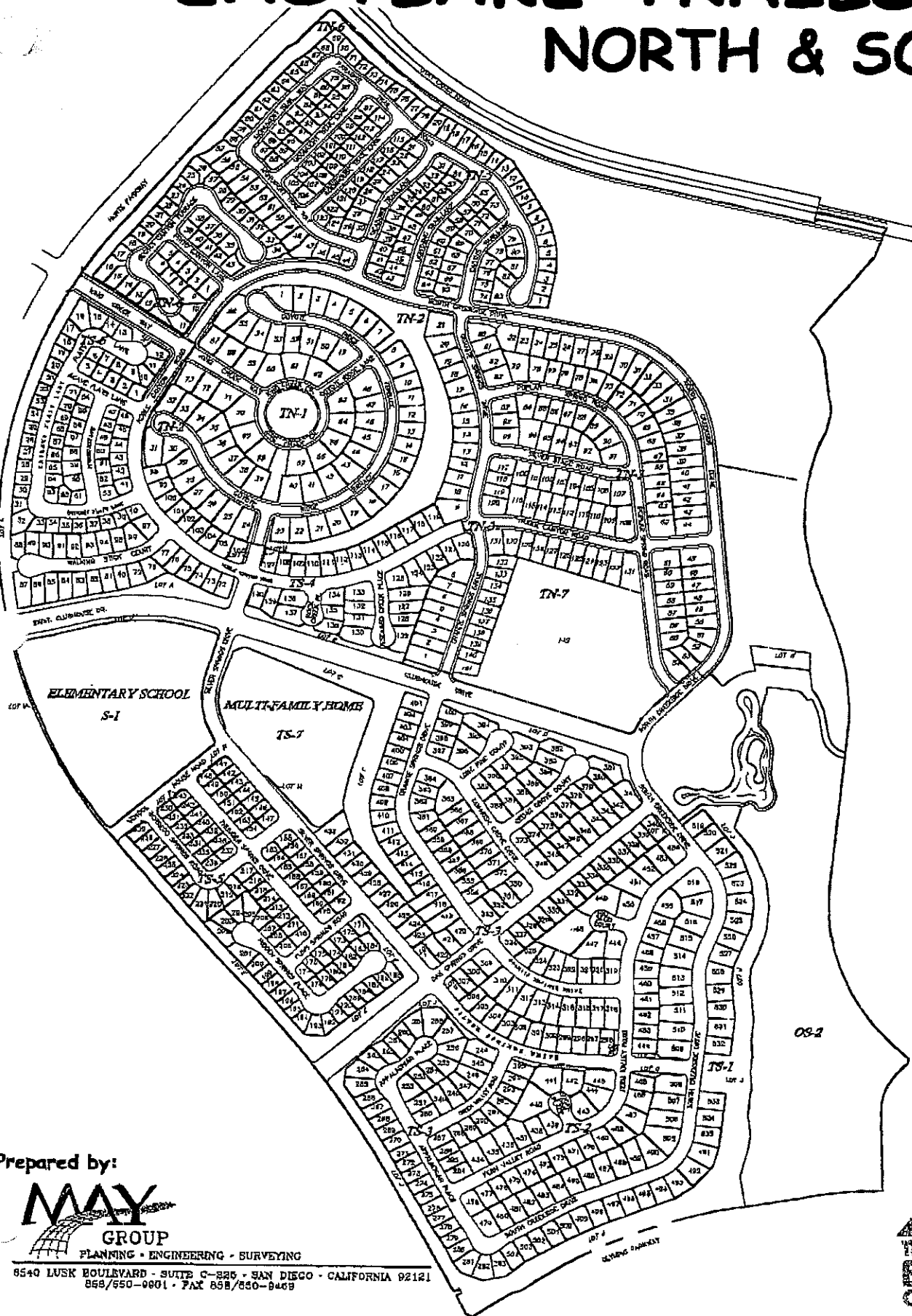


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EASTLAKE TRAILS NORTH & SOUTH



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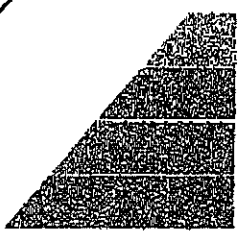
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Prepared for:



THE
EASTLAKE
COMPANY, LLC

The EastLake Company, LLC
EastLake Trails North & South
Trails Marketing names by Neighborhood

Trails South:

- TS-1 – Creekside Estates, Continental Homes
- TS-2 – Sagewood, Cornerstone Communities
- TS-3a – Monterey Point, Fieldstone Communities
- TS-3b – Monterey Ridge, Fieldstone Communities
- TS-4 – Woodcreek, KB Home
- TS-5 – Hillgate, KB Home
- TS-6 – Bridlewood, KB Home
- TS-7 – Sycamore Ridge, Shea Homes

Trails North:

- TN-1 – Park Place, Cornerstone Communities
- TN-2a – Park Place, Cornerstone Communities
- TN-2b – Sierra, KB Home
- TN-3a – Sierra, KB Home
- TN-3b – Monterey Ridge, Fieldstone Communities
- TN-5 – Sevilla, Cornerstone Communities
- TN-6 – Bridlewood, KB Home
- TN-7 – Sycamore Ridge, Shea Homes





EASTLAKE

February 2000

GENERAL DEVELOPMENT PLAN

EASTLAKE II

INCLUDES THE FOLLOWING SPAs:

**EASTLAKE I, EASTLAKE II (EASTLAKE GREENS & TRAILS),
SALT CREEK I, BUSINESS CENTER II
AND VILLAGE CENTER NORTH**

Adopted November 16, 1999
by Resolution No. 19666

Amended August 23, 2005
by Resolution No. 2005-288

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By Resolution No. 2007-299

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**SECTION I.1
GENERAL DEVELOPMENT PLAN (GDP)**

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I.1.1 Introduction & Background

I.1.1.1 Introduction

The EastLake II General Development Plan (GDP) provides a policy bridge between the Chula Vista General Plan and the detailed planning provided in Sectional Planning Area (SPA) Plans for the EastLake II area (see Vicinity Map, Exhibit 1).

This GDP establishes Land Use Districts and defines intensity of development permitted in each district. This GDP is the second in a series of planning documents and programs that will guide the development of the EastLake II area, with the first being the Chula Vista General Plan. Following the adoption of the General Plan and GDP, individual SPA Plans will further detail the planning policies and programs that will administer and regulate development. The GDP and the SPA Plans are required components of Planned Community (PC) Zoning and have been established in accordance with Sections 65450 through 65553 of the State of California Government Code and Sections 19 07.010 through 19 07.030 of the City of Chula Vista Municipal Code and apply to the property outlined by the General Development Plan boundary shown on Exhibit 2.

I.1.1.2 Background

The General Development Plan for EastLake I, which includes approximately forty percent of the property, was established as the EastLake I General Development Plan in August 1982. SPA's (neighborhoods) developed in EastLake I GDP area include EastLake Shores, EastLake Hills, Salt Creek I, Village Center North, and the EastLake Business Center I and II. Refer to Exhibits 2 and 3.

The EastLake Village Center North Supplemental SPA, includes Commercial, Office Professional and Business Center. The component of the Village Center south of Otay Lakes Road is included in the EastLake II SPA (Trails and Greens Neighborhoods) and is limited to Commercial uses.

The second major increment of the EastLake Community was the planning of the EastLake Greens and EastLake Trails neighborhoods, located east of the proposed alignment of SR-125, between Otay Lakes Road, and Olympic Parkway. This second phase was merged with the EastLake I GDP and the two areas are now known as the EastLake II GDP.

Vicinity Map

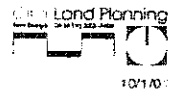
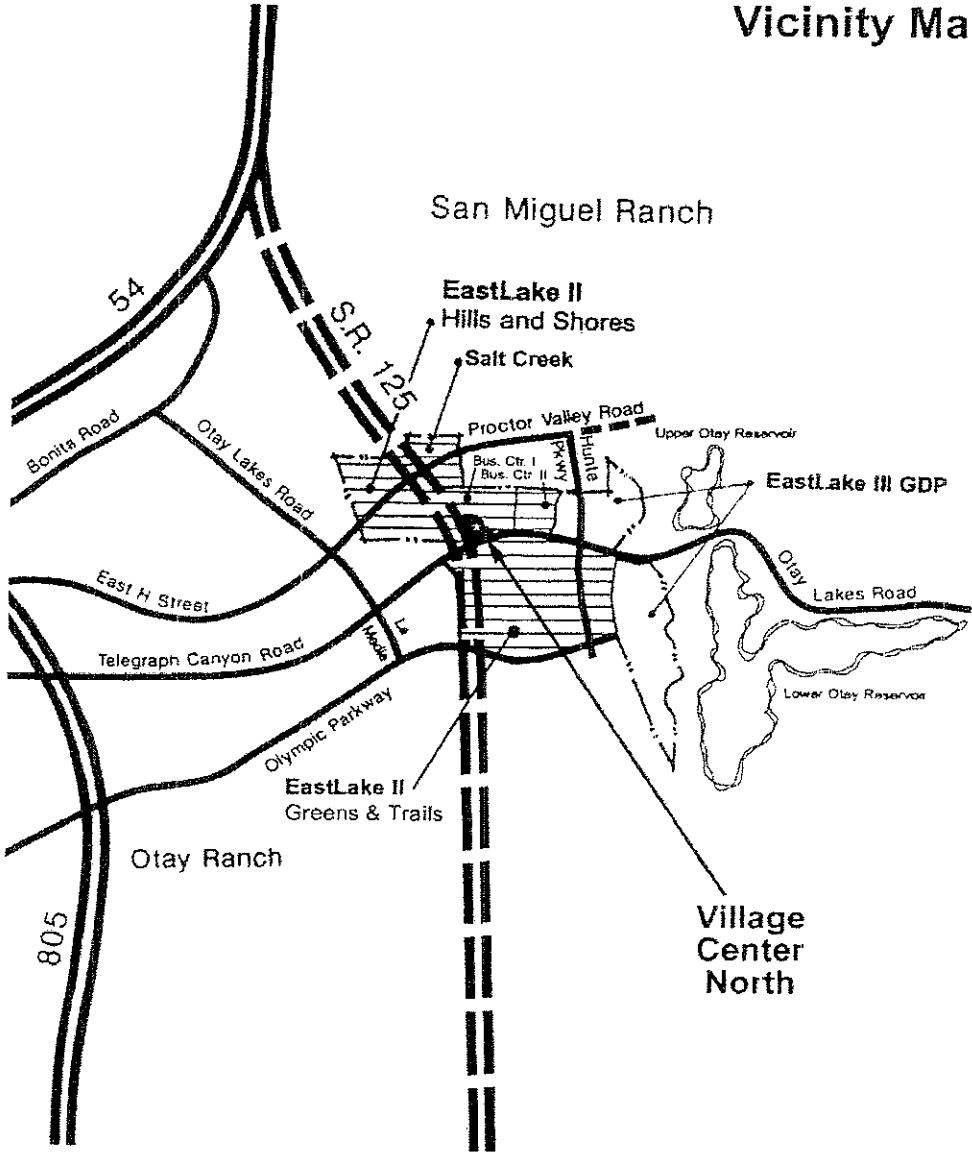


Exhibit 1

General Development Plan Boundaries

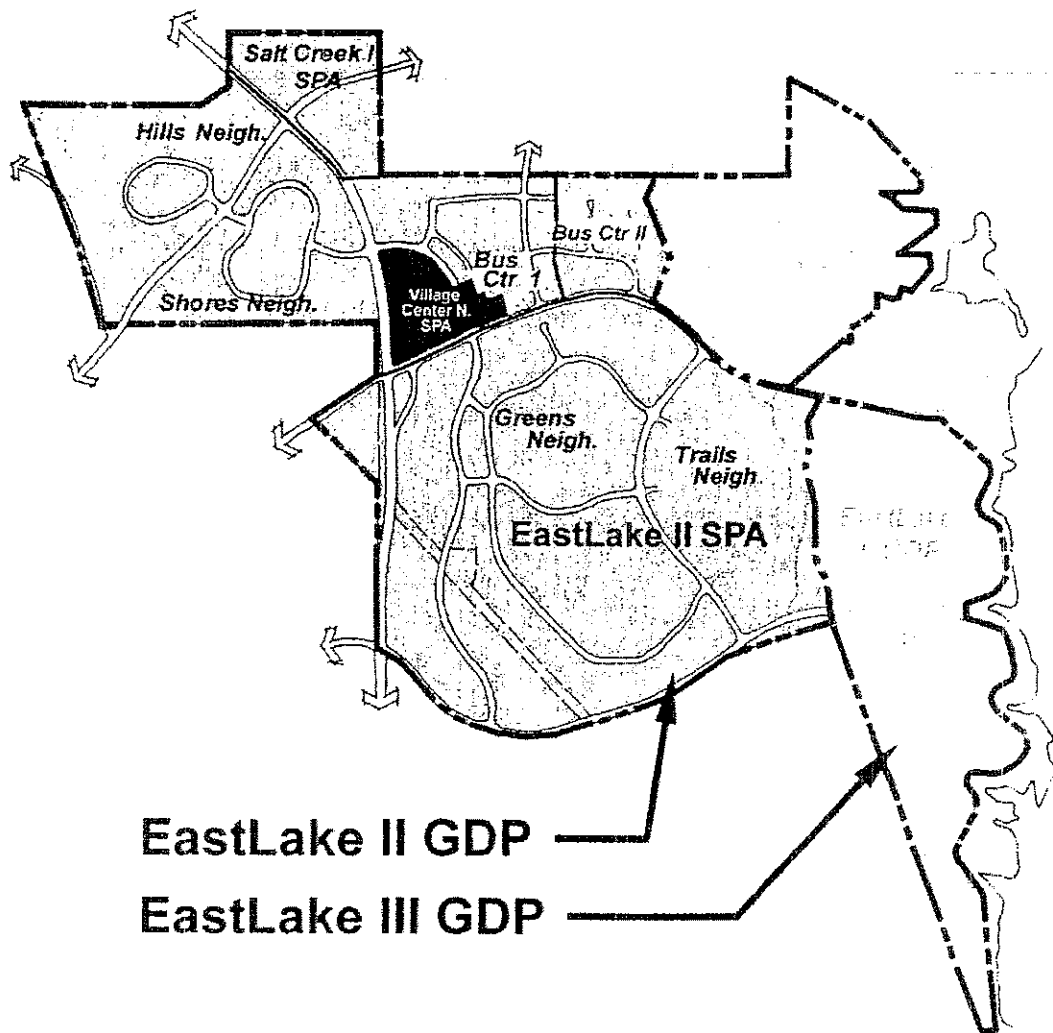


Exhibit 2

Adopted SPA Boundaries

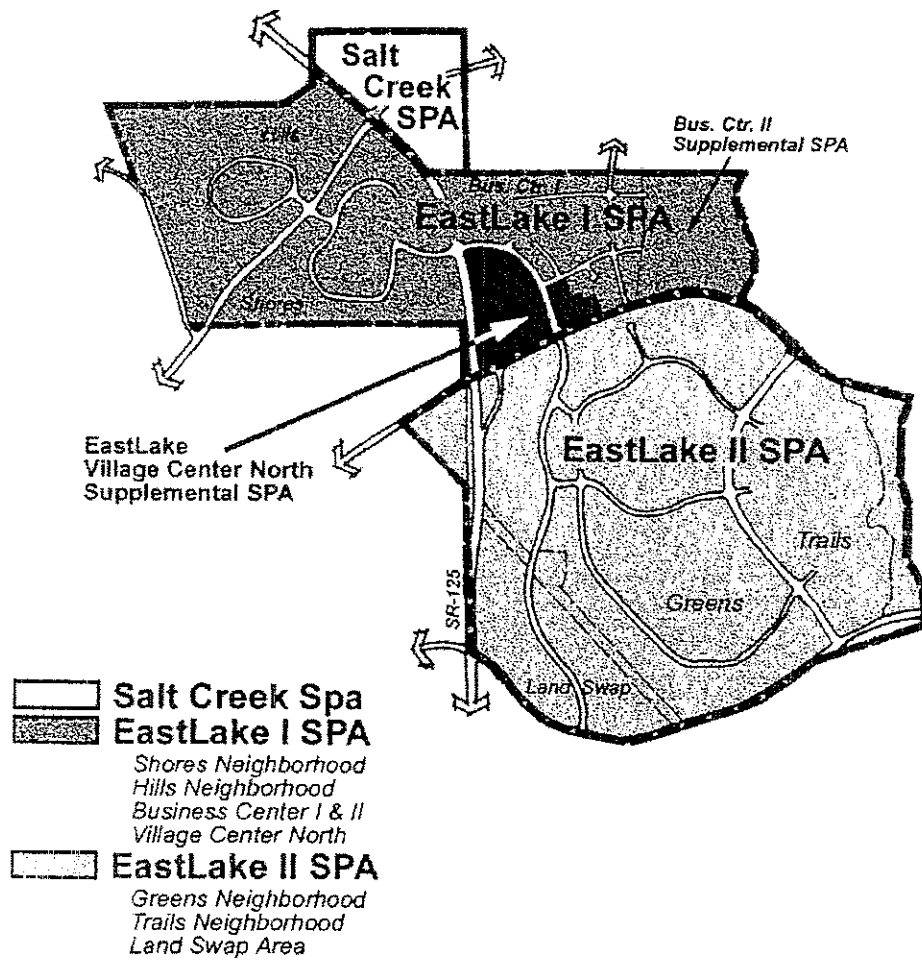


Exhibit 3

I.1.2 Record of Amendments

I.1.2.1 The 1994 General Development Plan Amendment

All of the original EastLake property has been annexed to the City. After that annexation, EastLake made an exchange of property with the Otay Ranch involving parcels known as the Land Swap Property. This amendment incorporated a portion of the Land Swap (22.7 acres) into the EastLake Greens SPA for annexation to the City of Chula Vista. The balance of the Land Swap Property is to be the subject of a future action.

In addition, the EastLake Greens SPA was originally proposed to contain five parcels for higher density housing. These parcels were given an interim density designation in the SPA approval process. This amendment revises these interim designations to permanent designations to maintain the overall community character.

I.1.2.2 The 1995 Amendment

This amendment relocated one public and one private park in the southern part of EastLake Greens to create more useable park sites. As a result of these park relocations, one residential parcel was eliminated and a public/quasi-public site was enlarged. These changes reduced the residential density in EastLake Greens by 133 units. Density transfers and boundary adjustments were made as a result of these changes. One density transfer of significance was the conversion of a parcel south of the EastLake High School from its "Interim Designation" to a permanent designation of Medium-High, which is consistent with the General Plan for this parcel. No changes to existing conditions were proposed in the northern portion of EastLake Greens, EastLake Trails or EastLake I Planning Areas.

I.1.2.3 The 1998 Amendment

The amendment consisted of modifying and rearranging the EastLake Trails land uses and incorporating 133.5 acres (Northern and Southern "Land Swap" Parcels) to the EastLake II GDP, EastLake Greens SPA and associated regulatory documents. The following paragraphs describe the amendment in more detail.

The Northern "Land Swap" Parcel - The Northern "Land Swap" parcel is designated for Professional and Administrative Commercial in the General Plan, and the same land use designation in the EastLake II GDP, (EastLake Greens Neighborhood).

The Southern "Land Swap" Parcel - The Southern "Land Swap" parcel is bisected by the extension of EastLake Parkway creating two parcels. These two parcels are zoned PC and, under the City's General Plan, have been designated Retail Commercial and Medium-High density residential. The parcel west of EastLake Parkway was designated Freeway Commercial, allowing large retail operations such as Home Depot, K-Mart, *etc*. The parcel east of EastLake Parkway was merged with an 8.5-acre, Low-Medium density residential parcel, targeted for 45 dwellings, and a 6.3-acre Future Urban parcel located directly south. The combined parcels will produce a 65-acre parcel with capacity for 750 dwelling units.

EastLake Trails Neighborhood B Under the previously adopted EastLake II GDP, the EastLake Trails was a 393.7-acre residential SPA designed to accommodate 1,260 dwelling units with densities ranging from Low (0-3 du/ac) to Medium-High Density (11-18 du/ac). Retail Commercial, Public/Quasi-public, Parks and Open Space land uses complement the residential land uses.

The amendment featured basically the same land uses, except for the Retail Commercial and Medium-High residential which were deleted. The new SPA establishes Low Density (0-3 du/ac), Low-Medium (3-6 du/ac) and Medium (6-11 du/ac) density residential land use districts, in addition to support land uses such as: Community Purpose Facilities, Parks and Open Space, and Public/Quasi-public sites.

I.1.2.4 The 1999 Amendment

The 1999 Amendment expanded the EastLake II GDP area to include the EastLake Business Center II SPA which was previously within the EastLake III GDP. The phasing of development and land use similarity made it more appropriate to include this SPA, comprised entirely of employment uses within this GDP rather than the overwhelmingly single family residential EastLake III GDP. A supplemental SPA Plan for the business center expansion area was approved concurrently with the GDP amendment.

I.1.2.5 The 2002 Amendments

I.1.2.5.1 EastLake II SPA (consolidation of EastLake Greens & Trails)

This amendment involved the merger of the EastLake Greens and Trails SPAs into a new EastLake II SPA. Adoption of this EastLake II SPA Plan established a new EastLake II SPA containing the previously approved EastLake Greens and EastLake Trails SPAs. This new SPA plan does not change any land uses or other provisions of the currently adopted SPA plans and associated plans including Design Guidelines, Public Facilities Finance Plan, etc., which will remain in effect as the detailed development policy documents for the individual neighborhoods. The neighborhood-specific plans shall be deemed "Supplemental Sectional Planning Area" plan which implement this newly formed SPA plan.

(Note: The GDP was not changed as part of the above amendment.)

I.1.2.5.2 Village Center North

Ordinance No. 2863 adopted August 6, 2002

Resolution No. 2002-264 adopted July 23, 2002

This amendment involved the refinement of uses within the "Village Center North" area. The retail commercial area north of Otay Lakes Road was amended from 36.9 acres to 38.1 acres. An additional 13.6 acres of Professional and Administrative uses and 16.4 acres of Research & limited Manufacturing are proposed. These additional areas were the result of the deletion of a large Public/Quasi-public use. The amendment was triggered when the large hospital/medical center complex previously intended to be developed within the Public/Quasi-public parcel north of the retail commercial area was not pursued by the medical services sponsor. The amendment

resulted in an expansion of the area designated for retail commercial uses and designation of Research and Limited Manufacturing (employment) uses on the remainder of the parcel located between EastLake Parkway and SR-125. A Supplemental SPA Plan, Village Center North, and related documents were processed concurrently with this GDP amendment for the areas with new land use designations.

I.1.2.6 2003 Amendments

I.1.2.6.1 Land Swap Amendment (CPF/RM)

Ordinance No. 2905 (to amend PC District Regulations) Adopted 4/15/2003

Resolution No. 2003-140 (to amend GP/GDP/SPA and text language regarding CPF sites) adopted 4/8/2003

This amendment involved the elimination of the CPF Site southwest of the SDG&E easement in the EastLake Greens Neighborhood (Land Swap Area) of the EastLake II SPA, and a project-wide update of the existing and proposed CPF sites. The Master Plan of CPF Sites and the text describing CPF sites was updated to reflect this amendment and current City standards.

I.1.2.6.2 Village Center East (Kohls)

Ordinance 2925 (to amend PC Land Use District Map from VC-2 to VC-4 and new land uses for VC-4) adopted 7/8/2003

Resolution 2003-293 (to amend the GP, GDP, and VC North Supplemental SPA)

This amendment was a project specific amendment that allowed a specific department store to be permitted east of EastLake Parkway and north of Otay Lakes Road. This project has now been built.

I.1.2.7 The 2005 Amendments

I.1.2.7.1 Eastlake Design District (Repealed 2007)

Ordinance No. 2999 (to amend PC District Regulations to change Land Use District Map to add "overlay zone" and add text specific for the Design District - adopted April 5, 2005)

Resolution 2005-102 (to add sign guidelines for the EastLake Design District for the Design Guidelines Section of the SPA)

This amendment was sponsored by International Real Estate to create the EastLake Design District.

(Note: The GDP was not changed as part of the above amendment.)

I.1.2.7.2 Eastlake Walk

Ordinance No. 3018 (to change the PC Land Use District Map from BC-3 to VC-1a and to add new land uses for VC-1a District), adopted September 2005

Resolution 2005-288 (to change GDP designation from IR to CR)

This amendment was sponsored by Sudberry Properties to create the EastLake Walk commercial project.

I.1.2.8 The 2007 Amendments

Resolution 2007-299 (amend the GP, GDP and SPA designation of 16.7 previously developed acres from Industrial to Commercial)

Ordinance No. 3100 (Repeal of Ordinance No. 2999 and Resolution 2005-102, amend the PC Regulations and Design Guidelines of the SPA)

The 2007 amendments were intended to foster the proper growth and development of the Business Center II Area by promoting a greater variety of commercial uses in, the Business Center II area to achieve the originally planned and desired high-end mix of commercial, light industrial research and business uses. The General Plan, General Development Plan and the EastLake II Supplemental Sectional Planning Area were amended to change the land use designation of approximately 16.7 previously developed acres at the northeast corner of Fenton Street and Showroom Place within the Eastlake Business Center II from Limited Industrial to Commercial Retail.

The Planned Commercial (PC) District Regulations were amended to repeal the Design District Overlay Zone which prohibited a complementary mix of uses to support the attraction and retention of the existing home furnishing and design showrooms and retailers. This area was rezoned to a new zoning district, VC-5, which allowed the existing uses as well as a complementary mix of retail, restaurant and business uses. The balance of the former EastLake Design District Overlay, as well as 9.2 acres located on the south side of Fenton Street, were rezoned to BC-4 to encourage the light industrial, research, office and business uses original planned for the Business Center II area and consistent with the adjacent VC-5 District and existing development.

The PC Regulations were also amended to increase the maximum building heights within the EastLake Business Center II and to amend the Design Guidelines for EastLake Business Center II Supplemental SPA to establish special criteria and standards for building heights greater than 35 feet. New parking standards for furniture stores were also established.

I.1.3 Goals & Objectives

I.1.3.1 Purpose & Intent

This section provides goals and objectives intended to guide the development of EastLake II from inception through project completion. The attainment of some goals can only be measured during later phases of the planning process. And, the attainment of many goals anticipate actions by both the public and private sectors working together. One purpose of listing these goals and objectives is to guide the preparation of this General Development Plan. A further purpose is to use them during subsequent planning phases (*e.g.*, SPA plan, PFFP, design guidelines, *etc.*) to maintain consistency, assist in resolving issues and defining programs.

I.1.3.2 General Goals:

- To maintain and complete development of EastLake as an identifiable "community" within the City of Chula Vista; a community comprising distinct neighborhoods which provide human scale physical and social environment.
- To provide for adequate schools, parks and recreation facilities, "community purpose facilities" and other public/quasi-public uses.
- Conceptually size and locate land and facilities required for dedication to public or quasi-public purposes based on maximum residential development established with the General Development Plan, while providing standards and guidelines to refine sizes and locations as more detailed plans are prepared.
- Establish implementation phasing that provides or assures provision of public facilities concurrent with residential development, recognizing that residential development phases and public facility increments often do not coincide exactly.
- Adopt a balanced and dynamic community development plan with efficiently organized elements.
- Organize and design the individual elements of the plan for public and private efficiency.
- Recognize implementation and marketing factors in the allocation and phasing of land uses in the General Development Plan and create an implementation process that is consistent with those factors.
- Accommodate changing demographic patterns and cultural diversity in the plan.

