using unit water demand factors from OWD's Water Resources Master Plan (Master Plan).

Proposed land use within the Business Center II will be exclusively is predominately industrial with some limited commercial designations. The potable water demand is summarized in the following table (Table 5-7):

**TABLE 5-7-11**  
**EDU'S FOR WATER USAGE**

	Land Use	Acreage	EDU's
Total	Industrial	104.7.0	648.0

Equivalent Dwelling Units (EDU's) based on conversion factor of 6 EDU's per gross acre as specified in Triad Agreement

Table 5-8 12 presents the unit water demand factors and projected average annual day (AAD) water demands for the 1999 Supplemental PFFP development. Table 5-13 presents the reduced unit water demand factors (from OMWD) and reduced projected AAD water demands for the 2007 PFFP Amendment.

**TABLE 5-8-12**  
**1999 SUPPLEMENTAL PFFP**  
**AVERAGE ANNUAL DAY WATER DEMAND PROJECTION**

Land Use	Gross Area (acre)	Unit Demand (gdp/ac)	AAD Demand (gdp)
Industrial	104.7	1,250	135,000

**TABLE 5-13**  
**2007 SUPPLEMENTAL PFFP AMENDMENT**  
**AVERAGE ANNUAL DAY WATER DEMAND PROJECTION**

Land Use	Gross Area (acre)	Unit Demand (gdp/ac)	AAD Demand (gdp)
Industrial	84.0	893	75,012
Commercial	16.7	1,785	29,810
Total	104.7	----	104,810



Table 5-9 14 provides the peaking factor used and the projected MD demand for the 1999 development.

**TABLE 5-9 14**  
**1999 SUPPLEMENTAL PFFP**  
**MAXIMUM DAY WATER DEMAND PROJECTION**

<b>Business Center II AAD Demand (gdp)</b>	<b>Ultimate Zone AAD Demand*</b> (gdp)	<b>MD Peaking Factor**</b>	<b>Business Center II MD Demand (gdp)</b>
135,000	9,780,000	1.8	243,000

\* Entire ultimate 980 Zone demand from Table 4.4 of the 1995 Otay Water District (OWD) Master Plan

\*\* Based on ultimate Zone AAD demand

The OWD has indicated that they have adequate potable water service and long-term water storage to accommodate the proposed amendment to the PFFP (see Appendix B - letter to Ben Guerreo, City of Chula Vista, from David Charles, Otay Water District, dated May 14, 2007).

**Fire Flow Requirements**

Fire flow requirements for the Business Center II were based on requirements used for similar commercial/industrial development within OWD's Central Service Area as given in recent SAMPs in 1999. Table 5-10 15 gives the fire flow requirements that was used in the Draft SAMP for the EastLake Business Center II.

**TABLE 5-10 15**  
**1999 SUPPLEMENTAL PFFP**  
**FIRE FLOW CRITERIA**

<b>Land Use</b>	<b>Fire Flow (gpm)</b>	<b>Duration (hours)</b>	<b>Residual Pressure (psi)</b>
Industrial	3,500	3	20

The OWD has indicated that they have adequate fire flow to accommodate the proposed amendment to the PFFP (see Appendix C - letter to Ben Guerreo, City of Chula Vista, from Otay Water District Engineering, dated June 14, 2007).

Table 5-11 16 projects the short-term storage requirements for the 980 Zone by adding storage requirements for Rolling Hills Ranch, EastLake Trails, and the EastLake

**Table 5-14 16**  
**1999 SUPPLEMENTAL PFFP**  
**CENTRAL SERVICE AREA 980 ZONE**  
**SHORT TERM OPERATIONAL STORAGE BALANCE**

<b>Development</b>	<b>Required Storage (MG)</b>
Existing (1)	5.58
Rolling Hills Ranch (2)	2.87
EastLake Trails (3)	1.11
EastLake Business Center II	0.32
<b>TOTAL</b>	<b>9.88</b>
Existing Storage	10.0
Storage Deficiency	None

- 1) Per 1995 OWD Water Master Plan
- 2) Sub-Area Master Plan of Potable and Recycled Water for Salt Creek Ranch, Wilson Engineering, April 1997
- 3) Sub-Area Water Master Plan for EastLake Trails, John Powell & Associates, September 1998

### **Recommended On-Site Distribution System**

The recommended existing on-site distribution system is shown in Exhibit 7 9. Pipeline sizes were based on hydraulic calculations at the connections to the on-site system. The proposed system design would yield a minimum on-site residual pressure of approximately 65 psi.

### **Analysis of Proposed Facilities**

The necessary area-wide water improvements (i.e., transmission mains, pump stations, reservoirs, etc.) to serve the Business Center II project have been physically constructed or financially committed. Sufficient water capacity and infrastructure exist to serve the Business Center II project.

### **B. Recycled Water:**

Within the EastLake Business Center II, recycled water will be used to irrigate a landscaped areas, including lawns, planted borders, and road slopes and medians. Based on unit demand factors given in the Master Plan, average annual day recycled water demands were computed for the 1999 project, which are presented in Table 5-12 17. Table 5-18 presents the reduced unit recycled water demand factors (from OMWD) and reduced projected AAD recycled water demands for the 2007 PFFP Amendment.

**TABLE 5-12 17**  
**1999 SUPPLEMENTAL PFFP**  
**PROJECTED RECYCLED WATER DEMANDS**

<b>Land Use</b>	<b>Area (ac)</b>	<b>Percent Irrigated</b>	<b>Irrigated Area (ac)</b>	<b>Unit Demand (gdp/ac)</b>	<b>AAD Demand (gdp)</b>
<b>Industrial</b>	<b>104.7</b>	<b>10</b>	<b>10.8</b>	<b>2,230</b>	<b>24,084</b>

**TABLE 5-18**  
**2007 SUPPLEMENTAL PFFP AMENDMENT**  
**PROJECTED RECYCLED WATER DEMANDS**

<u>Land Use</u>	<u>Area (ac)</u>	<u>Percent Irrigated</u>	<u>Irrigated Area (ac)</u>	<u>Unit Demand (gpd/ac)</u>	<u>AAD Demand (gpd)</u>
<u>Industrial</u>	<u>84.0</u>	<u>5</u>	<u>4.2</u>	<u>2,155</u>	<u>9,051</u>
<u>Commercial</u>	<u>16.7</u>	<u>10</u>	<u>1.7</u>	<u>2,155</u>	<u>3,664</u>
<u>Total</u>	<u>104.7</u>	<u>---</u>	<u>5.9</u>		<u>12,715</u>

Maximum day and peak hour (PH) recycled water demands were computed using peaking factors given in the Master Plan. Peak demands are summarized in Table 5-13 19.

**TABLE 5-13 19**  
**1999 SUPPLEMENTAL PFFP**  
**PROJECTED PEAK RECYCLED WATER DEMANDS**

<b>ADD Demand (gpd)</b>	<b>MD Demand Peak Factor</b>	<b>MD Demand (gpd)</b>	<b>PH Demand Peak Factor</b>	<b>PH Demand (gpd)</b>
<b>24,084</b>	<b>2.6</b>	<b>62,618</b>	<b>7.8</b>	<b>130</b>

**5.3.7.5. FACILITY PHASING:**

**A. Potable Water:**

The project ~~will be~~ was constructed ~~built~~ in four phases. Phase 1A ~~will included~~ construction of the entrances to the project from Fenton Street, portions of the Fenton Street extension and ~~Street "A"~~ Harold Place, and the development of Lots 1 and 6 (located at the northwest and northeast corners of Fenton and Harold Place). Phase 1B ~~will consisted~~ of the completion of the Fenton Street extension and the development of Lots 7 through 10 (included Area C and a portion of Area B). Phase 2A ~~will included~~ the completion of ~~Street "A"~~ Harold Place and the development of Lots 2 through 4 (lots fronting on Harold Place are built out). Phase 2B construction ~~will included~~ the completion of ~~Street "B"~~ Showroom Place and the development of Lot 5 (fronts on Harold Place), 11 through 16 (Area A and B fronting on Showroom Place).

Supply of potable water to the EastLake Business Center II ~~will be~~ is furnished from District reservoirs and pump stations and conveyed to the site by gravity through existing District transmission mains. ~~Based on planned ground elevations within the Business Center, service~~ Service to the site ~~will be~~ is provided from the existing 980 Pressure Zone.

**B. Recycled Water:**

The development of the EastLake Business Center II ~~is undefined at this time~~ site improvements has been completed. Please see discussion of Phasing under Potable Water above.

### 5.3.7.6. FINANCING WATER FACILITIES:

#### A. Potable Water:

There are two methods of financing and construction of potable water facilities for the EastLake Business Center II. These methods are as follows:

1. Capacity Fees: OWD's Capital Improvement Program (CIP) provides for the design and construction of facilities by OWD. Through this program, OWD collects an appropriate share of the cost from Developers via the collection of capacity fees from water meter purchases. The capacity fees are collected upon the sale of water meters after building permit issuance according to OWD's fee schedule in effect at the time of sale.

CIP projects typically include supply facilities, pumping facilities, operational storage, terminal storage, transmission mains. Specific CIP projects, if required, are identified in OWD's approved SAMP.

2. Exaction: The Developer designs and constructs facilities that serve their development only. Upon completion, the facilities are dedicated to OWD. According to OWD's policy No. 26, OWD will provide reimbursement for construction and design costs associated with development of these improvements.

#### B. Recycled Water:

OWD ~~will~~ will use the capacity fees and exaction methods for the financing and construction of CIP Recycled water facilities for The EastLake Business Center II.

### 5.3.7.7. THRESHOLD COMPLIANCE:

#### A. Potable Water:

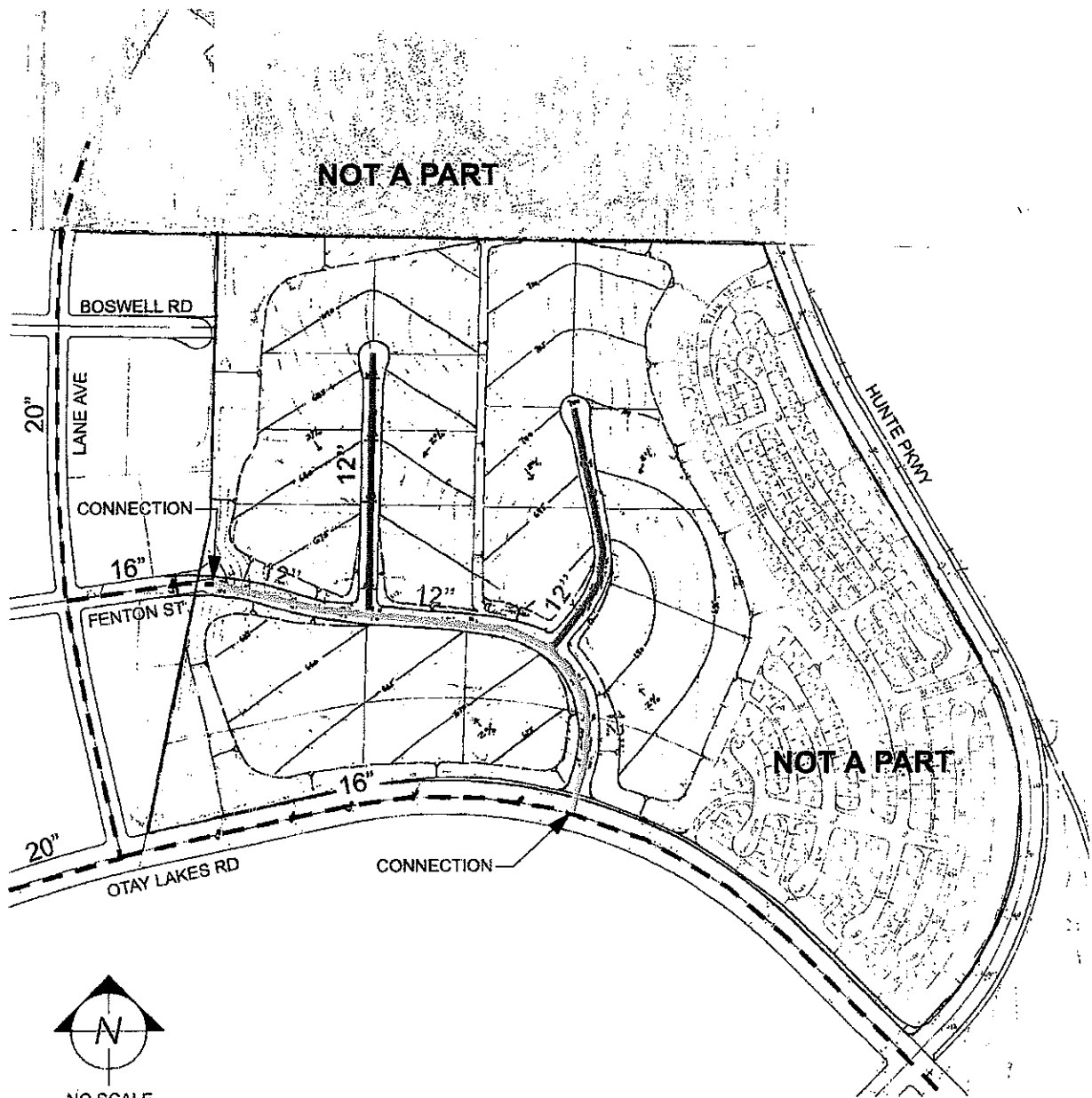
The Otay Water District's Water Resource Master Plan and the SAMP identify water facilities to be constructed that will provide the necessary water service to meet OWD criteria. The facilities identified in the aforementioned plans ~~are required to be~~ were constructed as a part of the prior development of the EastLake Business Center II project.

The Developer shall request and deliver to the City a service availability letter from the Otay Water District prior to each final map.

Provide water improvements according to a district approved Sub-Area Water Master Plan for the EastLake Business Center II project.

#### B. Recycled Water:

Provide Recycled water improvements according to a district approved Sub-Area Water Master Plan for The EastLake Business Center II project. Recycled water requirements for the project will be coordinated by the OWD and the City of Chula Vista. The phased construction of recycled water facilities, based on the approved SAMP, will be incorporated into the conditions of approval for a future subdivision map. These conditions will assure the timely provision of required facilities.



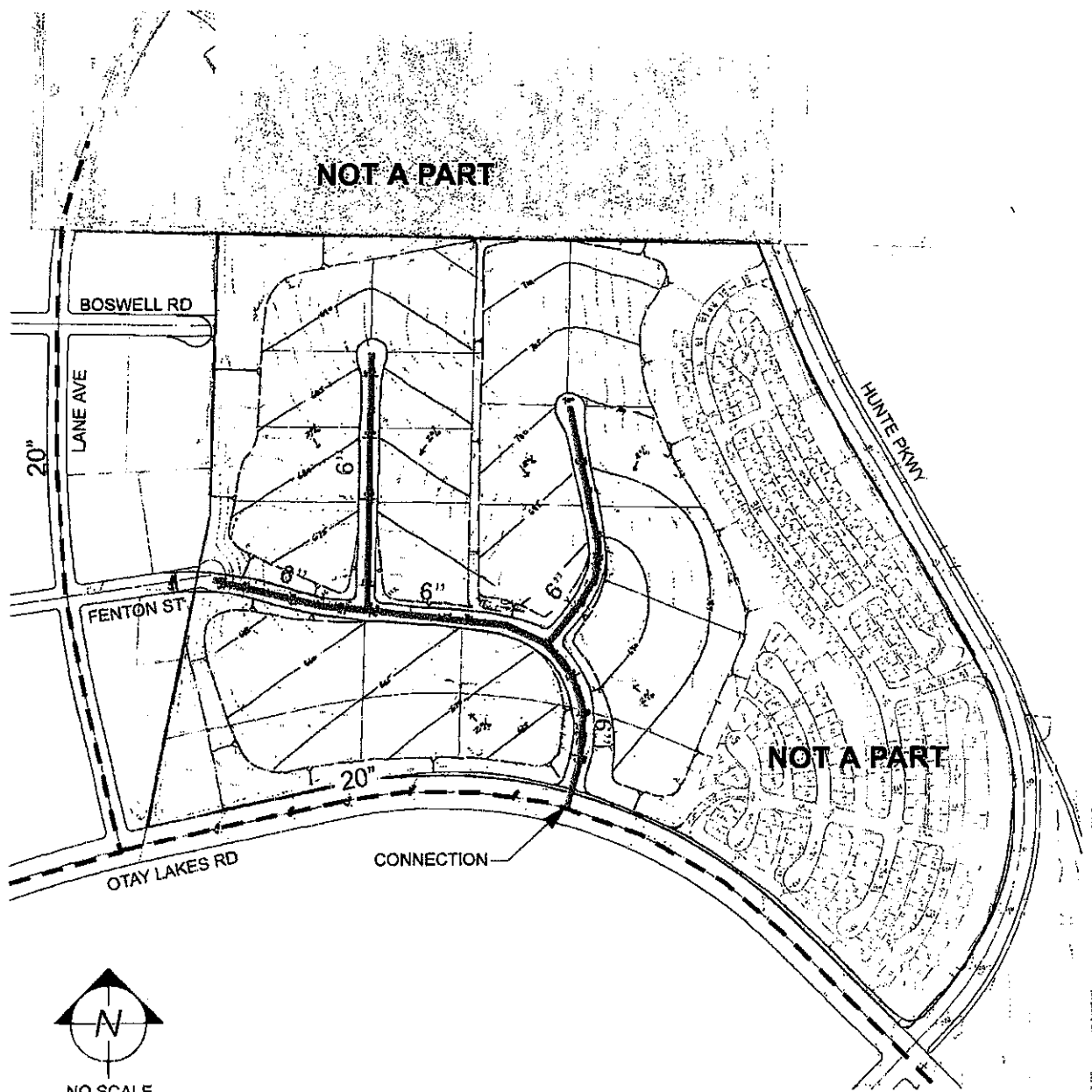
- LEGEND**
- EXISTING 980 ZONE
  - PHASE 1
  - PHASE 2
  - PHASE 3

**EASTLAKE BUSINESS CENTER II  
SUB-AREA WATER MASTER PLAN**

**POTABLE WATER SYSTEM**

**Exhibit 9**

**POWELL**  
P:\131\030\Drawings\131030POT.cdr August 6 1999



**LEGEND**

- EXISTING 950 ZONE
- PROPOSED ON-SITE

**NOTE:**  
 PHASING OF PIPELINES WILL COINCIDE  
 WITH PHASING OF POTABLE WATER  
 PIPELINES AS SHOWN ON FIGURE 3.2

**EASTLAKE BUSINESS CENTER II  
 SUB-AREA WATER MASTER PLAN**

**RECYCLED WATER SYSTEM**

**Exhibit 10**

**POWELL**

P:\131\030\Drawings\131030RW.cdr August 6, 1999

### 5.3.8. SEWER

#### 5.3.8.1. CITY THRESHOLD STANDARDS:

Sewage flows and volumes shall not exceed City Engineering Standards as set forth in the Subdivision Manual, adopted by City Council Resolution, as amended. The City annually provides the San Diego Metropolitan Sewer Authority (“Authority”) with a 12-18 month development forecast and requests confirmation that the projection is within the City's purchased capacity rights and an evaluation of their ability to accommodate the forecast and continuing growth, or the City Engineering Department staff gathers the necessary data.

The information provided to the GMOC includes the following:

- Amount of current capacity now used or committed.
- Ability of affected facilities to absorb forecast growth.
- Evaluation of funding and site availability for projected new facilities.
- Other relevant information.
- ~~The growth forecast and Authority response letters shall be provided to the GMOC for inclusion in its review.~~

#### 5.3.8.2. EXISTING CONDITIONS:

The EastLake Business Center II project is designated and planned for Research & Limited Manufacturing uses. This Supplemental PFFP Amendment addresses the removal of 16.7 acres of Research & Limited Manufacturing and converting it into Commercial Retail. If approved, approximately 84.0 acres of Research & Limited Manufacturing will remain. The project site consists of approximately 104.7 ~~8~~ gross acres, which includes approximately 4.1 acres of streets, with the pads having a net acreage of approximately 74.8 acres. Sewer service is the responsibility of the City of Chula Vista for the project. The City of San Diego Metro provides sewer treatment services for the City of Chula Vista and 14 other participating agencies in accordance with the terms of a multi-agency agreement (Metro Agreement). The City of Chula Vista holds capacity rights of 19.843 mgd in the San Diego Metropolitan Sewerage System (Metro). The City's current average wastewater flow into the Metro system is ~~12.59~~ approximately 18.723 mgd (Preliminary Sewer Report for Salt Creek by Dudek & Associates, September 1999) (GMOC 2007 Annual Report, by the City of Chula Vista dated August 2007). ~~Chula Vista has approximately 7.25 mgd remaining available capacity in the Metro Sewer.~~ The Metro system currently has adequate sewerage treatment capacity to serve the region until approximately 2025 when new treatment facilities are expected to become operational. The City of Chula Vista, however, may reach its contractual capacity limits sooner than 2025. The Metro system treats its sewage at the Point Loma Sewage Treatment Plant.

The EastLake Business Center II project is located mostly within the Telegraph Canyon Gravity Sewer Basin and partially within the Salt Creek Sewer Basin. The City of Chula Vista requires that the sewer system be designed such that no diversion occurs. However,

the City Engineer may approve permanent diversion of certain lots provided specific conditions are met (see Section 5.3.8.3 E )

Most of the ~~proposed~~ development, lots 1 through 12 (approximately 81.5 gross acres), ~~can drain~~ by gravity into the Telegraph Canyon Trunk Sewer located in Otay Lakes Road. This portion of the project ~~can be~~ is served by the existing 15-inch gravity trunk sewer in Otay Lakes Road that extends to a point east of Lane Avenue. A 12-inch gravity sewer line has been installed in Lane Avenue that connects into the sewer line in Otay Lakes Road. The 14-inch force mains from the Otay Lakes Road Sewer Lift Station discharge into the Telegraph Canyon Trunk Sewer east of Lane Avenue. Exhibit 9 provides a map showing the locations of existing facilities.

A portion of the development, lots 13-16 (approximately 26.5 gross acres) on the easterly side of the project, lies within the Salt Creek Sewer Basin. ~~This portion of the development will be required to construct a gravity sewer line to the Salt Creek Intereceptor. As an alternative, lots 13-16 of the~~ However, the site improvements for this area have been constructed and has been development may connected to the Telegraph Canyon Trunk Sewer ~~if the downstream impact can be accurately evaluated and mitigated.~~

#### **5.3.8.3. FACILITY REQUIREMENTS:**

Wilson Engineering completed an Overview of Sewer Service for the EastLake Business Center II project dated October 5, 1999. The facility requirements are were based upon the findings of the aforementioned Wilson Engineering report and the City of Chula Vista Engineering Department.

Lots 1 through ~~12~~ 16 of the EastLake Business Center II project ~~can be~~ are served by gravity sewer lines that ~~will~~ collect flow and convey it westerly in Fenton Street to the existing 12-inch gravity sewer line in Lane Avenue. All ~~proposed~~ 8-inch on-site gravity sewer lines are adequate ~~provided they are~~ and constructed to minimum City of Chula Vista standards. Exhibit 9 provides ~~the recommended~~ an illustration of the on-site sewer facilities.

~~Although sewage flows from lots 13 through 16 could be conveyed to the Telegraph Canyon Trunk Sewer by gravity, the City does not allow the diversion of flows from one sewer basin to another. Sewer service to these lots will be provided either by constructing a gravity sewer line that allows this development to be served by the Salt Creek Intereceptor in the future or by connecting to the Telegraph Canyon gravity collection system. In the later case the Developer will be required to evaluate the impacts that this development has on the downstream reaches of the Telegraph Canyon Intereceptor.~~

All sewage discharged into the Telegraph Canyon Trunk Sewer shall meet the standards established by the Metropolitan Wastewater Department of the City of San Diego. All industrial establishments are required to obtain an Industrial User Discharge Permit or



waiver from the Industrial Wastewater Control Program of the City of San Diego. The sewer service charges for this development will be assessed based on the quantity and quality of effluent that will be generated from the site.