I.1.3.3 Residential Goals:

- To promote reasonably priced new home opportunities, economic stability and the enhancement of property values.
- Identify the private costs of public policies for housing and development and balance them with the intended benefits to the community, recognizing these costs are paid by new home buyers.

- Encourage emerging housing concepts and provide a variety of housing types suitable for a range of potential residents
 - Provide for a range of intensity and product type consistent with each residential land use designation.
 - Adopt development standards that encourage design innovation in housing and site planning concepts that are consistent with quality residential development.
-

I.1.3.4 Commercial & Industrial Goals:

- Encourage commercial and industrial facilities that enhance the economic viability and image of the City of Chula Vista and EastLake
- Provide for development of commercial and employment uses that enhance public and private economic interests
- Create strong linkage between the City of Chula Vista, EastLake, and the Olympic Training Center.
- Encourage facilities that support emerging industries and shopping trends.
- Provide for a range of intensity and uses consistent with each commercial and industrial land use designation
- Adopt development standards that include a level of flexibility that can accommodate new uses and structures to attract emerging industries and shopping trends.
- Provide parcel sizes, amenities, and infrastructure to serve the needs of emerging industries and commercial users.
- Promote employment opportunities, particularly in professional and high tech industries
- Create specific incentive programs (public/private partnership) to attract professional and stable industries with emerging and long range employment opportunities for the residents of Chula Vista.
- To use the most current water quality and watershed protection principles in the planning and design of commercial and industrial developments whenever possible.

I.1.3.5 Open Space, Parks & Recreation Goals:

- Provide adequate parkland and recreational facilities to meet the needs of new EastLake residents when needed.
- Conceptually size and locate land and facilities required for park dedication purposes based on maximum residential development established with the General Development Plan, while providing standards and guidelines to refine sizes and locations as more detailed plans are prepared.

- Recognize that a range of types and sizes of parks is an integral component of a quality living environment. Within that range, establish quantified standards that define “parkland” and “park improvements” for park credit purposes during the implementation process.
- Create an implementation process that provides or assures provision of public facilities concurrent with residential development, recognizing that residential development phases and public park increments often do not coincide exactly.
- Incorporate new parks into the City’s system as soon as these parks are ready to serve an increasing resident population.
- Encourage efficiency and cost savings in park acquisition/maintenance through cooperation and integration among public, private, and quasi-public interests.
- For facilities intended to serve more than the local resident population, establish maintenance district boundaries, or other means, so that costs for park and open space maintenance are consistent with the area intended to be served or benefited
- Implement the Chula Vista Greenbelt within EastLake consistent with the Chula Vista General Plan.
- Maximize the utility and benefits of the Salt Creek Corridor consistent with natural resource protection.
- Protect areas within Salt Creek with significant biological resource
- Locate facilities and amenities within the Salt Creek Corridor that promote recreational and educational experiences outside areas of significant biological resources.
- Use parks and open space to reinforce community structure, design and safety.
- Design and integrate parks and open space areas into the community fabric to maximize their benefits and enhance community cohesiveness.
- Integrate trails and paths into the overall circulation system to provide alternative circulation routes.
- Include a comprehensive brush management plan for open space areas in SPA Plans.

I.1.3.6 Public Facilities, Circulation & Infrastructure Goals:

- Provide a balanced community transportation system consistent with the City’s Circulation Element.
- Implement, as needed, community circulation improvements required to serve new development within EastLake.
- Contribute to regional facility improvements in proportion to project traffic impacts consistent with the City’s Threshold Standards.
- Encourage practical non-vehicular circulation

- Connect neighborhoods and community facilities with pedestrian trail/bicycle route facilities
 - Plan for future public transit facilities and transportation demand measures; such as, park-and-ride facilities, vanpools, shuttle services, and telecommunications (for home office).
 - Encourage public facilities and infrastructure that are appropriate to individual circumstances.
-
- Review specific instances where aesthetic or environmental benefits may warrant an exception to standards for public facilities or infrastructure
 - Determine the need and requirements for public and quasi-public facilities within EastLake II.
 - Explore the development of integrated telecommunications systems within the EastLake community, which would enhance communications between home, work, schools, and other community services.
 - Continue to enhance the quality of the EastLake community through excellence in public and private education facilities, which serve all residents
 - Evaluate and phase the availability of adequate public facilities to satisfy the City's Threshold Standards.
 - Provide opportunities for "community purpose facilities," such as, churches, child care facilities, community meeting areas, and private educational services and recreational facilities.

I.1.3.7 Plan Administration Goals:

- Promote the coordination and communication between public agencies, community groups, the developer and builders.
- Provide effective development plan administration, implementing an adopted community structure, which promotes efficient and timely economic growth and development.
- Create an administrative process that allows for density transfers and other refinements in SPA Plans, providing they are consistent with the established community structure and do not create significant adverse environmental, public service or infrastructure impacts.
- Provide an implementation process that allows for change and refinement within established parameters, to preclude the burden of a formal amendment process for revisions that are consistent with the framework and intent of the plan.
- Create efficient processing procedures for all phases of plan implementation.
- Establish, within the implementing document, processing times for each level of plan review, appeal, amendment, or other routine application where these are not otherwise covered by City ordinance

- Create a process that allows efficient conveyance of large parcels where no added entitlement or construction is involved in the subdivision.
- Balance the subdivision dedication of public facilities and other development exactions with the fiscal impacts to development.
- Create an implementation process which links the financing required for subsidy and exaction costs in early stages of development with the timing and amount of development revenues and consistency with the City's Threshold Standards.
- Encourage efficiency in the environmental review process

I.1.3.8 Economic Goals:

- Promote the economic vitality of both public and private interests.
- Incorporate positive economic results or incentives to both public and private interests at each phase of implementation.
- Promote planning that positively positions Chula Vista and EastLake in the context of State and regional competitive forces
- Establish minimum economic performance goals
- Define in the Public Facility Financing Plan any required exaction so that the cost and timing of the exaction can be budgeted.

I.1.4 Purpose & Scope

This General Development Plan (GDP) establishes development parameters for the EastLake II General Development Plan Area, which is illustrated in Exhibits 2 and 4. The GDP addresses the distribution of land uses, circulation pattern, defines the overall community structure and establishes development densities.

The purpose of the plan is as follows:

- Assure a high quality of development, consistent with the objectives of the developer, City of Chula Vista, and community.
- Provide for orderly planning and long range development of the project to ensure community compatibility.
- Preserve open space and natural amenities on the property whenever possible.
- Establish a planning and development framework to allow diverse land uses to exist in harmony within the planned community and surrounding developments.

The GDP establishes land use districts for the site and defines in broad terms the type and intensity of development permitted in each district

The Environmental Impact Report prepared in conjunction with the General Development Plan and subsequent amendments, fulfills the environmental review requirements for any proposed development as long as the development is in conformance with the GDP.

The GDP is implemented through the adopted Sectional Planning Area (SPA) Plan, which is more detailed. Therefore, the GDP is designed to function as a policy bridge between the City's General Plan and the SPA Plan.

The EastLake II General Development Plan is established in accordance with Sections 65450 through 65553 of the State of California Government Code (Specific Plans) and Sections 19.07 010 through 19.07 030 of the City of Chula Vista Municipal Code, and applies to the property outlined by the General Development Plan Map, included as Exhibit 4

I.1.5 Definitions

I.1.5.1 General

The definitions of all terms used in this document shall have the same meaning as used in the adopted Chula Vista General Plan and Municipal Code, unless otherwise specifically defined herein

I.1.5.2 Additional Definitions

Land Swap Area

This is the land area added to the EastLake Community from an exchange of land with the adjacent property owner. It is comprised of two parcels west of the previously adopted EastLake II SPA (Greens Neighborhood) area, more specifically defined as:

Northern Land Swap Parcel

A triangular parcel formed by Otay Lakes Road to the northwest, SR-125 to the east, and the boundary between the Otay Ranch to the southwest.

Southern Land Swap Parcel

This parcel is bounded by SR-125 to the west, Olympic Parkway to the south, and to the north and east by the southwestern boundaries of the original EastLake Greens Neighborhood (generally along the SDG&E easement).

Planned Community of EastLake:

The planned community of EastLake refers to the combined area of EastLake II and EastLake III, as depicted in Exhibit 2 herein.

Village Center North

The portion of the Village Center located north of Otay Lakes Road, including the planning areas identified as VC-1, VC-2, VC-4, and E-10 in the EastLake Village Center North Supplemental SPA.

I.1.6 Regional Context

The Eastern Territories identified in the Chula Vista General Plan are primarily comprised of several large planned communities. The planned community of EastLake was the first of these significant developments to be planned and implemented as a comprehensive planned community. It has evolved into two major implementation components, known as EastLake II and EastLake III, which combined represent the total EastLake project. It has always been envisioned as a complete community which included a full range of community components, providing opportunities to live, work, shop, and play within one master planned community.

To compare EastLake II to the other three largest planned communities, the following table provides the percentage allocation of land to uses comprising the live, work, shop, and play concept.

Table A
Land Use Balance

| Planned Community | Live ¹ | Work ² | Shop ³ | Play ⁴ |
|-----------------------------|-------------------|-------------------|-------------------|-------------------|
| EastLake II ⁵ | 48.3% | 10.7% | 6.5% | 11.5% |
| Rancho del Rey ⁶ | 52% | 1.4% | 4.6% | 3.2% |
| Otay Ranch ⁷ | 35% | 3% | 3.9% | 2% |

1. Live: Includes all residential land uses as a percentage of the total project area
2. Work: Includes all industrial, office & administrative land uses as a percentage of the total project area
3. Shop: Includes all commercial land uses as a percentage of the total project area
4. Play: Includes all park and recreation uses as a percentage of the total project area.
5. EastLake II: Includes all of EastLake II GDP
6. Rancho del Rey: Includes all areas in the adopted El Rancho del Rey Specific Plan.
7. Otay Ranch: Includes the Urban Villages (Otay Valley Parcel) in the adopted Otay Ranch GDP

Note: The statistics in the above table are as of the adoption of this GDP and may change from time to time as projects are amended.

I.1.7 Site Characteristics

The EastLake II General Development Plan consists of approximately 2,300 acres at the eastern edge of the City's incorporation boundary. Otay Lakes Road bisects the planned community from east to west dividing the GDP into two major areas. The area to the north, which includes the EastLake Hills, EastLake Shores, and Salt Creek I residential neighborhoods and the Business and Village Centers, is known as EastLake I SPA. The area south of Otay Lake Road includes, from west to east, the EastLake Greens and EastLake Trails Neighborhoods. (See Exhibit 3).

All surrounding properties are either developed, under development or planned for development. The GDP area is bounded to the north by the Salt Creek Ranch and Rancho San Miguel planned communities; to the west by Otay Ranch Village Five and a subdivision known as Telegraph Canyon Estates; to the east by the EastLake III General Development Plan area; and to the south by Otay Ranch Village Eleven, south of Olympic Parkway.

The project site is generally comprised of gently rolling topography with the Salt Creek corridor forming the predominate geographic feature. The rounded features of the site reflect the years of plowing and discing associated with its historical dry farming use. Localized views to Salt Creek and adjacent hillsides available from hillside locations. The range in elevation is approximately 150 feet from the creek bed to hilltop.

Salt Creek is also the significant natural resource on the site. The southernmost portion has been identified as an environmentally sensitive area because of its biological and wildlife habitat value, and aesthetic value. The original EastLake EIR (EIR 81-03) biological survey of the area identified sensitive resources within Salt Creek and in the southernmost portions of the site. No significant archaeological or cultural resources have been identified in several surveys of the project site. Currently, most adjacent properties have been developed.

I.1.8 General Development Plan

I.1.8.1 Land Use

The General Development Plan designates a wide range of residential densities, residential support uses, commercial and employment uses. Residential support uses are found within the Public/Quasi-Public (PQ) category. These uses include schools, utility sites, and other community facilities. A significant amount of employment uses (Professional and Administrative, and Research and Limited Manufacturing) is designated in the north-central portion of the plan area. Commercial areas are designated adjacent to the planned SR-125 interchanges at Otay Lakes Road and Olympic Parkway. See Exhibit 4, the General Development Plan Map.

Additional land use detail and statistics are included in the Sectional Planning Area (SPA) Plan as the Site Utilization Plan. The purpose of this plan is to provide a more specific level of detail of uses included as broad categories in the General Development Plan.

I.1.8.2 Planned Community District Regulations

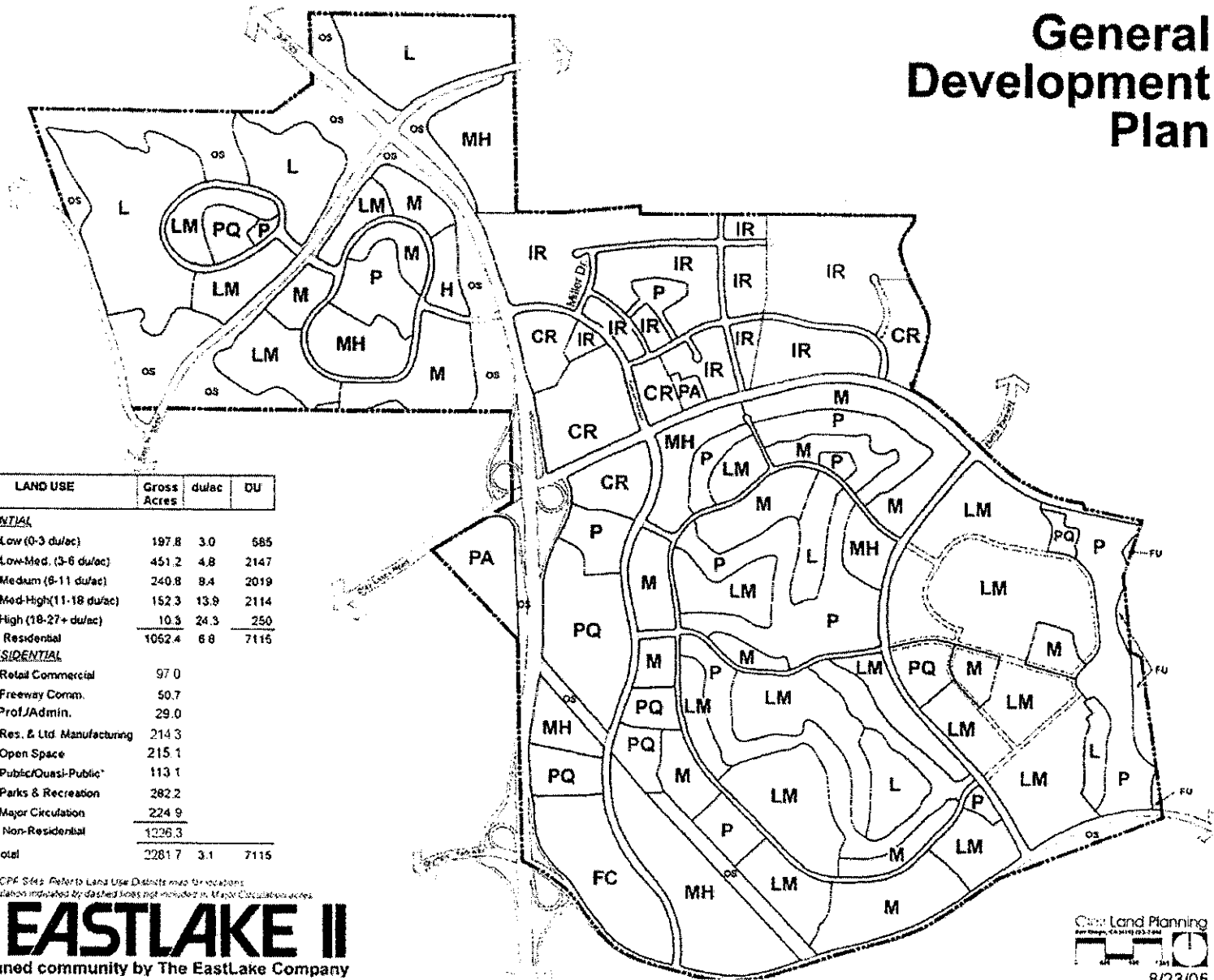
With respect to development standards and use regulations, the Planned Community (PC) District Regulations provide detailed standards that are applicable to each parcel of land. These Planned Community District Regulations, as a component of the General Development Plan for the EastLake II (expanded EastLake I) provide the primary development regulations for all four SPA Plans within the GDP area. Within the Planned Community District Regulations, the Land Use Districts exhibit, provides the geographic distribution of the various land use districts.

I.1.8.3 Plan Summary

The project consists of five residential neighborhoods: EastLake Hills, EastLake Shores, EastLake Greens, EastLake Trails, and Salt Creek I. The project includes sites for necessary public facilities including a high school, two community parks and three elementary school sites to be shared with EastLake III.

Detailed development policies, standards and programs are provided in SPA Plans to assure well-planned, quality development, conservation of important onsite resources and provision of adequate and timely public services and facility improvements to serve the project.

General Development Plan



EASTLAKE II
A planned community by The EastLake Company

City Land Planning
8/23/05
Adopted 12/18/07

I.1.9 Plan Summary / Statistics

I.1.9.1 Statistical Summary

The statistics on the following pages, in Table B Land Use and Table C Residential Densities, are based on the overall General Development Plan and detailed by SPA Plan area. In the event that the statistics on these tables vary, due to density transfers or refinements, from any adopted SPA Site Utilization Plan map the SPA Plan shall prevail.

I.1.9.2 Density Transfer

In order to promote flexibility in residential densities, the transfer of dwelling units from one residential category to another within any SPA may be approved as a part of the SPA plan approval process. Notwithstanding this provision, the clustering provisions of the General Plan Update shall be utilized to maintain the community character inherent in the density categories established by this General Development Plan.

Transfers of density shall be based on evidence that the proposed transfer would substantially improve the spatial or functional relationships of the involved SPA, or would materially increase the quality of land use, circulation or conservation pattern thereof. Transfers of density into the low density category should not result in a reduction in lot size requirements.

Transfer of units from one parcel to another within the same SPA may be processed administratively if:

1. the proposed unit count for all parcels remains within the range (s) indicated on the Site Utilization Plan;
2. the proposed product types are consistent with those listed for each parcel on the Site Utilization Plan; and,
3. the GDP and SPA total number of dwelling units is not exceeded.

Modifications that are not consistent with all these criteria shall require a formal SPA amendment.

Should such a transfer be approved, applicable statistics and the General Development Plan Map shall be revised as an administrative matter without the necessity of a formal plan amendment.

Table B
GDP Land Use Statistics (acres)

| Land Use Category | NEIGHBORHOOD AREA | | | | | | TOTALS |
|----------------------------------|--------------------------|--------------------------|-------------------------|--------------|--------------|------------------------------|---------------|
| | Hills | Shores | Salt Creek I | Greens | Trails | Business Center ¹ | |
| <i>RESIDENTIAL</i> | | | | | | | |
| Low (0-3 du/ac) | 109.4 | 0 | 43.6 | 34.4 | 10.4 | 0 | 197.8 |
| Low-Medium (3-6 du/ac) | 35.3 | 36.4 | 0 | 183.9 | 195.6 | 0 | 451.2 |
| Medium (6-11 du/ac) | 0 | 66.3 | 0 | 156.1 | 18.4 | 0 | 240.8 |
| Medium-High (11-18 du/ac) | 0 | 24.3 | 28.5 | 99.5 | 0 | 0 | 152.3 |
| High (18-27 du/ac) | 0 | 10.3 | 0 | 0 | 0 | 0 | 10.3 |
| <i>Sub-total</i> | 144.7 | 137.3 | 72.1 | 473.9 | 224.4 | 0 | 1052.4 |
| <i>NON-RESIDENTIAL</i> | | | | | | | |
| Retail Commercial | 0 | 0 | 0 | 19.6 | 0 | 38.1 | 97.0 |
| Freeway Commercial | 0 | 0 | 0 | 50.7 | 0 | 0 | 50.7 |
| Professional & Administrative | 0 | 0 | 0 | 29.0 | 0 | 0 | 29.0 |
| Research & Limited Manufacturing | 0 | 0 | 0 | 0 | 0 | 245.1 | 214.3 |
| Open Space | 93.6 | 54.8 | 18.9 | 37.9 | 5.3 | 4.6 | 215.1 |
| Public/Quasi-public | 10.0 | 0 | 0 | 85.3 | 17.8 | 0 | 113.1 |
| Parks & Recreation | 2.4 | 21.4 | 0 | 197.8 | 51.5 | 9.1 | 282.2 |
| Major Circulation | * | * | * | 105.0 | 16.0 | * | 224.9 |
| Future Urban | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| <i>Sub-total</i> | 106.0² | 76.2² | 18.9² | 521.0 | 113.7 | 310.5² | 1226.3 |
| TOTAL | 250.7² | 213.5² | 91.0² | 994.9 | 338.1 | 310.5² | 2281.7 |

* Acreage not allocated

¹ Includes Village Center North uses

² Excludes Major Circulation

Table C
GDP Residential Density (dwelling units)

| Residential Category | NEIGHBORHOODS AREA | | | | | TOTALS |
|---------------------------|--------------------|-------------|--------------|-------------|-------------|--------------|
| | Hills | Shores | Salt Creek I | Greens | Trails | |
| Low (0-3 du/ac) | 291 | 0 | 169 | 94 | 31 | 585 |
| Low-Medium (3-6 du/ac) | 163 | 186 | 0 | 872 | 926 | 2147 |
| Medium (6-11 du/ac) | 0 | 663 | 0 | 1170 | 186 | 2019 |
| Medium-High (11-18 du/ac) | 0 | 426 | 381 | 1307 | 0 | 2114 |
| High (18-27 du/ac) | 0 | 250 | 0 | 0 | 0 | 250 |
| <i>Total</i> | 454 | 1525 | 550 | 3443 | 1143 | 7115 |
| | | | | | | |
| Average Density (du/ac) | 3.1 | 11.1 | 7.6 | 7.3 | 5.1 | 6.8 |
| Population (@2.88/du) | 1308 | 4392 | 1584 | 9916 | 3292 | 20491 |

I.1.10 Conformance with the General Plan

I.1.10.1 Introduction

This section describes the conformance of the project with the Chula Vista General Plan; the history of the project to various General Plan updates, and; the relationship of the project to the specific elements of the General Plan. Implementation of this GDP shall be consistent with the requirements of the General Plan. Specific implementation and phasing strategies have been, and will be, provided in the various SPA Plans which comprise EastLake II GDP Planning Area.

I.1.10.2 Background & History

When the planning of EastLake began in 1979 the General Plan for the Eastern Territories had not been developed to its current state, since development of a new community on the scale of EastLake had not been conceived prior to that time. Individual development proposals were incrementally added as amendments to the General Plan. The approval of EastLake I, which included the now existing communities of EastLake Shores, EastLake Hills, and the first phase of the EastLake Business Center, was one of these incremental general plan amendments adopted in 1982.

The submittal of plans for the next phase of EastLake community planning, EastLake Greens and EastLake Trails, occurred prior to the comprehensive General Plan update, but was not adopted until 1989. This planning was reflected in the General Plan and adopted as the EastLake II GDP. The categories were broad interpretations of the specific planning being proposed for these neighborhoods. The EastLake Greens neighborhood submittal included a SPA Plan concurrently with the General Plan and GDP. The EastLake Trails neighborhood only included the concurrent processing of the EastLake II GDP.

The next update of the General Plan in EastLake occurred when the EastLake III GDP area was approved, bringing the Olympic Training Center to Chula Vista in 1990. A GDP was adopted and reflected in a concurrent General Plan amendment.

The most recent major amendment to the General Plan for the EastLake community occurred in 2005 as a city-wide General Plan Update (GPU), which changed the land use designation in a portion of Village Center north from Industrial to Commercial. This GPU amendment included the 2005 amendment to this General Development Plan.

The General Plan was amended in 2007 to reclassify a 16.7-acre area previously developed as the EastLake Design District featuring furniture and home design businesses from Industrial to Commercial to better reflect the current and desired use of the property.

The General Plan amendments and updates for EastLake reflect a consistent process of evolution since its original conception as a new community. All have been amendments adopted concurrently with more detailed development proposals. The current proposed amendment to the General Plan for the EastLake Trails neighborhood is the most recent example of this process. This concurrent planning process has maintained an ongoing consistency between the General Plan and the GDPs and SPAs.

I.1.10.3 Conformance with the General Plan Elements

I.1.10.3.1 Land Use Element

EastLake II General Development Plan consists of approximately 2,300 acres. The individual neighborhoods of the EastLake II GDP consist of the Salt Creek I, Hills, Shores, Business Center I and II, Greens/Land Swap and the Trails

The Salt Creek I neighborhood is located north and south of East "H" Street, east of the future SR-125 freeway alignment. The General Plan designates this neighborhood Medium-High Residential (11-18 du/ac). The GDP land use designation and maximum number of dwelling units allowed on this site is about 7.6 du/ac which is below the General Plan permitted density.

The Hills neighborhood located north of "H" Street is designated Low Residential (0-3 du/ac), Low-Medium (3-6 du/ac) and Open Space with an elementary school. The GDP consists of single family residential and open space uses consistent with the land use pattern established by the General Plan. The EastLake Elementary School and park are located as indicated on the General Plan Land Use Plan. The neighborhood overall density is approximately 3.0 du/ac, which is at the lower end of the General Plan designation.

The Shores neighborhood located south of "H" Street is designated a wide range of residential densities including Low-Medium (3-6 du/ac), Medium (6-11 du/ac), Medium-High (11-18 du/ac), and High (18-27 du/ac). The GDP land use is consistent with the various densities arranged around the private lake which is shown on the General Plan as Public/Quasi-Public and Water. There is also a small portion of open space reflecting the canyons to the southwest of the residential neighborhoods. The overall neighborhood density is approximately 11 du /ac, which is at the low end of the General Plan density range for this area.

The Village Center is located north of Otay Lakes Road and is designated Retail Commercial in the GDP. The Village Center is consistent with the General Plan and is intended to be developed as a Commercial-Retail plus a minor area of Research & Limited Manufacturing. The adjacent area on the east side of EastLake Parkway is designated Professional and Administrative and is designated in the GDP for professional and administrative uses.

The first phase of the EastLake Business Center is located in EastLake II General Development Plan and is designated Research and Limited Manufacturing on the General Plan. This area is planned to accommodate a broad range of business and industrial uses in the GDP to provide local employment opportunities to the community.

EastLake Business Center II is located within the EastLake II General Development Plan and is designated Research and Limited Manufacturing and Retail Commercial. This area is planned to accommodate a broad range of industrial and retail uses along with complementary commercial uses.

The Greens neighborhood is designated for a wide range of residential, retail commercial and public uses on the General Plan. The GDP designates the area at the southwest corner of Otay Lakes Road and EastLake Parkway as retail commercial to provide for a community shopping center. The residential uses vary, including, Low-Medium (3-6 du/ac), Medium (6-11 du/ac), and Medium-High (11-18 du/ac). The overall neighborhood density is about 7.2 du/ac, which is well within the average density of the General Plan.

The public uses on the General Plan designate an area for a high school, community park, elementary school, neighborhood park, water utility reservoir, and freeway commercial. The southern portion of the "Land Swap" includes Medium-High Residential and Freeway Commercial. The northern portion of the "Land Swap" includes professional and administrative area on Otay Lakes Road. The GDP is consistent with the pattern of land uses designated on the General Plan. The focal point of the Greens neighborhood is the EastLake Golf Course which is integrated within the residential neighborhood. Residential densities are varied throughout the GDP as permitted by the General Plan with the overall density within the acceptable range.