**A. Design Criteria and Sewage Flow Projections**

The design criteria used for the Telegraph Canyon Gravity Sewer Basin is from the City of Chula Vista Subdivision Manual.

**B. Sewage Generation**

The sewage generation factors used to project average day sewage flows from the EastLake Business Center II is 2,500 gallons per day per acre.

**C. Gravity Sewers**

All gravity sewers within the project shall be designed to convey peak wet weather flow. For new pipes with a diameter of 12 inches and smaller, the sewers shall be designed to convey this flow when flowing half full. For new pipes with a diameter larger than 12 inches, the sewers shall be designed to convey peak wet weather flow when flowing three fourths full by depth.

**D. Projected Sewer Flows**

Based on the sewage generation factor presented previously and 74.8 net acres of proposed industrial development on the approximate 104.78 acre site, the projected average sewage flow for the EastLake Business Center II is 0.195 .231 mgd and The the projected peak wet weather flow is 0.43 .461 mgd<sup>7</sup>.

**~~E. Diversion of Sewer Flows~~**

~~If the Developer proposes to divert flows from the Salt Creek Sewer Basin to the Telegraph Canyon Sewer Basin in the development of Lots 12-16, the Developer shall conduct a sewer study. This study shall be submitted to and approved by the City Engineer prior to the development of these lots. The study must demonstrate to the satisfaction of the City Engineer, that there is adequate capacity in the Telegraph Canyon Gravity Sewer Line. Should the study determine, that additional upgrades are needed to mitigate flow generated from Lots 12-16, the Developer shall pay for all upgrade costs beyond those costs already identified in the "Telegraph Canyon Sewer Study by Willdan Associates, dated 1992." The Developer shall pay its fair share of the appropriate Development Impact Fee(s), as determined by the City Engineer.~~

<sup>7</sup> Projected sewerage flows from the Sewer Capacity Study for EastLake Design District by K&S Engineering dated July 27, 2007.

#### 5.3.8.4. FACILITY PHASING

Phases 1A, 1B, 2A and 2B Lots 10-12 of Phase 2B can be are sewered to through the Telegraph Canyon Gravity Trunk Sewer. ~~Lots 13-16 of Phase 2B are within the Salt Creek Sewer Basin. The sewer system shall be designed such that no diversion is allowed.~~

~~Sewer diversion from Salt Creek Sewer Basin to Telegraph Sewer Basin for Lots 13-16 of Phase 2B may be considered and approved by the City Engineer if the following items are resolved to the satisfaction of the City Engineer:~~

- ~~• Conduct a sewer study as determined by the City Engineer, of the entire length of the affected sewer line (Telegraph Canyon Gravity Sewer Line) to demonstrate, to the satisfaction of the City Engineer, that there is adequate capacity in that basin.~~
- ~~• Pay for all upgrade costs beyond those costs already identified in the "Telegraph Canyon Sewer Study by Willdan Associates, dated 1992."~~
- ~~• Pay fair share of the appropriate Development Impact Fee(s), as determined by the City Engineer.~~
- ~~• Based on the sewer study and as deemed necessary by the City Engineer, upgrade, all sewer line segments identified in said study as exceeding City design criteria for acceptable sewer peak flows.~~

#### 5.3.8.5. FINANCING SEWER FACILITIES:

To fund the necessary future improvements to the Telegraph Canyon Trunk Sewer, development impact fees have been established by the City of Chula Vista. The July 31, 1992, Telegraph Canyon Sewer Basin & Improvement and Financing Plan was prepared for the City of Chula Vista by Willdan Associates to establish a fee to fund future improvements to the Telegraph Canyon Interceptor System. This fee is required to be paid by all future developments within the Telegraph Canyon Gravity Sewer Basin to fund improvements required to serve ultimate development within the basin. City of Chula Vista Ordinance Number 2533 established the fee to be paid for future development within the Telegraph Canyon Gravity Sewer Basin that connect into the existing system. ~~The original method of calculating the sewer DIF was by using a factor of 10 EDU's/acre. Using the~~ The current fee is, \$216.50 \$3,478/EDU, ~~the DIF for Lots 1-12-16 within the Telegraph Canyon Sewer Basin is estimated at \$163,728. However, the actual sewer DIF will be calculated on the number of fixture units and is subject periodic adjustments. The number of fixture units for the EastLake Business Center II will be determined during the building permit process.~~

~~A portion of the project (Lots 13-16) lies within the Salt Creek Sewer Basin. If a sewer system serving Lots 13-16 is designed to flow into the Salt Creek Sewer Basin, it will be required to participate in the Salt Creek Gravity Sewer Basin DIF. On December 6, 1994, the Chula Vista City Council adopted Ordinance Number 2617 which established the fee to be paid for future development within the Salt Creek Gravity Sewer Basin.~~

~~Using the current fee, \$284.00/EDU, the DIF for Lots 13-16 within the Salt Creek Gravity Sewer Basin is estimated at \$60,208. However, the actual sewer DIF will be calculated on the number of fixture units, the current fee in effect, and will be determined during the building permit process.~~

~~Subsequent to the aforementioned 1992 Telegraph Canyon Sewer Basin & Improvement and Financing Plan, Willdan & Associates prepared an amended study to address the impacts of pumped flows from other basins and to develop a financing plan to construct the improvements necessitated by these pumped flows. The Telegraph Canyon Pumped Flows DIF is \$560.00/EDU. The DIF for Lots 13-16 within the Salt Creek Gravity Sewer Basin is estimated at \$118,720. Similar to the Salt Creek Gravity Sewer Basin DIF, the actual pumped sewer DIF will be calculated on the number of fixture units, the current fee in effect, and will be determined during the building permit process.~~

~~The EastLake Business Center II project will be subject to most if not all of the aforementioned DIF fees, since the diversion could be treated like permanent pumped flows. The total fees to be paid shall be dependent upon the final sewer system plan.~~

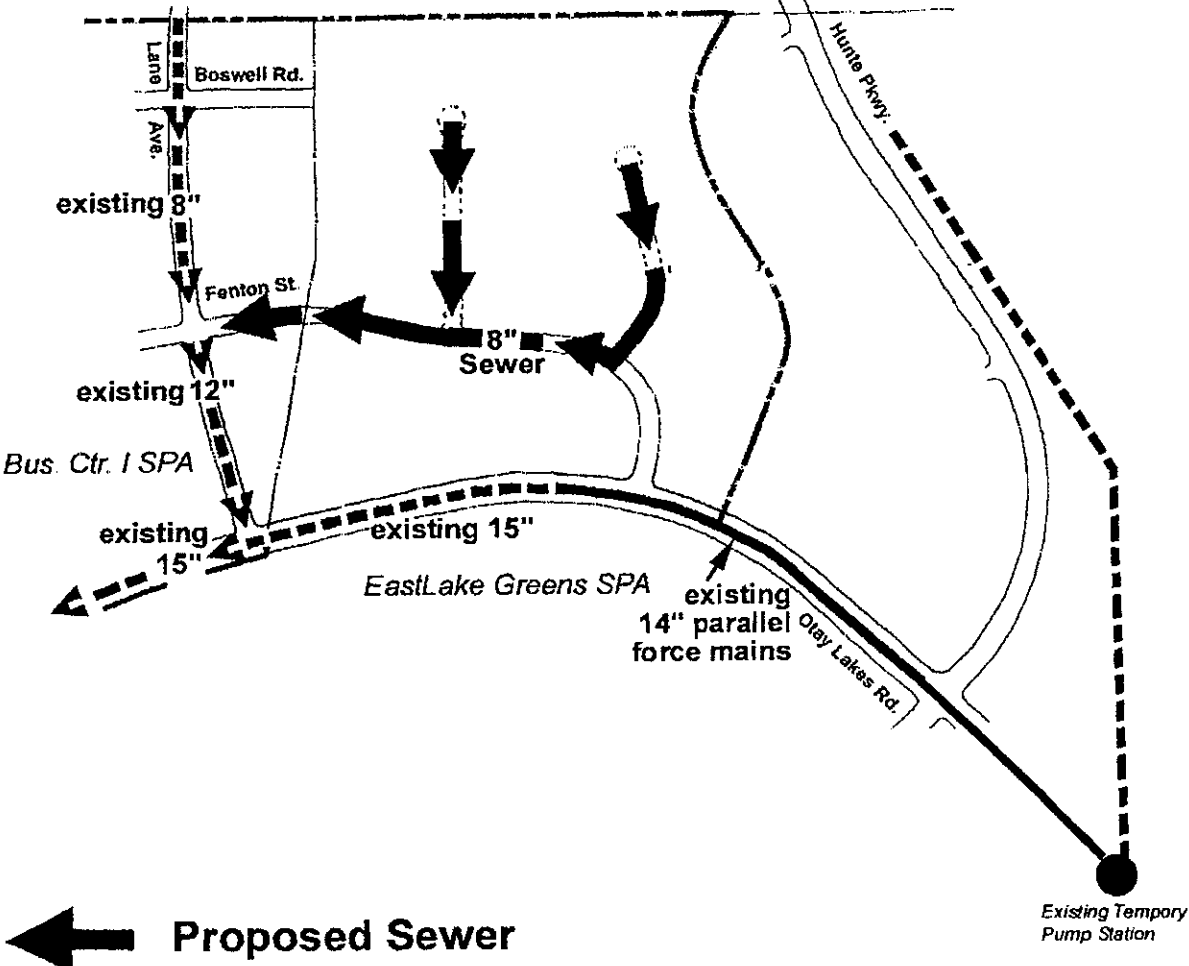
#### **5.3.8.6. THRESHOLD COMPLIANCE:**



The sewer facilities to accommodate sewer flows from the EastLake Business Center II project have been identified. Generally, the City will not allow the design capacity of trunk sewers to be exceeded. If the flows from the project are anticipated to exceed the design capacity of downstream sewers, the City could require the construction of relief lines. In some cases, the City may allow the design capacity but not the hydraulic capacity of sewer lines to be exceeded at peak flow before relief facilities are required.

~~The EastLake Business Center II project shall pay fees pursuant to City of Chula Vista ordinance, or provide trunk sewer improvements, as needed. The development of Phases 1A, 1B and 2A are not anticipated to the EastLake Business Center II project will not exceed City Sewer Threshold Standards. The final map for the development of Phase 2B shall be designed such that no sewer diversion is allowed, however, sewer diversion from Salt Creek Sewer Basin to Telegraph Sewer Basin for Lots 13-16 of Phase 2B may be considered and approved by the City Engineer if the aforementioned items from Section 5.3.8.4. are resolved to the satisfaction of the City Engineer. Sewer fees will be calculated based on the number of fixture units for the EastLake Business Center II project. Sewer fees will be determined during the building permit process.~~

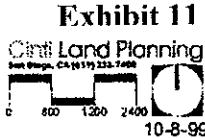
The Metro system currently has adequate sewerage treatment capacity to serve the region until approximately 2025 when new treatment facilities are expected to become operational. The City of Chula Vista, however, may reach its contractual capacity limits sooner than 2025. The developer shall pay capacity fees at building permit issuance. Development shall not occur without adequate sewer capacity as determined by the City Engineer. Building permits will not be issued if the City Engineer has determined that adequate sewer capacity does not exist. All development must comply with the Municipal Code, specifically M.C. Sections 19.09.010 (A) 6 and 13.14.030.

# Sewer Plan



-  **Proposed Sewer**
-  **Existing Sewer**

Note: This plan is conceptual and subject to refinement. Refer to adopted Tentative Tract Map for more precise details and requirements.



### **5.3.9. DRAINAGE**

#### **5.3.9.1. EXISTING CITY THRESHOLD STANDARDS:**

Objectives and thresholds for hydrology have been determined by the City of Chula Vista. The Growth Management Oversight Committee (GMOC) shall annually review impacts to hydrology on an annual basis to determine its ability to meet the City's goals and objectives.

#### **5.3.9.2. EXISTING CONDITIONS:**

A Hydrology Study was performed by Hunsaker & Associates, August 31, 1999, to evaluate the pre-development and post-development flows discharging from the site. According to the Study, approximately 80% of the surface waters on site drains south and west to the Telegraph Canyon Drainage Basin while the remaining 20% drains south and east to into the Salt Creek Drainage Basin. Currently, runoff is conveyed directly to San Diego Bay through the city of Chula Vista.

The project site currently discharges to several outlet locations generally located on the perimeter of the proposed development. Existing drainage improvements in the vicinity of the Business Center II development include an existing 48" and 24" reinforced concrete pipe (RCP) storm drain pipes within Otay Lakes Road. The 48" pipe drains towards the west and is part of the Telegraph Canyon basin. The 24" pipe drains towards the southeast and is part of the Salt Creek basin. In addition, there is an existing 36" RCP storm drain in Boswell Road and an existing 18" RCP storm drain in Fenton Street within the adjacent Business Center I development. Both the Boswell Road and Fenton Street systems drain into the Telegraph Canyon basin system site.

#### **5.3.9.3. DRAINAGE FACILITY REQUIREMENTS:**

Diversion of drainage from one basin to another basin is prohibited. The project shall drain that portion of the site that is within the Telegraph Canyon Drainage Basin (Lots 1 through 12) to existing drainage facilities within Otay Lakes Road and Boswell Road. That portion of the project within the Salt Creek Drainage Basin (Lots 13-16) shall drain to existing drainage facilities within Otay Lakes Road and Hunte Parkway. Exhibit 10 illustrates the proposed project drainage facilities.

**1999 SUPPLEMENTAL PFFP - Storm Drain Facilities:** According to the ~~proposed Tentative Map~~ existing plans the following storm drain facilities ~~are proposed~~ have been constructed:

- Phase 1A, Lots 1 and 6, shall drain to a public storm drain pipe within the proposed Street A. This drain is ~~proposed to be~~ connected to a public storm drain pipe to be located within Fenton Street and drains towards the west. At the subdivision boundary the pipe is directed south, exits the right of way of Fenton Street, and flows south across Lot K to Otay Lakes Road. This pipe connects to the 48" public storm drain pipe located within Otay Lakes Road (Telegraph Canyon Drainage Basin). All ~~future on-site~~ storm drain pipes and facilities will require City Engineer approval.
- Phase 1B, Lots 7 through 10, shall drain to a public storm drain pipe that is ~~proposed to be~~ constructed within Street B and Fenton Street. This pipe will convey runoff towards the west and eventually into the 48" public storm drain pipe located within Otay Lakes Road.
- Phase 2A, Lots 2 through 4, shall drain to a public storm drain pipe to be located within Street A that drains towards the north. This flow is directed into a storm drain pipe that flows west across Lot 1 and Lot B to an existing 42" public storm drain pipe located within Boswell Street (Telegraph Canyon Drainage Basin).
- Phase 2B includes Lots 5, 11 through 16. Lot 5 will drain to the proposed storm drain within Street A that flows north and west towards Boswell Street. Lots 11 and 12 will drain towards a storm drain system within Street B that connects to a pipe within Fenton Street and eventually flows into the 48" public storm drain pipe located within Otay Lakes Road (Telegraph Canyon Drainage Basin). Lots 13, 14, 15 and 16 ~~will not drain towards Street B rather they will~~ drain towards the east into the Salt Creek Drainage Basin.
- The project plans for new development shall demonstrate to the City Engineer that the proposed storm drain system can adequately serve ~~each proposed phase~~ the project

In accordance with the City of Chula Vista Subdivision Manual, the project shall provide on-site detention basins and sediment basins, as necessary. Detention basins shall limit flow rates to pre-development flow rates. Sedimentation basins shall provide adequate storage of sufficient duration to trap transported sediment. The location of proposed detention basins and sedimentation basins shall be delineated on the Grading Plans. All detention basins and sedimentation basins shall be designed to City Standards and to the satisfaction of the City Engineer.

The City of Chula Vista Subdivision Manual requires on-site erosion protection. Erosion protection shall be delineated on Erosion Control Plans that accompany the Grading Plans. All erosion control shall be designed to City Standards and to the satisfaction of the City Engineer.

### **2007 Amendment – Water Quality**

The project shall comply with all provisions of the National Pollutant Elimination System (NPDES) and the Clean Water Program during all phases of development.

Urban runoff discharged from municipal storm water conveyance systems has been identified by local, regional, and national research programs as one of the principal causes of water quality problems in most urban areas. The Municipal Storm Water Pollutant Discharge Elimination System (NPDES) Permit (Municipal Permit), issued on February 21, 2001 (Order No. 2001-01), and renewed on January 24, 2007 (Order No. R9-2007-0001), to the City of Chula Vista, the County of San Diego, the Port of San Diego, and 17 other cities in the region by the San Diego Regional Water Quality Control Board (SDRWQCB), requires the development and implementation of storm water regulations addressing storm water pollution issues in development planning and construction associated with private and public development projects.

The City requires that sufficient information and analysis on how the project will meet the water quality requirements shall be provided as part of the Tentative Map and/or Site Plan review process. In this manner, the type, location, cost, and maintenance characteristics of the selected Best Management Practices BMPs will be given consideration during the project planning and design. Therefore, the City requires that prior to approval of any Tentative Map and/or Site Plan for the project, whichever occurs first, the applicant shall obtain the approval of the City Engineer of a Water Quality Technical Report containing specific information and analysis on how the project will meet the requirements of the City of Chula Vista Storm Water and Discharge Control Ordinance and the NPDES Municipal Permit (including the Final Model SUSMP for the San Diego Region).

During the construction phase, the project will be subject to the requirements of the General Construction Permit. The project will meet the requirements of the General Construction Permit by implementing a site-specific Storm Water Pollution Prevention Plan (SWPPP) and incorporating a combination of onsite source control, Low Impact Development (LID) BMPs and treatment control BMPs for the control of sediment and non-visible pollutants. The site inspection requirements and site-specific Storm Water Sampling and Analysis Strategy (SWSAS) required in the SWPPP will provide recommendations for storm water testing to evaluate the effectiveness of the BMPs. Adjustments to the BMPs will be made as necessary to maintain or improve their effectiveness.

For undeveloped lots within the project area the use of LID BMPs can be effective in minimizing the impact of urban runoff. LID BMPs help preserve and restore the natural hydrologic cycle of the site allowing for filtration and infiltration which can greatly reduce the volume, peak flow rate, velocity, and pollutant loads of urban runoff.

The completed project will incorporate a Post-Construction Storm Water Operation and Management Plan as a requirement for termination of coverage under the General Construction Permit. The completed project will also require treatment of runoff that

occurs during the initial stage of a storm event based on the numeric sizing criteria established in the Municipal Permit adopted by the SDRWQCB on February 21, 2001. The completed project will incorporate a treatment train of non-structural and structural BMPs that may include but are not limited to: property owner education, stenciled inlets, street and parking lot sweeping, landscaping, biofilters, filtration devices, hydrodynamic separators, and/or drainage inserts to meet the applicable requirements of the General Construction Permit, the Municipal Permit, and the Model SUSMP.

Biofilters, grass swales or strips, are flow-based site design BMPs that are designed to remove sediment, heavy metals, and oil and grease from areas such parking lots. Filtration devices are flow-based structural BMPs designed to remove the following pollutants' sediment, nutrients, heavy metals, organic compounds, trash and debris, oxygen demanding substances, bacteria, oil, and grease. Hydrodynamic separators are flow-based structural BMPs designed to remove sediment, trash, and debris. Drainage inserts are flow-based structural BMPs designed to remove trash and debris. Downstream erosion or increased runoff resulting from the construction of this project is being addressed by detention basins that are proposed in Poggi Canyon, Wolf Canyon and Otay Valley Road downstream of proposed storm drain outfalls.

#### **5.3.9.4. FINANCING DRAINAGE FACILITIES:**

- A. On-site facilities: City policy requires that all master planned developments provide for the conveyance of storm waters throughout the project to City Engineering standards. As such, the Developer will be required to construct those facilities through the subdivision exaction process.
- B. Maintenance of On-site facilities: Storm drain facilities not located within the right of way of a public street or easement dedicated to the City of Chula Vista shall be private and maintained by the property owners. These facilities include graded swales, concrete swales, drainage inlets, pipes headwalls, sedimentation basins, detention basins, etc.
- C. Off-site facilities: One or more temporary detention basins may be required for that portion of the site that drains towards Salt Creek and shall be constructed by the Developer.
- D. Maintenance of Off-site facilities: Storm drain facilities constructed to convey, collect, detain or retain runoff from the project, that are not located within the right of way of a public street or easement dedicated to the City of Chula Vista, shall be private and maintained by the property owners. These facilities include graded swales, concrete swales, drainage inlets, pipes headwalls, sedimentation basins, detention basins, etc.



### 5.3.9.5. THRESHOLD COMPLIANCE:

#### **1999 SUPPLEMENTAL PFFP**

The site shall be responsible for the conveyance of storm water flows in accordance with acceptable City standards, policies and requirements. The City Engineering Division shall review all plans to ensure compliance with City Engineering Standards.

The Developer shall provide runoff detention basin and/or other facilities approved by the City Engineer to reduce the quantity of runoff from the development to an amount equal to or less than the present 100-year frequency runoff and demonstrate the adequacy of existing facilities to the satisfaction of the City Engineer.

The Developer shall provide sedimentation basins with adequate storage and sufficient duration to trap transported sediment. All sedimentation basin shall be designed to City Standards and to the satisfaction of the City Engineer.

The Developer shall provide on-site erosion protection. All erosion control shall be designed to City standards and to the satisfaction of the City Engineer.

The proposed development shall comply with all applicable regulations established by the United States Environmental Protection Agency (USEPA) as set forth in the NPDES permit requirements for urban runoff and storm water discharge and any regulations adopted by the City of Chula Vista pursuant to the NPDES regulations or requirements. Further, the applicant shall file a notice of intent with the State Water Resources Control Board to obtain coverage under the NPDES General Permit for Storm Water Discharges Associated with Construction Activity and shall implement a Storm Water Pollution Prevention Plan (SWPPP) concurrent with the commencement of grading activities. The SWPPP shall include both construction and post construction pollution prevention and pollution control measures and shall identify funding mechanisms for post construction control measures.

#### **2007 Amendment**

- A. The EastLake Business Center II Project shall be responsible for the conveyance of storm water flows in accordance with acceptable City standards, policies and requirements. The City Engineering Division shall review all plans to ensure compliance with City Engineering Standards.
- B. The Developer shall design, install and maintain on-site erosion protection. All permanent or temporary erosion control shall be designed to City standards and to the satisfaction of the City Engineer.
- C. The proposed development shall comply with all applicable regulations established by the United States Environmental Protection Agency (USEPA) as set forth in the NPDES permit requirements for urban runoff and storm water discharge and any regulations adopted by the City of Chula Vista pursuant to the NPDES regulations or requirements. Further, the applicant shall file a notice of intent with the State Water Resources Control Board to obtain coverage under the NPDES General Permit for

Storm Water Discharges Associated with Construction Activity and shall implement a SWPPP concurrent with the commencement of grading activities. The SWPPP shall include both construction and post construction pollution prevention and pollution control BMPs and shall identify funding mechanisms for post construction control BMPs.

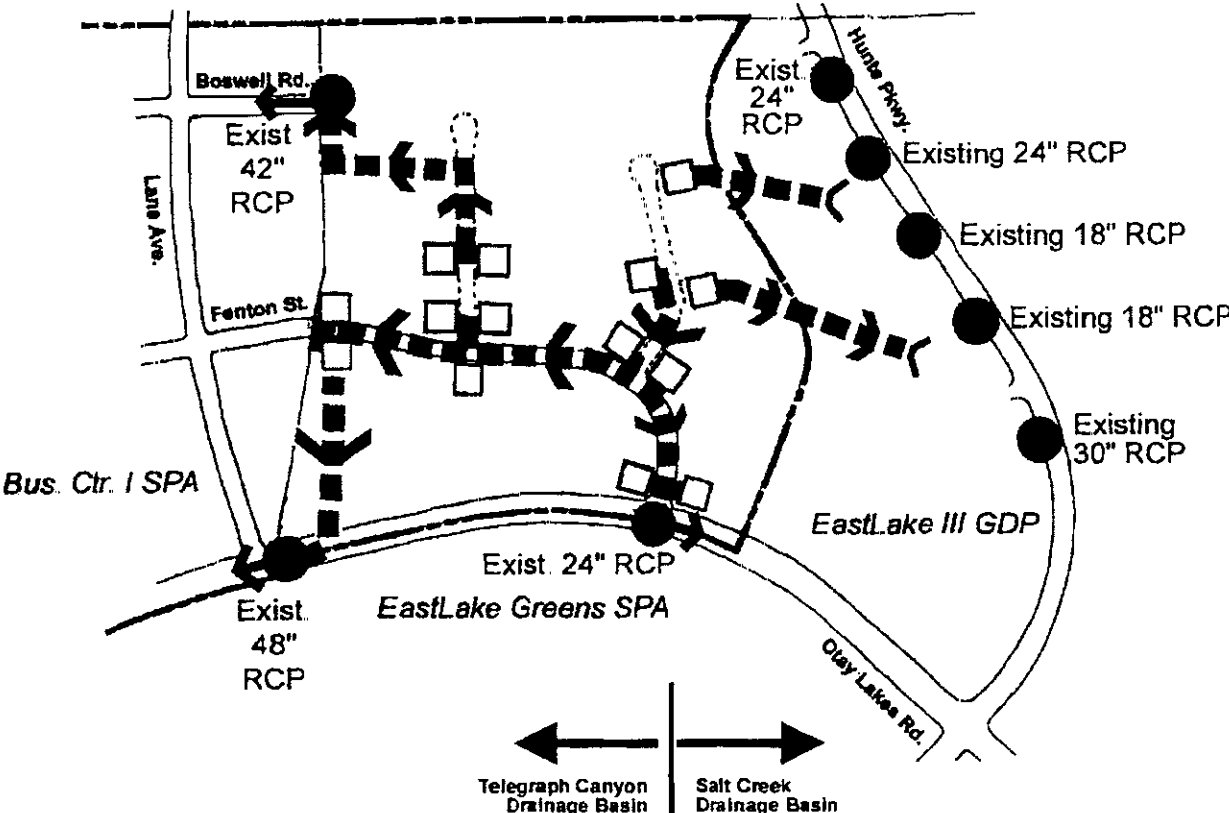
- D. Prior to approval of grading/construction plans for EastLake Business Center II, the Applicant shall obtain either (a) General Construction Activity Storm Water Permit (NPDES Permit No. CAS0108758) from the SWRCB or (b) a municipal permit from the City of Chula Vista that is in effect at the time of issuance of construction/grading permits. Such permits are required for specific (or a series of related) construction activities, which exceed five acres in size and include provisions to eliminate or reduce off-site discharges through implementation of the SWPPP. Specific SWPPP provisions include requirements for erosion and sediment control, as well as monitoring requirements both during and after construction. Pollution control measures also require the use of best available technology, best conventional pollutant control technology, and/or best management practices to prevent or reduce pollutant discharge (pursuant to SWRCB definitions and direction).

The SWPPP also includes specified vehicle fueling and maintenance procedures and hazardous materials storage areas to preclude the discharge of hazardous materials used during construction (e.g., fuels, lubricants, and solvents) and specific measures to preclude spills or contain hazardous materials, including proper handling and disposal techniques and use of temporary impervious liners to prevent soil and water contamination.

- E. Prior to approval of grading/construction plans for EastLake Business Center II, the Applicant shall demonstrate to the satisfaction of the City Engineer compliance with all of the applicable provisions of the Municipal Code, Model SUSMP for the San Diego Region, and the City of Chula Vista SUSMP as may be adopted in the future. The Applicant shall incorporate into the project planning and design effective post-construction BMPs and provide all necessary studies and reports demonstrating compliance with the applicable regulations and standards. All BMPs including LID BMPs shall be identified and implemented that specifically prevent pollution of storm drain systems from the parking lots, and trash collection areas.

- F. Prior to approval of building permits for EastLake Business Center II (as determined by the City Engineer), the Applicant shall submit and obtain approval from the City Engineer of a maintenance program for the proposed post-construction BMPs. The maintenance program shall include, but not be limited to: 1) a manual describing the maintenance activities of said facilities, 2) an estimate of the cost of such maintenance activities, and 3) a funding mechanism for financing the maintenance program. In addition, the Developer shall enter into a Maintenance Agreement with the City to ensure the maintenance and operation of said facilities.

# Storm Water







-  Flow Direction
-  Storm Drain Inlet
-  Connection to Existing System (Outlet)
-  Outlet

EXHIBIT 12



### **5.3.10. AIR QUALITY**

#### **5.3.10.1. CITY THRESHOLD STANDARDS:**

The City annually provides the San Diego Air Pollution Control District (APCD) with a 12 to 18 month development forecast and request an evaluation of its impact on current and future air quality management programs, along with recent air quality data. The growth forecast and APCD response letters must be provided to the GMOC for inclusion in its review.

#### **5.3.10.2. EXISTING CONDITIONS:**

The EastLake Business Center II project is within the San Diego Air Basin (“Basin”). The existing air quality for the Chula Vista area is monitored by the State Air Resources Board at a monitoring station approximately five miles west of the project area. Air quality is usually expressed as the number of days in which the air pollution levels exceed state standards set by the California Air Resources Board (CARB) and federal standards set by the EPA.

Of special concern to CARB and the EPA are the pollutants ozone, carbon monoxide, particulates, nitrogen dioxide, sulfur dioxide and lead. Ozone is the major primary pollutant in the Basin. The Basin is designated by the state and the feds as a “serious” non-attainment area for ozone. In 1994, San Diego exceeded the state standard for ozone on 79 days. No violations of the state standard for carbon monoxide have been recorded since 1991. The Basin is in compliance for particulates and the pollutants nitrogen dioxide, sulfur dioxide and lead.

#### **5.3.10.2. AIR QUALITY IMPROVEMENT PLAN:**

An Air Quality Improvement Plan is required by the city for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDU's of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects which are not processed through a Planned Community Zone. The EastLake Business Center II Air Quality Improvement Plan, as amended, was prepared by Jay Kneip Land Planning (August 9, 1999) and amended August 23, 2007.

According to the EastLake Business Center II Air Quality Improvement Plan, as amended, the future development of the EastLake Business Center II project will be consistent with Regional Air Quality Strategy (RAQS) in the Basin. However, in conformance with the threshold standard, the City will annually provide the San Diego Air Pollution Control District (APCD) with a 12-18 month development forecast. The City will also request an evaluation of its impact on current and future air quality

management programs, along with recent air quality data. The growth forecast and APCD response letters must be provided to the GMOC for inclusion in its annual review.

**5.3.10.2. THRESHOLD COMPLIANCE:**

The City continues to provide a development forecast to the APCD in conformance with the threshold standard. See EastLake Business Center II Air Quality Improvement Plan in the SPA plan.

### 5.3.11. FISCAL:

#### 5.3.11.1. THRESHOLD STANDARD:

- A. The GMOC shall be provided with an annual fiscal impact report which provides an evaluation of the impacts of growth on the City, both in terms of operations and capital improvements. This report should evaluate actual growth over the previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.
- B. The GMOC shall be provided with an annual "economic monitoring report" which provides an analysis of economic development activity and indicators over the next previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.

#### 5.3.11.2. FACILITIES MASTER PLAN:

A fiscal impact analysis amendment prepared by CIC Research, Inc., (see Appendix A) identifies the estimated fiscal impact that the EastLake Business Center II ~~project~~, as amendment, will have on the operation and maintenance budgets of the City of Chula Vista (general fund). The Business Center II project ~~will transfered~~ approximately 104.7 acres of Research and Limited Manufacturing designated land from the EastLake III GDP to the EastLake II GDP. Information pertaining to the scope of development was derived from ~~EastLake Company~~ city staff. The Business Center II ~~project~~ amendment will, provide change approximately 74.8 16.7 net acres of Research and Limited Manufacturing to Commercial Retail; create a 4.6 acre hotel site; create a 5.0 acre office site and retain 18.7 acres of Research and Limited Manufacturing.

The CIC analysis of revenues and expenditures did not include DIF fees. The analysis focused on the city's general fund account for city services. Estimated revenues were from property taxes (secured and unsecured), property transfer tax, sales tax, franchise tax, TOI, business licenses, utility taxes, etc. Estimated expenditures were from police, fire, administration, public works and planning.

~~All values are in 1999 dollars. No annual adjustments to revenues or costs were utilized. The estimated annual flows of costs and revenues are primarily related to the estimated project absorption and street maintenance schedules.~~

~~Annual revenues range from \$81,300 in the first year of development (2000) to \$317,000 at build-out (2002). Expenditures range from \$44,732 in year one to \$177,243 at build-out. The net fiscal impact from developing the Business Center II project is positive in year one (\$36,600) and remains positive to build-out (\$139,800).~~

The methodology used by CIC for the amendment is essentially the same as the previous fiscal impact analysis. Two basic methodologies were utilized in estimating public agency revenues and expenditures; the case study and the average cost/revenue method. The case study method was used to estimate secured property tax the transient occupancy tax (TOT) for the hotel site and some of the estimated sales taxes from the hotel/motel site. The average cost/revenue method develops per unit/acre costs and revenues based on the associated costs/revenues allocated to that land use in the City of Chula Vista. The cost factors used were developed by ERA for the updated 2007 City of Chula Vista Fiscal Model.

CIC estimated that the fiscal revenues will range from \$146,000 in the first year of development (2007) to \$731,300 at build-out (2010). Fiscal expenditures range from \$237,800 in 2007 to \$386,300 at build-out. The net fiscal impact from the Eastlake Business Center II Amendment is negative in 2007 (\$91,800 loss) and 2008 (\$57,400 loss) but becomes positive in 2009 (\$306,500) and is positive at build out (\$345,000). The large positive impact in the final years is due to the hotel development.

**TABLE 5-20  
NET FISCAL IMPACT**

Revenue Sources	Revenues (In Thousands)			
	2007	2008	2009	2010
Secured Property Tax	\$25.5	\$35.0	\$78.7	\$89.3
Unsecured Property Tax	\$6.8	\$9.2	\$15.6	\$18.3
Property Transfer Tax	\$0.9	\$1.2	\$2.9	\$3.3
Sales & Use Tax	\$26.7	\$33.4	\$67.8	\$75.3
Franchise Tax	\$33.9	\$46.2	\$77.9	\$91.6
TOT Tax	\$0.0	\$0.0	\$325.8	\$325.8
Utility Tax	\$32.3	\$44.0	\$74.4	\$87.5
Business License	\$13.3	\$15.2	\$24.7	\$26.8
Miscellaneous Revenues	\$6.6	\$7.6	\$12.3	\$13.4
<b>TOTAL REVENUES</b>	<b>\$146.0</b>	<b>\$191.7</b>	<b>\$680.1</b>	<b>\$731.3</b>
Expenditure Sources	Expenditures (In Thousands)			
	2007	2008	2009	2010
Legislative & Administrative	\$0.6	\$0.7	\$1.1	\$1.1
Development and Maintenance Services	\$80.2	\$84.1	\$110.6	\$115.0
Police	\$114.6	\$120.1	\$191.4	\$197.6
Fire	\$42.4	\$44.3	\$70.5	\$72.6
Cultural and Leisure	\$0.0	\$0.0	\$0.0	\$0.0
Non-Departmental	\$0.0	\$0.0	\$0.0	\$0.0
<b>TOTAL EXPENDITURES</b>	<b>\$237.8</b>	<b>\$249.1</b>	<b>\$373.6</b>	<b>\$386.3</b>
	Net (In Thousands)			
	2007	2008	2009	2010
TOTAL REVENUES	\$146.0	\$191.7	\$680.1	\$731.3
TOTAL EXPENDITURES	\$237.8	\$249.1	\$373.6	\$386.3
<b>NET FISCAL IMPACT</b>	<b>(\$91.8)</b>	<b>(\$57.4)</b>	<b>\$306.5</b>	<b>\$345.0</b>

Source: CIC Research, Inc. November 2007

**5.3.11.3. THRESHOLD COMPLIANCE:**

An analysis of the fiscal impacts of the Business Center II Amendment project development was prepared by CIC Research, Inc. The analysis concluded that the ultimate buildout of the project will have a \$139,800 per year greater positive long-term fiscal impact on the City.

The results of the analysis will be included in the next annual fiscal and economic report prepared for the GMOC.

**5.3.12. CIVIC CENTER:**

**5.3.12.1. CITY THRESHOLD STANDARDS:**

There is no adopted threshold standards for these facilities. The facility information is being provided in this report to aid in establishing operational benchmarks which will determine construction phasing of the Civic Center. These facilities are funded through the collection of the DIF fees in effect at the time building permits are issued.

**5.3.12.2. EXISTING CONDITIONS:**

**CIVIC FACILITIES INVENTORY  
TABLE 5-14**

<u>Existing Civic Center facilities</u>	<u>Square Feet</u>
Civic Center	111,940 s.f.
Previous County Health Center	3,120 s.f.
Future Public Works Inspections Division	1,200 s.f.
Total	116,260 s.f.
Parking Lots	333 spaces

In July of 2001, the final master plan for the renovations to the Civic Center was approved by City Council. Rebuilding the Civic Center will cost approximately \$50 million, which will primarily be funded by development fees (89%). The Civic Center Redevelopment is currently underway and expected to be completed in three phases by 2009.

Recently, the new City Hall Redevelopment, or Phase One of the Civic Center Complex, was completed. Phase Two was the remodeling of the old Police Station for a temporary home for the Planning, Building and Engineering Departments. Phase Three was the rebuilding of the Public Services Building, the permanent home for the Planning, Building and Engineering Departments. The final phase is the construction of a new fire station headquarters on the current Ken Lee Building site and parking lot expansion for the complex.

**5.3.12.3. FACILITY REQUIREMENTS:**

The following table summarizes the Civic Center facility requirements:



**FUTURE FACILITIES  
TABLE 5-15**

<b>FUTURE FACILITIES COST</b>	<b>SIZE</b>	<b>ESTIMATED COST</b>
1. City Hall	25,765 s.f. <sup>8</sup>	\$2,203,300
2. Public Services Facility	40,615 s.f.	\$3,023,500
3. New City Hall Annex	28,925 s.f.	\$3,023,600
4. Legislative Offices	6,000 s.f.	\$1,330,000
5. Subterranean Parking	126 spaces	\$1,008,000
6. Parking Structure	359 spaces	\$2,872,000
7. Demolition	5,920 s.f.	\$83,600
8. Surface Parking	45,425 s.f.	\$227,100
9. Misc. Site Improvements	15,000 s.f.	\$180,000
10. Landscaping	55,000 s.f.	\$698,500
11. Land Acquisition (459 F St.)	-	
12. Master Plan	-	\$65,250
<b>TOTAL</b>		<b>\$15,459,300</b>

**5.3.12.43. ADEQUACY ANALYSIS:**

The need for the Civic Center cannot be easily related to population figures or acres of commercial and industrial land which will be developed in the future. The facilities, according to the master plan, are currently inadequate because of the lack of space. This inadequacy will worsen as employee numbers and their workloads increase in response to demands for services, which are generated by new development. Expansion of the Civic Center Complex is currently underway. This expansion includes space planning, design, and construction that is expected to keep pace with demand for additional work space. The City Hall facilities have been renovated and now include a new state of the art Council Chambers. Consistent with the Master Plan, the expansions and renovations include the conversion of the old Police Station to additional office space, the re-building of the Public Services Building and a new Fire Station Headquarters Building.

~~The City is moving ahead to implement Phase #1 of the Civic Center Master Plan by acquiring additional land to the west of the existing Civic Center for the proposed parking garage.~~

<sup>8</sup> ~~Some of the size figures represents a combination of remodeled existing square footage and newly constructed square footage. The completed civic facilities will total 149,120 square feet with 625 parking spaces.~~

**5.3.12.5-4. FACILITY FINANCING:**

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the current fee schedule as adopted in accordance with Government Code Section 66000. The proposed fee is \$2,618 per equivalent dwelling unit.

The portion of the proposed fee attributable for the Civic Center is \$480/EDU.

The Public Facilities Development Impact Fee (PFDIF) was updated by the Chula Vista City Council on November 19, 2002 by adoption of Ordinance 2887. The PFDIF is adjusted every October 1<sup>st</sup> pursuant to Ordinance 3050, which was adopted by the City Council on November 7, 2006. The current fee for commercial (including office) development is \$25,874/acre and industrial development is \$8,173/acre. The PFDIF amount is subject to change as it is amended from time to time. Area A is built out and will not be obligated to pay PFDIF fees. Area B and C will pay PFDIF fees at the time building permits are obtained. At the current fee rate, the estimated obligation for Area B and C at buildout is \$62,463.00 (see Table 5-20)<sup>9</sup>.

The EastLake Business Center II project will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

**TABLE 5-16  
CIVIC FEE FOR BUSINESS CENTER II**

Development	EDU's	Civic Fee @ \$480/EDU	Civic Center Fee
EastLake Business Center II project	475	\$228,000	\$228,000

**TABLE 5-21  
CIVIC CENTER FEE**

<u>Development Area</u>	<u>Acres</u>	<u>Civic Fee/Industrial Acre</u>	<u>Civic Center Fee</u>
Area B & C	27.36	\$2,283	\$62,463

**5.3.12.6-5. THRESHOLD COMPLIANCE AND RECOMMENDATIONS:**

Civic Center facilities will be have been funded through the collection of the public facilities fees at the rate in effect at the time building permits are were issued. Remaining unbuilt lots in Area B and C will pay current DIF fees at the time building permits are issued.

<sup>9</sup> Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.

**5.3.13. CORPORATION YARD:**

**5.3.13.1. CITY THRESHOLD STANDARDS:**

There is no adopted threshold standards for these facilities. The facility information is being provided in this report to aid in the establishing operational benchmarks which will determine construction phasing of the Corporation Yard. These facilities are funded through the collection of the DIF fees in effect at the time building permits are issued.

**5.3.13.2. EXISTING CONDITIONS:**

The corporation yard is currently operating beyond capacity. New development, with its resultant increase in required maintenance services, creates a need for a larger corporation yard. The new yard may be located east of I-805 because of the availability of centrally located large parcels. The City of Chula Vista Corporate Yard Master Plan provides a detailed assessment of the needed facility, location and costs. Table 5-17 provides a summary of the costs for the proposed new Corporate Yard Facility.

**CORPORATION YARD FACILITY  
TABLE 5-17**

<u>Future Facilities</u>	<u>Cost Estimate</u>
1. New Buildings	\$9,352,700
2. Renovated Buildings	\$2,204,600
3. Bus Wash/Fuel Island/CNG + equipment	\$2,128,200
4. Sitework and demolition	\$2,892,000
<b>Subtotal</b>	<b>\$16,577,500</b>
5. Site acquisition	\$8,830,000
6. Construction Contingency (@ 5%)	\$828,900
7. Architect/Engineer Fees (@ 9%)	\$1,492,000
8. Construction Management	\$497,300
9. Soils Reports, Materials Testing and Inspection	\$240,000
10. Permits	\$165,800
10. Furniture	\$829,100
12. Telecommunications/Data System	\$300,000
<b>Subtotal</b>	<b>\$13,183,100</b>
<b>TOTAL</b>	<b>\$29,760,600</b>

The new 25-acre Corporate Yard Facility was previously an SDG&E equipment and repair facility. The city has renovated and added new improvements for the maintenance and repair of city owned equipment. This facility consists of a renovated building that serves as the administration building for the Corporate Yard. Existing shop buildings have been renovated and new shops have been added as well as a new maintenance building. The Corporate Yard includes parking for employees, city vehicles and equipment. In addition, the new facility includes a Bus Wash/Fuel Island/CNG and associated equipment.

**5.3.13.3. FACILITY REQUIREMENTS:**

The need for the Corporate Yard cannot be easily related to population figures or acres of commercial and industrial land, which will be developed in the future. The growth in

population, increase in street miles and the expansion of developed areas in Chula Vista, requires more equipment for maintenance as well as more space for storage and the administration of increased numbers of employees. The need for a larger Corporation Yard can be specifically related to new development.

**5.3.13.4. FINANCING FACILITY:**

~~In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The proposed fee is \$2,618 per equivalent dwelling unit.~~

The portion of the proposed fee attributable for Corporation Yard Facilities is \$386/EDU. The Public Facilities Development Impact Fee (PFDIF) was updated by the Chula Vista City Council on November 19, 2002 by adoption of Ordinance 2887. The PFDIF is adjusted every October 1<sup>st</sup> pursuant to Ordinance 3050, which was adopted by the City Council on November 19, 2007. The current fee for commercial (including office) development is \$25,874/acre and industrial development is \$8,173/acre. The PFDIF amount is subject to change as it is amended from time to time. Area A is built out and will not be obligated to pay PFDIF fees. Area B and C will pay PFDIF fees at the time building permits are obtained. At the current fee rate, the estimated obligation for Area B and C at buildout is \$88,099.00 (see Table 5-21)<sup>10</sup>.

The EastLake Business Center II project will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

**TABLE 5-18  
CORPORATE YARD FEE FOR BUSINESS CENTER II**

Development	EDU's	Corp. Yard Fee @ \$386/EDU	Corp. Yard Fee For Business Center II
EastLake Business Center II project	475	\$183,350	\$183,350

**TABLE 5-22  
CORPORATE YARD FEE**

<u>Development Area</u>	<u>Acres</u>	<u>Corp. Yard Fee/ Industrial Acre</u>	<u>Corp. Yard Fee</u>
<u>Area B &amp; C</u>	<u>27.36</u>	<u>\$3,220</u>	<u>\$88,099</u>

**5.3.13.5. THRESHOLD COMPLIANCE:**

Civic Center and Corporate Yard facilities will be have been funded through the collection of the public facilities fees at the rate in effect at the time building permits are were issued. Remaining unbuilt lots in Area B and C will pay current DIF fees at the time building permits are issued.

<sup>10</sup> Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.

### 5.3.14. OTHER PUBLIC FACILITIES

#### 5.3.14.1. THRESHOLD STANDARD:

There is no adopted threshold standard for these facilities which are part of the Public; Facilities Development Impact Fee Program and include Administration, GIS, Mainframe Computer Systems, Telephone System Upgrade Telecommunications, and Records Management. The information regarding these capital items is being provided in this section of the PFFP to aid the City and the Developer in calculating the PFDIF fees to be paid by the Business Center II project, as amended.

~~The public facilities identified above are described in the report entitled *Development Impact Fee for Public Facilities* dated April 20, 1993, known as document number C093-075.~~

#### 5.3.14.2. EXISTING CONDITIONS:

The City continues to collect funds from building permit issuance in the Eastern Territories for deposit to the accounts associated with other public facilities. These facilities include administration, records, management, telecommunications, computer systems and GIS.

#### 5.3.14.3. FINANCING OTHER PUBLIC FACILITIES:

This information is being provided to aid the City and the Developer in calculating the level of funds to be received from the payment of fees associated with this "Other Public Facilities" category.

~~In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The proposed fee is \$2,618 per equivalent dwelling unit. The component of the fee attributable to "Other Public Facilities" as described above is \$176.00 per EDU.~~

The Public Facilities Development Impact Fee (PFDIF) was updated by the Chula Vista City Council on November 19, 2002 by adoption of Ordinance 2887. The PFDIF is adjusted every October 1<sup>st</sup> pursuant to Ordinance 3050, which was adopted by the City Council on November 19, 2006. The current fee for commercial (including office) development is \$25,874/acre and industrial development is \$8,173/acre. The PFDIF amount is subject to change as it is amended from time to time. Area A is built out and will not be obligated to pay PFDIF fees. Area B and C will pay PFDIF fees at the time building permits are obtained.