The Trails neighborhood is designated Low-Medium (3-6 du/ac), with open space, elementary school, neighborhood park, and a small neighborhood commercial center at the corner of Otay Lakes Road and Hunte Parkway. The commercial center is no longer included in the GDP and will be eliminated. The GDP adjusts the location of the elementary school, which is permissible by the General Plan, and designated the Salt Creek Open Space Corridor as a community park which will serve both the EastLake II General Development Plan, but also the EastLake III General Development Plan area. The proposed density of 5.1 du/ac is consistent with the General Plan density range.

I.1.10.3.2 Circulation Element

The General Plan Circulation Element designates four major road facilities to serve the EastLake II General Development Plan. SR 125 is planned as a major freeway/toll road providing regional access to the area by connecting the Otay Mesa Border Crossing to freeways to the north such as SR-54, and I-8. The GDP provides the future right of way needed for SR-125.

The General Plan also designates three Prime Arterial roadways providing east west access to the area from I-805: "H" Street, Otay Lakes Road and Olympic Parkway. Each of these roads requires a right of way to accommodate 4 lanes of traffic with raised medians. EastLake Parkway and Hunte Parkway are shown as major roads (4 lanes) and several local streets are designated as collector roads. All General Plan roads are shown on the GDP and adequate provisions are included to accommodate traffic generated by the development.

I.1.10.3.3 Parks & Recreation and Conservation/Open Space Elements

The General Plan designates a community park on EastLake Parkway adjacent to the high school and two neighborhood parks in the Greens and Trails neighborhoods. There are also major open space corridors shown along the north side of the Hills which reflects steep topography and also along Salt Creek in the Trails neighborhood. The Hills open space is treated as natural open space in the GDP, however, the Salt Creek Open Space is planned for a combination of community park, mitigation areas for habitat protection and a private homeowner's swim complex and fishing lake. This combination of public and private park and open space uses is consistent with the General Plan Open Space land use category.

The neighborhood parks are located within the Greens and the Trails neighborhoods and the GDP supplements these park facilities with a number of private park facilities which include swimming pools, basketball courts, tennis courts, picnic facilities, community meeting facilities and tot lots located within the residential neighborhoods. The Trails neighborhood park will be incorporated into the Salt Creek Community Park, which actually provides more park land than shown on the General Plan for EastLake II GDP.

I.1.10.3.4 Public Facilities Element

The Public Facilities Element provides policy guidance for all development projects. It addresses water, sewer, drainage, hazardous waste disposal, schools and libraries. The EastLake II General Development Plan implementation documents will provide detailed plans for the provision of public facilities in accordance with adopted Master Plans and the City's Quality of Life Threshold Standards.

This GDP must prepare a comprehensive Public Facilities Financing Plan for each neighborhood to identify the public facilities to be provided by the developer to serve the development. Water plans for each neighborhood are approved by the Otay Municipal Water District and required facilities must be financed by the developer. Sewer plans are required to conform to the City's Sewer Master Plan and facilities such as transmission mains and pump stations are made conditions of tentative maps. Drainage facilities are designed on the basis of master drainage plans and financed and made conditions of the development.

Hazardous wastes must be disposed of in accordance with State requirements of the Department of Health Services and the County Hazardous Materials Management Division. The only facility in Chula Vista is located at the Otay Landfill.

Master plans for both the elementary school district and the high school district provide the site locations for schools designated on the General Plan. The GDP includes these school sites on the land use map and the Public Facilities Financing Plans provide the phasing and financing implementation necessary to construct schools in accordance with the school districts enrollments.

I.1.10.3.5 Housing Element

The Housing Element requires that all major projects shall construct 5% low income housing and 5% moderate income housing consistent with the HUD guidelines based on size and family incomes. The GDP addressed this requirement and lays out the framework for an Affordable Housing Agreement which implements the General Plan policy for each neighborhood. The EastLake II General Development Plan provides for 5% low income housing and 5% moderate income housing in accordance with the General Plan.

I.1.10.3.6 Safety Element

The City of Chula Vista provides for public safety and seismic protection through a variety of mechanisms addressed in the GDP and implementation programs. Fire stations are located in the GDP based on travel times to respond in case of fire or medical emergencies. Water supplies are engineered to accommodate peak demand periods. Streets are designed with adequate widths and safe routes for emergency vehicles. Building codes ensure the safety of buildings and seismic studies of fault lines to identify appropriate setbacks and other safeguards in the event of an earthquake. New development planned in this GDP is in conformance with all of the life and property protections contained in the General Plan and implementing building codes and fire codes.

I.1.10.3.7 Noise Element

The Noise Element requires that the City apply noise protection standards which recognize the right of every citizen to live and work in a safe environment without excessive noise. Noise studies are carried out in conjunction with the environmental impact report requirements for GDP's to identify setbacks or noise buffers for sensitive areas within the development. These measures are carried out in the development of the project. There are no identified major noise generators located within the GDP and the development is consistent with the policies of the General Plan.

I.1.11 Implementation

I.1.11.1 Growth Management/Phasing

This GDP will be used by the City and the developer to ensure that development occurs in an orderly fashion and that public facilities are provided concurrent with need while, at the same time, providing flexibility to allow the developer to respond to changing market conditions. The conceptual phasing information has been and will be presented in SPA Plan to be developed primarily for the purposes of determining preliminary circulation and public facility requirements. The objective of these phasing plans is that public facilities will be provided concurrent with need and in accordance with the threshold standards established by the City of Chula Vista.

I.1.11.2 Community Facilities & Improvements

Specific community facility requirements will be identified for each SPA Plan. The following standards have been established for community facilities.

- **Circulation:** Development within EastLake II shall comply with the City's Level of Service "C" requirement for the operation of circulation element roads. A transportation phasing plan consistent with the City's Growth Management Element shall be incorporated into the SPA Plans to ensure that level of service standards are met.
- **Water:** A detailed water master plan shall be prepared in conjunction with each SPA Plan. The water master plan shall be subject to review and approval by the Otay Water District.
- **Sewer:** A detailed sewer master plan shall be prepared in conjunction with each SPA Plan. The sewer master plan shall include consideration of reclaimed water and shall be subject to review and approval by the City of Chula Vista.
- **Drainage:** A conceptual drainage plan shall be included in each SPA Plan. The conceptual drainage plan shall, in particular, address drainage areas in Salt Creek. Drainage plans for individual developments shall be prepared to the satisfaction of the City Engineer.
- **Fire and Police:** Each SPA Plan shall define specific facility requirements for fire and police protection to the satisfaction of the Chula Vista Police and Fire Departments.
- **Schools:** School facility requirements shall be defined in EastLake II GDP and each subsequent SPA Plan to the satisfaction of the Chula Vista Elementary School District and the Sweetwater Union High School District. Three elementary school sites and one high school site are provided within the EastLake II GDP area. As of this most current GDP amendment, all sites have been implemented.

I.1.11.3 Community Purpose Facilities

I.1.11.3.1 Purpose & Intent

Chapter 19.48. P-C - Planned Community Zone, requires that all land in the PC zone provide a minimum of 1.39 acres of land per 1,000 persons for community purpose facilities (CPF), such as: a) Boy Scouts, Girl Scouts, and similar organizations; b) social and human service activities, such as Alcoholics Anonymous; c) services for the homeless; d) services for military personnel during the holidays; e) senior care and recreation; f) Worship, spiritual growth and development, and teaching of traditional family values; g) non-profit or for profit day care facilities that are ancillary to any of the above or as a primary use For profit facilities as primary use are subject to further requirements and additional criteria as outlined in Section 19.48.025 (f); h) private schools that are ancillary to any of the above; i) interim uses, subject to the findings outlined in 19.48.025(E); and j) recreational facilities, such as ball fields for non-profit organizations serving the local community, subject to the requirements outlined in 19.48.040(B)(6)(d). However, where recreational ball fields are desired as a conditional use in Community Purpose Facilities land use districts, a "CPF Master Plan", showing the specific boundaries of the master plan and existing and proposed distribution of CPF uses within a SPA, GDP or overall Planned Community shall be considered and approved by the Director of Planning and incorporated as part of the Planned Community's General Development Plan(s). In addition, recreational ball fields shall not utilize more than 35% of the overall SPA, GDP or Planned Community CPF acreage required, and no park credit may be granted for community purpose ball fields

The total acreage required may be reduced by the City council in certain circumstances such as when shared parking facilities are available with other facilities.

I.1.11.3.2 Proposed CPF Master Plan

The CPF Master Plan boundaries encompass EastLake Greens (including the "Land Swap" Parcels), EastLake Trails, EastLake Business Center II, EastLake Vistas and EastLake Woods (see Exhibit 5). Four sites are distributed throughout the remaining SPAs insuring that each future CPF site will serve a different neighborhood. In addition, the sites are located along major road to enhance accessibility to the facility by community residents

Based upon the anticipated development statistics for the CPF Master Plan area, the overall combined CPF acreage required and proposed is as follows:

Table D
Community Purpose Facility Acres for EastLake

Note: A concurrent amendment to the EastLake III GDP is in process. It will, if adopted, include an amendment to this table and the text that follows.

| | EastLake II* Greens Neigh** | EastLake II* Trails Neigh. | EastLake III (adopted GDP) | Total |
|---|--|---|---|--------------|
| Dwelling Units | 3443 | 1143 | 2061 | 6647 |
| CPF ac/du | 0.004003 | 0.004003 | 0.004003 | -- |
| CPF Required (ac) | 13.8 | 4.6 | 8.3 | 26.6 |
| CPF Provided (ac) | 15.8 | 4.6 | 10.8 | 31.1 |
| <i>* EastLake I (North of Otay Lakes Road) is excluded from this table.</i> | | | | |
| <i>** Includes proposed Land Swap amendment.</i> | | | | |

I.1.11.3.3 Proposed CPF Sites

The CPF Master Plan provides a total of 31.1 acres in four different sites. Exhibit 5, identifies the proposed CPF sites which are described in more detail below.

Site 1 (Existing): Located in EastLake Greens, a portion of this 15.8-acre site (12.2 acres) has been conveyed to a religious institution for use as a place of worship. The remaining portion of the site (3.6 acres) is currently available for acquisition and use for community purpose facilities and is further described below.

Site 1 (Future): Located in EastLake Greens on the east side of EastLake Parkway, south of the SDG&E power easement. This 3.6-acre site is currently available for acquisition and use for community purpose facilities.

Site 2: This CPF site is located within the Trails neighborhood and is proposed to conditionally permit little league ball fields for non-profit organizations serving the local community. The development of the site (4.6 acres) would be subject to the requirements outlined in the EastLake II Planned Community District Regulations and Section 19.48.040(B)(6)(d) of the Chula Vista Municipal Code.

Site 3: This site is located in the Vistas neighborhood of EastLake III GDP and consists of 10.8 acres. The future Vistas SPA Plan will refine the exact location and acreage of this site.

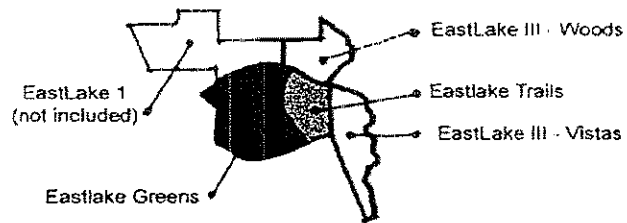
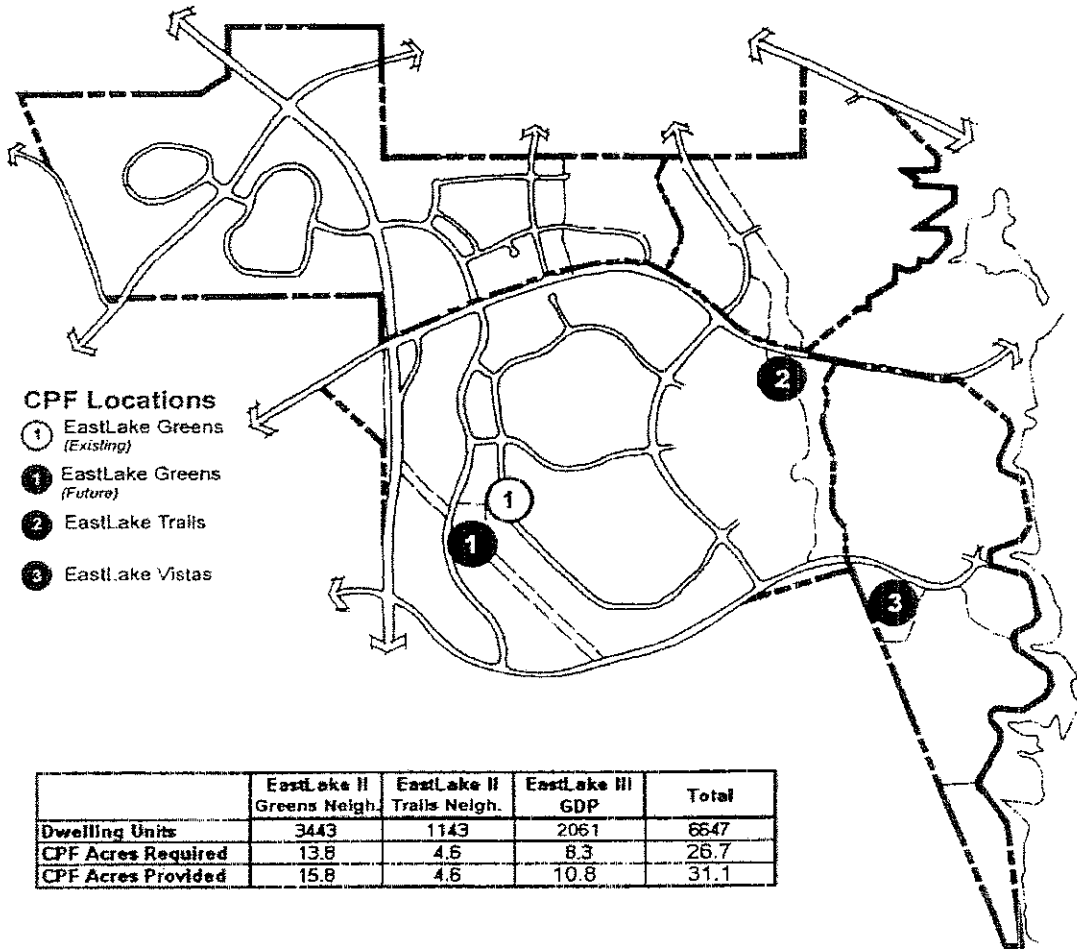
The sites identified on this Master Plan are, or will be, designated in the Planned Community District Regulations as "CPF" to insure their continued availability pursuant to city requirements.

With the exception of CPF site Nos. 2 and 4, which will include little league ball fields as a conditional use permit, the above mentioned CPF sites could accommodate by conditional use permit the following land uses:

- Boy Scouts, Girl Scouts, and other similar organizations;

- Senior care and recreation;
- Worship, spiritual growth and development, and teaching of traditional family values;
- For profit and non-profit day care facilities that are ancillary to any of the above;
- Private schools that are ancillary to any of the above;
- Interim uses, subject to the findings outlined in Section 19.48.025(E) of the Chula Vista Municipal Code;
- Recreational ball fields not to exceed 35% of the overall CPF acreage requirement for the CPF Master Plan

Master Plan of Community Purpose Facilities



EASTLAKE III
A planned community by The EastLake Company

Cinti Land Planning
4-4-01

Exhibit 4

I.1.11.4 Development Agreement

A development agreement currently exists for development in EastLake II. The purpose of the agreement was to ensure that the developer will participate in the construction and financing of public facilities and to ensure that the land use entitlements provided for in this GDP are achieved. This agreement was entered into by all parties prior to the issuance of any permits for development within the plan area and shall bind future landowners/developers who acquire interests in the property. Amendments of mutual benefit may be made from time to time to insure its vitality.

I.1.11.5 Subsequent Review

The EastLake II GDP will be implemented, pursuant to the Chula Vista Municipal Code, through the subsequent adoption of a series of plans and programs, which are summarized below:

- **SPA Plans**

EastLake II will be comprised of several SPA Plans. The areas north of Otay Lakes Road have been implemented as the EastLake I and Salt Creek I SPA Plans. The area south of Otay Lakes Road and west of Hunte Parkway is being implemented as the EastLake II SPA (Trails and Greens Neighborhoods) Plan. The area south of Otay Lakes Road and east of Hunte Parkway will be implemented as the EastLake II SPA (Trails and Greens Neighborhoods). (Refer to Exhibit 3 for location of these SPA Plan areas.)

- **Other Related Planning/Review Programs**

All areas for future development in the EastLake II GDP will be subject to the adopted provisions of the following supplemental planning documents:

1. Planned Community District Regulations;
2. Design Guidelines;
3. Public Facility Financing Plans;
4. Affordable Housing Programs;
5. Air Quality Improvement Plans;
6. Water Conservation Plans;
7. Development Agreements;
8. Salt Creek Park Master Plan;
9. Precise Plans for non-residential development;
10. Conditional Use Permits where required;
11. Site Plan and Architectural Review; and,
12. Tentative Tract Maps

I.1.12 Administrative & Legislative Procedures

The administration and legislative procedures applicable to the EastLake II GDP are those specified in Chapter 19.48, P-C- Planned Community Zone, in the Chula Vista Municipal Code, with Sections 19.48.070 and 10.48.080 having specific applicability.

SPA PLAN

EastLake II Sectional Planning Area (SPA)

EastLake Greens & EastLake Trails Neighborhoods

Approved
Resolution No. 2002-151
Approved 2/4/02

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SECTIONAL PLANNING AREA (SPA) PLAN

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SECTIONAL PLANNING AREA (SPA) PLAN

1. Introduction

1.1 Background

The most basic goals, policies and land use designations for development of EastLake II are provided in the Eastern Territories Area Plan of the Chula Vista General Plan. To implement the General Plan, the entire community has been zoned "Planned Community" (P-C) and designated for a range of urban uses defined in the EastLake II General Development Plan (GDP). The EastLake II SPA project area includes two neighborhoods, EastLake Greens and EastLake Trails, which were initially planned as a single incremental component of the overall EastLake Planned Community, with interconnecting circulation systems on either side of Hunte Parkway. Project processing issues lead to the separation of the two neighborhoods and the independent approval of two Sectional Planning Area (SPA) Plans. The intent of this new EastLake II SPA Plan is to re-establish the planning connection between the two neighborhoods in order to efficiently administer the build-out of both areas.

Adoption of this EastLake II SPA Plan will establish a new EastLake II SPA containing the previously approved EastLake Greens and EastLake Trails SPAs. This new SPA plan will not change any land uses or other provisions of the currently adopted SPA plans and associated plans such as Design Guidelines, Public Facility Finance Plans (PFFPs), *etc.*, which will remain in effect as the detailed development policy documents for the individual neighborhoods. Upon adoption of this EastLake II SPA Plan, the neighborhood-specific plans shall be deemed "Supplemental Sectional Planning Area" (also SPA) plans which implement this Sectional Planning Area Plan which meets the requirements for the Planned Community (P-C) Zone per the requirements of the Chula Vista Zoning Ordinance. Although defined as Supplemental Sectional Planning Areas or SPAs, the EastLake Greens and EastLake Trails developments will be referred to in this document as "neighborhoods" and the previously adopted SPA plans as neighborhood-specific or neighborhood-level plans in order to avoid confusion with the overall EastLake II SPA and SPA Plan.

1.2 Scope & Purpose of the Plan

As a primarily administrative document, provisions of this EastLake II SPA are a compendium of existing plans both for design and planning policy/regulations. As such, this SPA plan relies upon established policies, programs and regulations to a greater extent than other EastLake SPAs. It also provides more implementation flexibility to avoid the necessity of formal plan amendments for minor plan adjustments.

This SPA Plan refines and implements the development concept of the EastLake II General Development Plan (GDP) which itself refines and implements the development designated for the project site in the Chula Vista General Plan. This SPA Plan (and neighborhood-specific plans for the EastLake Greens and EastLake Trails neighborhoods) define, in more detailed terms, the development parameters for the EastLake II planned community, including the land use mix, design

criteria, primary circulation pattern, open space and recreation concept, and infrastructure requirements. Additionally, the character and form of the project will be directed by a series of guidelines, development standards and quality of life standards, plans and programs prescribed in the EastLake II Planned Community (PC) District Regulations (applicable to both neighborhoods), and neighborhood-specific Design Guidelines and Public Facilities Finance Plan (PFFP) and other associated regulatory documents adopted previously, which serve as implementing plans for this SPA plan.

The specific regulatory document and provisions provided herein, including the PC District regulations and related SPA documents, shall supersede the general standards established in other regulations, including the City Zoning Ordinance. If an item is not addressed in the SPA Plan and/or associated regulatory documents, then the applicable City-wide regulations shall apply.

The SPA Associated regulatory documents are as follows:

Planned Community District Regulations

The Planned Community District Regulations establish land use districts and regulations within those districts pursuant to Title 19 (Zoning Ordinance) of the Municipal Code in order to safeguard and enhance the appearance and quality of development in the EastLake II, and promote the health, safety and general welfare of the EastLake II residents and the city of Chula Vista as a whole. The EastLake II PC District Regulations apply to both the EastLake Greens and EastLake Trails neighborhoods.

Public Facilities Finance Plan (PFFP)

The purpose of the PFFP is to implement the City's Growth Management Program and to meet the goals and objectives outlined in the Growth Management Element of the City's General Plan. The two neighborhood-level PFFPs ensure that development of EastLake II occurs only when necessary public facilities and services exist or are provided concurrent with the demands of new development. EastLake Greens and EastLake Trails have separate subdivision maps, to which many public facility improvements are tied, hence separate PFFPs were prepared and remain in effect.

Design Guidelines

Design Guidelines are provided in a manual to guide the site planning, building architecture and landscape architecture within the different neighborhoods and land uses of EastLake II. They illustrate the Master Developer's philosophy and commitment to high quality planned development standards. Although the two neighborhoods are connected by shared circulation routes and community-wide design features, the neighborhood character and site design issues for each are sufficiently different to require independent design guidance, hence separate Design Guidelines were adopted and remain in effect.

Affordable Housing Program

In order to guarantee the provision of affordable housing opportunities, the City requires that a specific Affordable Housing Program and agreement be consistent with Housing Element of the General Plan. An affordable housing program is intended to delineate how, when and when the required affordable housing units will be provided, intended subsidies, income rent restrictions and method of verifying compliance. The program may be implemented through various mechanisms, including development agreements, tentative map conditions or specific housing project agreements. The EastLake Affordable Housing Program has been adopted which includes the EastLake II SPA and meets this requirement.

Air Quality Improvement Plan

The purpose of the Air Quality Improvement Plan (AQIP) is to respond to the Growth Management policies of the city of Chula Vista. The most significant Air Quality Improvement measures are those policies and regulations established at broadest geographic levels (i.e., State and Federal). However, at the local level, the Air Quality Improvement Plan identifies mitigation or improvement measures such as: pedestrian and bicycle paths, land use mix, access to regional vehicular systems, transit access, site design, park and ride facilities, and telecommuting, among others. AQIPs were adopted with approval of the plans for each neighborhood and remain in effect.

Water Conservation Plan

The purpose of the Water Conservation Plan is to respond to the Growth Management policies of the city of Chula Vista. The Water Conservation Plan is intended to respond to the long term need to conserve water in new development, establishing water conservation standards for residents of EastLake II. Water Conservation Plans were adopted for each neighborhood in the EastLake II SPA and remain in effect.

1.3 Record of Amendments

(To be inserted upon amendment)

1.4 Location & Regional Setting

The EastLake II SPA is located in the eastern portion of the Chula Vista city limits. The majority of the site is located between the future alignment of State Route 125 and Salt Creek open space corridor. The site is bounded by Otay Lakes Road on the north and Olympic Parkway on the south, except for one open space parcel south of Olympic Parkway. The Project Vicinity Map, Exhibit 1, identifies the location of the EastLake II SPA with respect to regional features of Eastern Chula Vista. The location of the EastLake II SPA within the overall EastLake Planned Community and the location of the EastLake Greens and EastLake Trails neighborhoods is depicted in Exhibit 2.

The EastLake II SPA is comprised of two neighborhoods, EastLake Greens and EastLake Trails. EastLake Greens is located west of Hunte Parkway and is bisected by EastLake Parkway and SR-

125. The EastLake Trails neighborhood extends from Hunte Parkway east to include the Salt Creek open space corridor. EastLake Business Center is located north of EastLake Greens while the EastLake Woods neighborhood, within the EastLake III SPA, is located north of EastLake Trails. The EastLake Vistas neighborhood, also within the EastLake III SPA is located east of EastLake Trails. The developing Otay Ranch community is located to the south SPA.