The Business Center II project is within the boundaries of the public facilities DIF program and, therefore, the project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the estimated obligation for Area B and C at buildout is \$14,857.00 (see Table 5-22)<sup>11</sup>

**TABLE 5-19  
PUBLIC FACILITIES FEES FOR OTHER PUBLIC FACILITIES**

<b>Development</b>	<b>EDU's</b>	<b>Other Public Facilities Fee @ \$176.00/EDU</b>
EastLake Business Center II project	475	\$83,600

**TABLE 5-23  
PUBLIC FACILITIES FEES**

<b>Development Area</b>	<b>Acres</b>	<b>Other Public Facility Fee/Industrial Acre</b>	<b>Other Public Facilities Fee</b>
Area B & C	27.36	\$543	\$14,857

**5.3.14.4 THRESHOLD COMPLIANCE AND RECOMMENDATIONS:**

Other Public Facilities ~~will be~~ have been funded through the collection of the public facilities fees at the rate in effect at the time building permits are ~~were~~ issued. Remaining unbuilt lots in Area B and C will pay current DIF fees at the time building permits are issued.

<sup>11</sup> Actual fee may be different, please verify with the City of Chula Vista at the time of building permit.

### **5.3.15. PUBLIC FACILITIES FINANCE**

#### **5.3.15.1 OVERVIEW:**

All development within the City of Chula Vista must be in compliance with the City's Growth Management Program. The appropriate public facility financing mechanisms are required and approved by the City to fund the acquisition, construction and maintenance of public facilities. New facilities will be required to support the planned development of the Business Center II project.

The public facilities are generally provided or financed in one or more of the following ways: Subdivision Exaction, Development Impact Fee and Debt Financing. It is anticipated that all three methods will be utilized for the Business Center II project to construct and finance public facilities.

#### **5.3.15.2. SUBDIVISION EXACTION:**

Developer constructed and financed as a condition of project approval.

##### **Tentative Map Conditions:**

Public improvements for the Business Center II project, ~~as amended, will be were~~ constructed simultaneously with related subdivisions. Through the use of the Subdivision Map Act, it is the responsibility of the Developer to provide ~~for~~ the local street and utility improvements. The use of subdivision conditions and exactions, where appropriate, will ensure that the construction of facilities is timed with actual development. When appropriate, however, the city may impose the use of other public facilities financing mechanisms to finance the public improvements.

#### **5.3.15.3. DEVELOPMENT IMPACT FEE (DIF):**

Funded through the collection of an impact fee. Constructed by the public agency or Developer constructed with a reimbursement or credit against specific fees.

##### **Development Impact Fee Programs**

Development Impact Fees (DIF) are acceptable methods to contribute to the financing of capital improvements within the city of Chula Vista. The EastLake Business Center II project is subject to fees established to help defray costs of facilities which will benefit the ~~Business Center II~~ project. These fees include but may not be limited to:

- A. ~~Eastern Chula Vista~~ Transportation Development Impact Fee (IDIF): ~~Street DIF established~~ Established to provide financing for circulation element road projects of regional significance, ~~in the area east of I-805.~~

- B. Public Facilities Development Impact Fee (PFDIF): ~~Public Facilities DIF established~~ Established to collect funds for civic center facilities, police facility remodeling, corporation yard relocation, libraries, fire suppression system, geographical information system, mainframe computer, telephone system upgrade and a records management system.
- ~~C. Park Acquisition and Development Fees: PAD fee established to pay for the acquisition and development of new park facilities.~~
- ~~D~~ C. Traffic Signal Fees: To pay for traffic signals associated with circulation element streets.
- ~~E~~ D. Telegraph Canyon Gravity Sewer Basin DIF: Fee established to pay for sewer basin improvements due to increased flows from future development.
- ~~F~~ ~~Telegraph Canyon Pumped Sewer DIF: Fee established to pay for system upgrades within the Telegraph Canyon Sewer Basin to accommodate flows generated outside of the basin.~~
- ~~G~~ ~~Telegraph Canyon Basin DIF: Fee established to pay for drainage basin improvements.~~
- ~~H~~ ~~Interim SR 125 DIF: Fee established to pay for certain transportation facilities in the eastern area of Chula Vista to relieve traffic congestion prior to construction of SR 125.~~
- ~~I~~ E. Otay Water District Fees: OWD may require annexation to an existing improvement district or creation of some other finance mechanism that may result in specific fees being modified.

**5.3.15.4. DEBT FINANCE PROGRAMS:**

The City of Chula Vista has a history of using assessment districts to finance a number of street improvements, as well as sewer and drainage facilities. The Otay Municipal Water District has used such improvement districts for water system improvements. Both school districts have implemented Mello-Roos Community Facility Districts to finance school facilities.



**A. Assessment Districts**

Special assessment districts may be proposed for acquiring, constructing and/or maintaining certain public improvements under the Municipal Improvement Act of 1913 and the Improvement Bond Act of 1915. The City has suspended the use of the Lighting and Landscape Act of 1972 for new open space district formation due to the passage of Proposition 218. The administration of the special assessment district is the responsibility of the public agency.

**B. Community Facilities District (CFD)**

On January 13, 1998, the City Council adopted the “City of Chula Vista statement of goals and policies regarding the establishment of Community Facilities Districts” (CFD). The approval of this document ratified the use of CFD’s as a public financing mechanism for:

- The construction and/or acquisition of public infrastructure, and
- The financing of authorized public services, including services provided by open space districts.

On April 28, 1998, the City Council enacted the “Chula Vista Community Facilities District Ordinance.” This ordinance adopted the Mello-Roos Act with modifications to accomplish the following:

- Incorporate all maintenance activities authorized by the “Landscaping & Lighting Act of 1972” (1972 Act) and
- Include maintenance activities not listed in the “Mello-Roos Act” or the “1972 Act.”

Special assessment financing may be appropriate when the value or benefit of the public facility can be assigned to specific properties. Assessments are levied in specific amounts against each individual property on the basis of relative benefit. Special assessments may be used for both publicly dedicated on-site and off-site improvements.

**B C. Mello-Roos Community Facilities Act of 1982**

The Mello-Roos Community Facilities Act of 1982 authorizes formation of community facilities districts which impose special taxes to provide financing for certain public facilities or services. Facilities which can be provided under the Act include the purchase, construction, expansion, or rehabilitation of: Local park, recreation, or parkway facilities; Elementary and secondary school sites and structures; Libraries; and, any other governmental facilities that legislative bodies are authorized to construct, own or operate. In addition, the City has enacted an ordinance that adopted the Mello-Roos Act with modifications to accomplish the maintenance of facilities.

### **5.3.15.5. OTHER METHODS USED TO FINANCE FACILITIES:**

#### **General Fund:**

The City of Chula Vista's general fund serves to pay for many public services throughout the City. Those facilities and services identified as being funded by general fund sources represent those that will benefit not only the residents of the proposed project, but also Chula Vista residents throughout the City. In most cases, other financing mechanisms are available to initially construct or provide the facility or service, then general fund moneys would only be expected to fund the maintenance costs once the facility is accepted by the City.

#### **State and Federal Funding**

Although rarely available to fund an entire project, Federal and State financial and technical assistance programs have been available to public agencies, in particular the public school districts.

The City was recently awarded a \$6 million State Grant to construct the Montgomery/Otay Library.

#### **Dedications**

Dedication of sites by Developers for public capital facilities is a common financing tool used by many cities. In the case of the EastLake Business Center II project, the project will dedicate public streets.

#### **Developer Reimbursement Agreements**

Certain facilities that are off-site of the EastLake Business Center II project and/or provide regional benefits may be constructed in conjunction with the development of the project. In such instances, developer reimbursement agreements may be executed to provide for a future payback to the Developer for the additional cost of these facilities. Future developments are required to pay back their fair share of the costs for the shared facility when development occurs.

#### **Special Agreements/Development Agreement**

This category includes special development programs for financing special arrangements between the City and the Developer such as credits against fees, waiver of fees, or charges for the construction of specific facilities.

A development agreement can play an essential role in the implementation of the Public Facilities Financing Plan. The Public Facilities Financing Plan clearly details all public facility responsibilities and assures that the construction of all necessary public

improvements will be appropriately phased with actual development, while the development agreement identifies the obligations and requirements of both parties.

#### **5.3.15.6. Cumulative Debt**

The City of Chula Vista has an established policy limiting the maximum debt to be placed on a residential dwelling unit to an additional one percent above the property tax. This policy was restated in the adopted Growth Management Program.

Like many other cities, Chula Vista has long understood that it is not the only agency which can utilize public finance mechanisms and, therefore, can not always guarantee that the total debt will remain at or below a maximum of 2 percent. The City needs to coordinate its debt finance programs with the other special districts which provide service to the residents of Chula Vista to ensure that the cumulative debt does not become excessive. Coordination is also necessary to guarantee all public facilities needed to support a development can be financed and constructed as needed.

This project does not include any Assessment Districts. All required supporting infrastructure is being paid by the Developer.

#### **5.3.15.7. LIFECYCLE COST**

Section 19.09.060 Analysis subsection F(2) of the Growth Management Ordinance requires the following:

"...The inventory shall include Life Cycle Cost ("LCC") projections for each element in 19.09.060(E) ... as they pertain to City fiscal responsibility. The LCC projections shall be for estimated life cycle for each element analyzed. The model used shall be able to identify and estimate initial and recurring life cycle costs...

#### **Background**

Life Cycle Costing (LCC) is a method of calculating the total cost of asset ownership over the life span of the asset. Initial costs and all Subsequent expected costs of significance are included in the LCC analysis as well as disposal value and any other quantifiable benefits to be derived as a result of owning the asset. Operating and maintenance costs over the life of an asset often times far exceed initial costs and must be factored into the decision process.

LCC analysis should not be used in each and every purchase of an asset. The process itself carries a cost and therefore can add to the cost of the asset. LCC analysis can be justified only in those cases in which the cost of the analysis can be more than offset by the savings derived through the purchase of the asset.

Four major factors which may influence the economic feasibility of applying LCC analysis are:

1. Energy Intensiveness - LCC should be considered when the anticipated energy costs of the purchase are expected to be large throughout its life.
2. Life Expectancy - For assets with long lives (i.e., greater than five years), costs other than purchase price take on added importance. For assets with short lives, the initial costs become a more important factor.
3. Efficiency - The efficiency of operation and maintenance can have significant impact on overall costs. LCC is beneficial when savings can be achieved through reduction of maintenance costs.
4. Investment Cost - As a general rule, the larger the investment the more important LCC analysis becomes.

### **Applications for LCC Analysis**

The City of Chula Vista currently utilizes LCC analysis in determining the most cost effective purchase of capital equipment as well as in the determination of replacement costs for a variety of rolling stock. The use of LCC techniques takes place in the preparation of the City's Five Year Capital Improvement Budget (CIP) as well as in the Capital Outlay sections of the annual Operating Budget.

There are no project facilities that are not covered by LCC analysis. In these existing processes, the City should require the use of LCC analysis prior to or concurrent with the design of public facilities required by new development. Such a requirement will assist in the determination of the most cost effective selection of public facilities.

**Table 5-20  
EastLake Business Center II Summary of Facilities**

Facility	Facility Description	Fee Estimate	DIF Program	Timing	Funding Source	Financing Method
Transportation	Transportation Facilities	\$10,494,750	Transportation Facilities in Eastern Territories	Concurrent w/ Building Permit	DIF const./ exaction <sup>1</sup>	Fee Program
	Interim Pre-SR-125	\$2,152,500	Interim Pre-SR-125	"	DIF exaction	Fee Program
	Traffic Signal	\$115,830	Traffic Signal Fee	"	DIF exaction	Fee Program
<b>Subtotal</b>		<b>\$12,647,250</b>				
Potable Water	980 Zone	To be Determined by OWD	City DIF fees do not apply to the OWD	Concurrent w/ Final Map	OWD-CIP Fees	Capacity Fees and Exactions
Recycle Water	950 Zone	To be Determined by OWD	City DIF fees do not apply to the OWD	Concurrent w/ Final Map	OWD-CIP Fees	Capacity Fees and Exactions
Sewer	Lots 1-12 Telegraph Cyn. Gravity Sewer	\$163,728 <sup>1,2</sup>	Telegraph Cyn. Gravity Sewer Basin DIF	Concurrent w/ Building Permit	CIP/Development	Fee Program
	Lots 13-16 Salt Creek Gravity Sewer	\$60,208	Salt Creek Gravity Sewer Basin DIF	Concurrent w/ Building Permit	CIP/Development	Fee Program
	Lots 13-16 Tel Cyn. Pumped Flows	\$118,720	Telegraph Canyon Pumped Flows DIF	Concurrent w/ Building Permit	CIP/Development	Fee Program
Drainage	Connect to exist. SD	Unknown	No Drainage DIF	Per Ordinance	Developer funded	Subdivision exaction
Schools	No specific facility	N/A	DIF not required for schools.	Concurrent w/ Final Map	Mello-Rees CFD	CFD
Parks	Park dedication & construction	N/A	Park Acquisition & Development (PAD) Fees	Pay @ Bldg Permit	\$2990/EDU PAD Fees	Fee Program
Library	Pay-PFDIF Fee	N/A	Public Facilities-DIF	Pay @ Bldg Permit	\$638/EDU	Fee Program
Fire & EMS	Pay-PFDIF Fee	\$96,425	Public Facilities-DIF	Pay @ Bldg Permit	\$203/EDU	Fee Program
Police	Pay-PFDIF Fee	\$349,125	Public Facilities-DIF	Pay @ Bldg Permit	\$735/EDU	Fee Program
Civic	Pay-PFDIF Fee	\$228,000	Public Facilities-DIF	Pay @ Bldg Permit	\$480/EDU	Fee Program
Corporate Yard	Pay-PFDIF Fee	\$183,350	Public Facilities-DIF	Pay @ Bldg Permit	\$386/EDU	Fee Program
Other	Pay-PFDIF Fee	\$83,600	Public Facilities-DIF	Pay @ Bldg Permit	\$176/EDU	Fee Program
<b>Total</b>		<b>\$13,930,406</b>				

<sup>1,2</sup> This is an estimated fee. The actual fee will be calculated at the time of permit issuance.

**Table 5-24**  
**EastLake Business Center II Supplemental PFFP Amendment**  
**Summary of Estimated Fees and Facilities for Area B & C**

<u>Facility</u>	<u>Facility Description</u>	<u>Fee Estimate</u> <sup>13</sup>	<u>DIF Program</u>	<u>Timing</u>	<u>Funding Source</u>	<u>Financing Method</u>
Transportation	Transportation Facilities	\$2,358,924	Transportation Facilities in Eastern Territories	Concurrent w/ Building Permit	DIF const./ exaction	Fee Program
	Traffic Signal	\$268,085 <sup>14</sup>	Traffic Signal Fee (\$27.70)	"	DIF exaction	Fee Program
<b>Subtotal</b>		<b>\$2,627,009</b>				
Potable Water	980 Zone	To be Determined by OWD	City DIF fees do not apply to the OWD	Concurrent w/ Final Map	OWD CIP Fees	Capacity Fees and Exactions
Recycle Water	950 Zone	To be Determined by OWD	City DIF fees do not apply to the OWD	Concurrent w/ Final Map	OWD CIP Fees	Capacity Fees and Exactions
Sewer	Telegraph Cyn. Gravity Sewer	Unknown	Telegraph Cyn. Gravity Sewer Basin DIF	Concurrent w/ Building Permit	CIP/Development	Fee Program
Drainage	Connect to exist. SD	Unknown	No Drainage DIF	Per Ordinance	Developer funded	Subdivision exaction
Schools	No specific facility	N/A	DIF not required for schools	Concurrent w/ Final Map	Mello-Roos CFD	CFD
Parks	Park dedication & construction	N/A	Park Acquisition & Development (PAD) Fees	Pay @ Bldg Permit	PAD Fees	Fee Program
Library	Pay PFDIF Fee	N/A	Public Facilities DIF	Pay @ Bldg Permit	N/A	Fee Program
Fire & EMS	Pay PFDIF Fee	\$16,470	Public Facilities DIF	Pay @ Bldg Permit	\$602/AC	Fee Program
Police	Pay PFDIF Fee	\$41,724	Public Facilities DIF	Pay @ Bldg Permit	\$1,525/AC	Fee Program
Civic	Pay PFDIF Fee	62,463	Public Facilities DIF	Pay @ Bldg Permit	\$2,283AC	Fee Program
Corporate Yard	Pay PFDIF Fee	\$88,099	Public Facilities DIF	Pay @ Bldg Permit	\$3,220/AC	Fee Program
Other	Pay PFDIF Fee	\$14,857	Public Facilities DIF	Pay @ Bldg Permit	\$543/AC	Fee Program
<b>Total</b>		<b>\$2,850,622</b>				

<sup>13</sup> This is an estimated fee. The actual fee will be calculated at the time of permit issuance.

<sup>14</sup> Fees based on the worst case (see Tables 5-5 and 5-6). The actual fee will be calculated at the time of permit issuance.

**APPENDIX A**  
**FISCAL IMPACT ANALYSIS**

**APPENDIX A  
EASTLAKE BUSINESS CENTER II  
FISCAL IMPACT ANALYSIS AMENDMENT  
BY CIC RESEARCH**



## AMENDMENT TO FISCAL IMPACT REPORT

The purpose to this amendment is to determine the fiscal impact of the new land use designations for the remaining 45 acres of the Eastlake Industrial Center. The land use is changing from industrial to 16.7 acres of commercial retail, 5 acres of office, and 4.6 acres of hotel/motel. There will be 18.7 acres of industrial land remaining from the original 45 acres. A brief description of the methodology of the study and a summary of the results are presented in this report. Detailed tables of the fiscal impact analysis are immediately following this summary report.

### **Methodology**

The methodology is essentially the same as the previous fiscal impact analysis. Two basic methodologies were utilized in estimating public agency revenues and expenditures; the case study and the average cost/revenue method. The case study method is based on specific characteristics of the project from which revenues can be estimated. The case study method was used to estimate secured property tax, the transient occupancy tax (TOT) for the hotel/motel site and some of the estimated sales taxes from the hotel/motel site. The average cost/revenue method develops per unit/acre costs and revenues based on the associated costs/revenues allocated to that land use in the City of Chula Vista. This method was used for all costs and the remainder of the revenue categories. The cost factors used were developed by ERA for the updated 2007 City of Chula Vista Fiscal Model.

### **Summary of Results**

The following table presents the results of the fiscal impact associated with the Eastlake commercial development. Fiscal revenues range from \$146,000 in the first year of development (2007) to \$731,300 at build-out (2010). Fiscal expenditures range from \$237,800 in 2007 to \$386,300 at build-out. The net fiscal impact from developing the Eastlake II Annexation is negative in 2007 (\$91,800 loss) and 2008 (\$57,400 loss) but becomes positive in 2009 (\$306,500) and is positive at build out (\$345,000). The large positive impact in the final years is due to the hotel/motel development.

**EASTLAKE BUSINESS CENTER II AMENDMENT  
NET FISCAL IMPACT**

Revenue Sources	Revenues (In Thousands)			
	2007	2008	2009	2010
Secured Property Tax	\$25.5	\$35.0	\$78.7	\$89.3
Unsecured Property Tax	\$6.8	\$9.2	\$15.6	\$18.3
Property Transfer Tax	\$0.9	\$1.2	\$2.9	\$3.3
Sales & Use Tax	\$26.7	\$33.4	\$67.8	\$75.3
Franchise Tax	\$33.9	\$46.2	\$77.9	\$91.6
TOT Tax	\$0.0	\$0.0	\$325.8	\$325.8
Utility Tax	\$32.3	\$44.0	\$74.4	\$87.5
Business License	\$13.3	\$15.2	\$24.7	\$26.8
Miscellaneous Revenues	\$6.6	\$7.6	\$12.3	\$13.4
<b>TOTAL REVENUES</b>	<b>\$146.0</b>	<b>\$191.7</b>	<b>\$680.1</b>	<b>\$731.3</b>

Expenditure Sources	Expenditures (In Thousands)			
	2007	2008	2009	2010
Legislative & Administrative	\$0.6	\$0.7	\$1.1	\$1.1
Development and Maintenance Services	\$80.2	\$84.1	\$110.6	\$115.0
Police	\$114.6	\$120.1	\$191.4	\$197.6
Fire	\$42.4	\$44.3	\$70.5	\$72.6
Cultural and Leisure	\$0.0	\$0.0	\$0.0	\$0.0
Non-Departmental	\$0.0	\$0.0	\$0.0	\$0.0
<b>TOTAL EXPENDITURES</b>	<b>\$237.8</b>	<b>\$249.1</b>	<b>\$373.6</b>	<b>\$386.3</b>

	Net (In Thousands)			
	2007	2008	2009	2010
TOTAL REVENUES	\$146.0	\$191.7	\$680.1	\$731.3
TOTAL EXPENDITURES	\$237.8	\$249.1	\$373.6	\$386.3
<b>NET FISCAL IMPACT</b>	<b>(\$91.8)</b>	<b>(\$57.4)</b>	<b>\$306.5</b>	<b>\$345.0</b>

Source: CIC Research, Inc. November 2007

**EASTLAKE BUSSINESS CENTER II AMENDMENT  
FISCAL IMPACT  
DETAILED TABLES**

Table 1  
ABSORPTION SCHEDULE BY LAND USE

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Developed and Occupied Units/Net Acres				
		2007	2008	2009	2010	Total
Total Industrial Acres	\$1,456	0 0	6.0	12 0	18 7	18 7
Total Commercial Retail Acres	\$1,409	16 7	16 7	16 7	16 7	16 7
Total Commercial Office Acres	\$3,317	0 0	0 0	5 0	5 0	5 0
Total Commercial Hotel Acres	\$3,261	0.0	0.0	4.6	4.6	4.6
<b>Total Acres</b>		16 7	22 7	28 7	45 0	45 0

Table 2  
ASSESSED VALUE

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Assessed Value(000's)			
		2007	2008	2009	2010
Total Industrial Acres	\$1,456	\$0	\$8,736	\$17,472	\$27,227
Total Commercial Retail Acres	\$1,409	\$23,530	\$23,530	\$23 530	\$23 530
Total Commercial Office Acres	\$3,317	\$0	\$0	\$16 585	\$16,585
Total Commercial Hotel Acres	\$3,261	\$0	\$0	\$15,001	\$15,001
<b>Total Acres</b>		\$23,530	\$32,266	\$72,588	\$82,343

Table 3  
Secured Property Tax Revenue (000s)

2006 Budget For Secured Property Tax	\$19,193,563				
		Secured Property Tax Revenue (000s)			
<b>SECURED PROPERTY TAX REVENUES</b>		2007	2008	2009	2010
Total Assessed Values		\$23,530	\$32,266	\$72,588	\$82,343
Tax Rate	1.0%	\$235	\$323	\$726	\$823
<b>Total Chula Vista Share*</b>	<b>10.844%</b>	<b>\$25.5</b>	<b>\$35.0</b>	<b>\$78.7</b>	<b>\$89.3</b>

\* Derived from discussions with the County Assessors Office, the City receives 10.844 % of the 1% property tax collected on the subject property

Table 4  
Unsecured Property Tax Revenue (000's)

2006 Budget For Unsecured Property Tax	\$840,000					
		Unsecured Property Tax Revenue (000's)				
<b>UNSECURED PROPERTY TAX</b>		Tax Per Acre	2007	2008	2009	2010
Total Industrial Acres	\$405	\$0 0	\$2 4	\$4 9	\$7 6	
Total Commercial Retail Acres	\$405	\$6 8	\$6.8	\$6.8	\$6 8	
Total Commercial Office Acres	\$405	\$0 0	\$0.0	\$2 0	\$2 0	
Total Commercial Hotel Acres	\$405	\$0.0	\$0.0	\$1.9	\$1.9	
<b>Total Unsecured Property Tax</b>			<b>\$6.8</b>	<b>\$9.2</b>	<b>\$15 6</b>	<b>\$18 3</b>

Table 5  
ESTIMATED PROPERTY TRANSFER TAX REVENUES

2006 Budget  
For Property Transfer Tax \$2,407,777

Industrial/Commercial Resale Ratio (14 years) 0 00003929

Product	Tax Per Acre	Property Transfer Tax (000s)			
		2007	2008	2009	2010
Total Industrial Acres	\$59	\$0 0	\$0 3	\$0 7	\$1 1
Total Commercial Retail Acres	\$54	\$0 9	\$0 9	\$0 9	\$0 9
Total Commercial Office Acres	\$140	\$0 0	\$0 0	\$0 7	\$0 7
Total Commercial Hotel Acres	\$130	\$0.0	\$0.0	\$0.6	\$0.6
<b>Total Property Transfer Tax</b>		<b>\$0 9</b>	<b>\$1 2</b>	<b>\$2 9</b>	<b>\$3 3</b>

Table 6  
ESTIMATED SALES TAX REVENUES

Sales Taxes From New Demand

Sales Taxes Collected 2006	\$ 26,788,000
Estimated Non-Local Demand %	280%
Estimated Local Demand	\$ 19 287,360

Local Demand Breakdown

Residential	75%
Commercial (including Office and Hotel)	10%
Industrial	5%
Other (Government Schools etc)	10%

Total Local Demand

Commercial (including Office and Hotel)	\$ 1,928,736
Industrial	\$ 964 368
Per Acre	
Commercial (including Office and Hotel)	\$ 1 598
Industrial	\$ 1 112

Additional Sales Tax From Hotel/Motel Guests\*

Avg. Daily Spending Per Capita Hotel/Motel Visitor - Excluding Lodging Expense	\$ 94 51
Hotel/Motel - Excluding Lodging Expense And Adjusted By Lodging Rate	\$ 91 60
Estimated Percentage of Expenditures Taxable in Chula Vista	37%
Number of Rooms	150
Estimated Occupancy Rate	67%
Taxable Sales	\$ 1 243,248
Tax Rate to City of Chula Vista	1%
Estimated Annual Sales Taxes From Eastlake Hotel/Motel	\$ 12,432
Per Acre Estimate Of Sales Taxes Generated By Visitors	\$ 2 703

2006 Budget  
For Sales Tax \$26,788,000

Land Use	Sales Tax Per Unit/Acre	City of Chula Vista's Share of Sales Tax (000s)			
		2007	2008	2009	2010
Total Industrial Acres	\$1,112	\$0 0	\$6 7	\$13 3	\$20 8
Total Commercial Retail Acres	\$1,598	\$26 7	\$26 7	\$26 7	\$26 7
Total Commercial Office Acres	\$1,598	\$0 0	\$0 0	\$8 0	\$8 0
Total Commercial Hotel Acres	\$4,301	\$0.0	\$0.0	\$19.8	\$19.8
<b>Total Sales Tax</b>		<b>\$26 7</b>	<b>\$33 4</b>	<b>\$67 8</b>	<b>\$75 3</b>

Visitor spending is based on CIC Research's "2006 San Diego Visitor Survey" conducted for San Diego CONVIS

Table 7  
ESTIMATED FRANCHISE FEES

2006 Budget  
For Franchise Fees \$6,700,000

Land Use	Per Acre	Franchise Fee Revenue (000's)			
		2007	2008	2009	2010
Total Industrial Acres	\$2,047	\$0.0	\$12.3	\$24.6	\$38.3
Total Commercial Retail Acres	\$2,027	\$33.9	\$33.9	\$33.9	\$33.9
Total Commercial Office Acres	\$2,027	\$0.0	\$0.0	\$10.1	\$10.1
Total Commercial Hotel Acres	\$2,027	\$0.0	\$0.0	\$9.3	\$9.3
<b>Total Franchise Fees</b>		<b>\$33.9</b>	<b>\$46.2</b>	<b>\$77.9</b>	<b>\$91.6</b>

Table 8  
ESTIMATED TRANSIENT OCCUPANCY TAX

Number of rooms	150
Estimated Room Rate*	\$ 85
Occupancy Rate*	70%
Number of Days	365
Yearly Room Sales	\$ 3,257,625
T.O. Tax Rate	10%
Estimated T.O. Tax	\$ 325,763
Per Acre	\$ 70,818

2006 Budget  
For Transient Occupancy Tax \$2,410,301

Land Use	TOT per Unit/Net Acre	Transient Occupancy Tax (000's)			
		2007	2008	2009	2010
Total Hotel Acres	\$70,818	\$0.0	\$0.0	\$325.8	\$325.8
<b>Total Transient Occupancy Tax</b>		<b>\$0.0</b>	<b>\$0.0</b>	<b>\$325.8</b>	<b>\$325.8</b>

\* Estimated room rate and occupancy rate was based on Smith Travel Research, Annual 2006, which reported the following:  
Occupancy Rate: South and East SD County 69%; SD County Midprice 70%; SD County 150 Room 75%  
Room Rate: South and East SD County \$64; SD County Midprice \$91; SD County 150 Room \$131  
Estimates reflect a conservative approach to forecasting room rates and occupancy rate.

Table 9  
ESTIMATED UTILITY TAX

1999/2000 Budget  
For Utility Tax \$6,400,000

	Tax per Unit/Net Acre	Utility Tax Revenue (000's)			
		2007	2008	2009	2010
Total Industrial Acres	\$1,955	\$0.0	\$11.7	\$23.5	\$36.6
Total Commercial Retail Acres	\$1,936	\$32.3	\$32.3	\$32.3	\$32.3
Total Commercial Office Acres	\$1,936	\$0.0	\$0.0	\$9.7	\$9.7
Total Commercial Hotel Acres	\$1,936	\$0.0	\$0.0	\$8.9	\$8.9
<b>Total Utility Tax</b>		<b>\$32.3</b>	<b>\$44.0</b>	<b>\$74.4</b>	<b>\$87.5</b>

Table 10  
ESTIMATED BUSINESS LICENSE REVENUE

2006 Budget  
For Business License Tax \$1,229,948

Land Use	Average Business License Fee Per Acre	Business License Fees (000's)			
		2007	2008	2009	2010
Total Industrial Acres	\$312	\$0.0	\$1.9	\$3.7	\$5.8
Total Commercial Retail Acres	\$795	\$13.3	\$13.3	\$13.3	\$13.3
Total Commercial Office Acres	\$795	\$0.0	\$0.0	\$4.0	\$4.0
Total Commercial Hotel Acres	\$795	\$0.0	\$0.0	\$3.7	\$3.7
<b>Total Business License Tax</b>		<b>\$13.3</b>	<b>\$15.2</b>	<b>\$24.7</b>	<b>\$26.8</b>

Table 11  
ESTIMATED MISCELLANEOUS REVENUES

2006 Budget	Total Budget	Allocation of Budget			Per House Unit	Per Comm Acre	Per Ind Acre
		Residential	Commercial	Industrial			
Animal License & Bicycle Licenses	\$108,677	\$108,677			\$1.46		
Motor Vehicle Licenses	\$16,800,000	\$16,800,000			\$225.18		
Gas Tax	\$3,858,091	\$3,375,830	\$366,519	\$115,743	\$45.25	\$303.74	\$133.42
Law Enforcement Fines	\$279,645	\$279,645			\$3.75		
Other Fines	\$411,565	\$308,674			\$4.14		
Parking Citations	\$574,183	\$430,637	\$109,095	\$25,838	\$5.77	\$90.41	\$29.78
Charges for Current Services Recreation Program	\$900,000	\$900,000			\$12.06		
<b>Total Misc. Revenue</b>	<b>\$22,932,161</b>	<b>\$22,203,463</b>	<b>\$475,613</b>	<b>\$141,581</b>	<b>\$297.61</b>	<b>\$394.15</b>	<b>\$163.20</b>

Land Use	Per Unit/Acre	Miscellaneous Revenue (000's)			
		2007	2008	2009	2010
Total Industrial Acres	\$163	\$0.0	\$1.0	\$2.0	\$3.1
Total Commercial Retail Acres	\$394	\$6.6	\$6.6	\$6.6	\$6.6
Total Commercial Office Acres	\$394	\$0.0	\$0.0	\$2.0	\$2.0
Total Commercial Hotel Acres	\$394	\$0.0	\$0.0	\$1.8	\$1.8
<b>Total Miscellaneous Revenues</b>		<b>\$6.6</b>	<b>\$7.6</b>	<b>\$12.3</b>	<b>\$13.4</b>

Table 12  
ESTIMATED LEGISLATIVE AND ADMINISTRATIVE EXPENDITURES

Legislative & Administrative	Estimated Cost (000's)				
	2007	2008	2009	2010	
Total Industrial Acres	\$ 9 84 per acre	\$0 000	\$0 060	\$0 120	\$0 180
Total Commercial Retail Acres	\$ 37.30 per acre	\$0 620	\$0 620	\$0 620	\$0 620
Total Commercial Office Acres	\$ 40.28 per acre	\$0 000	\$0 000	\$0 200	\$0 200
Total Commercial Hotel Acres	\$ 23 84 per acre	\$0.000	\$0.000	\$0.110	\$0.110
<b>Total Legislative &amp; Administrative</b>		<b>\$0.620</b>	<b>\$0.680</b>	<b>\$1 050</b>	<b>\$1 110</b>

Table 13  
ESTIMATED DEVELOPMENT AND MAINTENANCE SERVICES EXPENDITURES

Development and Maintenance Services	Estimated Cost (000's)				
	2007	2008	2009	2010	
Total Industrial Acres	\$ 650.98 per acre	\$0 000	\$3 910	\$7 810	\$12 170
Total Commercial Retail Acres	\$ 4 802.27 per acre	\$80 200	\$80 200	\$80 200	\$80 200
Total Commercial Office Acres	\$ 3,099.43 per acre	\$0 000	\$0 000	\$15 500	\$15 500
Total Commercial Hotel Acres	\$ 1 541.40 per acre	\$0.000	\$0.000	\$7.090	\$7.090
<b>Total Development and Maintenance Services</b>		<b>\$80 200</b>	<b>\$84 110</b>	<b>\$110.600</b>	<b>\$114 960</b>

Table 14  
ESTIMATED POLICE SERVICES EXPENDITURES

Police	Estimated Cost (000's)				
	2007	2008	2009	2010	
Total Industrial Acres	\$ 916.58 per acre	\$0 000	\$5 500	\$11 000	\$17 140
Total Commercial Retail Acres	\$ 6,860.31 per acre	\$114 570	\$114 570	\$114 570	\$114 570
Total Commercial Office Acres	\$ 6 860.31 per acre	\$0 000	\$0 000	\$34 300	\$34 300
Total Commercial Hotel Acres	\$ 6 860.31 per acre	\$0.000	\$0.000	\$31.560	\$31.560
<b>Total Police</b>		<b>\$114 570</b>	<b>\$120 070</b>	<b>\$191 430</b>	<b>\$197 570</b>

Table 15  
ESTIMATED FIRE SERVICES EXPENDITURES

Fire	Estimated Cost (000's)				
	2007	2008	2009	2010	
Total Industrial Acres	\$ 313.56 per acre	\$0 000	\$1 880	\$3 760	\$5 860
Total Commercial Retail Acres	\$ 2 538.77 per acre	\$42 400	\$42 400	\$42 400	\$42 400
Total Commercial Office Acres	\$ 2 538.77 per acre	\$0 000	\$0 000	\$12 690	\$12 690
Total Commercial Hotel Acres	\$ 2 538.77 per acre	\$0.000	\$0.000	\$11.680	\$11.680
<b>Total Fire</b>		<b>\$42 400</b>	<b>\$44 280</b>	<b>\$70 530</b>	<b>\$72 630</b>

Table 16  
ESTIMATED CULTURAL AND LEISURE EXPENDITURES

Cultural and Leisure	Estimated Cost (000's)				
	2007	2008	2009	2010	
Total Industrial Acres	\$ - per acre	\$0 000	\$0 000	\$0 000	\$0 000
Total Commercial Retail Acres	\$ - per acre	\$0.000	\$0 000	\$0 000	\$0.000
Total Commercial Office Acres	\$ - per acre	\$0 000	\$0 000	\$0 000	\$0.000
Total Commercial Hotel Acres	\$ - per acre	\$0.000	\$0.000	\$0.000	\$0.000
<b>Total Cultural and Leisure</b>		<b>\$0 000</b>	<b>\$0 000</b>	<b>\$0 000</b>	<b>\$0 000</b>

Table 17  
ESTIMATED OTHER NON-DEPARTMENTAL EXPENDITURES

Non-Departmental	Estimated Cost (000's)				
	2007	2008	2009	2010	
Total Industrial Acres	\$ - per acre	\$0 000	\$0 000	\$0 000	\$0 000
Total Commercial Retail Acres	\$ - per acre	\$0 000	\$0 000	\$0 000	\$0 000
Total Commercial Office Acres	\$ - per acre	\$0 000	\$0 000	\$0 000	\$0.000
Total Commercial Hotel Acres	\$ - per acre	\$0.000	\$0.000	\$0.000	\$0.000
<b>Total Non-Departmental</b>		<b>\$0.000</b>	<b>\$0.000</b>	<b>\$0.000</b>	<b>\$0 000</b>



**TABLE 18  
NET FISCAL IMPACT**

Revenue Sources	Revenues (In Thousands)			
	2007	2008	2009	2010
Secured Property Tax	\$25.5	\$35.0	\$78.7	\$89.3
Unsecured Property Tax	\$6.8	\$9.2	\$15.6	\$18.3
Property Transfer Tax	\$0.9	\$1.2	\$2.9	\$3.3
Sales & Use Tax	\$26.7	\$33.4	\$67.8	\$75.3
Franchise Tax	\$33.9	\$46.2	\$77.9	\$91.6
TOI Tax	\$0.0	\$0.0	\$325.8	\$325.8
Utility Tax	\$32.3	\$44.0	\$74.4	\$87.5
Business License	\$13.3	\$15.2	\$24.7	\$26.8
Miscellaneous Revenues	\$6.6	\$7.6	\$12.3	\$13.4
<b>TOTAL REVENUES</b>	<b>\$146.0</b>	<b>\$191.7</b>	<b>\$680.1</b>	<b>\$731.3</b>

Expenditure Sources	Expenditures (In Thousands)			
	2007	2008	2009	2010
Legislative & Administrative	\$0.6	\$0.7	\$1.1	\$1.1
Development and Maintenance Services	\$80.2	\$84.1	\$110.6	\$115.0
Police	\$114.6	\$120.1	\$191.4	\$197.6
Fire	\$42.4	\$44.3	\$70.5	\$72.6
Cultural and Leisure	\$0.0	\$0.0	\$0.0	\$0.0
Non-Departmental	\$0.0	\$0.0	\$0.0	\$0.0
<b>TOTAL EXPENDITURES</b>	<b>\$237.8</b>	<b>\$249.1</b>	<b>\$373.6</b>	<b>\$386.3</b>

	Net (In Thousands)			
	2007	2008	2009	2010
TOTAL REVENUES	\$146.0	\$191.7	\$680.1	\$731.3
TOTAL EXPENDITURES	\$237.8	\$249.1	\$373.6	\$386.3
<b>NET FISCAL IMPACT</b>	<b>(\$91.8)</b>	<b>(\$57.4)</b>	<b>\$306.5</b>	<b>\$345.0</b>

Source: CIC Research, Inc. November 2007

**APPENDIX B**  
**WATER WILL SERVE LETTER (OMWD)**



Dedicated to Community Service

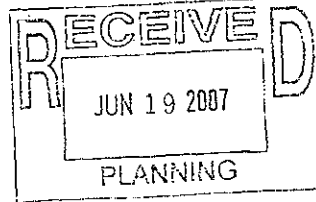
2554 SWEETWATER SPRINGS BOULEVARD SPRING VALLEY CALIFORNIA 91978-2004  
TELEPHONE 670-2222 AREA CODE 619

[www.otaywater.gov](http://www.otaywater.gov)

May 14, 2007

Project No.: P1438-000001

Activity: 3111



Mr. Ben Guerrero  
Environmental Projects Manager  
Chula Vista Planning Department  
276 Fourth Ave MSP-100  
Chula Vista, CA 91910

SUBJECT: WILL SERVE LETTER FOR HIGH RISE BUILDINGS IN  
THE EASTLAKE BUSINESS DISTRICT

Dear Mr Guerrero:

This letter is in response to a request made by you for Otay Water District to provide a letter indicating that the project will be provided adequate potable water service and long-term water storage facilities.

The Otay Water District has the terminal long-term water storage capacity to serve the above referenced project. The developer will be required make all necessary district deposits to cover engineering and inspection costs. In addition, fire flow calculation for the business district is attached with a separate letter

Any additional fees will be collected upon the sale of water meter(s) for this project. Usually the meter purchase(s) occur in advance of the properties being dedicated to the City. With this in mind, Otay Water District has no objection to the recordation of the "final map".

Should you have any further concern, please call me at (619) 670-2243

Sincerely,  
OTAY WATER DISTRICT

David T. Charles  
Public Services Manager

DTC:jrf

PLEASE NOTE:

This approval of availability is subject to all Otay Water District requirements in effect at the time of application for service.

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**APPENDIX C**  
**FIRE FLOW CALCULATIONS**

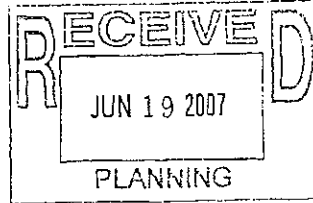


Dedicated to Community Service

2554 SWEETWATER SPRINGS BOULEVARD SPRING VALLEY, CALIFORNIA 91978-2004  
TELEPHONE: 670-2222 AREA CODE 619 [www.otaywater.gov](http://www.otaywater.gov)

June 14, 2007

Benjamin Guerrero  
Environmental Projects Manager  
Chula Vista Planning Department  
276 Fourth Ave MSP -100  
Chula Vista, CA 91910



W O P1438-0030000  
Activity: 3104

SUBJECT: Fire flow calculations for Eastlake Business District

Mr. Guerrero,

Fire flow calculations for the subject site were performed by District staff using MWH Soft, Inc , H<sub>2</sub>O map water, Version 6 0, under the following assumptions:

- a The water level in the storage facility at the time of a fire is at the minimum operational level that typically occurs during peak-hour demand conditions.
- b The prescribed two-hour fire duration coincides with a maximum day demand condition.
- c Into and out of the pressure zone where a fire is occurring, all Agency booster pumps are off.
- d Areas outside the fire circumference in the same pressure zone maintain a minimum pressure of 20 PSI
- e Current static pressure based on hydraulic grade line calculations is: 123 PSI

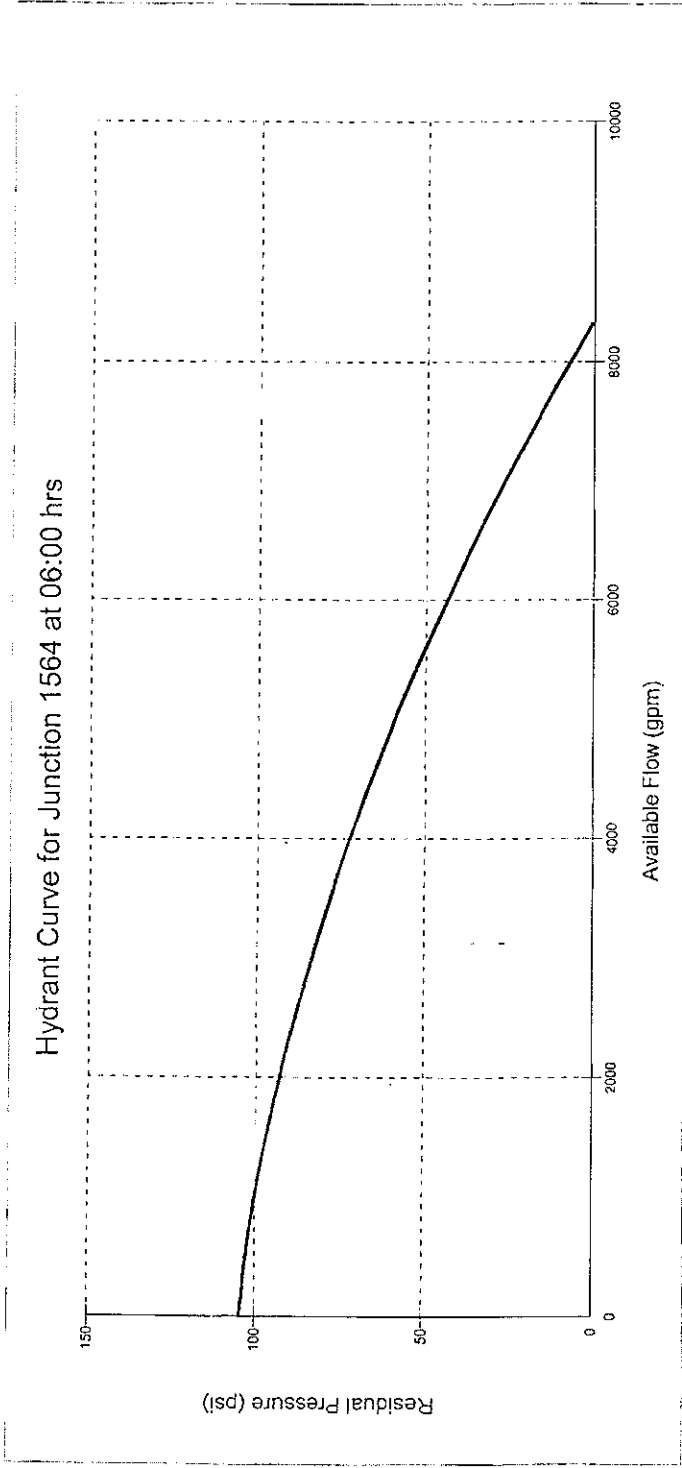
The results are as follows:

STATIC PRESSURE:	104.5	PSI (System demand only at maximum day condition)
RESIDUAL PRESSURE:	88.6	PSI (System and fire flow demand of 2,500 gallons per minute)
FLOW @ 40 PSI:	6195	GPM
FLOW @ 20 PSI:	7311	GPM

A hydrant system curve is also attached for your reference

Sincerely

THE OTAY WATER DISTRICT  
ENGINEERING PUBLIC SERVICES



**Air Quality Improvement Plan**  
for  
**EastLake Business Center II**  
**Supplemental SPA Plan**

**Addendum**  
**December 2007**

**Addendum Adopted December 18, 2007**  
**by Resolution No. 2007-299**

Project Sponsor:

**IRE Development**  
821 Kuhn Drive, Suite 100  
Chula Vista, CA 91914  
(619) 661-6681  
Contact: Alan Huffman

Prepared by:

**RBF Consulting**  
9755 Clairemont Mesa Boulevard, Suite 100  
San Diego, CA 92124  
Contact: Dan Wery, AICP  
(858) 614-5081  
dwery@rbf.com

## EASTLAKE BUSINESS CENTER SPA AMENDMENT - NOVEMBER 2007

### Project Description:

The applicant, IRE (“Applicant”) development, is proposing to introduce commercial retail uses within the existing Eastlake Design District and is requesting a land use designation change from Light Industrial to Commercial Retail in order to complement the existing furniture and home improvement businesses presently in the District. The Applicant is also proposing certain modifications to the property development standards to accommodate up to five story buildings (up to 76 ft. high), special parking ratios for furniture stores and restaurants and professional and medical office uses, including medical clinics. Certain specialty retail uses related to home improvement are currently allowed under a previously approved Master Use Permit. However, these and other retail uses as well as developmental and operational flexibilities are proposed to be incorporated into the EastLake II Planned Community District Regulations.