Vicinity Map

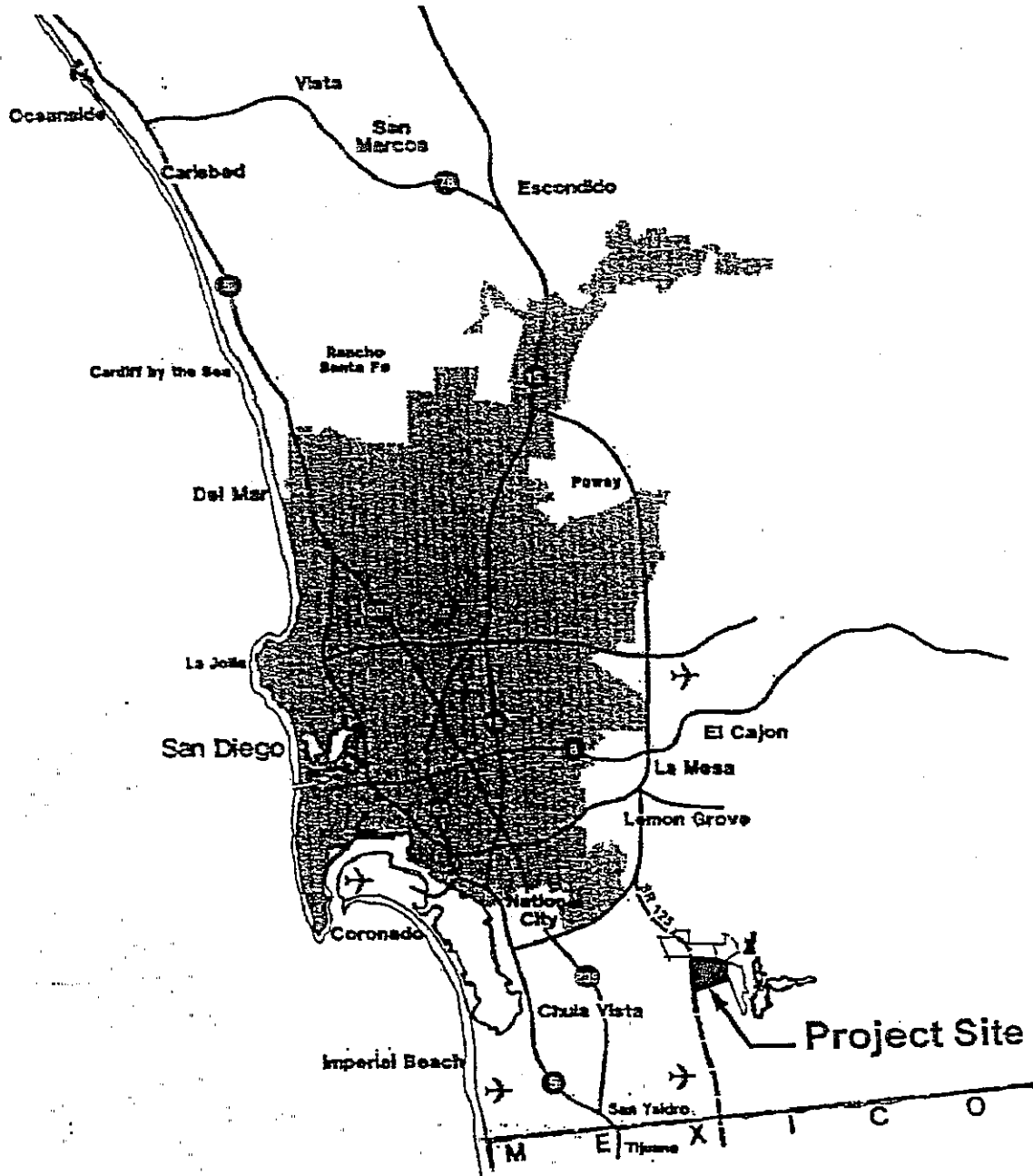
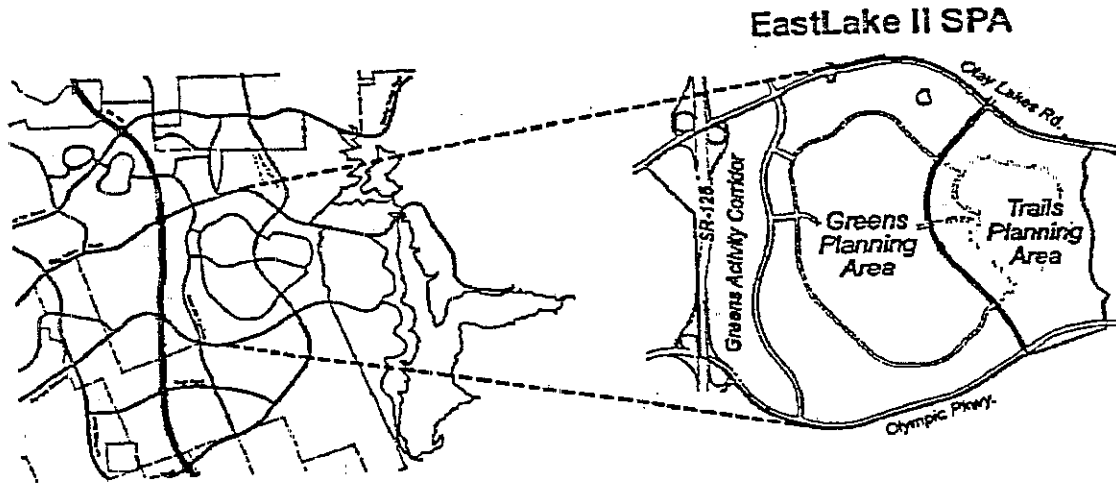


Exhibit 1

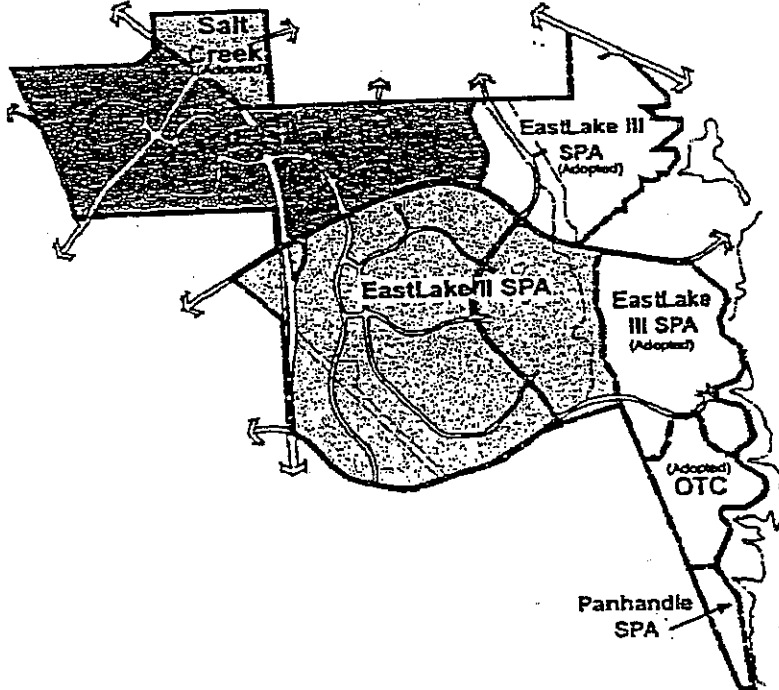
EASTLAKE II SPA PLAN

(02/04/02)

SPA Boundaries



EastLake Planned Community



1.5 Community Structure

The community structure of the EastLake II neighborhoods, at a fundamental level, is established by the EastLake II General Development Plan. This section is intended to highlight the design features of the two neighborhoods within the SPA plan as an introduction to the project.

The community structure of the EastLake II SPA reflects the inclusion of two separate residential neighborhoods, and a mixed-use "Activity Corridor" adjacent to the SR-125 alignment. The major roads and interconnecting neighborhood circulation routes serve to integrate the neighborhoods with each other, the overall EastLake Community and Chula Vista's Eastern Territories. The greenbelt corridor within Salt Creek is one of the two branches of the Chula Vista Greenbelt implemented by the project. This greenbelt component is part of a larger city-wide park and open space system connected by hiking and bicycle trails. The greenbelt and arterial road system provide a framework within which EastLake II will be developed. Beyond this framework however, the two EastLake neighborhoods have individual structures and identities.

The EastLake Greens neighborhood, to the west, is primarily a mixed density residential neighborhood sited around a golf course. The neighborhood is bisected by EastLake Parkway which serves as the "Activity Corridor" access. The Activity Corridor includes a range of commercial, educational and public and quasi-public facility sites which serve the entire EastLake Community and surrounding areas. One office commercial parcel is located west of the SR-125 ROW. A large utility corridor crosses the south west quadrant of the neighborhood, creating a long narrow open space feature. A looping neighborhood collector road intersects with Hunte Parkway in two locations and continues eastward serving the EastLake Trails neighborhood.

The EastLake Trails neighborhood is a much smaller, predominately single family residential neighborhood oriented to the open space, parks and recreational facilities in the Salt Creek corridor. A significant area of "natural" open space is located in the southern portion of the Salt Creek, while developed parks and recreational facilities are located in the northern portion. One open space parcel within the neighborhood planning area is located south of Olympic Parkway and physically separated from the rest of the project.

1.6 Legal Significance/EIR

The California Environmental Quality Act (CEQA) requires the preparation of an environmental impact report (EIR) or other environmental analysis for any project that a lead agency (such as the City) proposes to implement, unless the project is specifically exempt by CEQA.

According to CEQA Section 21002.1, "The purpose of an EIR is to identify the significant effects of a project on the environment, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided." CEQA also provides mechanisms whereby the public and decision-makers can be informed about the nature of the proposed project and the type and extent of the impacts the project and project alternatives would have on the environment if implemented.

Appropriate environmental documents were prepared and certified in conjunction with the initial approval of the development plans for each neighborhood. Approval of this primarily administrative plan will not change the environmental impacts or mitigation measures associated with either of the two projects and should not require significant additional environmental documentation itself.

SPA Plan related mitigation measures identified in the EIRs have been incorporated in the respective neighborhood-specific plans and associated regulatory documents, as appropriate. Mitigation measures not incorporated into these documents have been incorporated into other implementation actions associated with project approvals for each neighborhood.

1.7 SPA Plan Consistency with GDP

A SPA Plan must be consistent with the corresponding GDP and the Chula Vista General Plan in order to be approved.

Comparison of the EastLake II GDP Map (Exhibit 3) and the EastLake II SPA Site Utilization Plan (Exhibit 4) indicates consistency. Further, a finding of consistency with the GDP was made with the approval of each set of neighborhood-specific plans. Since this SPA Plan will not change any land uses or other provisions of the previous plans, it too is consistent with the GDP.

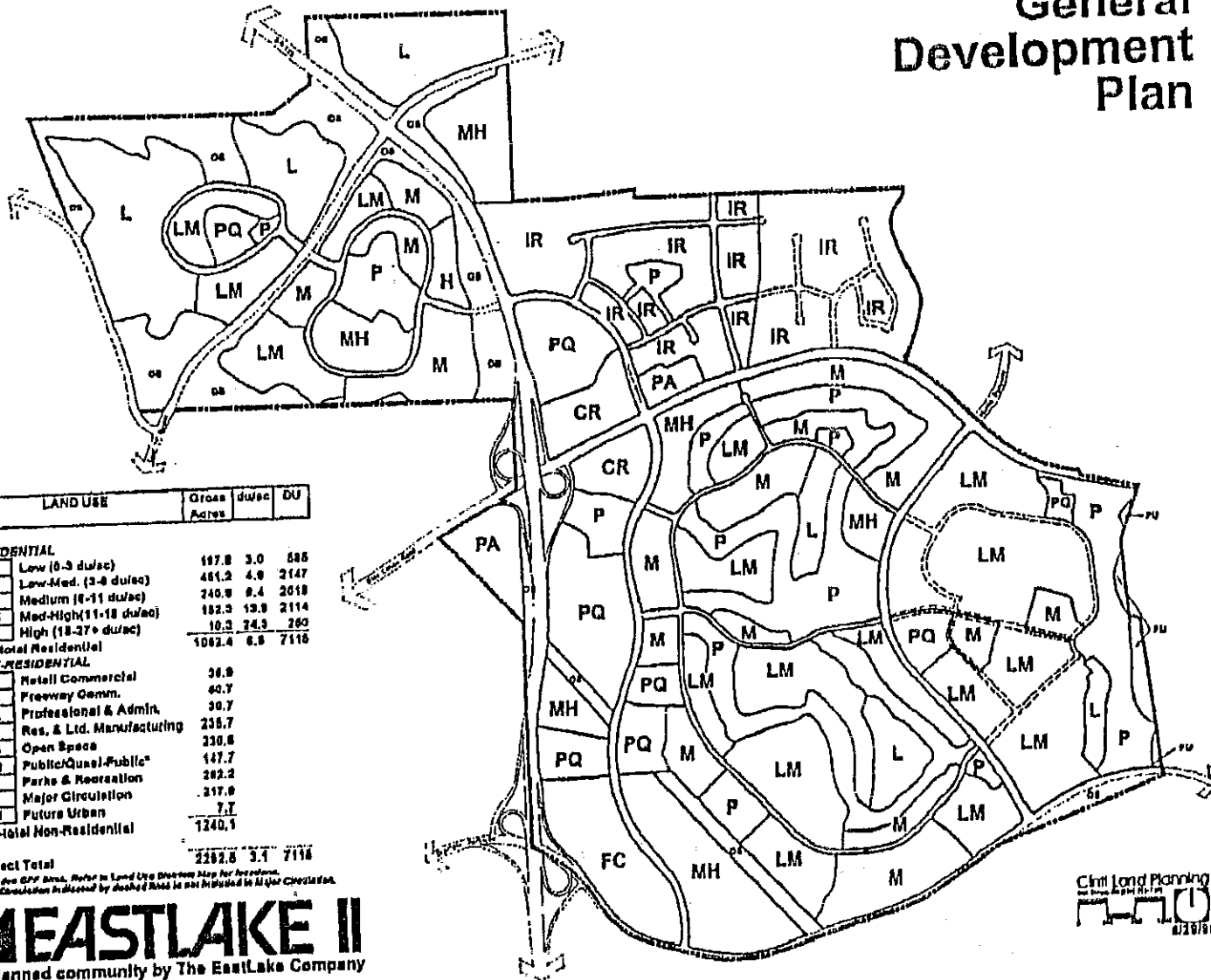
1.7.1 Site Utilization Plan

The EastLake II Site Utilization Plan (Exhibit 4) identifies each of the development parcels within the two neighborhoods. Note that the parcel label includes a neighborhood identification as the initial letter in the parcel number, "G" for EastLake Greens and "T" for EastLake Trails. Following the initial letter is the parcel number used in the neighborhood-specific plans. For example, parcel "GR-1" is a parcel located in the EastLake Greens neighborhood and is identified as parcel "R-1" in the EastLake Greens neighborhood-specific planning documents. Similarly, "TR-1" is a parcel located in the EastLake Trails neighborhood and is identified as parcel "R-1" in the EastLake Trails neighborhood-level plan package.

It should also be noted that the parcels or "development bubbles" are drawn differently in each neighborhood. Neighborhood circulation is "outside the bubble" within the EastLake Greens neighborhood and "inside the bubble" for parcels in EastLake Trails. Thus, development statistics such as density are not comparable between the two neighborhoods. Detailed project approvals which require precise calculations or comparisons should utilize the Site Utilization Plans and statistical summaries provided in the neighborhood-specific documents.

(02/04/02)

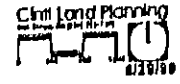
General Development Plan



| LAND USE | Gross Acres | du/ac | DU |
|------------------------------|---------------|------------|-------------|
| RESIDENTIAL | | | |
| L Low (0-3 du/ac) | 197.8 | 3.0 | 595 |
| LM Low-Med. (3-8 du/ac) | 481.2 | 4.9 | 2147 |
| M Medium (8-11 du/ac) | 240.9 | 8.4 | 2018 |
| MH Med-High (11-18 du/ac) | 182.3 | 13.9 | 2114 |
| H High (18-27+ du/ac) | 10.3 | 24.5 | 280 |
| Sub-total Residential | 1082.4 | 6.9 | 7116 |
| NON-RESIDENTIAL | | | |
| C Retail Commercial | 36.9 | | |
| FC Freeway Comm. | 40.7 | | |
| PA Professional & Admin. | 30.7 | | |
| IR Res. & Ltd. Manufacturing | 236.7 | | |
| OS Open Space | 230.8 | | |
| PQ Public/Quasi-Public* | 147.7 | | |
| P Parks & Recreation | 282.2 | | |
| Major Circulation | 217.9 | | |
| PU Future Urban | 7.7 | | |
| Sub-total Non-Residential | 1240.1 | | |
| Project Total | 2322.6 | 3.1 | 7116 |

* In other GPP Plans, Refer to Land Use District Map for Reserves.
 Notes: Circulation indicated by dashed lines is not included in Major Circulation.

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EASTLAKE II SPA PLAN

Exhibit 3

2. Development Concept

2.1 Design Influences

The primary influences in developing the EastLake II SPA Plan are the two adopted neighborhood-specific development plans for EastLake Greens and EastLake Trails. These plans were formulated based on provisions in the Chula Vista General Plan, the EastLake II General Development Plan, on-going development in adjacent neighborhoods, other existing adjacent development and the natural landform characteristics of the sites. This SPA Plan, by directly incorporating the plans developed at the neighborhood level, appropriately responds to these design influences.

2.2 Land Use Pattern

As with design influences, the EastLake II SPA directly incorporates the approved land use patterns in the neighborhood level plans which were previously approved. This overall land use pattern is both appropriate to the site and consistent with the land use policies and requirements of the Chula Vista General Plan and EastLake II GDP.

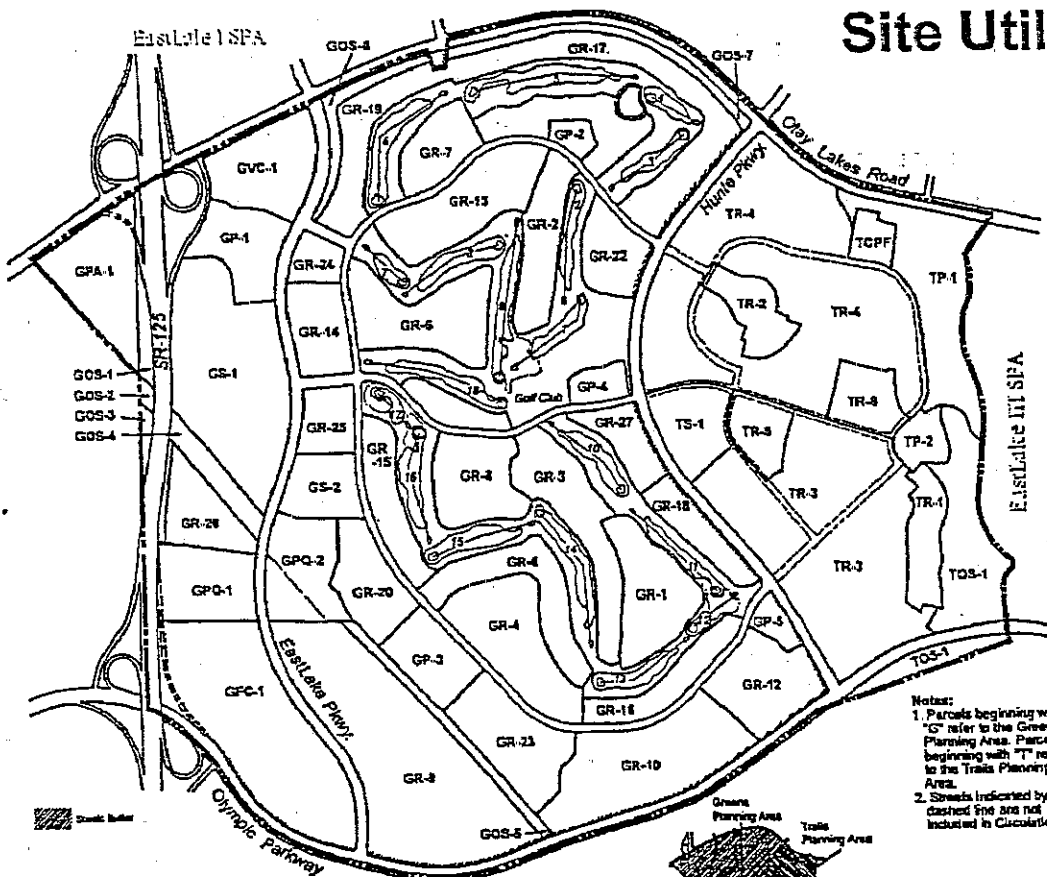
2.3 Density Transfer

This SPA Plan provides guidance for future development at the subdivision and improvement plan level, and is the basic reference for determining permitted land uses, densities, total unit, and required public facilities. These are illustrated in the Site Utilization Plan, Exhibit 4, which is the key map for this SPA Plan.

Even though the SPA Plan contains specific guidance for development, it is not intended to be used in a manner which predetermines the development solution for each and every parcel. Modifications, such as slight deviation from the internal circulation, parcel configuration and other minor adjustments not altering the design density or intent of this SPA plan, may occur as part of the Tentative Subdivision Map or other administrative process, provided the Director of Planning determines that the adjustments are minor and can be processed as an update to the SPA plan and associated regulatory documents. Minor modifications include changes to internal circulation; changes in unit count or parcel size of less than 10%; and, similar small changes resulting from design refinements. Following approval of the tentative map, the corresponding changes to the GDP and/or SPA Plan text and exhibits shall be made and/or approved by the Director of Planning as an administrative action.

Further, the SPA Plan is not a guarantee that a certain dwelling unit yield will be achieved at the subdivision level. The maximum density (high end of DU range indicated) as specified for individual parcels shall not be exceeded; however, actual dwelling unit yields for projects will be determined by field conditions, site plan and architectural review, and a number of external factors that influence the design and density of individual projects. Transfers in density from one parcel to another may be permitted subject to the provisions of the EastLake II General Development Plan.

Site Utilization Plan



| Parcel | Zone Code | Area (Ac) | Area (Sq Ft) | Notes |
|--------------------------------------|-----------|-----------|--------------|-------|
| GENERAL PLANNING AREA | | | | |
| GPA-1 | Gen. SPA | 11.1 | 476,000 | |
| GOS-1 | Open SPA | 11.1 | 476,000 | |
| GOS-2 | Open SPA | 11.1 | 476,000 | |
| GOS-3 | Open SPA | 11.1 | 476,000 | |
| GOS-4 | Open SPA | 11.1 | 476,000 | |
| GOS-5 | Open SPA | 11.1 | 476,000 | |
| GOS-6 | Open SPA | 11.1 | 476,000 | |
| GOS-7 | Open SPA | 11.1 | 476,000 | |
| GREEN SPACE PLANNING AREA | | | | |
| GS-1 | Green SPA | 11.1 | 476,000 | |
| GS-2 | Green SPA | 11.1 | 476,000 | |
| TRAIL PLANNING AREA | | | | |
| TR-1 | Trail SPA | 11.1 | 476,000 | |
| TR-2 | Trail SPA | 11.1 | 476,000 | |
| TR-3 | Trail SPA | 11.1 | 476,000 | |
| TR-4 | Trail SPA | 11.1 | 476,000 | |
| TR-5 | Trail SPA | 11.1 | 476,000 | |
| TOWN PLANNING AREA | | | | |
| TP-1 | Town SPA | 11.1 | 476,000 | |
| TOWN OPEN SPACE PLANNING AREA | | | | |
| TOS-1 | Town SPA | 11.1 | 476,000 | |
| GRAND TOTALS | | | | |
| | | 111.1 | 4,760,000 | |

Notes:
 1. Parcels beginning with "G" refer to the Green Space Planning Area. Parcels beginning with "T" refer to the Trail Planning Area.
 2. Shaded areas indicated by a dashed line are not included in circulation.

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concept(s) is to reinforce the design pattern established by the Site Utilization Plan. This pattern consists of the predominate residential district and an recreation/greenbelt corridor along with a series of paths, edges and landmarks. Dominant trees have been selected to create distinct identities and visual continuity. Each neighborhood and major thoroughfares have identified dominant trees.

Landscape design is addressed in greater detail in the neighborhood-specific Design Guidelines.

All landscape development in the EastLake II SPA shall be in compliance with the Chula Vista Landscape Manual, adopted by Resolution No. 17735 in November 1994.

3. Grading & Phasing

3.1 Grading

Conceptual grading plans, estimated grading quantities and grading policies are provided in each of the neighborhood-specific development plans and shall be applied within each respective neighborhood.

3.2 Phasing

The proposed phasing within each neighborhood is described in the respective neighborhood-level planning documents. Actual construction timing may be modified during the Tentative Map process and modification to the Public Facilities Financing Plans resulting from Tentative Map conditions of approval.

4. Public Facilities

The inclusion of public facilities issues is a distinguishing feature of SPA Plans. The plans adopted for each of the EastLake II SPA neighborhoods included extensive descriptions of the anticipated public facilities required to enable the community to function properly. These facilities include on- and off-site roads, sewer, water, storm drains, schools, parks and a range of other public facilities. The companion Public Facility Finance Plans (PFFPs) describe the "backbone" facilities in more detail and assigns the responsibility for construction and financing of all required facilities. These neighborhood-level plans remain in effect and shall continue to control public facility design, construction and phasing within the EastLake II SPA.

Required Community Purpose Facility (CPF) sites are addressed in the EastLake CPF Master Plan which includes EastLake Greens, EastLake Trails, EastLake Business Center II, EastLake Vistas and EastLake Woods neighborhoods. Four sites are distributed throughout the master plan area such that CPF sites will be available to serve all neighborhoods. The Master Plan is presented in detail in the EastLake II GDP and EastLake Trails neighborhood-level plans which should be referenced for specific requirements. Applicable portions of the EastLake CPF Master Plan will be implemented in the EastLake II SPA.

Sectional Planning Area (SPA) Plan

for

EastLake Trails

Adopted November 24, 1998

by Resolution No. 19275

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| Exhibit 8 | Grading Plan | IV-3 |
| Exhibit 9 | Parks and Open Space | V-3 |
| Exhibit 10 | Park Concept - Northern Portion | V-4 |
| Exhibit 11 | Park Concept - Southern Portion | V-5 |
| Exhibit 12 | General Landscape Plan | V-8 |
| Exhibit 13 | Phasing Plan | VI-2 |
| Exhibit 14 | Domestic Water Plan | VII-2 |
| Exhibit 15 | Reclaimed Water Plan | VII-5 |
| Exhibit 16 | Waste Water Plan | VII-6 |
| Exhibit 17 | Storm Water Plan | VII-7 |
| Exhibit 18 | CPF Master Plan | VII-12 |

II.2.1 INTRODUCTION

II.2.1.1 Background, Scope and Purpose of the Plan

EastLake Trails is the fourth residential neighborhood to be developed within the Planned Community of EastLake. It continues the eastward development pattern established with the prior neighborhoods. The first three residential neighborhoods (EastLake Hills, EastLake Shores, and Salt Creek I) and the commercial and industrial districts (EastLake Village Center and EastLake Business Center I) were approved in the EastLake I SPA. EastLake Greens was the fourth residential neighborhood and extended development south of Otay Lakes Road and further to the east. Future EastLake neighborhoods will continue the eastward pattern.

As an increment to the overall EastLake community, EastLake Trails SPA is, to a large extent, an extension of the existing development both in design and planning policy/regulations. As such, this SPA plan relies upon established policies, programs and regulations to a greater extent than earlier EastLake SPAs. It also provides more implementation flexibility to avoid the necessity of formal plan amendments for minor plan adjustments.

This Sectional Planning Area (SPA) Plan intends to define in more detailed terms the development parameters for the EastLake Trails Planned Community, including the land use mix, design criteria, primary circulation pattern, open space and recreation concept, and infrastructure requirements. Additionally, the character and form of the project will be implemented through a series of guidelines and development standards prescribed in the EastLake II Planned Community District Regulations, EastLake Trails Design Guidelines and other associated regulatory documents.

The purpose of the plan is as follows:

- A. Assure a high quality of development, consistent with City and Community goals and objectives.
- B. Create an economically viable plan that can be realistically implemented within current and projected economic conditions.
- C. Provide for orderly planning and long-range development of the project to ensure community compatibility.
- D. Facilitate adequate provision for community facilities, such as transportation, water, flood control, sewage disposal, schools and parks and provide adequate assurance to the Developer that approved development will be allowed in a timely and economically viable manner.
- E. Preserve open space and natural amenities on the property where possible.
- F. Establish a planning and development framework which will allow diverse land uses to exist in harmony within the community.

to ensure that the quality of the adopted urban design and architectural concept established for the overall EastLake planned community are maintained.

Public Facilities Financing Plan

The Public Facilities Financing Plan (PFFP) is a requirement and implements the City of Chula Vista Growth Management Program and Ordinance. The intent of this document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program and the EastLake II general Development Plan document, and to ensure that the development of the project will not adversely impact the City's Quality of Life Standards.

Affordable Housing Program

The City of Chula Vista Housing Element of 1991 affordable housing policy requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households, one-half of these units (5% of the total project) being designated to low income and the remaining five percent (5%) to moderate income households.

In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program ("AHP") and agreement be consistent with the Housing Element of the Chula Vista General Plan and be prepared and signed by the Developer. The EastLake Comprehensive Affordable Housing Program has been established to address the affordable housing requirements for the following Neighborhoods:

- EastLake Trails (EastLake II GDP)
- EastLake Vistas (EastLake III GDP)
- EastLake Woods (EastLake III GDP)
- Land Swap Parcels (EastLake II GDP)

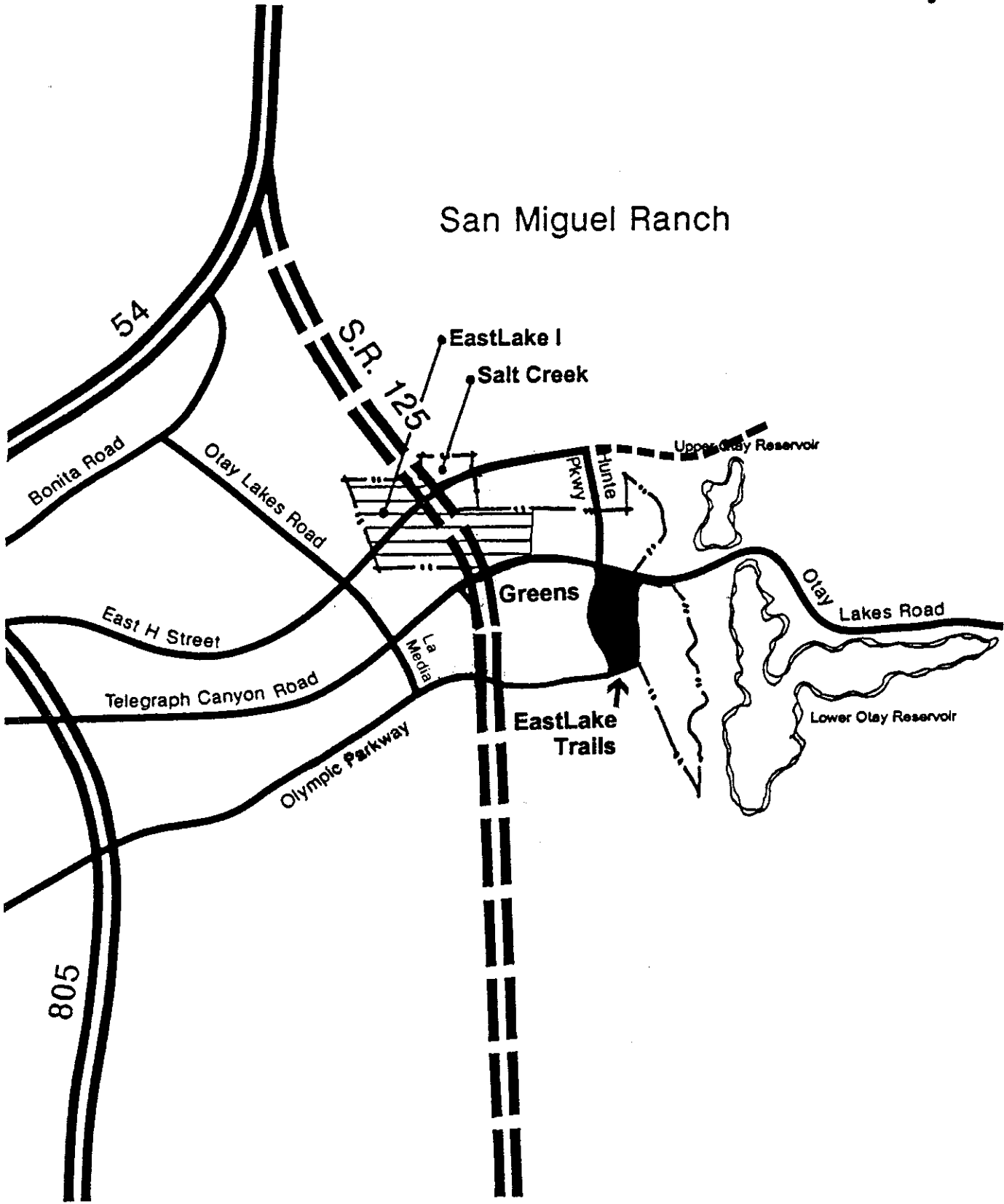
This program is intended to delineate how, when and where the units would be provided. It also lists the subsidies available for the implementation of the program; establishes income rent restrictions and methods to verify compliance and other requirements.

Air Quality Improvement Plan

The purpose of the Air Quality Improvement Plan for the EastLake Trails SPA is to respond to the Growth Management policies of the City of Chula Vista and those policies and regulations established at the broadest geographic level (State and Federal) in order to minimize air quality impacts during and after construction of projects within the EastLake Trails, and to comply with the air quality standards and policies of the San Diego County APCD.

II.2.1.2 Record of Amendments

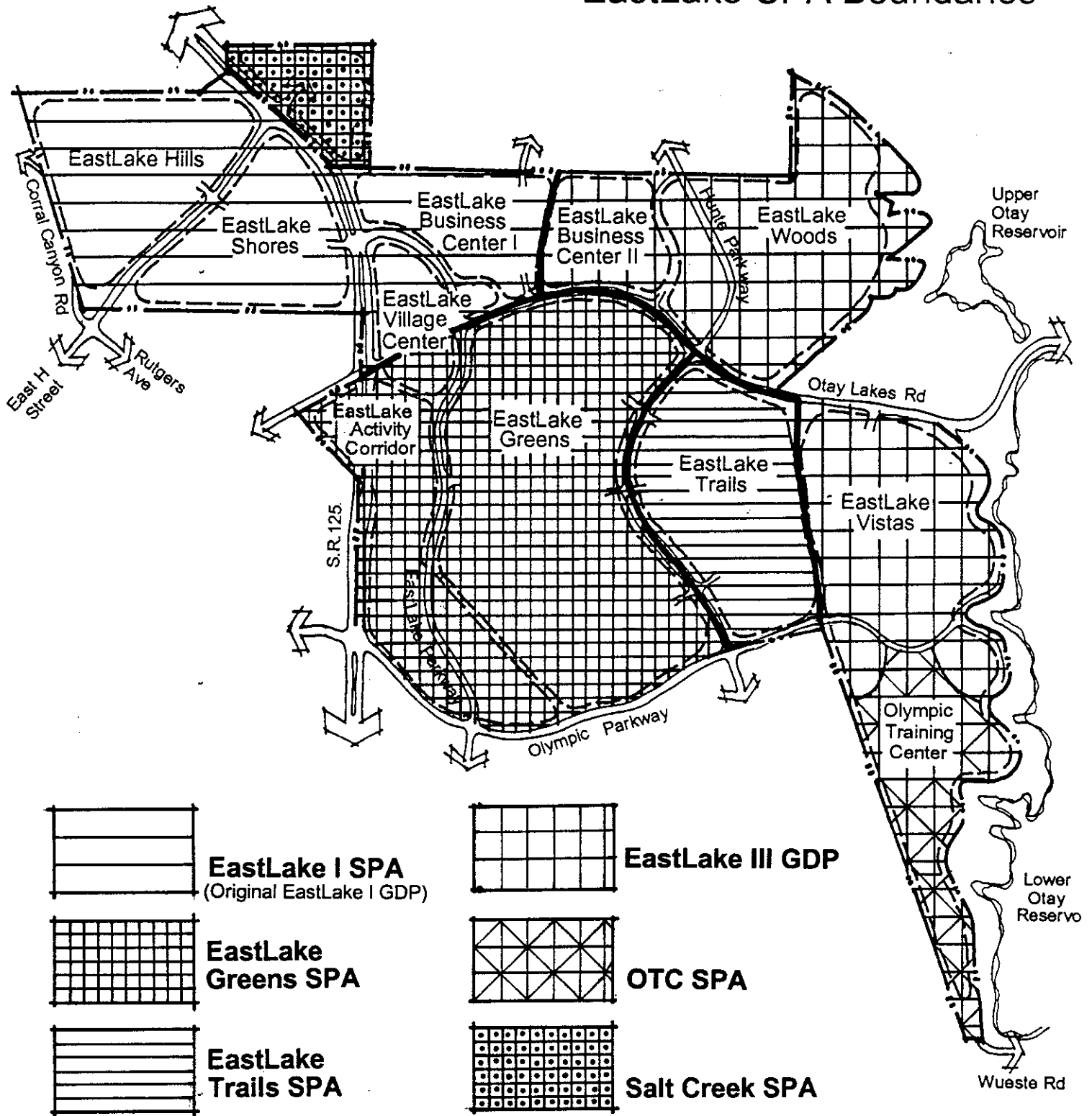
Amendment # 1: Zoning Administrator Amendment transferring four dwelling units from Parcel R-6 to R-5 (August 2000)



EASTLAKE
 A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO.



EastLake SPA Boundaries



II.2.1.3 Location and Regional Setting

The EastLake Trails SPA is located in the eastern portion of the Chula Vista City limits. The site is located immediately east of the EastLake Greens SPA, on the south side of Otay Lakes Road approximately 8 miles east of the Chula Vista Civic Center. Exhibit 1 illustrates the location of EastLake Trails and its proximity to the existing development within the EastLake community.

The location of the EastLake Trails SPA within the overall EastLake Planned Community is depicted in Exhibit 2. The entire community has been zoned "Planned Community" (PC) and designated for a range of urban uses defined in two General Development Plans (GDPs) identified as the EastLake II GDP and the EastLake III GDP. The EastLake Trails SPA is the final SPA plan to be prepared within the EastLake II GDP.

The EastLake Trails SPA planning area is essentially defined by three major circulation routes, Otay Lakes Road on the north, Hunte Parkway on the west, Olympic Parkway on the south. The Salt Creek Greenbelt forms the planning area's eastern boundary. Future phases of the EastLake community are planned for the adjacent vacant property to the north and east; the existing EastLake Greens neighborhood is to the west while the vacant land to the south is planned for development as part of Otay Ranch.

II.2.1.4 Community Structure

The community structure of the EastLake Trails neighborhood, at the broadest level, is established by the EastLake II General Development Plan. This section is intended to describe the design features of the Trails SPA Plan and to provide guidance for consistent detailed design during the implementation process.

The focal point for the EastLake Trails SPA Plan will be the recreation and greenbelt use proposed for the Salt Creek corridor which establishes the eastern edge of the Trails neighborhood. This park and greenbelt feature will essentially bind the Trails neighborhood and the future Vistas neighborhood together with a permanent park and open space element. Development within the Trails along this "green" edge provides physical and visual access to the community park. Arterial roads form the other three edges of the Trails neighborhood.

A unique feature of the Trails SPA Plan is the continuation of the thematic trail along Clubhouse Drive which forms the principle penetration point into the community. Activity nodes are planned at the community center and the private Homeowner's Swim Complex at the termination of Clubhouse Drive. View opportunities are present at significant elevations in the northerly sections and into the Salt Creek corridor.

The elementary school located at the intersection of the thematic corridor along Clubhouse Drive and Hunte Parkway provides a central meeting place for the neighborhood as well as serving the educational needs of the children.

Community Structure

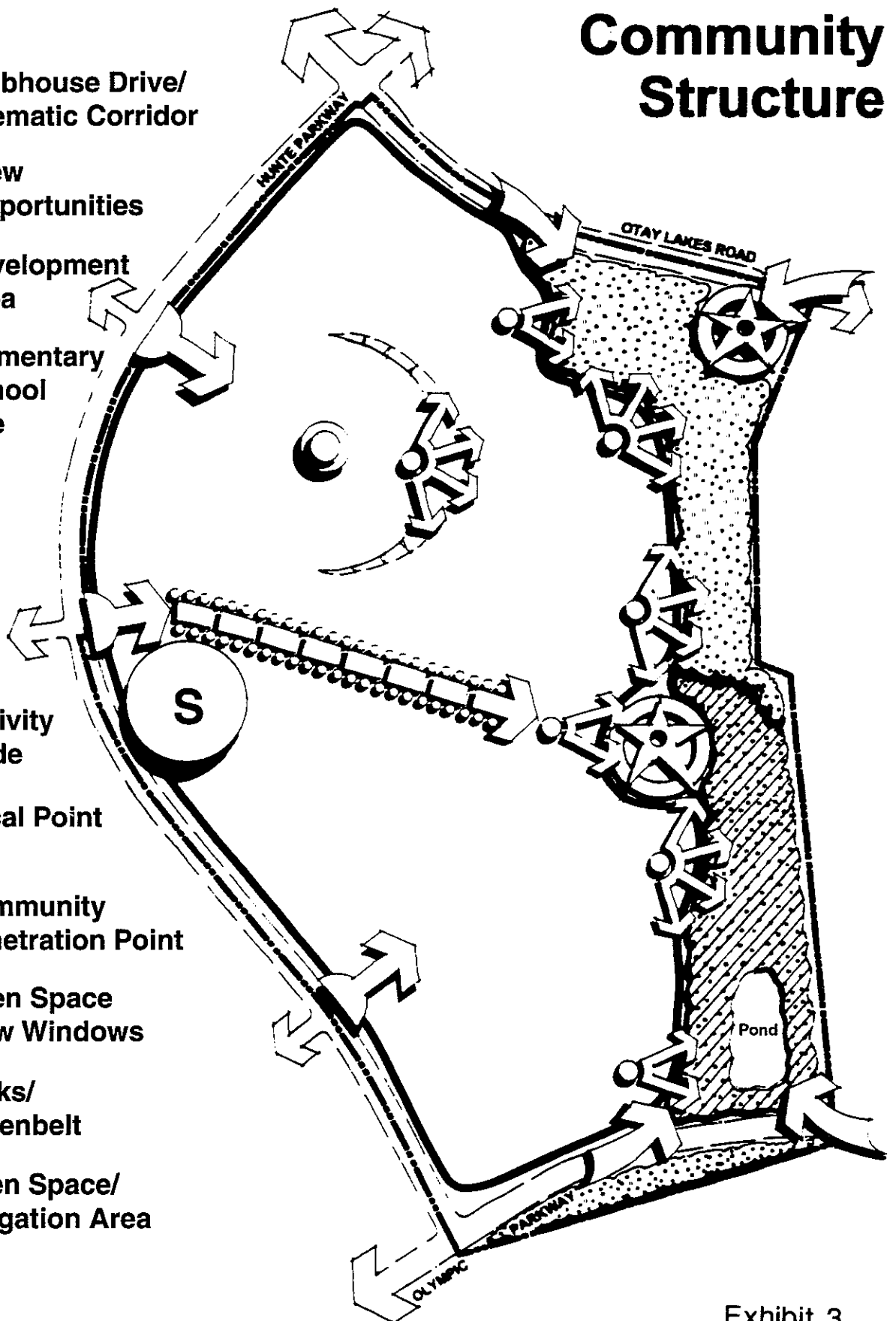


Exhibit 3

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Cinti
Land Planning
San Diego, CA 92109 232-7600



Date: 8/28/98

II.2.1.5 Legal Significance/EIR

Adoption of the EastLake Trails SPA Plan and the supporting documents in the SPA plan package by the City Council will establish the official development policy of the City of Chula Vista for EastLake Trails. All future discretionary permits will need to be consistent with the EastLake Trails SPA Plan to be approved.

The project is also subject to the requirements of the California Environmental Quality Act (CEQA). The provisions of CEQA will be implemented by the City as a part of the approval process for this SPA plan package. All mitigation measures identified and incorporated into the project as a part of the CEQA process shall be implemented through this SPA plan or other appropriate component of the SPA plan package. Implementation of mitigation requirements will be reviewed as defined in the mitigation monitoring program prepared for the project.

II.2.1.6 SPA Plan Consistency with Approved General Development Plan/PC Zone District

The Trails SPA Plan is designed to implement the EastLake II General Development Plan. Comparison of the General Development Plan (Exhibit 4) and the Site Utilization Plan (Exhibit 5) shows the relationship of land use and densities between the policy plan and the more refined and detailed SPA Plan. The proposed development statistics, acres of each use and number of dwelling units is listed in Table A.

II.2.1.6.1 Land Use Element

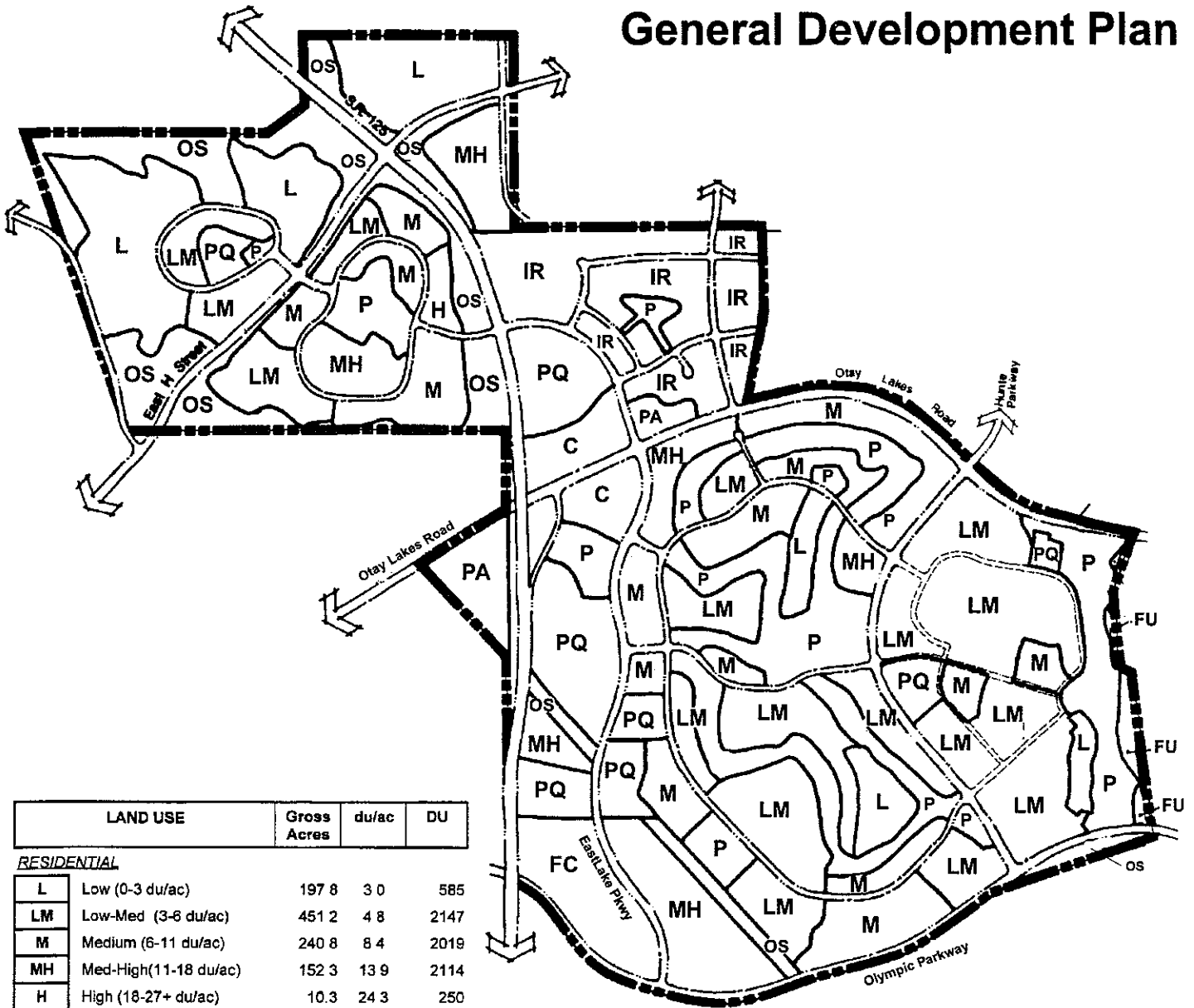
The land use designations shown on the EastLake II General Development Plan for the Trails SPA Plan area (322.2 acres) consist of Low Residential (0 to 3 du/ac), Low Medium Residential (3 to 6 du/ac), Medium Residential (6 to 11 du/ac), Public Quasi-Public, Parks and Recreation, Future Urban and Open Space. The EastLake Trails SPA Plan reflects the same land use pattern with respect to land use types and residential densities as depicted on the EastLake II General Development Plan map.

Parcel R-1 (3.0 du/ac) on the SPA Plan map is consistent with Low Residential (0 to 3 du/ac) land use shown on the GDP Plan map; Parcels R-2 (3.0 du/ac), R-3 (4.6 du/ac), and R-4 (5.0 du/ac) are consistent with Low Medium Residential (3 to 6 du/ac) shown on the GDP Plan map. Parcels R-5 (10.3 du/ac) and R-6 (9.9 du/ac) are consistent with Medium Residential shown on the GDP Plan map.

The non-residential land uses in the Trails SPA Plan which include the Elementary School and the Community Purpose Facility are consistent with the Public Quasi-Public land use designation shown on the GDP Plan map. The remaining land use designations in the Trails SPA consisting of Public Park, Private Park, Open Space and Future Urban are consistent with the corresponding land use designations shown on the GDP Plan map.

The GDP lays out a plan for satisfying this requirement in the EastLake Comprehensive Affordable Housing Program. The low income requirement for the Trails as well as the Vistas, Woods and "Land Swap" will be satisfied by a separate Affordable Housing Agreement which will guarantee the construction of the required low and moderate income units consistent with the phasing schedule for development of the EastLake Trails SPA Plan.

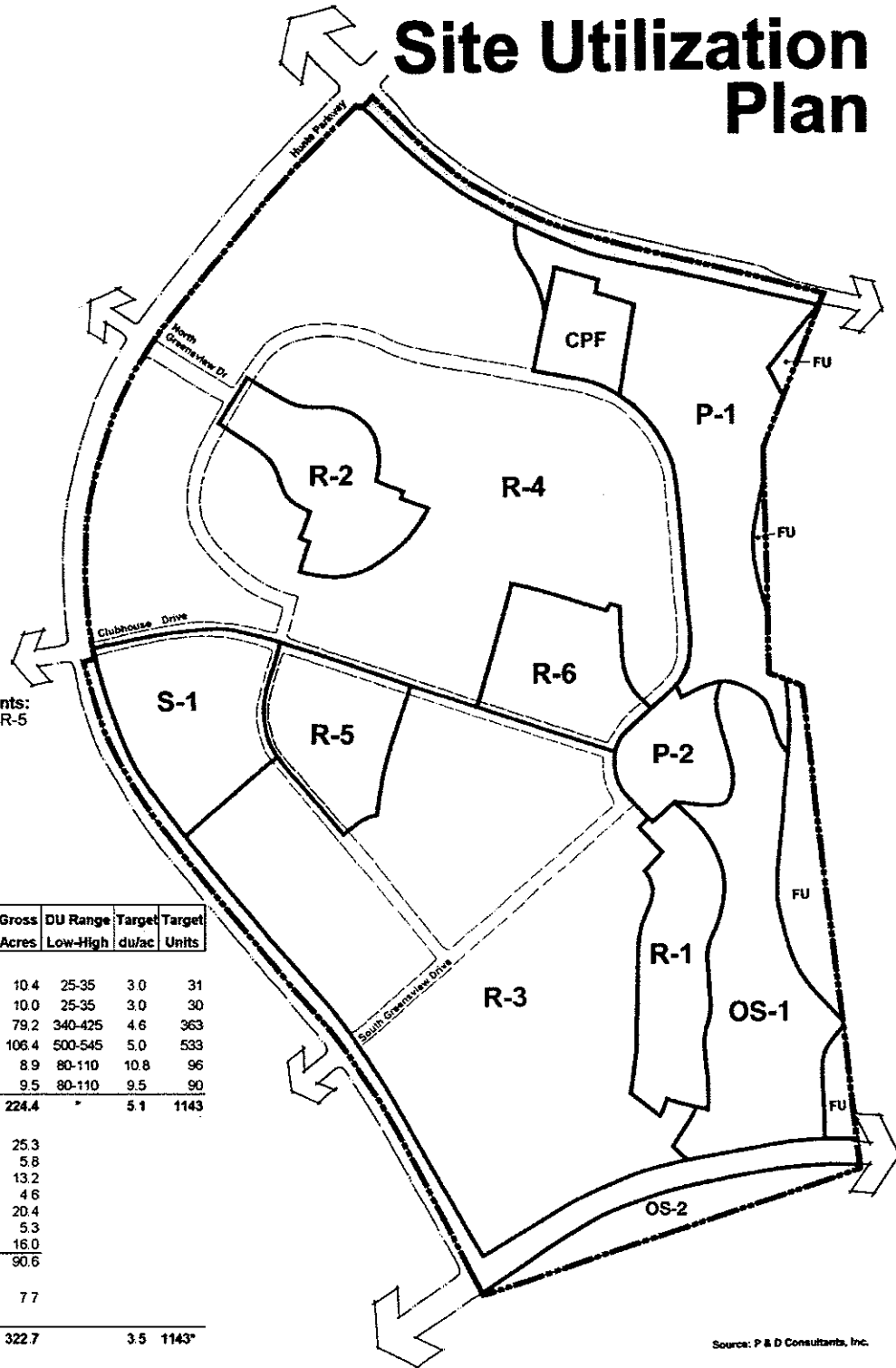
General Development Plan



| LAND USE | | Gross Acres | du/ac | DU |
|---------------------------|-------------------------|-------------|-------|------|
| RESIDENTIAL | | | | |
| L | Low (0-3 du/ac) | 197.8 | 3.0 | 585 |
| LM | Low-Med (3-6 du/ac) | 451.2 | 4.8 | 2147 |
| M | Medium (6-11 du/ac) | 240.8 | 8.4 | 2019 |
| MH | Med-High (11-18 du/ac) | 152.3 | 13.9 | 2114 |
| H | High (18-27+ du/ac) | 10.3 | 24.3 | 250 |
| Sub-total Residential | | 1052.4 | 6.8 | 7115 |
| NON-RESIDENTIAL | | | | |
| C | Retail Commercial | 36.9 | | |
| FC | Freeway Comm | 50.7 | | |
| PA | Professional & Admin | 30.7 | | |
| IR | Res & Ltd Manufacturing | 127.8 | | |
| OS | Open Space | 230.6 | | |
| PQ | Public/Quasi-Public* | 147.7 | | |
| P | Parks & Recreation | 282.2 | | |
| | Major Circulation | 217.9 | | |
| FU | Future Urban | 7.7 | | |
| Sub-total Non-Residential | | 1132.2 | | |

* Includes CPF Sites. Refer to Land Use Districts map for locations.
 Note: Circulation indicated by dashed lines not included in Major Circulation acres

Site Utilization Plan



Density Transfer Amendments:
No. 1: 8/00 4 du from R-6 to R-5

| Parcel No. | Land Use | P.C. Dist. | Gross Acres | DU Range Low-High | Target du/ac | Target Units |
|------------------------|---------------------|------------|-------------|-------------------|--------------|--------------|
| RESIDENTIAL | | | | | | |
| R-1 | Low - SFD | RS | 10.4 | 25-35 | 3.0 | 31 |
| R-2 | Low - SFD | RS | 10.0 | 25-35 | 3.0 | 30 |
| R-3 | Low Med. - SFD | RP | 79.2 | 340-425 | 4.6 | 363 |
| R-4 | Low Med. - SFD | RP | 106.4 | 500-545 | 5.0 | 533 |
| R-5 | Medium - SFD/SFA/MF | RC | 8.9 | 80-110 | 10.8 | 96 |
| R-6 | Medium - SFD/SFA/MF | RC | 9.5 | 80-110 | 9.5 | 90 |
| Sub-total | | | 224.4 | | 5.1 | 1143 |
| NON-RESIDENTIAL | | | | | | |
| P-1 | Public Park | OS-4 | 25.3 | | | |
| P-2 | Private Recreation | OS-4 | 5.8 | | | |
| S-1 | Elementary School | PQ-1 | 13.2 | | | |
| CPF | CPF Site | CPF | 4.6 | | | |
| OS-1 | Open Space | OS-7 | 20.4 | | | |
| OS-2 | Open Space | OS-7 | 5.3 | | | |
| Cir. | Major Circulation | | 16.0 | | | |
| Sub-total | | | 90.6 | | | |
| FU | Future Urban | FU | 7.7 | | | |
| SPA TOTAL | | | 322.7 | | 3.5 | 1143* |

* Maximum number of units permitted is 1143.

Notes:

- Streets indicated by dashed lines are conceptual and are not included as "Major Circulation".
- FU (Future Urban) designation is intended to be determined with the EastLake Vistas SPA.

EastLake Trails

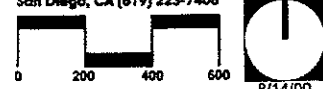
A Planned Community by The EastLake Company

Exhibit 5

8-14-00

Source: P & D Consultants, Inc.