More specifically, an amendment to the City of Chula Vista General Plan (GPA) was filed to change the land use designation of approximately 16.7 previously developed acres at the northeast corner of Fenton Street and Showroom Place (851-891 Showroom Place) Within the Eastlake Business Center II project, hereafter referred to as Area “A” (see Figure 1) from Limited Industrial to Commercial Retail. Concurrent amendments to the Eastlake II General Development Plan (GDP), Supplemental Sectional Planning Area (SPA) Plan for Eastlake Business Center II and associated regulatory documents are proposed for Area A above and parcels identified as Lot 2 of Map 13971 and Lots 5-8 of Map 14395, herein after referred to as Area B (see Figure 1) and 2430 Fenton Street, herein after referred to as Area C. The GDP and the Eastlake Business Center II Supplemental SPA amendment consist of changing the land use designation of Area A from BC-1, Business Center Manufacturing Park District with Design District Overlay zone to a new commercial land use district and Area B from BC-1 with Design District Overall to BC-4 (Business Center Core District) Also included are certain modifications to the adopted property development regulations in order to accommodate greater design and land use flexibility.

The purpose of this Air Quality Improvement Plan for the EastLake Business Center II Supplemental Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the City of Chula Vista. The most significant air quality improvement measures are those policies and regulations established at the broadest geographic level, i.e., State and Federal. However, there are measures that can be applied on a City or project level which can have a positive impact

This addendum presents an overview of these issues, and identifies mitigation/improvement measures in the following general categories, which can be implemented at the local level.

- a. Pedestrian and Bicycle Paths: The adopted EastLake II General Development Plan, and subsequent SPA Plans, adopted by the City have emphasized the use of an extensive trail system, connecting activity centers, to enable non-vehicular travel. Although an employment park use is not a typical pedestrian destination, the Business Center II project is integrated with the existing EastLake Village and Business Centers in the central portion of the community. The clustering of “activity uses” (high school, community park, and retail) and employment at a central location within the



community encourages the use of non-vehicular modes of travel to these destinations. Bicycle and pedestrian trails, including the EastLake Thematic Corridor will be extended to the project.

- b. Land Use Mix: The EastLake II General Development Plan, adopted by the City, includes job opportunities, recreation, education, retail and service commercial, and public facilities within the community. Full implementation of the community plan would minimize the length and number of automobile trips because of the range of opportunities and services available within the community. The Business Center II project will balance residential increments in the EastLake community with additional employment uses.
- c. Access to Regional Systems: The LOS requirements applied to development within the EastLake Business Center II SPA will encourage free-flow travel, which reduces air emissions. Connections to regional vehicular circulation, public transit and pedestrian/bicycle trail systems are integrated into the project.
- d. Transit Access: The community circulation plan includes provisions for public transit facilities. Transit stops are anticipated along arterials at key intersections, where desired by the transit provider. The clustering of transit destinations (e.g., schools, shopping, and employment) encourages the use of public transit and simplifies routing and scheduling.
- e. Site Design/Planning Guidance: This plan identifies the desirability and importance of consideration of transit and pedestrian/bicycle building orientation in subsequent implementing steps such as tentative map approval, site planning and design review. Inclusion of these design factors will support and enhance the alternative circulation systems provided at the neighborhood and community levels.
- f. Park-and-Ride Facilities: The provision of a Park-and-Ride facility in proximity to the project is anticipated. Construction of such a facility is required in the EastLake Village Center, located just west of the project site. Such a Park-and-Ride facility could also provide a staging area for carpools, vanpools, and transit vehicles. This facility should be incorporated into a city-wide system of similar facilities coordinated with public transit routes, including future light rail corridors.
- g. Telecommuting: The Master Developer is also working with the cable TV provider to include high speed electronic communications connections through the cable TV system. The Master Developer is committed to ensuring that new development are not "technologically obsolete" but include necessary community infrastructure to take advantage of anticipated electronic communication improvements.
- h. Construction Mitigation: The dust emissions generated during project grading will be mitigated by a series of specific mitigation measures identified in this plan. The mitigation measures are expected to reduce project construction emissions to a less than significant level.
- i. Implementation/Monitoring: In addition, this development will be subject to the ongoing monitoring programs inherent in the City's Transportation Phasing Plan and Growth Management Program. These programs will continue to be addressed during subsequent implementing actions associated with the project.

These local mitigation measures may have a small impact on Air Quality in quantifiable terms, but their enhancement of future transit options, alternative transportation modes within the neighborhood and community, and public awareness should have a greater long term public benefit

### **Impact Reduction Measures:**

This section of the AQIP amendment demonstrates how the EastLake Business Center SPA Amendment – 2007 addresses key design issues, at the SPA Plan level, which are directed toward reducing air pollution impacts. The design issues addressed below would be incorporated as conditions of approval for the Project:

a. Street/Circulation Design with Pedestrian/Bicycle Orientation

The Project does not alter the original air quality improvement plan implementation measures, such as: trail system, pedestrian connection among centers, bicycle lanes and other components to promote non-vehicular transportation. Instead, the Project would be required to incorporate pedestrian connections to the existing pedestrian/bicycle route connections and bicycle racks to promote the use of non-motorized modes of transportations.

b. Housing/Employment Density Near Transit

The project provides and allows for additional employment within close proximity of area housing, allowing for a reduction of vehicle miles traveled for those able to work and live in the East Lake community.

c. Land Use Mix/Proximity

The Project introduces a hotel facility with full range of amenities to serve the needs of corporate offices and other businesses in the area. This mixed-use approach will result in less customers and executives visiting the site traveling west to seek overnight accommodations restaurant facilities.

d. Site Design with Transit Orientation

The proposed and permitted future buildings will increase the concentration of employment in the immediate area which may encourage and support the use of transit services, thereby reducing total vehicle miles traveled. Placement of buildings and building entrances, particularly larger buildings, can encourage transit or alternative transportation modes. The SPA Plan does not specify building locations. Hence, this issue can be addressed in the Tentative Map and site Plan/Design Review processes when greater project detail is available.

e. Limited Commercial Use

The EastLake Business Center II Supplemental SPA includes an existing 16.7-acre commercial site. This limited amount of commercial use, which comprises less than 20% of the Business Center II, consists of complementary retail and commercial uses that attract patrons to multiple stores per visit. The uses on this project site are also accessible by those who work in the Business Center II and those who ride mass transit. This will reduce total vehicle miles traveled by providing an alternative to

such trips that would only likely be done by private automobile. This will encourage local service and convenience trips from office and hotel employees and visitors.

f. Bicycle Route Integration with Transit & Employment

Bike lanes are designated on Fenton Street within the project area. On other internal streets, bicyclists will be readily able to share the road with motor vehicles due to the low volumes and limited speeds allowed. Project bicycle routes connect to regional systems as indicated in the Circulation Element of the General Plan and provide access to all regional destinations including the park-and-ride facility, and nearby commercial centers and residential areas. The project will include connecting sidewalks to the established walks, and paths and transit facilities.

g. Energy Efficient Landscaping

The project will include landscaping of the parking lots, perimeter grounds, as well as near the proposed buildings to provide shade and reduce heat gain and energy usage for both vehicles and buildings.

h. Alternative Fuels/Telecenter

The project is provided with high-speed telecommunications services to facilitate both on-site and off-site communications allowing for reduced commutation. The project is proposed to include Class-A office and professional buildings and Hotel with conferencing facilities. These facilities will be maintained with the latest industry standards for communications.

i. Overall Sustainability of Project

The project fits into the overall community plan and achieves the objectives of providing both a job-housing balance as well as a job-housing match whereby the high-quality buildings and professional jobs will enable employees to live and work within the EastLake community, thereby improving overall efficiency, community, quality of life and sustainability.

j. Commitment to Chula Vista Greenstar Program

The developer of the subject project may commit to the first option in Chula Vista's AQIP Guidelines and may participate in the Greenstar Building Efficiency Program. The majority (50% or greater) of the structures may be designed to exceed the California 2001 Title 24, Part 6, Energy Efficiency Standards (CA 9110, effective 6/1/01) Title 24 by 10%.

Because energy conservation technology and programs are constantly maturing, the specific program will be identified with application for building permits. The particular building efficiency program to be used (potentially including a custom building program) and the buildings to be constructed under the program, shall be identified on the building permit application and approved prior to issuance of a building permit. Energy calculations demonstrating program compliance will be included with the Building Permit application.

### **Construction Phase:**

Even though the creation of dust is limited to the construction phase of a project and is thus “temporary,” a large development could significantly contribute to adverse air quality impacts. As mitigation for these potential impacts, dust control during grading operations will be regulated in accordance with the rules and regulations of the San Diego APCD.

At the time tentative maps are approved for the project, the following measures would be required to reduce fugitive dust impacts and emissions impacts from construction equipment:

- a. Clearing/Grading
  - All unpaved construction areas shall be sprinkled with water or other acceptable San Diego APCD dust control agents during dust-generating activities to reduce dust emissions.
- b. Disturbed Areas
  - On-site stockpiles of excavated material shall be covered or watered
  - Disturbed areas shall be hydroseeded, landscaped, or developed as quickly as possible and as directed by the City to reduce dust generation.
- c. Track-Out Control
  - On dry days, dirt and debris spilled onto paved surfaces shall be swept up immediately to reduce re-suspension of particulate matter caused by vehicle movement. Approach routes to construction sites shall be cleaned daily of construction-related dirt in dry weather
- d. Dirt Hauling
  - Trucks hauling dirt and debris shall be properly covered to reduce windblown dust and spills.
- e. High Wind Operations
  - Additional watering or acceptable APCD dust control agents shall be applied during dry weather or windy days until dust emissions are not visible
- f. Off-Road Equipment
  - Enforce a 20 mile-per-hour speed limit on unpaved surfaces.
  - Heavy-duty construction equipment with modified combustion/fuel injection systems for emissions control shall be utilized during grading and construction activities. Catalytic reduction for gasoline-powered equipment shall be used. Also, equip construction equipment with prechamber diesel engines (or equivalent) together with proper maintenance and operation to reduce emissions of nitrogen oxide, to the extent available and feasible
  - Use low pollutant-emitting construction equipment.
  - Use electrical construction equipment, to the extent feasible.

- The simultaneous operations of multiple construction equipment units shall be minimized (i.e., phase construction to minimize impacts)

Incorporation of all these measures, combined with the fact that construction is a one-time short-term activity, will reduce potentially significant air quality impacts to below a level of significance.

### II.7.1 IMPLEMENTATION MEASURES

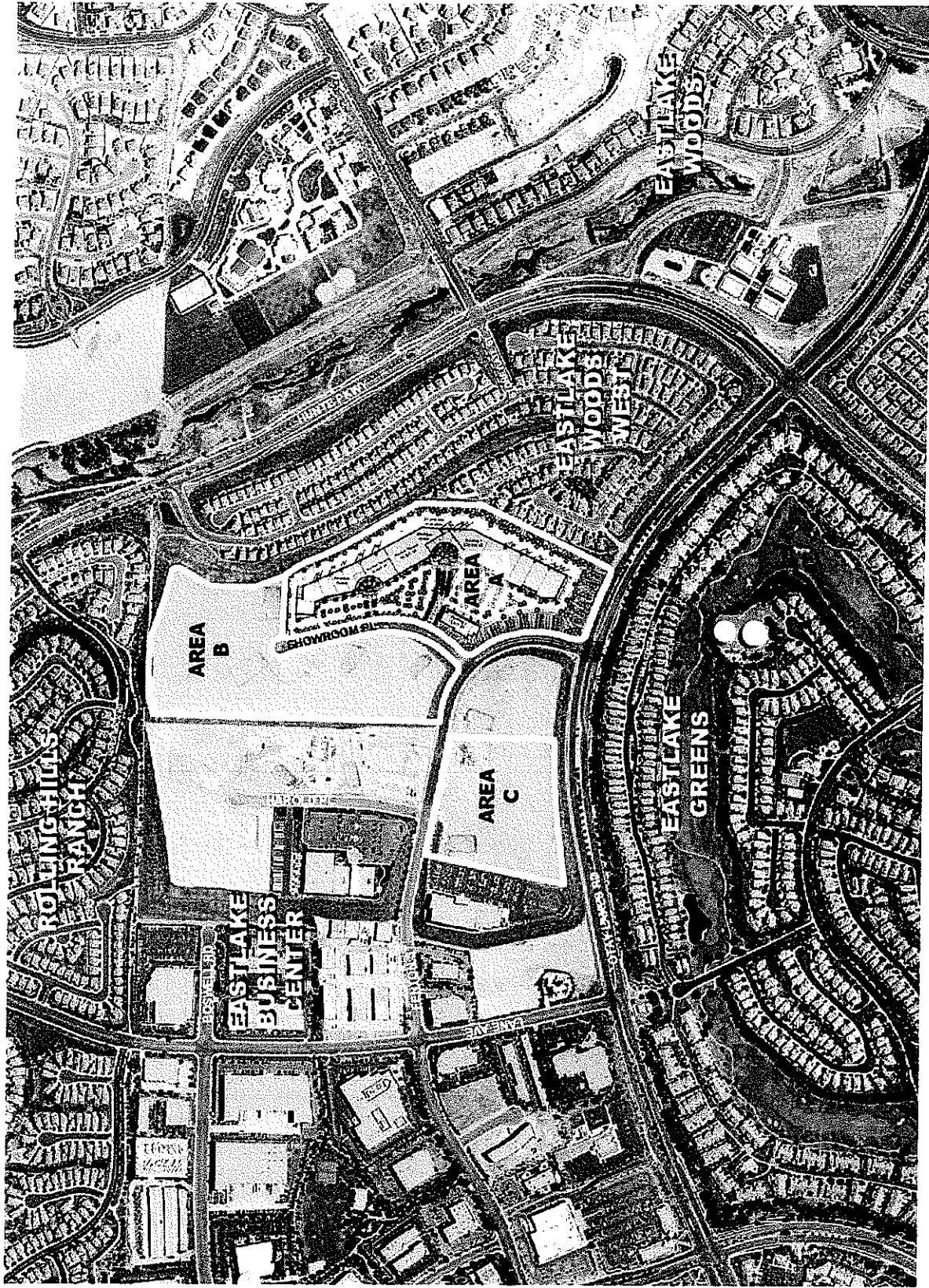
Most of the above cited Impact Reduction Measures are included in the EastLake Business Center II Supplemental SPA Plan and will be implemented through SPA approval or the tentative map process. However, some will be implemented at a later approval phase such as Design Review. These are identified below.

**Table 3**  
**Impact Reduction Measure Implementation Stage**

<b>SPA/Tentative Map Approval</b>	<b>Site Plan/Design Review</b>
<ul style="list-style-type: none"><li>- Street/Circulation Design</li><li>- Land Use Mix &amp; Housing/Employment (done at GDP level)</li><li>- Transit Facilities</li><li>- Site Design/Building Siting (prelim.)</li><li>- Pedestrian/Bicycle Orientation</li><li>- Transit-Oriented Building Siting</li><li>- Bicycle Routes</li><li>- Grading/Fugitive Dust Control</li></ul>	<ul style="list-style-type: none"><li>- Site Design w/ Pedestrian/Bicycle</li><li>- Transit-Oriented Building Siting</li><li>- Energy Efficient Landscaping</li><li>- Alternative Fuels/Telecenter (electronic communication capabilities)</li></ul>

### II.7.2 REFERENCES

Air Quality Improvement Plan for EastLake Business Center II Supplemental SPA Plan, Adopted November 16, 1999 by Resolution No. 19666.



**FIGURE 1**

# **Air Quality Improvement Plan**

for

## **EastLake Business Center II Supplemental SPA Plan**

**Adopted November 16, 1999**

**by Resolution No. 19666**

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## II.7.7 IMPLEMENTATION MEASURES

Most of the above cited Impact Reduction Measures are included in the EastLake Business Center II Supplemental SPA Plan and will be implemented through SPA approval or the tentative map process. However, some will be implemented at a later approval phase such as Design Review. These are identified below.

**Table 3  
Impact Reduction Measure Implementation Stage**

SPA/Tentative Map Approval	Site Plan/Design Review
<ul style="list-style-type: none"> <li>- Street/Circulation Design</li> <li>- Land Use Mix &amp; Housing/Employment (done at GDP level)</li> <li>- Transit Facilities</li> <li>- Site Design/Building Siting (prelim.)</li> <li>- Pedestrian/Bicycle Orientation</li> <li>- Transit-Oriented Building Siting</li> <li>- Bicycle Routes</li> <li>- Grading/Fugitive Dust Control</li> </ul>	<ul style="list-style-type: none"> <li>- Site Design w/ Pedestrian/Bicycle</li> <li>- Transit-Oriented Building Siting</li> <li>- Energy Efficient Landscaping</li> <li>- Alternative Fuels/Telecenter (electronic communication capabilities)</li> </ul>

## II.7.8 REFERENCES

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## II.7.1 EXECUTIVE SUMMARY

The purpose of this Air Quality Improvement Plan for the EastLake Business Center II Supplemental Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the city of Chula Vista. The most significant air quality improvement measures are those policies and regulations established at the broadest geographic level, *i.e.*, State and Federal. However, there are measures that can be applied on a City or project level which can have a positive impact. This report presents an overview of these issues, and identifies mitigation/improvement measures in the following general categories which can be implemented at the local level.

1. Pedestrian and Bicycle Paths: The EastLake II General Development Plan, and subsequent SPA Plans, adopted by the City have emphasized the use of an extensive trail system, connecting activity centers, to enable non-vehicular travel. Although an employment park use is not a typical pedestrian destination, the Business Center II project is integrated with the existing EastLake Village and Business Centers in the central portion of the community. The clustering of "activity uses" (high school, community park, and retail) and employment at a central location within the community encourages the use of non-vehicular modes of travel to these destinations. Bicycle and pedestrian trails, including the EastLake Thematic Corridor will be extended to the project.
2. Land Use Mix: The EastLake II General Development Plan, adopted by the City, includes job opportunities, recreation, education, retail and service commercial, and public facilities within the community. Full implementation of the community plan would minimize the length and number of automobile trips because of the range of opportunities and services available within the community. The Business Center II project will balance residential increments in the EastLake community with additional employment uses.
3. Access To Regional Systems: The LOS requirements applied to development within the EastLake Business Center II SPA will encourage free-flow travel, which reduces air emissions. Connections to regional vehicular circulation, public transit and pedestrian/bicycle trail systems are integrated into the project.
4. Transit Access: The community circulation plan includes provisions for public transit facilities. Transit stops are anticipated along arterials at key intersections, where desired by the transit provider. The clustering of transit destinations (*e.g.*, schools, shopping and employment) encourages the use of public transit and simplifies routing and scheduling.
5. Site Design/Planning Guidance: This plan identifies the desirability and importance of consideration of transit and pedestrian/bicycle building orientation in subsequent implementing steps such as tentative map approval, site planning and design review. Inclusion of these design factors will support and enhance the alternative circulation systems provided at the neighborhood and community levels.

6. Park-and-Ride Facilities: The provision of a Park-and-Ride facility in proximity to the project is anticipated. Construction of such a facility is required in the EastLake Village Center, located just west of the project site. Such a Park-and-Ride facility could also provide a staging area for carpools, vanpools, and transit vehicles. This facility should be incorporated into a city-wide system of similar facilities coordinated with public transit routes, including future light rail corridors.
7. Telecommuting: The Master Developer is also working with the cable TV provider to include high speed electronic communications connections through the cable TV system. The Master Developer is committed to ensuring that new development are not "technologically obsolete" but include necessary community infrastructure to take advantage of anticipated electronic communication improvements.
8. Construction Mitigation: The dust emissions generated during project grading will be mitigated by a series of specific mitigation measures identified in this plan. The mitigation measures are expected to reduce project construction emissions to a less than significant level.
9. Implementation/Monitoring: In addition, this development will be subject to the ongoing monitoring programs inherent in the City's Transportation Phasing Plan and Growth Management Program. These programs will continue to be addressed during subsequent implementing actions associated with the project.

These local mitigation measures may have a small impact on Air Quality in quantifiable terms, but their enhancement of future transit options, alternative transportation modes within the neighborhood and community, and public awareness should have a greater long term public benefit.

## **II.7.2 INTRODUCTION**

### **II.7.2.1 Background**

The city of Chula Vista has recognized that preserving good air quality is an essential component to maintaining a high quality of life for its residents and visitors. Although air quality is almost entirely a regional issue, the City has established policies to evaluate and mitigate, where feasible, large development proposals within its jurisdiction. Title 19 (Sec. 19.09.0508) of the Chula Vista Municipal Code requires that a SPA (Sectional Planning Area) submittal for any planned community contain an Air Quality Improvement Plan (AQIP), per the Growth Management policies of the City. The AQIP is to include an assessment of how the project has been designed to reduce emissions as well as identify mitigation measures which will minimize air quality impacts.

### **II.7.2.2 Purpose and Goals**

The purpose of this Air Quality Improvement Plan (AQIP) is to respond to the Growth Management Policies of the city of Chula Vista. The Growth Management Program implements the Growth Management Element of the General Plan and establishes an orderly process to carry out the development policies of the City. The primary area of focus of the Growth Management Program is east of I-805 where most of the remaining vacant land is located, including the project site.

The following are goals of the EastLake Business Center II SPA Air Quality Improvement Plan:

- a. To minimize air quality impacts during and after construction of projects within EastLake Business Center II SPA.
- b. To comply with the air quality standards and policies of the city of Chula Vista and San Diego County APCD.
- c. To create a framework for the design and implementation of air quality mitigation measures in these residential development projects
- d. To be economically efficient and cost effective.

### **II.7.2.3 Uses of the Plan**

This AQIP is prepared and approved concurrently with the EastLake Business Center II Supplemental SPA Plan. It expands upon the policy provisions and project features contained in the SPA Plan prepared for the project. This plan provides a more detailed description of the context and responses of the proposed project, with respect to air quality issues. In the future, it can serve as a guide in the evaluation of subsequent implementing

actions (*e.g.*, tentative map approval, site plan and design review, *etc.*) to assure that features, policy provisions and mitigation measures are included/maintained as the project develops.

#### **II.7.2.4 Approach**

The planning context for this air quality plan ranges from state-wide and regional considerations to local planning requirements. The California Clean Air Act (CCAA) forms the basis for most air quality management efforts. It is the driving mechanism to the current revision to the San Diego Air Basin Air Quality Management Plan by the regional Air Pollution Control District (APCD).

At the local level, cities must carry out their fair-share responsibilities within a day-to-day decision making framework to ensure attainment of the regional standards and objectives. Although specific local policies have not been adopted, Chula Vista is actively participating, through the growth management program and other efforts, in the regional endeavor to establish effective long term regional strategies to implement the air quality standards and objectives.

The approach to air quality mitigation outlined in this plan is focused on the strategies and measures available to industrial/employment development projects. Most transportation/air quality improvements measures in the State and regional plans address transportation system efficiency, alternative transportation modes, heavy vehicle restrictions, and increased vehicle occupancy. None of these are directly influenced or affected by industrial development. Several measures are available however, and these are described and incorporated into the project as appropriate. These include the integration of residential, commercial, employment and recreation land uses in the overall EastLake community, inclusion of facilities to support public transportation, and the provision of pedestrian/bicycle routes and neighborhood design features which encourage their use as alternatives to the automobile. Efforts to educate and increase awareness of the need to minimize air quality impacts and the opportunities to do so, will be directed toward future residents.



## **II.7.3 REGULATORY FRAMEWORK**

Federal, state and local agencies share responsibilities for developing and implementing air quality regulations and improvement plans. The federal and state agencies have established air quality standards and requirements for compliance. The local agencies focus on adopting strategies and regulations to achieve compliance with the state and federal mandates.

Ozone is the principal pollutant of concern in San Diego County. The principal focus of the regional air quality effort is directed toward reducing reactive organic gases and oxides of nitrogen, which are ozone precursors. This focus and the nature of the San Diego Air Basin has led to primarily transportation related air quality improvement strategies.

### **II.7.3.1 Federal Regulations**

The Federal Clean Air Act was enacted in 1970 and amended in 1977 and 1990 to protect and enhance the quality of the nation's air resources to benefit public health, welfare, and productivity. In 1971, the Environmental Protection Agency (EPA) developed primary and secondary national ambient air quality standards (NAAQS). Six pollutants of primary concern were designated: ozone, carbon monoxide, sulfur dioxide, nitrogen dioxide, lead, and suspended particulates (PM-10)

According to the Clean Air Act, the NAAQS must "... allowing an adequate margin of safety ... protect the public health" and the secondary standards must "protect the public welfare from any known or anticipated adverse effects" (1990 Clean Air Act, Section 109). "Public welfare" includes tangible and intangible things such as aesthetics, agriculture and architecture. The primary standards were established with a margin of safety, considering long-term exposures for the most sensitive groups in the general population (*i.e.*, children, senior citizens and people with breathing difficulties).