Cinti Land Planning
San Diego, CA (619) 223-7408



8/14/00

Table A
GDP and SPA Plan Statistics

| | GDP Statistics | | SPA Plan | |
|-----------------|----------------|--------------|--------------|--------------|
| | Acres | DU | Acres | DU |
| Residential | | | | |
| Low | 10.4 | 31 | 10.4 | 31 |
| Low-Medium | 195.6 | 926 | 195.6 | 926 |
| Medium | 18.4 | 186 | 18.4 | 186 |
| Sub-total | 224.4 | 1,143 | 224.4 | 1,143 |
| Non-residential | | | | |
| Open Space | 5.3 | | 25.7 | |
| Public/PQ | 13.2 | | 17.8 | |
| CPF | 4.6 | | 0 | |
| Parks & Rec. | 51.5 | | 31.1 | |
| Circulation | 16.0 | | 16.0 | |
| Subtotal | 90.6 | | 90.6 | |
| Future Urban | 7.7 | | 7.7 | |
| TOTALS | 322.7 | 1,143 | 322.7 | 1,143 |

II.2.1.7 Related Documents

There are other documents related to this SPA Plan. Prior to the preparation of this plan, the Chula Vista General Plan and EastLake II General Development Plan established the broad policy level standards and requirements for planning the EastLake Trails SPA. The GDP also quantified the development intended within the SPA and established the PC Zoning implementation process.

All of the other documents which are components of the SPA plan package (design guidelines, public facility financing plan, etc.) are prepared concurrently and based on this SPA plan. Project CEQA documents are also prepared concurrently to document potential environmental impacts and identify mitigation measures to reduce or eliminate such impacts.

Subsequent to the approval of all the SPA level documents, subdivision maps and improvement plans will be prepared. These will provide the necessary details to actually construct the project described by the SPA level documents. These plans, the construction process and ultimate uses/activities within the SPA are required to be consistent with the applicable provisions of this SPA Plan and related documents.

II.2.2 DEVELOPMENT CONCEPT

II.2.2.1 Design Influences

The primary influences in developing the EastLake Trails SPA Plan were the Chula Vista General Plan and EastLake II General Development Plan, the EastLake Greens SPA Plan and existing development in that neighborhood, other existing adjacent development and the natural landform characteristics of the site. The primary design influences for the project are depicted in Exhibit 3.

Site Characteristics and Visual Context

The project site is generally comprised of gently rolling topography with the Salt Creek Greenbelt corridor forming the predominate geographic feature. The rounded features of the site reflect the years of plowing and discing associated with its historical dry farming use. Localized views to Salt Creek and adjacent hillsides are available from hillside locations. The range in elevation is approximately 100 feet from the creek bed to hilltop.

Salt Creek is also the significant natural resource on the site. It has been identified in the Chula Vista General Plan as an environmentally sensitive area because of its biological and wildlife habitat value, and aesthetic value. The original EastLake EIR (EIR 81-03) included a biological survey of the area. The survey identified sensitive resources within the southern reaches of Salt Creek and in the southernmost portions of the site. No significant archaeological or cultural resources have been identified in several surveys of the project site. Currently, most adjacent properties are also currently utilized for dry farming.

Surrounding Land Uses

Existing development adjacent to the EastLake Trails SPA includes the major arterials which form the project boundaries on three sides: Otay Lakes Road on the north, Hunte Parkway on the west, and Olympic Parkway on the south. These arterial roadways are not only the major circulation routes serving the site, but they also contain the major sewer, water and storm drain systems to which the project must connect. The EastLake Greens SPA located west of Hunte Parkway is the only adjacent property currently under development, although all surrounding properties are planned for future development either as future phases of EastLake (EastLake III on Exhibit 2) or Otay Ranch, south of Olympic Parkway.

II.2.2.2 Land Use Pattern

The EastLake Trails SPA is designed as a predominately single family detached neighborhood (see Site Utilization Plan Exhibit 5). The dominate land use designation is low-medium density residential with target densities in the range of 3–6 units/acre (parcels R-3 and R-4). The proposed neighborhood focal point is a private recreation facility (parcel P-2) located adjacent to the public park and open space corridor along Salt Creek (parcels P-1 and OS-1). Medium density residential (parcels R-5 and R-6) is designated along the central entry corridor, in close proximity to the focal point (parcel P-2), while one low density residential (parcel R-1) extends south from parcel P-2 along

II.2.2.4 Housing Programs

The predominant land use in the EastLake Trails plan is residential, intended to provide housing in response to local market demands. This SPA permits a variety of housing types in responding to these demands, ranging from attached condominium projects to housing on lots exceeding 7,000 square feet. The SPA Plan pre-determines the housing mix in three residential categories: Low; Low-Medium; and Medium. Within these residential categories, a number of housing types are permitted to allow response to changing market conditions.

The City of Chula Vista ("City"), along with all other cities in California, is required by state law to have a Housing Element as a component of its General Plan. The Housing Element describes the housing needs of the community and the responses necessary to fulfill them.

The Chula Vista Housing Element contains numerous objectives, policies and related action programs to accomplish these objectives. Key among these policies is the affordable housing policy which requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households, one-half of these units (5% of the total project) being designated to low income and the remaining five percent (5%) to moderate income households.

In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program ("AHP") and agreement, consistent with the Housing Element, be prepared and signed by the Developer. The AHP delineates how, when and where affordable housing units are to be provided, intended subsidies, income and/or rent restrictions, and methods to verify compliance. These programs and policies shall be applied to the EastLake Planned Community in general, and the EastLake Trails SPA specifically, as detailed in the Affordable Housing Program included as Section II.6 of the EastLake Trails SPA Plan package.

may be modified as subdivision design progresses. The three access routes from Hunte Parkway into the Trails neighborhood are proposed to be signalized as is the entry to the Community Park (parcel P-1), at the proposed site for a gymnasium, off of Otay Lakes Road. However, the final determination of which intersections are to be signalized shall be made by the City Traffic Engineer.

II.2.3.4 Street Standards

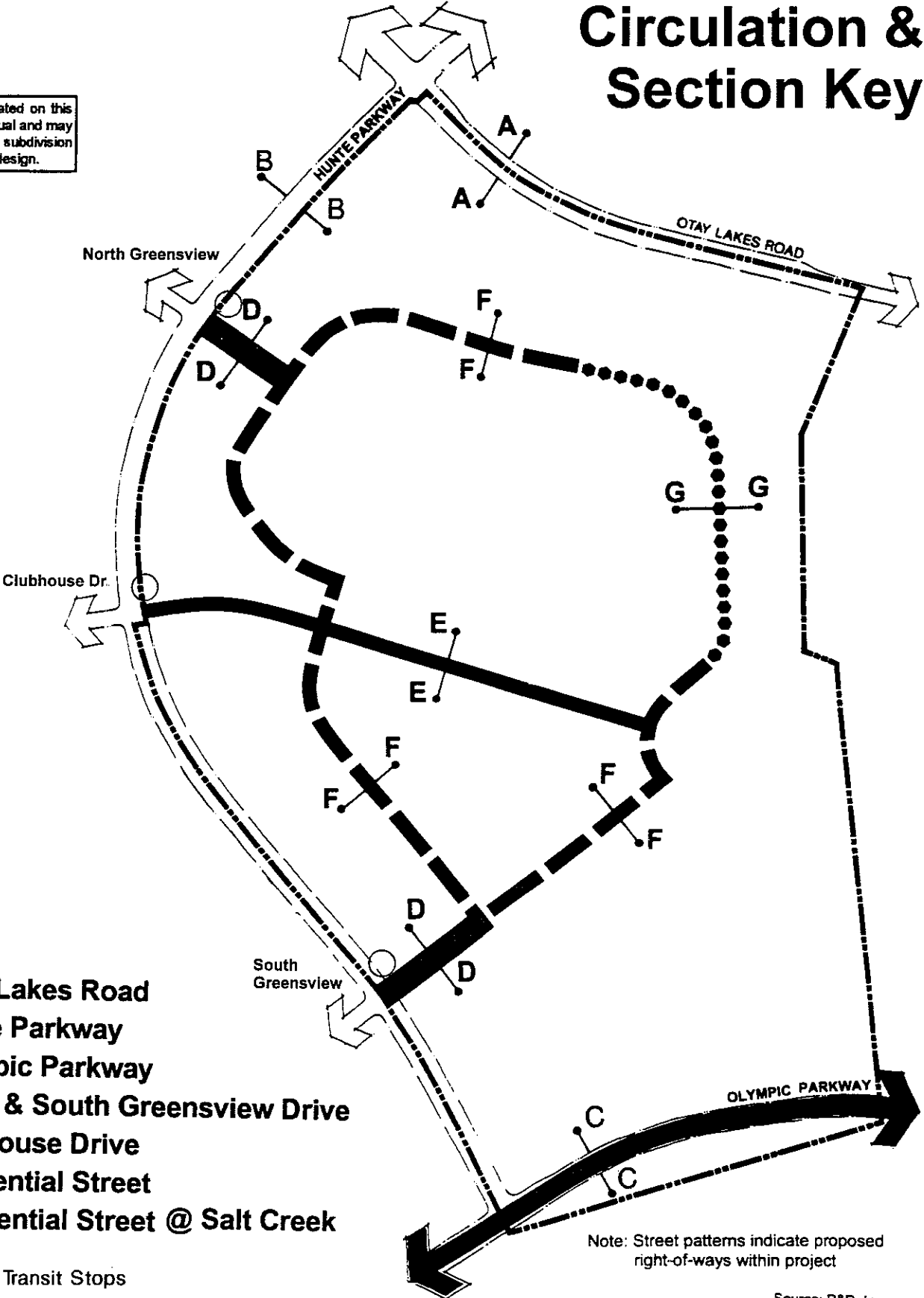
Street standards for the arterial roads at the periphery of the SPA have been established in the Circulation Element of the Chula Vista General Plan and previous project development approvals. Internal streets will be constructed to meet City engineering standards. The Circulation/Street Section plan (Exhibit 6 and 6a-6c) indicates the proposed street sections. The final improvement designs will be determined as a part of the subdivision approval process.

Some projects may be proposed as private neighborhoods with gate guarded access to limit entrance to residents and their guests only. In such a case, the internal streets will be private. Any such private streets shall be constructed to public street standards for paved section and other engineering criteria.

In some moderate density areas, the use of public alleys may be appropriate. Alleys can provide rear entrances for vehicles, decreasing intrusions into fronting residential streets. Any alleys proposed with a site design/subdivision submittal, must be approved by the City Engineer.

Circulation & Section Key

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.



- A - Otay Lakes Road**
- B - Hunte Parkway**
- C - Olympic Parkway**
- D - North & South Greensview Drive**
- E - Clubhouse Drive**
- F - Residential Street**
- G - Residential Street @ Salt Creek**

○ Potential Transit Stops

Note: Street patterns indicate proposed right-of-ways within project

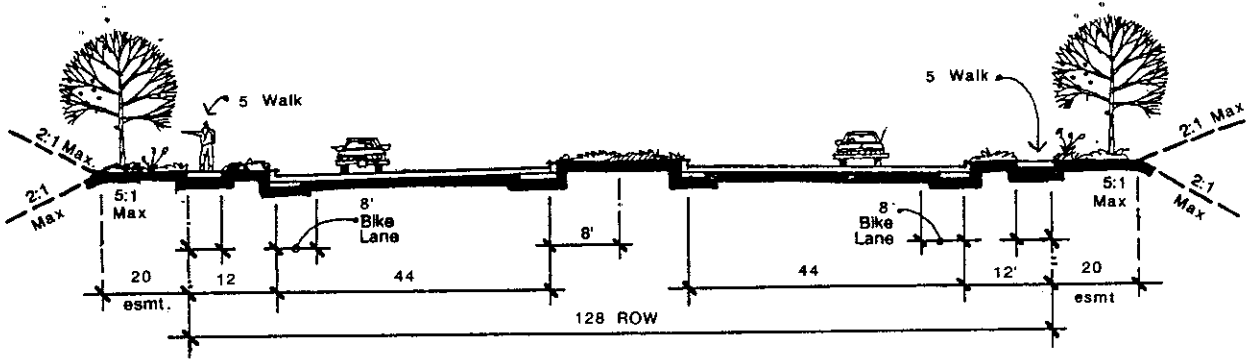
EASTLAKE TRAILS
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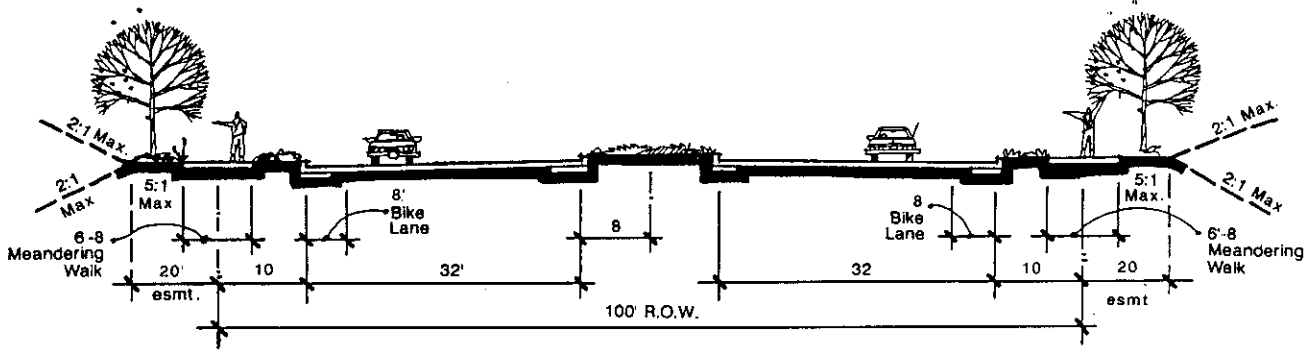
Source: P&D Inc
Cinti
 Land Planning
 San Diego, CA (619) 223-7408
 Date: 8-28-98

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

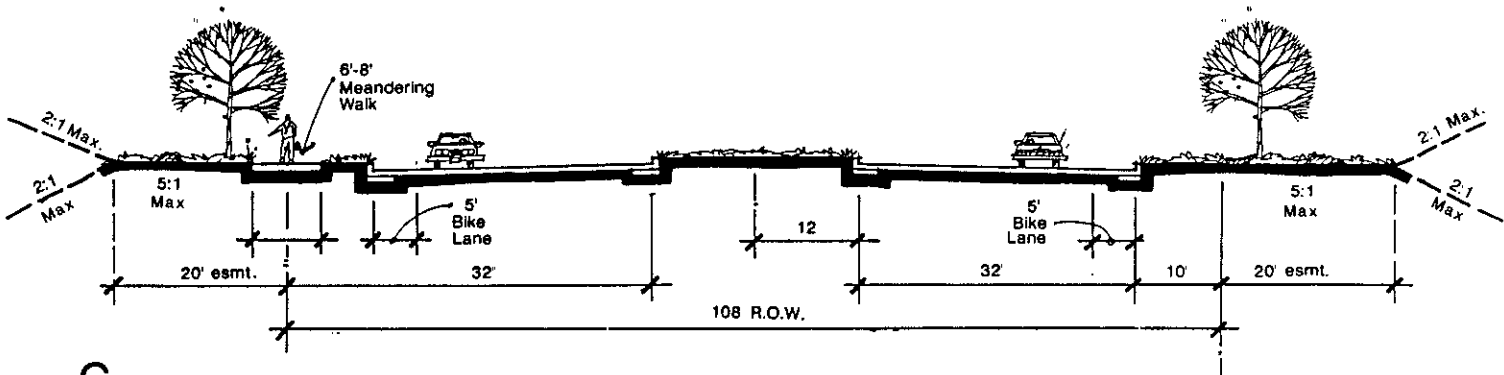
CIRCULATION / STREET SECTIONS



A-OTAY LAKES ROAD



B-HUNTE PARKWAY



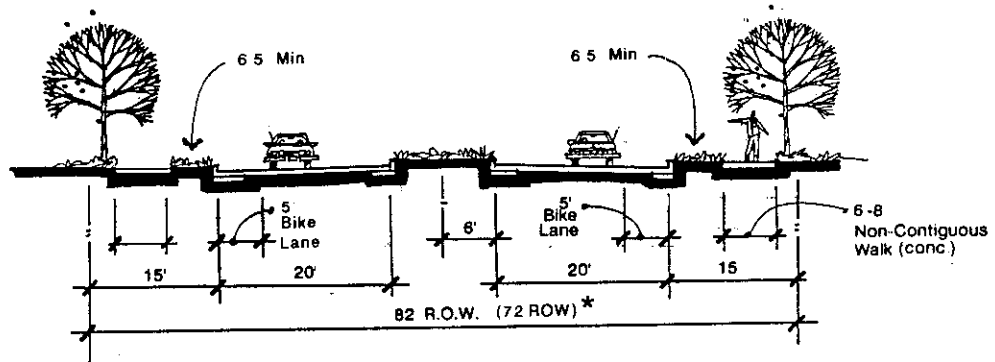
C
OLYMPIC PARKWAY

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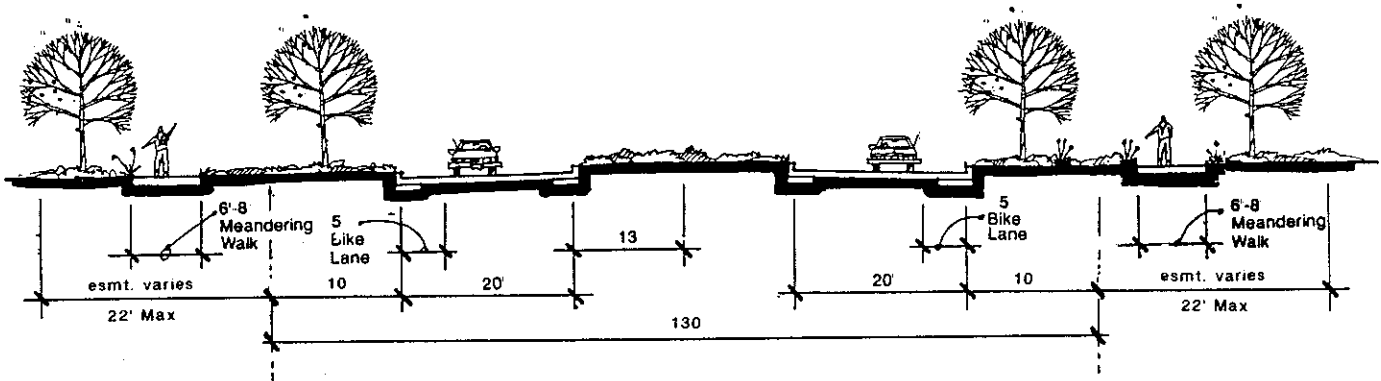
CIRCULATION / STREET SECTIONS

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.



D - NORTH and SOUTH GREENVIEW DRIVE

* South Greenview Drive 72' ROW (no Median) from "A" Street intersection to "B" Street Intersection



E CLUBHOUSE DRIVE

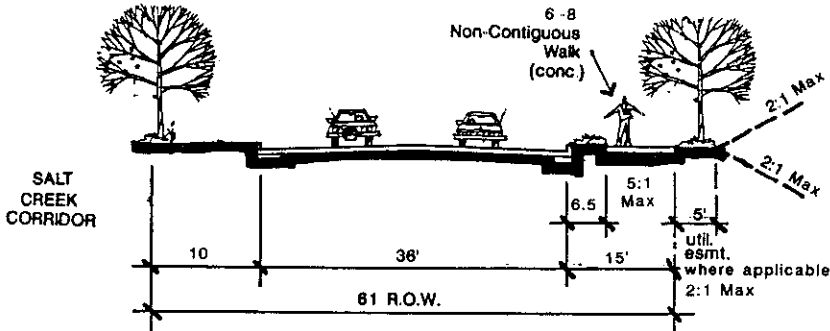
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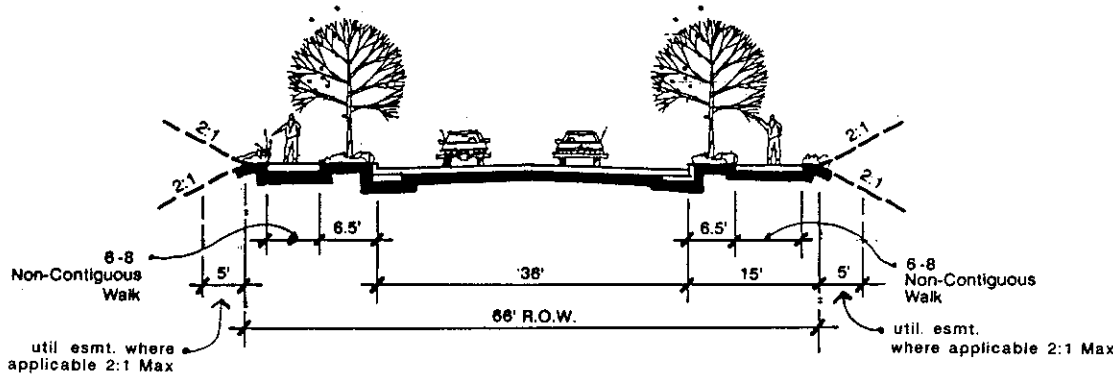
Exhibit 6B

CIRCULATION / STREET SECTIONS

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.



F - RESIDENTIAL STREET
along SALT CREEK
CORRIDOR



G - RESIDENTIAL STREET

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY

Source P&D Inc
Cinti
Land Planning
San Diego, CA 92111 333-7400

II.2.3.5 Phasing of Road Improvements

The phasing of community development concurrent with provision of adequate road capacity and access improvements is fully described in the Public Facilities and Financing Plan (Chapter II, Section II.5 of the SPA Plan package). These improvements have been phased and designed to maintain an adequate level of service in the circulation system serving the EastLake Trails SPA throughout the development process. The provision of adequate internal circulation improvements is expected to be controlled via subdivision map conditions.

II.2.3.6 Transit Planning Principles

Exhibit 6 indicates three potential transit stops strategically located near vehicular and pedestrian main access points are planned along Hunte parkway to serve the future EastLake Trails Neighborhood residents. These have been planned based on the following principles, which may be used in determining their final locations:

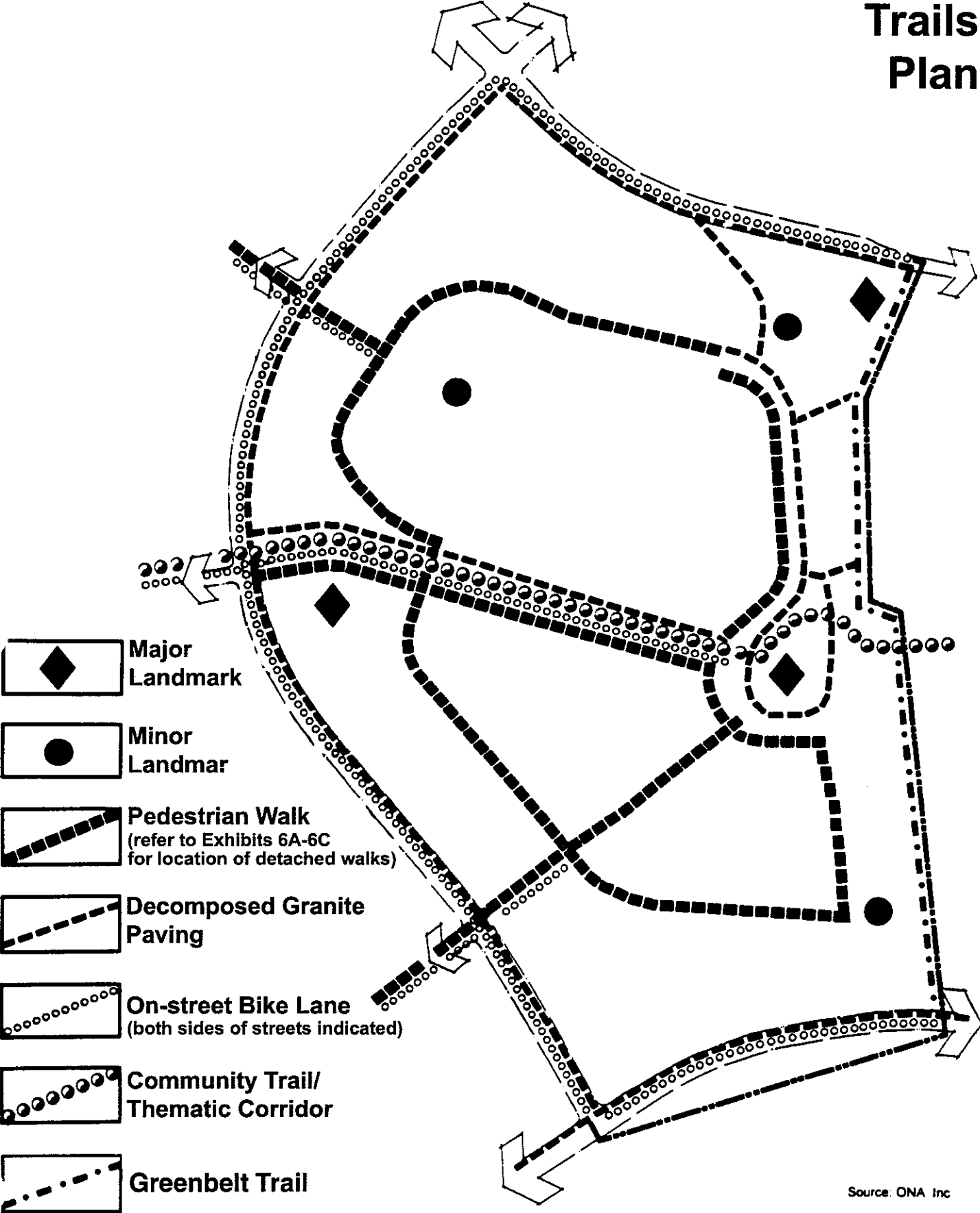
1. Where there are numerous major pedestrian generators, access to stops for transit vehicles moving in both directions is facilitated by locating transit stops near striped intersections
2. Transit stops should be located and walkways designed to provide access as directly as possible without impacting residential privacy.
3. At intersection points of two or more transit routes, stops should be located to minimize walking distance between transfer stops.
4. Transit vehicle conflicts with automobile traffic can be reduced by locating bus turnouts at the far side of intersections in order to permit right-turning vehicles to continue movement.
5. Transit stops should be provided with adequate walkway lighting and well-designed shelters
6. Walkway ramps should be provided at transit stops to ensure accessibility to the handicapped.








II.2.3.7 Bicycle Routes and Pedestrian Trails

Bicycle Routes:

Although no designated regional off-street bicycle routes are included as components of the internal circulation network, bicyclists will be readily able to share the internal streets with motor vehicles due to the low traffic volume and limited speeds allowed. Bicycle route

Trails Plan



-  Major Landmark
-  Minor Landmar
-  Pedestrian Walk
(refer to Exhibits 6A-6C for location of detached walks)
-  Decomposed Granite Paving
-  On-street Bike Lane
(both sides of streets indicated)
-  Community Trail/
Thematic Corridor
-  Greenbelt Trail

Source: ONA Inc

EastLake Trails

A Planned Community by The EastLake Company

Cinti
Land Planning
San Diego, CA (619) 223-7408
Date: 9/30/98



II.2.4 GRADING

II.2.4.1 Introduction

The Land Use Element of the Chula Vista General Plan states that the mesas, hilltops and gently rolling topography offer the best sites for development. Steeply sloped hillsides and valleys can serve as open space/greenbelt resources, linking the developed areas which they intersect. For the EastLake Trails SPA, the Salt Creek corridor along the eastern edge of the project has been identified as such a greenbelt resource. Development sites within the remainder of the SPA should be graded to blend with and create an aesthetically pleasing setting for the greenbelt corridor.