The EPA also allows the states the option to develop different (stricter) standards, which California has adopted. Table 1 lists the Federal and California state standards.

**Table 1  
Ambient Air Quality Standards**

Pollutant	Averaging Time	California Standard	National Standard
Ozone (O <sub>3</sub> )	1 hour	0.09 ppm	0.12 ppm
Carbon Monoxide (CO)	8 hour	9.0 ppm	9.0 ppm
	1 hour	20 ppm	35 ppm
Nitrogen Dioxide (NO <sub>2</sub> )	Annually	--	100 µg/m <sup>3</sup>
	1 hour	0.25 ppm	--
Sulfur Dioxide (SO <sub>2</sub> )	Annually	--	80 µg/m <sup>3</sup>
	24 hour	0.05 ppm	0.14 ppm
	1 hour	0.25 ppm	--
Suspended Particulate Matter (PM <sub>10</sub> )	Annual Mean	30 µg/m <sup>3</sup>	50 µg/m <sup>3</sup>
	24 hour	50 µg/m <sup>3</sup>	150 µg/m <sup>3</sup>
Sulfates	24 hour	25 µg/m <sup>3</sup>	--
Lead (Pb)	30 days Calendar Quarter	1.5 µg/m <sup>3</sup>	--
		--	1.5 µg/m <sup>3</sup>
Hydrogen Sulfide	1 hour	0.03 ppm	--
Vinyl Chloride (chloroethene)	24 hour	0.010 ppm	--
Visibility Reducing Particulates	1 Observation	Visibility of 10 miles when humidity is <70%	--

ppm = parts per million

### **II.7.3.2 State Regulations**

California law, effective on January 1, 1989, requires that regional air quality districts implement regulations to reduce emissions from mobile sources through the adoption and enforcement of transportation control measures. As a state serious ozone non-attainment area, San Diego is subject to various requirements including:

- Five percent annual reduction in hydrocarbons and oxides of nitrogen emissions from 1987 until standards are attained. If this five-percent reduction cannot be obtained, every feasible measure must be implemented.
- Transportation control measures (TCMs) to achieve an average of 1.4 persons per passenger vehicle during weekday commute hours by 1999 or programs providing equivalent emission reductions not otherwise required.

The State Implementation Plan (SIP) is the document that sets forth the state's strategies for achieving air quality standards. The San Diego Air Pollution Control District (APCD) is responsible for preparing and implementing the portion of the SIP applicable to the San Diego Air Basin (SDAB). The San Diego APCD adopts rules, regulations, and programs to attain state and federal air quality standards.

In addition, Section 15125(b) of the CEQA Guidelines contains specific reference to the need to evaluate any inconsistencies between the proposed project and applicable general plans and regional plans. Regional plans include the applicable air quality management plan, which is the Regional Air Quality Strategy (RAQS) in the San Diego Air Basin (SDAB).

### **II.7.3.3 Regional Plans and Policies**

As noted above, the San Diego Air Pollution Control District (APCD) is the agency that regulates air quality in the SDAB. The APCD prepared the 1991/1992 RAQS in response to the requirements of state law. The draft was adopted, with amendments, on June 30, 1992. Attached as part of the RAQS are the transportation control measures (TCMs) for the air quality plan prepared by the San Diego Association of Governments (SANDAG). The required triennial update of the RAQS and corresponding TCMs were adopted on December 12, 1995. The RAQS and TCM Plan set forth the steps needed to accomplish attainment of state and federal ambient air quality standards.

The APCD has also established a set of Rules and Regulations initially adopted on January 1, 1969, and periodically reviewed and updated. The Rules and Regulations define requirements regarding stationary sources of air pollutants and fugitive dust.

The California Air Resources Board (ARB) has classified the San Diego region as having a severe air pollution problem. According to the San Diego Air Pollution Control District (APCD), the major sources of air pollutants in the region are motor vehicles and pollution blown in from Los Angeles. Given this situation, local air quality improvement efforts are

focused on transportation issues. To address air quality problems related to transportation, level of service standards for arterials, highways and transit are being developed, as are goals for reducing solo auto trips.

The San Diego County Congestion Management Plan (CMP) was approved in June of 1990 and is intended to directly link land use, transportation and air quality through level of service performance. Local agencies are required to conform to the CMP by statute.

One of the elements of the CMP is an enhanced CEQA review process which applies to all discretionary projects which contribute more than a specific number of vehicles to the system. This project contribution is considered to be a significant impact requiring mitigation if the contribution results in the degradation of level of service below CMP standards. The limits of review for CMP facilities is I-805 from I-8 to SR-905, SR-54 from I-805 to SR-125, and SR-125 from SR-54 to SR-94. However, only I-805 and SR-125 are forecast to experience volume levels in excess of the CMP thresholds by 2010.

The enhanced CEQA review process is intended to identify and mitigate regional transportation impacts of large projects such as EastLake Business Center II Supplemental SPA prior to discretionary approval. The CMP includes a deficiency plan process directed towards improving travel service on a specific portion of the CMP system forecasted to operate below CMP traffic LOS standards. The CMT level of service standards are LOS "E" for CMP arterials and freeways, or LOS "F" for freeways, if that is the existing level of service.

A local jurisdiction must develop Deficiency Plans for any state highways or CMP roadways within its jurisdiction prior to its next annual self-certification of CMP conformance after the deficiency actually occurs. Although a CMP roadway deficiency does not occur until the existing level of service actually falls below CMP standards, the purpose of the deficiency plan process is to identify deficiencies before they occur. This allows early development of the deficiency plan to prevent the deficiency from occurring. The enhanced CEQA review process documented in this transportation analysis can assist affected jurisdictions in the identification of the need and timing of future deficiency plans. Deficiency plans are prepared for a segment of the CMP system and not specifically related to any large project. The CMP Deficiency Plan must include:

- The cause of the deficiency;
- A list of improvements needed to meet the CMP traffic LOS standards;
- An alternative list of improvements to measurably improve system LOS and air quality; and,
- An action plan for implementing the improvements.

When preparing deficiency plans addressing state freeway deficiencies, a multi-agency study team approach is utilized which involves SANDAG, Caltrans, the Air Pollution Control District (APCD), the Metropolitan Transit Development Board (MTDB) and the affected jurisdictions, in this case the city of Chula Vista, the county of San Diego, and the city of San Diego. SANDAG and Caltrans would take the lead on much of the initial deficiency plan analysis. After the freeway deficiency plan is complete, the study team will forward it to the affected jurisdictions for approval. A deficiency plan developed by a local jurisdiction must be adopted at a noticed public hearing and then forwarded to SANDAG as the CMA. Within 60 days, SANDAG will hold a public hearing to determine the adequacy of the plan and either accept or reject the plan.

The EastLake Business Center II Supplemental SPA will contribute to the cumulative daily traffic volume growth in the Southbay region. The early development of a Deficiency Plan will assist in the identification of project only fair-share contributions for improvements and mitigation. The project traffic study and the associated Transportation Phasing Plan complies with the CMT requirements for freeway segments and the county arterial system, and provides a commitment to participate in CMP deficiency planning in the effort to improve system-wide traffic operations and air quality.

Another regional effort is focused on Transportation Demand Management. The purpose of Transportation Demand Management (TDM) is to alleviate traffic problems by managing vehicle trip demand rather than through the construction of additional transportation facilities. SANDAG developed a Model Regional TDM Program in January 1991 with the goal of increasing the Average Vehicle Occupancy Rate (AVR) to 1.41 in 1998.

The key measures used in TDM are travel management and work hours management. Travel management measures include reducing the number of single occupancy vehicle trips by implementing carpool and vanpool programs, restricting or pricing parking supply, subsidizing transit fares and encouraging alternate modes of travel by providing additional amenities and facilities. Work hours management measures attempt to shift vehicle trip demand on freeway and road facilities from peak periods to less congested periods by implementing flexible or staggered work hours and telecommuting.

Local Transportation Management Associations (TMA) are involved in encouraging and assisting major employers and their Employee Transportation Coordinators (ETC) in implementing and planning TDM programs aimed at reducing the number of single occupant vehicle trips to the work place.

Freeway ramp meters are another regional program designed to maximize freeway capacity, reduce traffic congestion and reduce delays during the commute period. This is accomplished by limiting the number of vehicles entering the freeway, and thus maintaining mainline traffic flow at reasonable speeds. If excess demand exists at freeway off-ramps, delays and considerable queue lengths could result on ramps and adjacent arterials. The *1994 Regional Transportation Plan* indicates that ramps meters are planned for all on-ramps along I-805 and future SR-54 in the Southbay by 1999.

#### **II.7.3.4 Local Plans and Policies**

At the local level, within Chula Vista, there is no local air quality plan. However, the City has included a Growth Management Element (GME) in its General Plan. One of the stated objectives of the GME is to have active planning to meet federal and state air quality standards. This objective is incorporated into the GME's action program. Although adopted in 1989, the GME has remained current by not only requiring air pollution reduction measures identified in 1989 but also "measures developed in the future."

To implement the GME, the City Council has adopted the Growth Management Program (GMP) which requires Air Quality Improvement Plans (AQIPs) for major development projects (50 residential units or commercial/industrial projects with equivalent air quality impacts). The purpose of the GMP is to assist the City in assessing the environmental, fiscal and operational impacts of proposed land development.

The Traffic Element of the GMP initially specified threshold standards for acceptable levels of service at signalized intersections only. It was revised in 1991 to conform to the *1985 Highway Capacity Manual* (HCM) to include arterial LOS based on average travel speed. This revised Traffic Element forms the basis for the annual City Traffic Monitoring Program (TMP).

The City-wide threshold standard is to maintain LOS "C" or better based on observed average travel speed on all signalized arterial segments with the exception that during peak hours, LOS "D" can occur for no more than any two hours of the day.

The 1992 TMP found that GMP threshold standards were satisfied on all arterial segments as no segments operated at less than LOS "C." Similarly, with the exception of two arterials segments, the majority of segments were found to operate at acceptable levels of service in the 1993 TMP. Level of service deteriorated from LOS "C" to LOS "D" during the PM peak period in one direction of travel for one EastLake Project Study Area segment as a result of increased delay at one signalized intersection:

- Otay Lakes Road (northbound traffic) from Telegraph Canyon to East "H" Street as a result of increased delay at the Otay Lakes Road/East "H" Street intersection

The 1994 TMP found that all arterial segments operated at LOS "C" or better with the exception of the Otay Lakes Road segment identified above in the 1993 TMP study. However, the average travel speed on this segment was found to have increased slightly. An improvement project has been funded to improve the Otay Lakes Road/East "H" Street intersection through the provision of dual left turn lanes for northbound and southbound traffic on Otay Lakes Road.

Public transit is also a locally controlled factor affecting air quality. Chula Vista Transit (CVT) Routes 709 and 711 provide bus service to the EastLake Community. The routes have an average combined ridership of 2,200 persons per day. Downtown commuters can

make their daily trip via a 20 minute bus ride to the "H" Street Trolley Station on Route 709 and continue to downtown San Diego via the Trolley. Route 711 passengers may transfer to four other CVT routes at the Southwestern College Transit Center, all of which connect to the Trolley at either the "H" or "E" Street Stations. Route 711 terminates at Plaza Bonita Shopping Center in National City, where transfers may be made to National City Transit routes which continue on to the 24<sup>th</sup> Street Trolley Station.

Until such time as the South Bay Light Rail Service is initiated, Chula Vista Transit will be the only mass transit service to EastLake. The City does not currently have a planned transit expansion program for developing areas in the eastern territories. Transit officials use the MTDB South Bay Public Transportation Plan as a guide in phasing and expanding service to the area. The current expansion policy, while not written, attempts to provide bus service where sufficient ridership is available. Funding for the Chula Vista Transit service is provided by fare box revenues (45%) and the ¼% State sales tax proceeds.

Looking to the future, in March 1991 SANDAG completed the "South Bay Rail Transit Extension Study". The report evaluated the feasibility of extending light rail (trolley) and commuter rail service in the South Bay. Specifically the light rail service required to serve the eastern territories of Chula Vista and Imperial Beach was evaluated using cost and ridership estimates as a measure of performance and feasibility. Potential land use patterns to support rail transit service were also evaluated.

Three light rail corridors were determined worthy of further study. Alternative "E" which traverses the southwest portion of the EastLake Community and crosses the proposed alignment of SR-125 at Palomar Road, approximately one-half mile south of Otay Lakes Road, has been identified as having the best performance of all alternatives studied.

The South Bay Rail Transit Extension Study was accepted by the SANDAG Board and a follow-up study being administered by the Metropolitan Transit Development Board (MTDB) has been completed. This study, the "South Bay Public Transportation Plan," has the following components:

- Assemble existing short range public transportation plans for the South Bay.
- Prepare a South Bay seven-year public transportation plan.
- Identify major transit facilities.
- Develop a staging plan.
- Study proposed guide-way transit corridors and station locations.
- Study adequacy of existing land use plans as they relate to supporting mass transit.

No funding source has been identified for the proposed light rail extensions and the currently programmed MTDB extensions are currently under-funded. The State Propositions 108 and 111 which passed in 1990 have provided significant funds for MTDB near term projects, however the rail extension project is very long term in nature.



## **II.7.4 ROLES and RESPONSIBILITIES**

In order for this plan to be effective, it is necessary to clearly assign appropriate roles and responsibilities to all of the participants in the development and occupancy phases of projects within EastLake Business Center II Supplemental SPA. There are three primary groups involved: developer/builders, future employers/employees, and government/service agencies. Each has an important role to play, as described below.

### **II.7.4.1 Developer/Builders**

The master developer, the EastLake Company, is providing the basic planning, design, and management of this program. Community level transportation facilities, vehicular and non-vehicular, and electronic infrastructure will be implemented by the master developer.

Individual builders will plan, design and construct industrial facilities according to the standards set by the master developer (and the City) and will be responsible for transportation planning and management within their own project.

### **II.7.4.2 Employers/Employees**

The long term success of the air quality mitigation effort rests with people who choose their own modes of transportation, driving habits and lifestyles. In the aggregate, choices by employers/employees affect the air quality in the region more than any effort by the City or developer.

Generally, commercial and industrial are the land uses which have significant opportunities to incorporate air quality/transportation mitigation measures because of the concentrated number of automobile trips associated with them. Employers will be responsible for working with the local TMA in implementing TDM programs to reduce vehicle trips and increase vehicle occupancy. The decision to utilize public transit or non-vehicular transportation will rest with individuals, influenced by the availability and convenience of such facilities provided in the project.

### **II.7.4.3 Government/Service Agencies**

The city of Chula Vista will review project plans and monitor this plan. Because of its development approval role, the City can effectively enforce transportation planning and other standards for new construction. Some local public transportation systems are operated under authority of the City, in cooperation with regional operators. The City can also be a source of on-going education and air quality awareness through citizen/business communication programs.

The San Diego APCD will adopt regional air quality plans which will implement measures to meet State and Federal standards. Although these plans will focus primarily on transportation issues, land use and indirect source guidelines will also be included. State law

prohibits the intrusion of the APCD on the land use decision authority of the City, so it will be up to the City to implement any such guidelines.

## II.7.5 AIR QUALITY IMPACTS

This chapter discusses the Air Quality Impacts associated with the build-out of development within the EastLake Business Center II Supplemental SPA. Full development of the EastLake Business Center II Supplemental SPA would generate approximately \_\_\_\_\_ daily automobile trips. These trips would result in increased air emissions on new and existing roadways. Short-term emissions from construction activities would generate dust and diesel emissions resulting in short-term emissions impacts.

### II.7.5.1 Local (Construction) Impacts

Soil disturbance to prepare the project site would generate fugitive dust during the construction phase. Soil dust is typically chemically inert and much of the dust is comprised of large particles that are readily filtered by human breathing passages and also settle out on nearby surfaces. It comprises more of a potential soiling nuisance than an adverse air quality impact.

Construction activities for large development projects are estimated by the U.S. Environmental Protection Agency to add 1.2 tons of fugitive dust per acre of soil per month of activity. If water or other soil stabilizers are used to control dust, the emissions can be reduced by up to 50 percent. However, fugitive dust control using water must be balanced against the need to conserve water resources. Assuming the essentially all of the EastLake Business Center II Supplemental SPA will be graded and the average duration will be six months, a total of 755 tons of dust could be generated without application of dust control procedures. Standard dust control utilizing reclaimed water could reduce this by 50% to approximately 377 tons. The respirable PM<sub>10</sub> fraction of fresh construction dust is estimated to be approximately one-third of TSP. Thus, the project impact is probably about 126 tons over the multi-year build-out period.

In addition to fugitive dust, construction activities would also cause combustion emissions to be released from on-site construction equipment and from off-site vehicles hauling materials. Heavy duty equipment emissions are difficult to quantify because of day-to-day variability in construction activities and equipment used. Typical emission rates for a diesel powered scraper are provided in Table 2, and were obtained from the San Diego Air Quality Management Division Air Quality Handbook (April 1987). A diesel powered scraper is the most common equipment used for grading operations. The emission rates above are provided in grams per 8-hour day. [909,091 grams = 1 ton]

**Table 2**  
**Emission Rates for Grading Scraper**

<u>POLLUTANT</u>	<u>EMISSION RATE (Grams/8 Hr.)</u>
Carbon monoxide	5,280
Nitrogen oxides	22,560
Hydrocarbons	2,272
Sulfur oxides	1,680
Particulates	1,472

### II.7.5.2 Regional Impacts

#### a. Stationary

Emissions from industrial activity including painting, cleaning, manufacturing processes, and use of chemicals, while not considered significant because the anticipated uses will be “clean” industry, would have a cumulative impact on regional air quality. Similar emissions from the landscaped areas, including the use of gasoline powered lawn mowers and other equipment associated with maintenance activities are also not considered significant on a project level, but could have cumulative impacts on regional air quality. Within the South Coast Air Basin (Los Angeles area), regulations to prohibit or restrict these types of air impacts are being adopted. If similar regulations are adopted in the San Diego region, the SDAPCD (or its designee) will enforce compliance, including the subject project.

The project will also have an incremental impact through stationary impacts from electrical power generating stations which will increase their output to meet the electrical power needs of the proposed project. These impacts will be mitigated through compliance with the air quality plan(s) in effect at the generating station(s) site(s).

#### b. Mobile

Impacts to air quality result primarily from automobile emissions. The proposed project will result in an increase in air emissions. If the future development has been anticipated in the current air quality plan then air quality impacts are usually considered mitigated by adherence to the measures as outlined in the plan. The proposed project has been considered in the current air quality plan. However, the following ARB criteria can be used for evaluating project impacts:

*For long-term emissions, the direct impacts of a project can be measured by the degree to which the project is consistent with regional plans to improve and maintain air quality. The regional*

*plan for San Diego is the 1991/1992 RAQS and attached TCM Plan, as revised by the triennial update adopted on December 12, 1995. The CARB provides criteria for determining whether a project conforms with the RAQS, which include the following.*

- 1. Is a regional air quality plan being implemented in the project area?*
- 2. Is the project consistent with the growth assumptions in the regional air quality plan?*
- 3. Does the project incorporate all feasible and available air quality control measures?*

The revised RAQS are being implemented by APCD throughout the air basin. Therefore, the first criteria is fulfilled. Second, the project is consistent with Chula Vista's General Plan and, therefore, considered consistent with the growth assumptions in the RAQS. However, since the San Diego Air Basin is not in conformance with the ozone and PM<sub>10</sub> standards, the emissions contribution made by the proposed project represents a small, but significant direct air quality impact.

Localized air quality impacts can also result from vehicle emissions. The volume of carbon monoxide released when a large volume of slow moving vehicles are contained in one small area can create air pollution "hot spots". Often such "hot spots" can occur when intersection congestion is LOS E/F. If traffic on Otay Lakes Road deteriorates to these levels, potentially significant "hot spots" could result.

## II.7.6 IMPACT REDUCTION MEASURES

### II.7.6.1 Design Phase

This section of the AQIP demonstrate how the EastLake Business Center II Supplemental SPA addresses key design issues, at the SPA Plan level, which are directed toward reducing air pollution impacts. The design issues addressed below parallel those evaluated in a Draft Design Element Checklist proposed by City staff for project review purposes.

#### a. Street/Circulation Design with Pedestrian/Bicycle Orientation

The EastLake II General Development Plan, and subsequent SPA Plans, adopted by the City have emphasized the use of an extensive trail system, connecting activity centers, to enable non-vehicular travel. The project is designed to connect with the existing EastLake Business Center via both roads and off-street pedestrian/bicycle routes. The clustering of "activity uses" (high school, community park, employment and retail in the EastLake Activity Corridor and EastLake Village and Business Centers) at a central location within the community encourages the use of non-vehicular modes of travel to these destinations.

#### b. Housing/Employment Density Near Transit

The designation of transit stops and initiation of service are the responsibility of the City transit service. The City currently provides service to the central EastLake area. The proposed project will increase the employment "draw" to this area encouraging increased transit use. The clustering of transit destinations (*e g*, schools, shopping and employment) within the EastLake community encourages the use of public transit and simplifies routing and scheduling.

The provision of a Park-and-Ride facility in proximity to the project is anticipated. Construction of such a facility is required in the EastLake Village Center, located west of the project site. Such a Park-and-Ride facility could also provide a staging area for carpools, vanpools, and transit vehicles. This facility should be incorporated into a city-wide system of similar facilities coordinated with public transit routes, including future light rail corridors.

#### c. Land Use Mix/Proximity

The EastLake II General Development Plan, adopted by the City, includes job opportunities (EastLake Business Center I & II), recreation (EastLake Activity Corridor and Salt Creek Park), education, retail and service commercial (EastLake Village Center), and public facilities within the community. All of these sites are immediately adjacent or nearby within the community. Full implementation of the community plan would minimize the length and number of automobile trips because of the range of opportunities and services available within the community.

d. Site Design with Pedestrian/Bicycle Orientation

As noted above, the EastLake community as a whole has been designed with an extensive and convenient pedestrian and bicycle trail system. In order to improve the walking/biking experience along major streets, meandering walks or non-contiguous sidewalks both with landscaped areas separating the path from traffic are provided on all the major streets in the project. Pedestrian/bicycle "short cuts" have been included in the plan via open cul-de-sacs which provide more direct routes to neighborhood/community destinations and encourage use of alternative modes of transportation. The Business Center II project includes the off-street pedestrian/bicycle trail on the Thematic Corridor along Fenton Street which connects it to the major trail system throughout the community.

e. Site Design with Transit Orientation

Placement of buildings and building entrances, particularly larger buildings, can encourage transit or alternative transportation modes. The SPA Plan does not specify building locations. Hence, this issue can be addressed in the Tentative Map and Site Plan/Design Review processes when greater project detail is available.

f. Reduced Commercial Parking

The EastLake Business Center II Supplemental SPA does not include any commercial uses. Parking requirements are set forth in the EastLake II Planned Community District Regulations which have been adopted by the City with previous EastLake SPA approvals.

g. Bicycle Route Integration with Transit & Employment

Bike lanes are designated on Fenton Street within the project area. On other internal streets, bicyclists will be readily able to share the road with motor vehicles due to the low volumes and limited speeds allowed. Project bicycle routes connect to regional systems as indicated in the Circulation Element of the General Plan and provide access to all regional destinations including the park-and-ride facility, and nearby commercial centers and residential areas.

h. Energy Efficient Landscaping

Shading cars and buildings with the proper landscaping can reduce the amount of energy required for air conditioning which can, in turn, reduce emissions at power generating stations. Landscaping is addressed in a conceptual manner in the Design Guidelines component of the SPA submittal. As with building design discussed above, the level of detail provided in Site Plan/Design Review submittal is necessary to evaluate proposed landscaping in terms of its shading potential. This approach is very relevant to the Business Center II since such shading is most effective where group parking and larger buildings which are air conditioned all day long are involved (*i.e.*, non-residential uses).