II.2.4.2 Grading Concept

The SPA level grading plan for EastLake Trails is intended to provide a preliminary grading concept, identifying slope bank locations and necessary maintenance provisions. The preliminary grading design is as indicated on the Grading Concept, Exhibit 8

The grading concept is based on the following objectives:

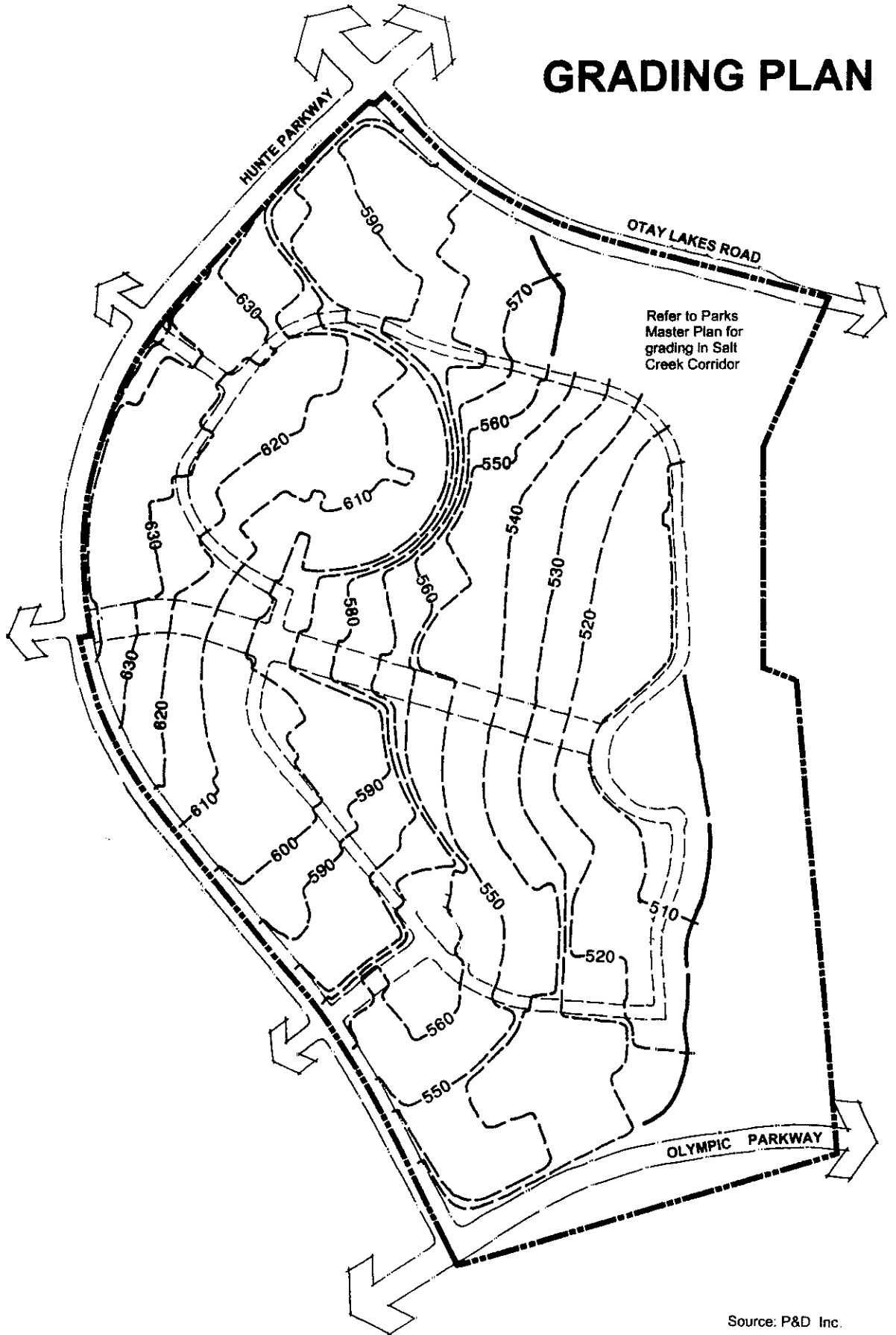
- Preservation of the sensitive areas of Salt Creek
- Creating efficient man-made landforms that visually respond to natural terrain characteristics where practical.
- Creating and maintaining on and off-site views
- Creating useable building areas and private yards.
- Separating potential public and private use conflicts.
- Creating, where possible, barriers or physical separation from traffic noise sources.

II.2.4.3 Grading Requirements

Final grading design to implement the SPA grading concept should incorporate the following:

- General Standards: Grading within EastLake Trails shall be subject to Chapter 15.04 - Excavation, Grading and Fills of the Municipal Code.
- Grading Design: Graded areas should be contoured to blend with natural landform characteristics. Rounding both vertical and horizontal intersections of graded planes; obscuring slope drainage structures with a variety of plant material massing; incorporating the use of variable slope ratios for larger slope banks; use of landscape planting for erosion

GRADING PLAN



Source: P&D Inc.

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY



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San Diego, CA (619) 223-7408



Date: 12/17/97

II.2.5 PARKS, RECREATION and OPEN SPACE

II.2.5.1 Introduction

The EastLake Trails SPA Plan provides for a large park and recreational opportunity in the Salt Creek corridor, refer to the Parks and Open Space Plan (Exhibit 9). A private recreation facility, sited on parcel P-2, will serve as the neighborhood amenity and focal point. It will be located on the southern edge of the public park corridor, parcel P-1. The northern portion of Parcel P-1 will be improved with traditional active recreation facilities such as ball fields and sports courts (see conceptual plan in Exhibit 10). Not included in the park acreage is Parcel CPF, proposed as a Community Purpose Facility site, which is proposed to contain ballfields for non-profit youth organizations, such as Little League. These will supplement the public park facilities.

The southern portion will be dedicated to more passive activities consistent with the existing pond and wetlands in the corridor. The park will be improved with trails, picnic tables and other facilities which contribute to the conservation and enjoyment of the natural amenities of the area. A conceptual plan for the southern portion of the public park and the private recreation facility is illustrated in Exhibit 11.

The proposed private facility will be owned and maintained by a Master Community Association. The community greenbelt/park along Salt Creek will be dedicated to the City and maintained by the City. The precise boundary and size of this area will be determined by the Tentative Tract Map and Salt Creek Park Master Plan process.

II.2.5.2 Required Park Land and Improvements

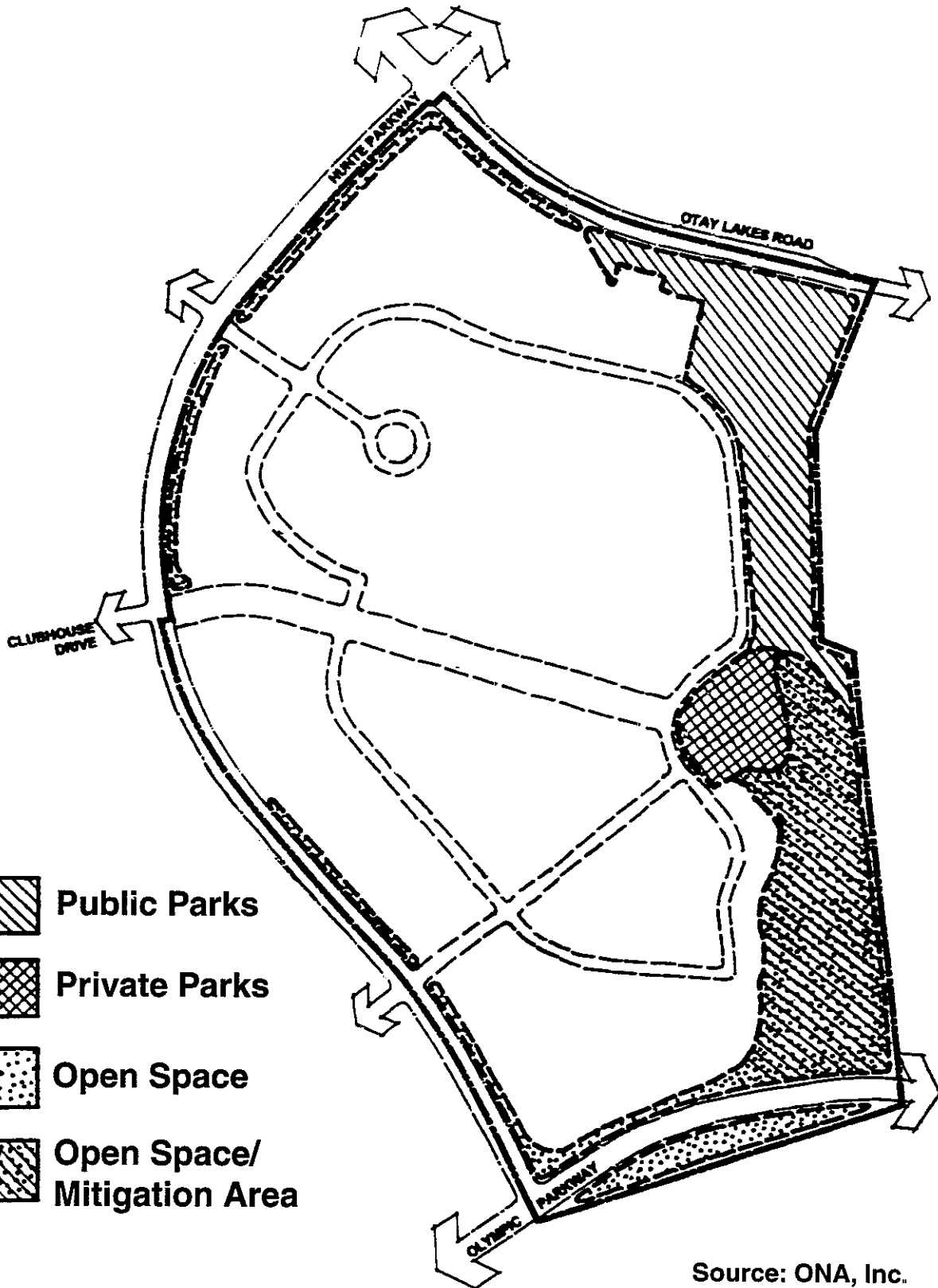
New development is required to provide public parkland, improved to City standards, and dedicated to the City, based on established standards. The dedication requirements are specified in Section 17.10.040 of the Chula Vista Municipal Code and are provided in Table B, below.





Table B
Parkland Dedication Requirements

| Dwelling Unit Type | Park Area Dedication/DU | DU/Park Acre Dedicated |
|------------------------|-------------------------|------------------------|
| Single Family Detached | 423 SQ FT/DU | 103 DU/AC |
| Attached/PUD | 366 SQ FT/DU | 119 DU/AC |
| Duplex | 325 SQ FT/DU | 134 DU/AC |
| Multiple Family | 288 SQ FT/DU | 151 DU/AC |
| Mobile Home | 215 SQ FT/DU | 203 DU/AC |

The dedication requirement for EastLake Trails SPA, based on the proposed target number of units and an assumed "average" product type for Parcel R-5 and R-6, is calculated in Table C. The

PARKS and OPEN SPACE



-  Public Parks
-  Private Parks
-  Open Space
-  Open Space/
Mitigation Area

Source: ONA, Inc.

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY

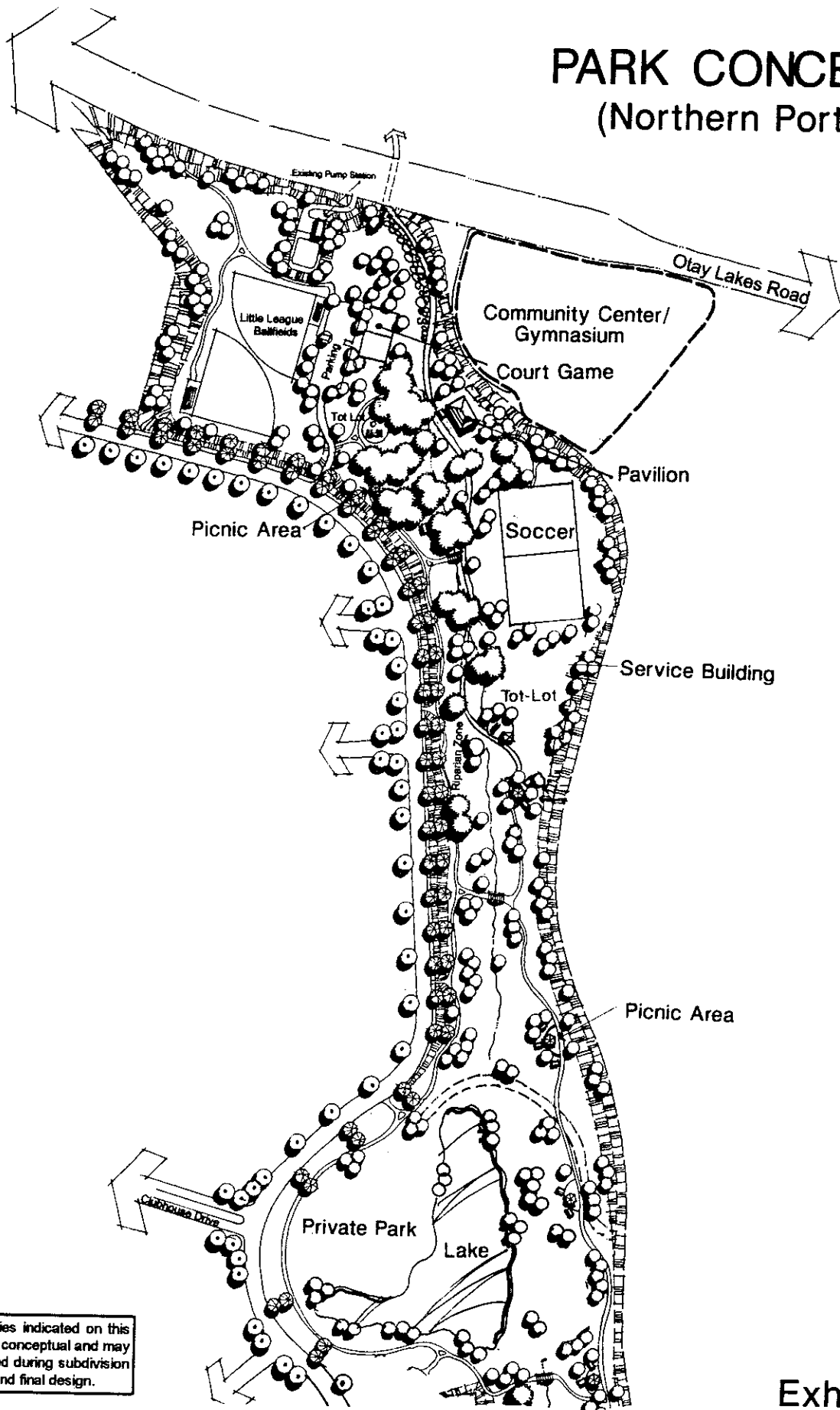


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San Diego, CA 92109 225-7000

Date: 8/26/98

Exhibit 9

PARK CONCEPT (Northern Portion)



The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

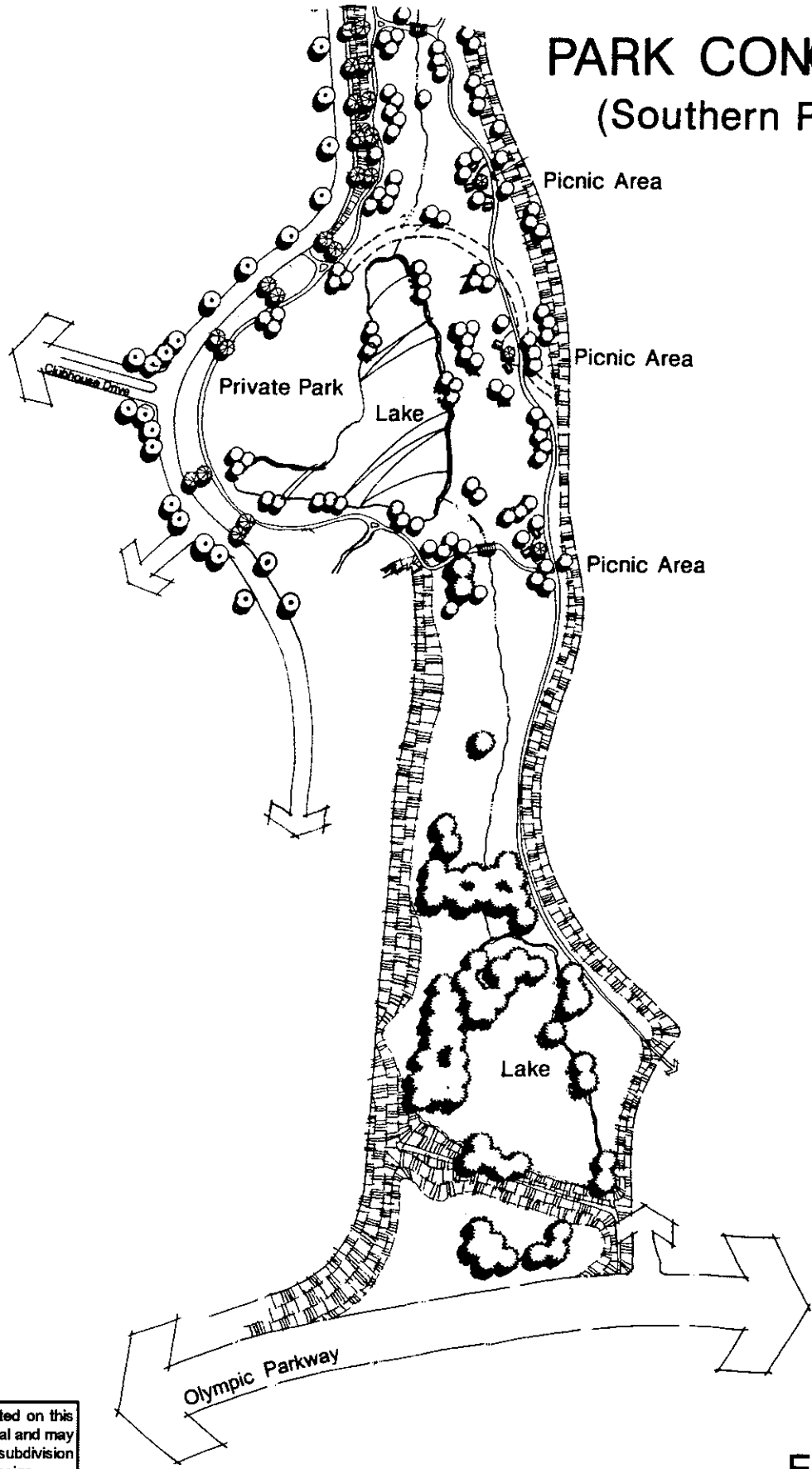
EASTLAKE TRAILS
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Exhibit 10

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PARK CONCEPT (Southern Portion)



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Exhibit 11

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7/6/98

II.2.5.3 Park and Open Space Implementation

All of the open space and public parks will be controlled through open space easements and/or dedication to the City. Maintenance of the public community park will be provided by the City. Access controls and maintenance of the private recreation facility will be the responsibility of the homeowner's association. Open Space and/or Landscape Maintenance Districts may be established to ensure proper management and operation of public right-of-way improvements.

Private open space areas and slopes within "common interest" residential projects will be designated common areas and maintained by homeowners' associations. For detached residential projects, major open space slopes will be a single lot or lots, with open space easements protecting the slopes from development.

II.2.5.4 Open Space

While generally accepted standards have been established for the provision of acreage and the function of a hierarchy of parks, the "need" for open space is more difficult to quantify. Usually the need, amount and location of open space is determined by the natural environmental conditions of the land and facility related needs such as detention basins, future road rights-of-way, and buffer space between unrelated land uses, etc. Steep slopes and sloping lands with unstable geologic conditions are obvious candidates for open space, as are noise buffer areas along major traffic ways.

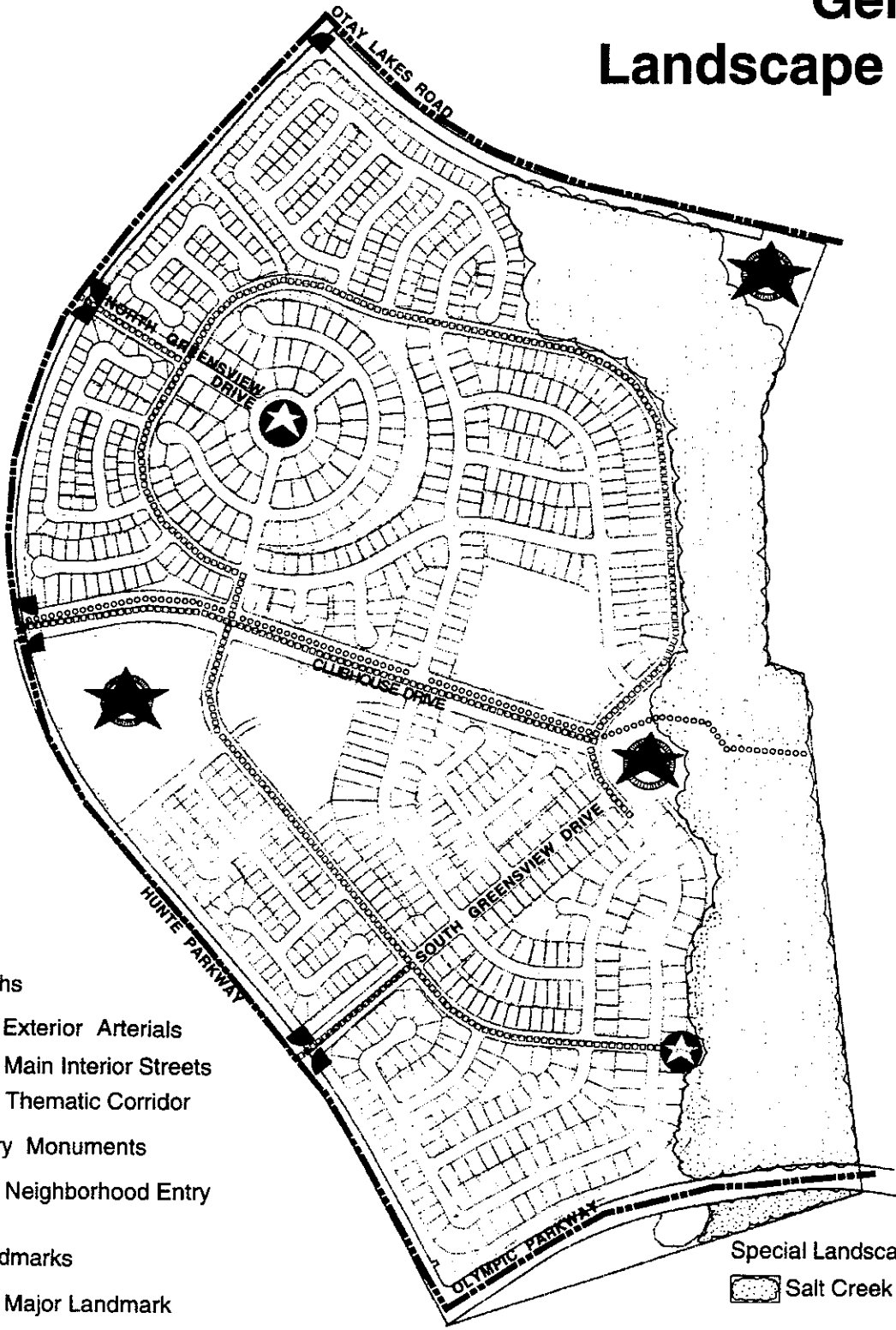
Open space areas within EastLake Trails will be provided for buffer areas where required along Otay Lakes Road, Hunte Parkway and Olympic Parkway based on final design proposals along these arterials. The open space area south of Olympic Parkway is intended to remain in a natural state. The Open Space area south of the public park and north of Olympic Parkway will provide for habitat conservation and the Chula Vista Greenbelt trail.

Open space lands indicated as preserved on the EastLake Trails Site Utilization Plan will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to a Master Community Association. Uses will be strictly controlled through zoning regulations (see Section II.3 of the SPA Plan).

II.2.5.5 Habitat Enhancement

Enhancement or preservation of sensitive habitat is not a significant issue for the EastLake Trails SPA. Minor habitat enhancement will be provided in conjunction with the implementation of the public park/greenbelt in the Salt Creek corridor. The form and extent of such enhancement will be determined during final design of the public area. Mitigation in the southern reach of the Salt Creek Greenbelt has been required for the extension of Olympic Parkway to the Olympic Training Center.

General Landscape Plan



- Paths**
- Exterior Arterials
 - Main Interior Streets
 - Thematic Corridor
- Entry Monuments**
- Neighborhood Entry
- Landmarks**
- Major Landmark
 - Minor Landmark

Special Landscape Zone
 Salt Creek Corridor

EastLake Trails

A Planned Community by The EastLake Company



Source: ONA, Inc.
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 Date: 9-22-98

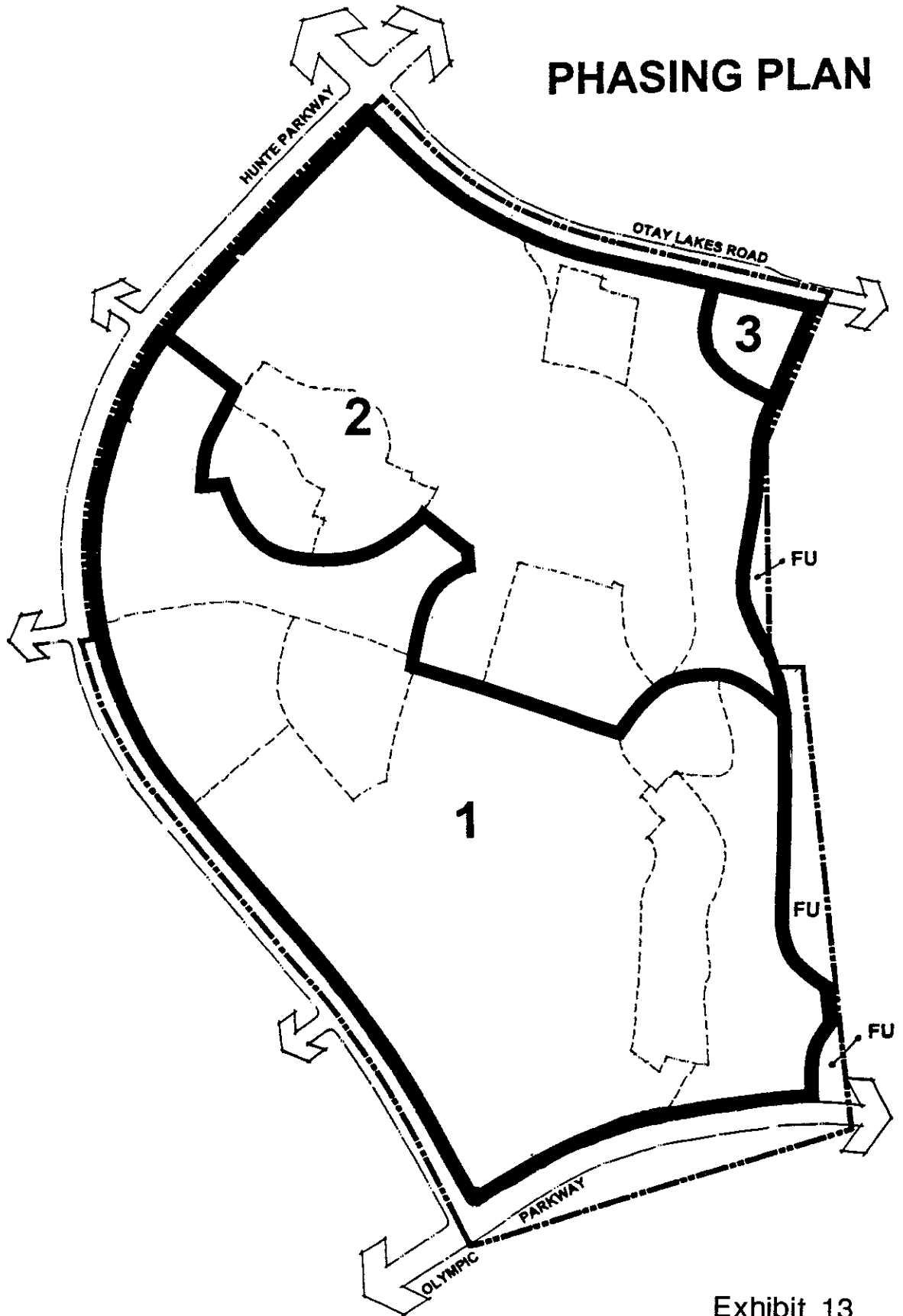
Exhibit 12

II.2.6 DEVELOPMENT PHASING

Two primary phases of development are envisioned with a third involving only the public park. These are illustrated in the Conceptual Phasing Plan (Exhibit 13). Initial residential development will occur in the southern and central portions of the project in Parcels R-1, R-3, a portion of R-4 and R-6. Construction of the private recreational amenity (Parcel P-2), and preparation of the elementary school site (Parcel S-1) are also anticipated during Phase 1. Phase 2 will include development of Parcel R-2, most of R-4, the CPF Site (Parcel CPF), and phased improvements in the northern portion of the public park (Parcel P-1). The balance of the public park (a portion of P-1) will occur in Phase 3, which is anticipated to occur with off-site development to the east and north of EastLake Trails.