## I. Alternative Fuels/Telecenter

Commuting is one of the largest contributors to air pollution. Providing telecommuting space to work at home via computer link, or at nearby center can reduce commute trips, traffic congestion, and driving cost. Because this is becoming a popular working alternative, many new homes now include areas designed for computer or home office use. Builders in EastLake will continue to provide such features as the market dictates.

The Master Developer is also working with the cable TV provider to include high speed electronic communications connections through the cable TV system. This service is currently available in the adjacent EastLake Greens neighborhood and is expected to be provided within the Business Center II neighborhood to allow employers to connect with employees and other organizations electronically. Computer and communication technology is constantly improving and predicting the next breakthrough, much less what will become available over the next few years as the Business Center is developed, is impossible. However, the Master Developer is committed to working closely with electronic communication access providers and guest builders to assure new development is not technologically obsolete when it is built.

Further, outside of the home, telecenters can be part of a multi-purpose activity centers at the neighborhood or community level. Should the City or homeowners determine such a facility was a desirable component of the community, it could be located within the Business Center to allow EastLake residents a very short "commute" from their home to the telecenter. As with innovations noted above, market demand will determine when and if such facilities are initiated.

### i. Overall Sustainability of Project

In summary, the EastLake Business Center II Supplemental SPA expands upon a pedestrian/bicycle friendly neighborhood design which encourages non-vehicular circulation. The EastLake Planned Community as a whole also implements a land use mix and community trails which encourage reduced dependence on the automobile.

#### **II.7.6.2 Construction Phase**

Even though the creation of dust is limited to the construction phase of a project and is thus "temporary," a large development could significantly contribute to adverse air quality impacts. As mitigation for these potential impacts, dust control during grading operations will be regulated in accordance with the rules and regulations of the San Diego APCD.

At the time tentative maps are approved for the project, the following measures would be required to reduce fugitive dust impacts and emissions impacts from construction equipment:



a. Clearing/Grading

- All unpaved construction areas shall be sprinkled with water or other acceptable San Diego APCD dust control agents during dust-generating activities to reduce dust emissions.

b. Disturbed Areas

- On-site stockpiles of excavated material shall be covered or watered.
- Disturbed areas shall be hydroseeded, landscaped, or developed as quickly as possible and as directed by the City to reduce dust generation.

c. Track-Out Control

- On dry days, dirt and debris spilled onto paved surfaces shall be swept up immediately to reduce re-suspension of particulate matter caused by vehicle movement. Approach routes to construction sites shall be cleaned daily of construction-related dirt in dry weather.

d. Dirt Hauling

- Trucks hauling dirt and debris shall be properly covered to reduce windblown dust and spills.

e. High Wind Operations

- Additional watering or acceptable APCD dust control agents shall be applied during dry weather or windy days until dust emissions are not visible.

f. Off-Road Equipment

- Enforce a 20 mile-per-hour speed limit on unpaved surfaces.
- Heavy-duty construction equipment with modified combustion/fuel injection systems for emissions control shall be utilized during grading and construction activities. Catalytic reduction for gasoline-powered equipment shall be used. Also, equip construction equipment with prechamber diesel engines (or equivalent) together with proper maintenance and operation to reduce emissions of nitrogen oxide, to the extent available and feasible.
- Use low pollutant-emitting construction equipment.
- Use electrical construction equipment, to the extent feasible.

- The simultaneous operations of multiple construction equipment units shall be minimized (*i.e.*, phase construction to minimize impacts).

Incorporation of these measures, combined with the fact that construction is a one-time short-term activity, will reduce potentially significant air quality impacts to below a level of significance.

**Water Conservation Plan  
for  
EastLake Business Center II  
Supplemental SPA Plan**

**Addendum  
December 2007**

**Amendment Adopted December 18, 2007  
by Resolution No. 2007-299**

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## **EASTLAKE BUSINESS CENTER SPA AMENDMENT - NOVEMBER 2007**

### **Introduction:**

The approach to Water Conservation Plan Addendum is intended to be comprehensive and implemented throughout the life of the Project. Water conservation during construction and after occupancy, as well as the installation of water conserving landscaping, appliances and fixtures are addressed in this Addendum. Efforts to educate and increase awareness of the need to conserve water should be disseminated to future owners/tenants by the Applicant.

The following are Water Conservation goals established in the adopted EastLake Business Center II Supplemental SPA Water Conservation Plan:

1. To conserve water during and after construction of the projects within the EastLake Business Center II Supplemental SPA.
2. To comply with the water conservation standards and policies of the City of Chula Vista and Otay Water District.
3. To create a comprehensive framework for the design, implementation and maintenance of water conserving measures, both indoor and outdoor.
4. To be economically efficient and cost effective.

### **Project Description:**

The applicant, IRE ("Applicant") development, is proposing to introduce commercial retail uses within the existing Eastlake Design District and is requesting a land use designation change from Light Industrial to Commercial Retail in order to complement the existing furniture and home improvement businesses presently in the District. The Applicant is also proposing certain modifications to the property development standards to accommodate up to five story buildings (up to 76 ft. high), special parking ratios for furniture stores and restaurants and professional and medical office uses, including medical clinics. Certain specialty retail uses related to home improvement are currently allowed under a previously approved Master Use Permit. However, these and other retail uses as well as developmental and operational flexibilities are proposed to be incorporated into the EastLake II Planned Community District Regulations.

More specifically, an amendment to the City of Chula Vista General Plan (GPA) was filed to change the land use designation of approximately 16.7 previously developed acres at the northeast corner of Fenton Street and Showroom Place (851-891 Showroom Place) Within the Eastlake Business Center II project, hereafter referred to as Area "A" (see figure \_\_\_ ) from Limited Industrial to Commercial Retail. Concurrent amendments to the Eastlake II General Development Plan (GDP), Supplemental Sectional Planning Area (SPA) Plan for Eastlake Business Center II and associated regulatory documents are proposed for Area A above and parcels identified as Lot 2 of Map 13971 and Lots 5-8 of Map 14395, herein after referred to as Area B (see Figure \_\_\_ ) and 2430 Fenton Street, herein after referred to as Area C. The GDP and the Eastlake Business Center II Supplemental SPA amendment consist of changing the land use designation of Area A from BC-1, Business Center Manufacturing Park District with Design District Overlay zone to a new commercial land use district and

Area B from BC-1 with Design District Overall to BC-4 (Business Center Core District). Also included are certain modifications to the adopted property development regulations in order to accommodate greater design and land use flexibility.

**Water Supply:**

EastLake Business Center II Supplemental SPA is located within the OWD’s Central Service Area. The Project would receive its water supply from the Otay Water District’s Central System. The OWD also provides recycled water to the Project area. The District owns and operates the Ralph W. Chapman Water Recycling Facility located near the intersection of Singer Land and Highway 94. This plant produces up to 1.3 million gallons of recycled water for non-potable water uses such as irrigation of golf courses, school playing fields, public parks, and public landscaping. Additional recycled water supply will be available from the City of San Diego’s proposed 6 million gallons per day (MGD) capacity South Bay Water Reclamation Plant, which will be located in the Tijuana River Valley at Monument and Dairy Mart Roads near the Mexican border.

Supply of recycled water for the Project would be coordinated by the Otay Water District and the City of Chula Vista. The phased construction of potable and recycled water facilities, based on the District-approved master plans, have been installed per public facilities Financing Plan and subdivision map conditions for the overall Business Center II area.

**Water Consumption:**

This section presents information on the anticipated increase in water demand as a result of the Eastlake Business center SPA Amendment. Table 2, below, shows the current water consumption within the SPA, and projected water consumption after Project built out.

The total projected average water consumption at built out, without conservation measures, is approximately 0.105 million gallons per day (MGD). A difference of \_\_\_ MGD. The focus of this Addendum is to describe conservation measures for reducing the projected 0.105MGD potable water use within the industrial project.

**Table 2  
EastLake Business Center II Supplemental SPA  
Project Water Use**

<b>Land Use</b>	<b>Acres</b>	<b>Consumption Rate<sup>1</sup></b>	<b>Water Use (MGD)</b>
Industrial	84.0	1.0 afy/acre	0.075
Commercial*	16.7	2.0 afy/acre	0.030
<b>Total</b>	<b>100.7</b>	<b>1.17 afy/acre</b>	<b>0.105</b>

<sup>1</sup>ayf = acre-foot per year;

1 acre-foot = 326,000 gallons

\* Consumption and savings rates rate taken from Section II 7.7 of the EastLake I Supplemental Water Conservation Plan for EastLake Village Center North Supplemental SPA (July 23,2002)

### **Water Conservation Measures:**

Implementing water conservation measures before a project is constructed provides an opportunity to include measures, which might not otherwise be practical. Unlike a residential project where there are a variety of indoor fixtures and appliances, which can be selected for water conservation, industrial and commercial developments are fairly limited in options.

#### *Indoors*

Industrial and commercial water demand includes indoor water used by businesses and service providers. Historically, eighty percent of industrial water is used indoors, primarily for industrial processes. The adoption of state and federal laws has required that water efficient equipment and process be implemented in these activities, comparable to the low flow fixture requirements for new residential development. Implementation of these requirements will result in conservation savings of twelve to fifteen percent, according to the Department of Water Resources. The existing 16.7-acre commercial site, which is built-out, includes water conservation measures and has the same conservation savings.

Applying this estimate to the Business Center II project, yields an estimated conservation amount of 0.010 MGD [ $0.105 \text{ MGD} \times .8 \text{ (indoors)} \times .12 \text{ (conservation factor)}$ ].

#### *Outdoors*

Landscape/Irrigation – Industrial water demand includes irrigation water used on industrial sites. Outdoor irrigation is estimated to comprise twenty percent of industrial water use which is calculated to be 0.015 MGD in the Business Center II project. The Commercial water demand for irrigation water is estimated to comprise 20% of commercial water use which is calculated to be 0.006 MGD. The Commercial portion of EastLake Business Center II is already built out and was constructed in conformance with the industrial zoning. Therefore, the amendments proposed to accommodate a larger mix of uses on the commercial site will not result in a change to outdoor water use.

With the installation of an efficient and properly maintained irrigation system, a decrease in the area planted with cool-season turf and use of low-water requiring plants, a thirty percent reduction in irrigation water requirements can be expected. Applying this estimate to the Business Center II project, yields an estimated conservation amount of 0.006 MGD [ $0.105 \text{ MGD} \times .2 \text{ (outdoors)} \times .30 \text{ (conservation factor)}$ ].

### **Water Use During Construction:**

Water conservation measures can also be implemented during the construction/grading process. The three primary uses are: dust abatement; soil compaction; and, street washing. Since the imposition of Stage 2 water conservation requirements by the Otay Water District, water conservation has been incorporated in EastLake construction activities, as appropriate. Water use has been limited to that necessary for proper soil compaction; soiled streets have been swept instead of washed. Recycled water could be used for these grading activities, when it is available.

The use of native/naturalized plant materials on graded slopes in open space will reduce the need for irrigation in the future. Open space slopes within the EastLake Business Center II

Supplemental SPA will be planted with drought tolerant plant materials to reduce the need for irrigation and maintenance.

**Implementation Measures:**

In addition to the implementation measures outlined in the previously adopted EastLake Business Center II Supplemental SPA, the Applicant of the subject Project has committed to following the water conservation measures:

- Indoor water conservation measures:
  - Hot-Water Pipe Insulation: Install insulation on all hot water pipes in all common areas and all tenant-developed areas.
  - Pressure Reducing Valves: Provide pressure reducing valves at all meters, set to deliver water at no higher than 60 psi
- At least one outdoor water conservation measure and at least one additional water conservation measure from either the indoor or outdoor categories.
  - Outdoor Water Conservation Measures
    - Water Efficient Irrigation System – Use of rain sensors and soil moisture measuring devices for scheduling and controlling all landscape irrigation programs in commercial, industrial and business centers including tenant areas.
    - Evapotranspiration (ET) Controllers – Timed, fixed irrigation scheduling based on estimates of actual plant evapotranspiration rates. Radio signal from a central control station or satellite transmits information to the controllers to operate the sprinklers for the appropriate length of time.
    - Water-Efficient Landscaping – Use of native vegetation and drought tolerant plant materials, avoiding grass and turf to the extent practical and use of irrigation systems and controllers as required by the Chula Vista Landscape Manual Use. In addition, the use of drip irrigation where possible and restriction of sprinkler irrigation as recommended by the water purveyors.
    - Recycled Water – Expand use of recycled water beyond areas mandated by the water purveyor to those areas where landscaping is within a reasonable reach of recycled water pipelines, to the extent that such use is acceptable to regulatory authorities
    - Outdoor Garden Sales – All tenants with outdoor garden sales areas to install micro-irrigation systems (trickle or drip irrigation) and provide water conservation educational materials for consumers.
  - Indoor Water Conservation Measures
    - Dual-Flush Toilets – Install dual-flush (ULFT) toilets in public restrooms including gas station restrooms.
    - Waterless Urinals – Install waterless urinals in public restrooms (men’s rooms) including gas station restrooms.

- Pre-Rinse Sprayer on Sinks – Install automatic shut-off sprayer for pre-rinsing dishes with a maximum flow rate of 1.6 gpm in all restaurant and fast-food units.
- High-Efficiency Dishwashers – Install high-efficiency dishwashers in restaurant buildings.
- Air-Cooled Ice Machines – Install air-cooled ice machines instead of water-cooled machines in restaurants.
- Conductivity Meters – Install conductivity meters on cooling towers to regulate cycling of cooling water and chemicals.
- Optional Water Conservation Measures
  - Sub-meter all individual tenants in buildings.
  - Provide educational materials and guidance to tenants.

### **Implementation Timing**

All implementation measures listed above shall be incorporated in the building plans and installed as part of the individual projects prior to issuance of certificate of occupancy.



# **Water Conservation Plan**

for

## **EastLake Business Center II Supplemental SPA Plan**

**Adopted November 16, 1999**

**by Resolution No. 19666**

Project Sponsor:

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## II.8.1 EXECUTIVE SUMMARY

As detailed in this plan, numerous features have been included in the project and commitments made by the Master Developer to minimize the use of water during the construction and occupation of development within the EastLake Business Center II SPA. The estimated potable water consumption statistics, with and without conservation measures are outlined in Table 1 below

**Table 1**

**EastLake Business Center II Supplemental SPA  
Water Consumption/Conservation Summary**

Land Use Category	Potable Water Consumption		Percent Savings
	w/o Conservation	w/ Conservation	
Industrial	0.090 MGD	0.076 MGD	16%
<b>TOTALS</b>	<b>0.090 MGD</b>	<b>0.076 MGD</b>	<b>16%</b>

The water savings summarized above reflect the implementation of specific water conservation measures within the EastLake Business Center II Supplemental SPA boundary. These measures include the use of water conserving equipment and processes indoors, and the installation of efficient irrigation systems and low water use plant materials outdoors as site landscaping.

It should be noted that this estimate is low since it does not include any contribution from the use of reclaimed water on major landscape areas such as the perimeter slopes. This factor has not been included because there is no accurate information at the SPA Plan level with regard to the location and extent of these slopes which will be defined at the tentative map and site plan stage of design.

## II.8.2 INTRODUCTION

The purpose of this Water Conservation Plan for development within the EastLake Business Center II Supplemental Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the city of Chula Vista. The water conservation measures presented in this plan are intended to respond to the long term need to conserve water in new development; more stringent short-term, emergency measures (*e.g.*, water rationing, new meter moratorium, *etc.*) responding to a drought or water crisis situations are not included. This plan is intended to be implemented over the life of the project and to establish standards which will be acceptable to future project occupants regardless of water availability

The approach to water conservation outlined in this plan is intended to be comprehensive and implemented throughout the life of the development project. Water conservation during construction and after occupancy are addressed, as well as the installation of water conserving landscaping, appliances and fixtures. Efforts to educate and increase awareness of the need to conserve water and the opportunities to do so, will be directed toward future owners/tenants.

The following are goals of the EastLake Business Center II Supplemental SPA Water Conservation program:

1. To conserve water during and after construction of the projects within the EastLake Business Center II Supplemental SPA.
2. To comply with the water conservation standards and policies of the city of Chula Vista and Otay Water District.
3. To create a comprehensive framework for the design, implementation and maintenance of water conserving measures, both indoor and outdoor.
4. To be economically efficient and cost effective.

### **II.8.3 WATER SERVICES and SUPPLY**

Most of the potable water used in San Diego County is imported from the Colorado River and the Sacramento-San Joaquin Delta. A small portion is from local surface water storage reservoirs and groundwater.

The Otay Water District (OWD) provides water service to the EastLake Business Center II Supplemental SPA project area. The OWD is a member of the San Diego County Water Authority (CWA) which purchases the imported water from the Metropolitan Water District of Southern California (MWD). The OWD obtains filtered water from CWA's water Pipeline No. 4 of the Second San Diego Aqueduct. Water supplied from this pipeline is treated at the MWD's Skinner Filtration Plant located in Riverside County.

EastLake Business Center II Supplemental SPA is located within the OWD's Central Service Area. The project area would receive its water supply from the Otay Water District's Central System. The OWD also provides recycled water to the project area. The District owns and operates the Ralph W. Chapman Water Recycling Facility located near the intersection of Singer Lane and Highway 94. This plant produces up to 1.3 million gallons of recycled water for non-potable water uses such as irrigation of golf courses, school playing fields, public parks, and public landscaping. Additional recycled water supply will be available from the City of San Diego's proposed 6 million gallons per day (MGD) capacity South Bay Water Reclamation Plant, which will be located in the Tijuana River Valley at Monument and Dairy Mart Roads near the Mexican border. This plant is scheduled to go on line by 2001.

Recycled water requirements for the project will be coordinated by the Otay Water District and the city of Chula Vista. The phased construction of potable and recycled water facilities, based on the District-approved master plans, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions for the project to assure timely provision of required facilities.

## II.8.4 WATER CONSUMPTION

This section presents information on the anticipated water demand of development within the EastLake Business Center II Supplemental SPA. Table 2, below, shows the projected water use within the SPA, based on average use rates which do not reflect significant conservation measures, categorized according to land use.

The total projected average water use, without conservation measures, for development within the EastLake Business Center II Supplemental SPA is 0.090 million gallons per day (MGD). The ability to use recycled water to irrigate large areas (perimeter slopes and major streetscapes) within the EastLake Business Center II Supplemental SPA is being built into the project, and is not addressed separately, as it is not directly a part of the industrial project. The focus of this report is to describe conservation measures for reducing the projected 0.090 MGD potable water use within the industrial project.

**Table 2**

**EastLake Business Center II Supplemental SPA  
Projected Water Use**

<b>Land Use</b>	<b>Acres</b>	<b>Consumption Rate<sup>1</sup></b>	<b>Water Use (MGD)</b>
Industrial	100.7	1.0 afy/acre	0.090

<sup>1</sup> afy = acre-foot per year;

1 acre-foot = 326,000 gallons

## II.8.5 WATER CONSERVATION MEASURES

Implementing water conservation measures before a project is constructed provides an opportunity to include measures which might not otherwise be practical. Unlike a residential project where there are a variety of indoor fixtures and appliances which can be selected for water conservation, industrial development is fairly limited in its options.

### II.8.5.1 Indoors

Industrial water demand includes indoor water used by businesses and service providers. Historically, eighty percent of industrial water is used indoors, primarily for industrial processes. The adoption of state and federal laws has required that water efficient equipment and process be implemented in these activities, comparable to the low flow fixture requirements for new residential development. Implementation of these requirements will result in conservation savings of twelve to fifteen percent, according to the Department of Water Resources.

Applying this estimate to the Business Center II project, yields an estimated conservation amount of 0.009 MGD [0.090 MGD x .8 (indoors) x .12 (conservation factor)].

### II.8.5.2 Outdoors

Landscape/Irrigation - Industrial water demand includes irrigation water used on industrial sites. Outdoor irrigation is estimated to comprise twenty percent of industrial water use which is calculated to be 0.018 MGD in the Business Center II project.

With the installation of an efficient and properly maintained irrigation system, a decrease in the area planted with cool-season turf and use of low-water requiring plants, a thirty percent reduction in irrigation water requirements can be expected. Applying this estimate to the Business Center II project, yields an estimated conservation amount of 0.005 MGD [0.090 MGD x .2 (outdoors) x .30 (conservation factor)].

Water Use During Construction - Water conservation measures can also be implemented during the construction/grading process. The three primary uses are: dust abatement; soil compaction; and, street washing. Since the imposition of Stage 2 water conservation requirements by the Otay Water District, water conservation has been incorporated in EastLake construction activities, as appropriate. Water use has been limited to that necessary for proper soil compaction; soiled streets have been swept instead of washed. Recycled water could be used for these grading activities, when it is available.

The use of native/naturalized plant materials on graded slopes in open space will reduce the need for irrigation in the future. Open space slopes within the EastLake Business Center II Supplemental SPA will be planted with drought tolerant plant materials to reduce the need for irrigation and maintenance.

### II.8.5.3 Typical Water Conservation Plan

Table 3, below, summarizes the anticipated results from the conservation measures to be implemented in the EastLake Business Center II Supplemental SPA. As shown in the table, a total water savings of 0.014 MGD or approximately 16% of the estimated potable water use without conservation is projected with full implementation of the water conservation measures specified in this plan.

It should be noted that this estimate is low since it does not include any contribution from the use of reclaimed water on major landscape areas such as the perimeter slopes. This factor has not been included because there is no accurate information at the SPA Plan level with regard to the location and extent of these slopes which will be defined at the tentative map and site plan stage of design.

**Table 3**

#### EastLake Business Center II Supplemental SPA Typical Water Conservation Measures

Conservation Measure	Function	Water Savings For Project (MGD)
<u>Inside</u> Water conserving equipment & processes	Reduce water consumption	0.009
<u>Outside</u> Efficient irrigation & low water use landscaping	Increase irrigation efficiency & reduce water demand	0.005
<b>PROJECT TOTALS</b>		<b>0.014</b>

### II.8.5.4 Implementation/Monitoring

Implementation of the Water Conservation Plan shall be primarily the responsibility of the Master Developer. The Master Developer will establish requirements and guidelines for site developers and provide educational materials and guidance to new tenants. The Master Developer will also install drought tolerant landscaping, approved by the City, in selected streetscapes and open space areas. The Master Developer will also require the inclusion of drought tolerant plant materials and efficient irrigation systems in the majority of site developer installed landscaping.

A significant responsibility will also rest with the city of Chula Vista to ensure/enforce the provisions of this plan, specifically the Planning Department. The department will review



plan submittals to ensure that water conservation measures are properly included, and approve planting and irrigation plans for open space.

Mains and laterals for recycled water will be installed with the major road and infrastructure improvements. The provision of recycled water is the responsibility of the Otay Water District, which will also be responsible for enforcing water quality regulations. The District mandates the use of recycled water for major landscaping, where such water is available. Final determination of areas to use recycled water for irrigation purposes will be coordinated between the District and the City for open space areas.

In order to ensure that all provisions of this plan are met, the standard review of landscape and construction documents performed by the City will include an evaluation of compliance with the provisions of this Water Conservation Plan. This approach will allow for a formal determination by the City that each of the required measures are implemented. Future discretionary or administrative actions with regard to development within the EastLake Business Center II SPA (*e.g.*, tentative map, building or grading permit, *etc.*) may be utilized to address or ensure compliance with the prescribed water conservation measures.

## II.8.6 References

ACI Sunbow, LLC; Draft Water Conservation Plan Sunbow II; March 15, 1999.

American Water Works Association; WaterWiser - 1998 Water Use Summary; August 1998.

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Willdan Associates and Bud Gray; Draft Growth Management Program - City of Chula  
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