The proposed phasing and actual construction timing may be modified during the EastLake Trails Master Tentative Map process and modification to the Public Facilities Financing Plan resulting from the Master Tentative Map conditions of approval.

PHASING PLAN



EASTLAKE TRAILS
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Exhibit 13

Date: 8/26/98

II.2.7 PUBLIC FACILITIES

II.2.7.1 Introduction

The inclusion of public facilities issues is a distinguishing feature of SPA Plans. This portion of the plan outlines the public facilities which enable the community to function properly. The companion Public Facilities and Financing Plan (Section II.5 of the EastLake Trails SPA Plan) describes the "backbone" facilities in more detail and assigns the responsibility for construction and financing of all required facilities.

The facilities described in the SPA Plan have been identified and capacities determined based upon projected land uses and their distribution, as shown on the Site Utilization Plan (Exhibit 5).

II.2.7.2 Potable Water Supply

The EastLake Planned Community, including the EastLake Trails SPA, is located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. OWD is a member of the County Water Authority and the Metropolitan Water District of Southern California.

Potable water for the development will be supplied from two pressure zones providing static pressure grades of 711 and 980 feet. Existing transmission mains for both zones are located in Hunte Parkway and Otay Lakes Road. Additional supply will be provided to the development from planned mains to be located in Olympic Parkway.

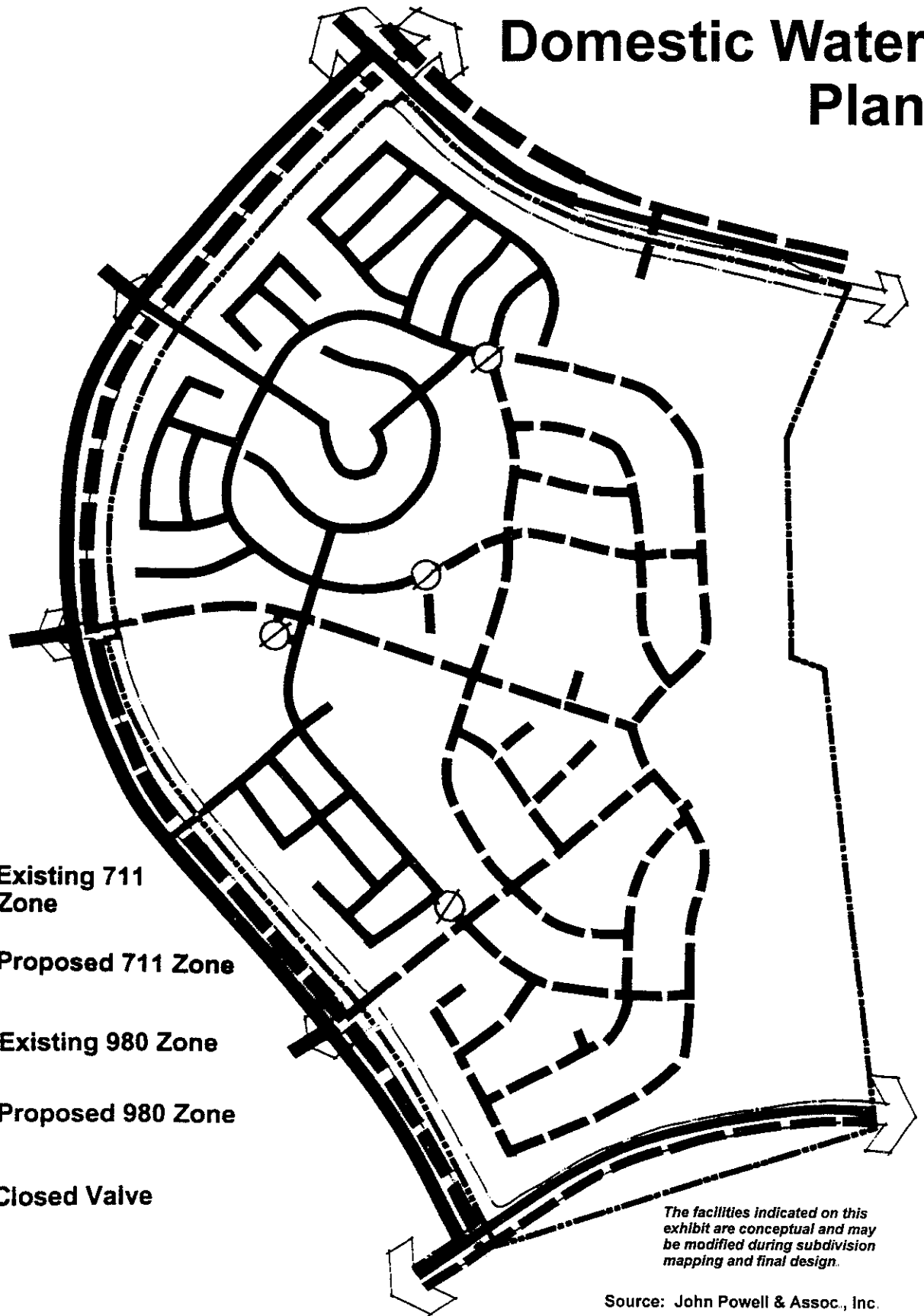
The EastLake Trails distribution system will tentatively connect to the 711 Zone transmission main in Hunte Parkway at Clubhouse Drive and at South Greensview Drive. Connections to the 980 Zone transmission main in Hunte Parkway will be made at North Greensview Drive and South Greensview Drive.




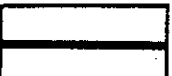
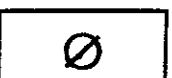
II.2.7.3 Potable Water Demand

Domestic water demand for EastLake Trails SPA will be estimated as a part of the water master plan to be approved by the OWD. An analysis of available water supply will also be completed to assure that sufficient supplies are planned to be available as demand is generated by the project.

Water "will serve" acknowledgments from the Water District will be required by the City during the subdivision map process.

Domestic Water Plan



-  Existing 711 Zone
-  Proposed 711 Zone
-  Existing 980 Zone
-  Proposed 980 Zone
-  Closed Valve

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

Source: John Powell & Assoc., Inc.

EASTLAKE TRAILS
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DATE: 8-26-98

II.2.7.4 Reclaimed Water Supply and Master Plan

Based on current District policies regarding new subdivision development, landscape irrigation for parks, schools, greenbelts, road medians, and multi-family residential is required to utilize, where available, recycled water. The project is located in the OWD Central Service Area which currently receives recycled water from the District's 1.3 mgd capacity Ralph W. Chapman Recycling Facility.

The existing reclaimed water distribution system serves EastLake Greens and connections to the system to serve the EastLake Trails SPA have been planned. Potential demand within the SPA will be estimated as a part of a Reclaimed Water Master Plan for the EastLake Trails SPA to be approved by the OWD and the City of Chula Vista. A plan to distribute reclaimed water within the project is depicted on the Reclaimed Water plan (Exhibit 16).

Reclaimed water requirements for the project will be coordinated by the Water District and the City. The phased construction of reclaimed water facilities, based on the District approved master plan, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions to assure timely provision of required facilities.

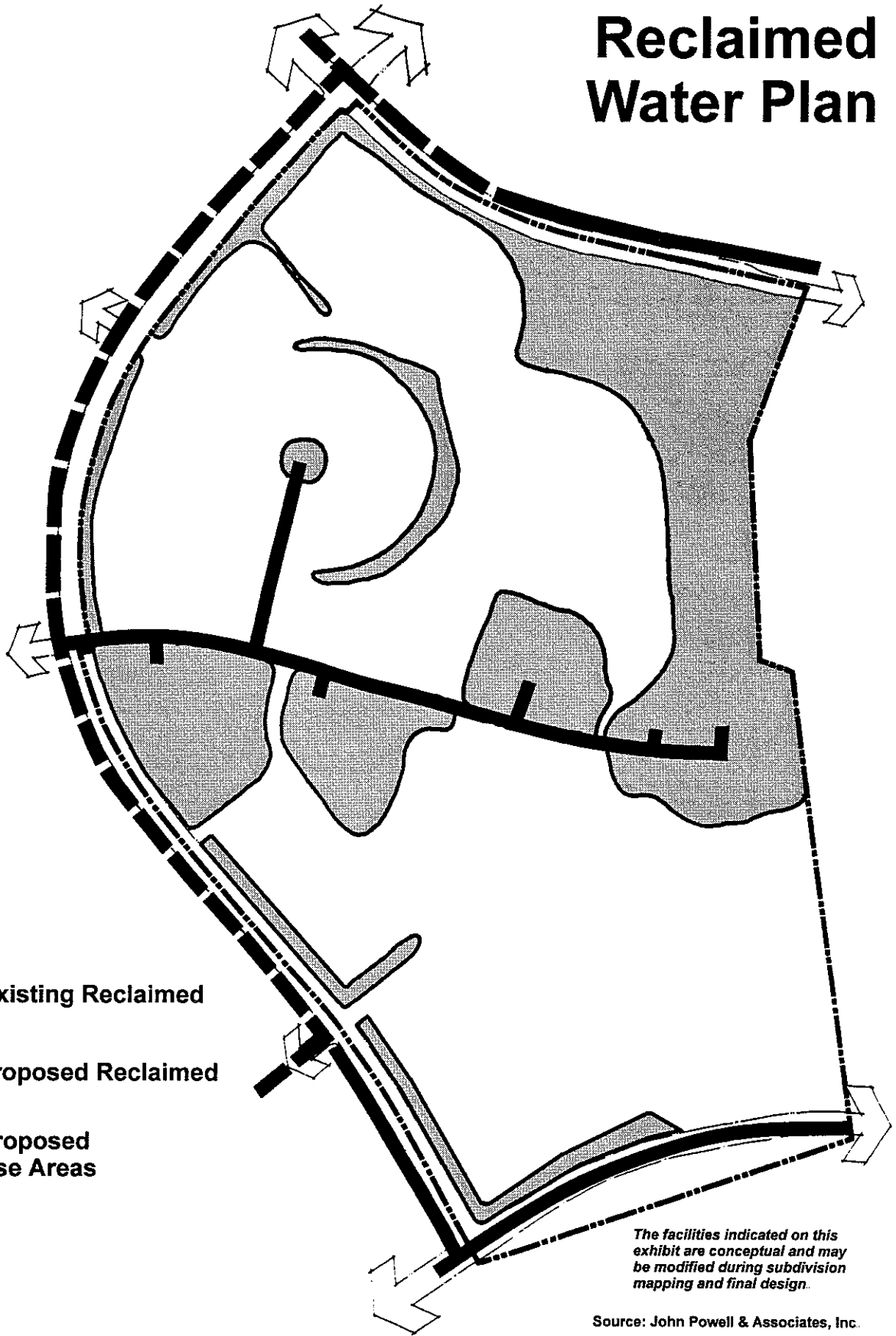
II.2.7.5 Sewer Service


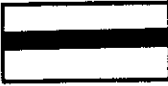

Sewer service to the project site is provided by the City of Chula Vista. EastLake Trails SPA is located in the Salt Creek drainage basin. Extension of trunk sewer facilities to serve the Salt Creek basin by gravity flow are planned as a part of the Otay Ranch project. Currently, no facilities exist near the project site in the Salt Creek basin. Because of this, interim pumping of project flows north to facilities in the Telegraph Canyon Gravity Sewer Basin is proposed.

The trunk facilities in the Telegraph Canyon Basin currently convey pumped flows from EastLake Greens and the Olympic Training Center, and will accommodate interim flows from Salt Creek Ranch and EastLake III. The City has established a flow monitoring program and financing plan for the Telegraph Canyon Basin to assure facilities can continue to accommodate pumped flows. The EastLake Trails SPA will be required to participate in this program and development phasing may be constrained by sewer capacity. EastLake Trails will also participate in the Salt Creek Gravity Basin Sewer Plan established by the City.

Sewer generation and facility requirements for the project will be determined in a Sewer Master Plan to be prepared for and approved by the City. The phased construction of sewer facilities and/or participation regional improvement programs, based on the approved master plan, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions to assure timely provision of required facilities. A plan for sewer collection within the project is depicted on the Waste Water plan (Exhibit 17).

Reclaimed Water Plan



-  Existing Reclaimed
-  Proposed Reclaimed
-  Proposed Use Areas

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

Source: John Powell & Associates, Inc.

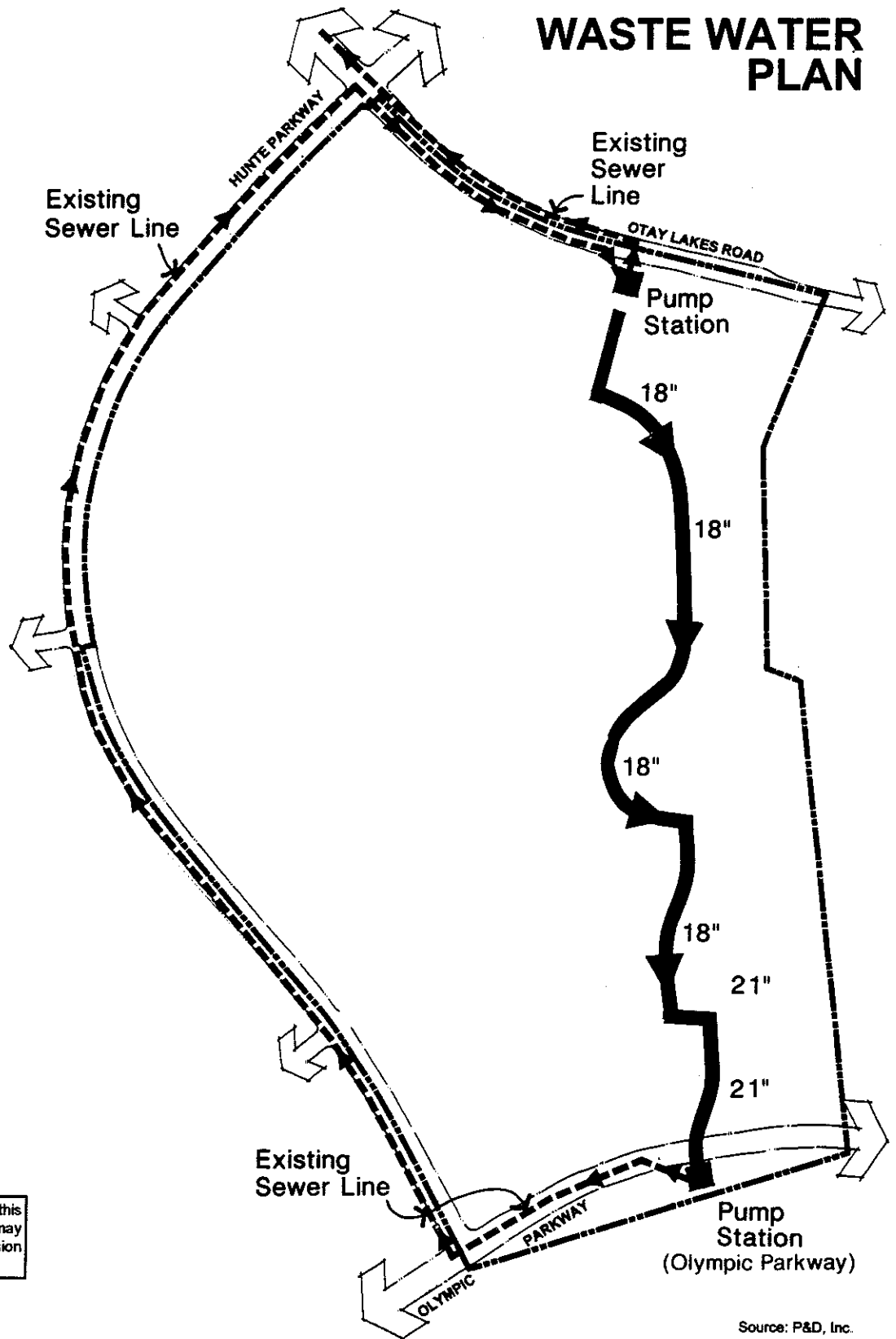
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Date: 8-29-09

Exhibit 15

WASTE WATER PLAN



The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

Source: P&D, Inc.

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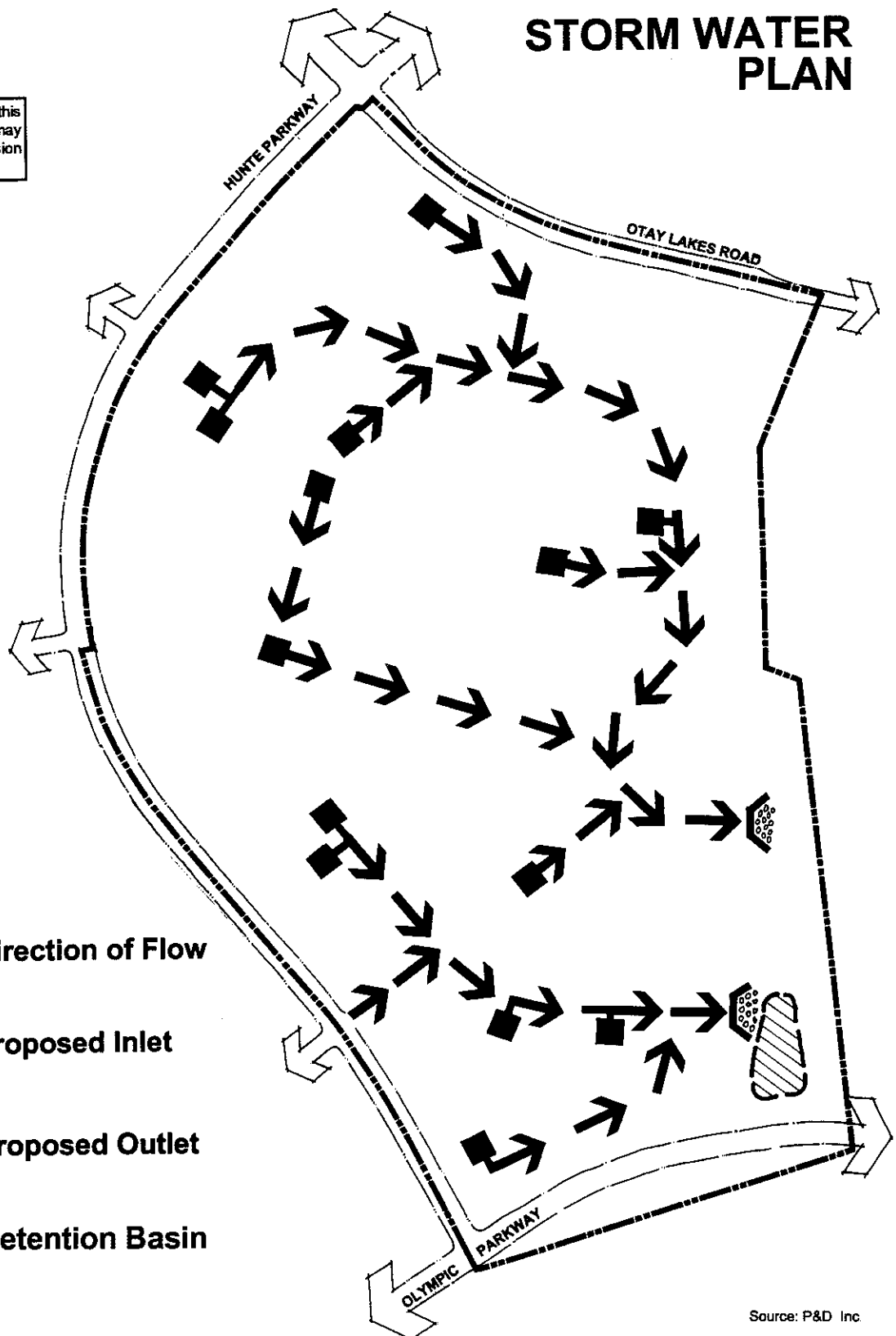






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 Date: 7/17/98

Exhibit 16

STORM WATER PLAN

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.



-  Direction of Flow
-  Proposed Inlet
-  Proposed Outlet
-  Detention Basin

Source: P&D Inc

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Land Planning
San Diego, CA (619) 223-7406
Date: 12/17/97

Exhibit 17

II.2.7.8 Roads

Roads included in this SPA proposal are addressed in Chapter II.2.3 Circulation of this SPA Plan. The Public Facilities Financing Plan (Section II.5 of the SPA Plan package) details their phasing and financing.

II.2.7.9 Schools

One objective for all EastLake neighborhoods is to provide the schools necessary to serve community needs in a manner which relates directly to the planned neighborhood structure of the project. The location of schools is intended to contribute to the sense of community, provide reduced maintenance costs with combined school/park complexes, and provide flexibility to respond to changing student populations as the community matures.

The EastLake Trails SPA is located within the Sweetwater Union High School District and the Chula Vista Elementary School District. The Board of Trustees of the Sweetwater Union School District and the Board of Education of the Chula Vista Elementary School District have each formed Community Facilities (Mello-Roos) Districts for the purpose of financing school facilities within EastLake Trails through the use of special taxes and the issuance of bonds.

Currently, the need for an elementary school site within the EastLake Trails SPA is anticipated. Elementary schools have been provided in the EastLake Hills neighborhood, north of East "H" Street in EastLake I, and in the EastLake Greens neighborhood, immediately to the west.

The EastLake Trails SPA reserves a 13.2 acre elementary school site, Parcel S-1, along Hunte Parkway with access from internal streets. The site will be reserved for acquisition by the school district, as provided in the Public Facilities Financing Plan.

The Sweetwater Union School District provides secondary education for the area. Existing schools in the area include Bonita Vista High School and Junior High School, both located near the intersection of East "H" Street and Otay Lakes Road. A new high school to serve students from EastLake and other projects in the vicinity has been constructed within the EastLake Greens SPA. A new junior high school is planned for the Rancho del Rey community, off of Telegraph Canyon Road, west of EastLake. The existing and planned facilities are expected to be adequate to serve the project.

Adult school services are provided in the evening at local school district facilities. Southwestern College, located approximately 1 mile west of EastLake, provides community college services to local residents.

II.2.7.11 Police and Fire Services

Both police and fire services are provided by the City of Chula Vista. Police services are provided from the central police facility in central Chula Vista. Two fire stations are in close proximity to the project site. One, a temporary facility, is located in the EastLake Business Center, less than one-quarter mile from the project site. The station will be relocated to a new permanent site as the City's Fire Master Plan is implemented. The final location of the new permanent site has yet to be determined. It is anticipated that the site will be in close proximity to EastLake Trails. A second station is located approximately 5 minutes away on Otay Lakes Road, south of East "H" Street. This station is planned to be relocated to the Rancho del Rey community to the west of EastLake.

II.2.7.12 Library Services

Library services are provided by the City of Chula Vista. The City operates a central library, which is located at 4th and "F" Streets in central Chula Vista, to serve the entire community. Growth in eastern Chula Vista raises questions as to how library service is to be provided within the Eastern Territories and in what locations. Smaller branch libraries or a large facility to serve the area east of I-805 merit consideration.

A Library Service Master Plan has been completed which suggests a branch library in the eastern area of the City should be considered. Rancho del Rey reserves a site for a City library along East "H" Street. In addition, the EastLake Village Center Master Tentative Map reserves a 1 acre site for a library within EastLake I. Currently, the city operates a shared facility on the EastLake High School campus which provides neighborhood library services.

II.2.7.13 Community Purpose Facilities (CPF)

Community Purpose Facilities are required in the City of Chula Vista at the rate of 1.39 acres per 1000 persons to be addressed with each SPA Plan. The neighborhoods north of Otay Lakes Road were developed prior to this requirement. All future neighborhoods, including EastLake Greens, EastLake Trails, and those in the EastLake III GDP will be subject to this requirement. A Master Plan of Community Purpose Facilities, is included herein as Exhibit 18.

Table E
Required Community Purpose Facility Acres for EastLake

| | EastLake II* Greens SPA** | EastLake II* Trails SPA | EastLake III (adopted GDP) | Total |
|---|------------------------------|----------------------------|-------------------------------|-------|
| Dwelling Units | 3443 | 1143 | 1767 | 6353 |
| CPF ac/du | 0.004003 | 0.004003 | 0.004003 | |
| Total CPF acres required | 13.8 | 4.6 | 7.1 | 25.5 |
| <i>* EastLake I (North of Otay Lakes Road) is excluded from this table.</i> | | | | |
| <i>** Includes proposed Land Swap amendment.</i> | | | | |

Based on the CPF Master Plan contained in the EastLake II General Development Plan, the projected CPF requirement for all development, either approved or planned, will be 25.5 acres (see Table E). The CPF Master Plan, Exhibit 18, identifies four sites to meet this requirement. The site identified for the Trails SPA Plan is described as follows:

Site 2: This site is located at the northern end of the proposed community park, south of Otay Lakes Road. It will be available for use for community purpose facilities with the development of the Trails development. Site 2 is proposed to conditionally permit recreational, such as ball fields, for non-profit organizations serving the local community, subject to the requirements outlined in Section 19.48.040 (B) (6) (d) of the Chula Vista Municipal Code. At 4.6 acres (18% of total CPF requirement), it is less than the 25% maximum established by the recent amendment to the CPF ordinance that now qualifies the proposed use for CPF purposes. This site meets the total requirement for CPF acres in the Trails neighborhood.

Site 2 identified on this Master Plan is zoned in the Planned Community District Regulations "CPF" to insure its continued availability pursuant to city requirements.

EastLake II

Planned Community (PC)

District Regulations

Regulations for the following SPA Plans:

EastLake I

(including: EastLake Hills, EastLake Shores, Business Center I, & Village Center North Supplemental SPA Plan)

EastLake Business Center II SPA Plan

EastLake II SPA Plan

(Consolidation of EastLake Greens & Trails)

Ordinance No. 3018
Resolution No. 2005-288
Adopted August 23, 2005

Prepared by
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Amended December 18, 2007
By Ordinance No. 3100

Amendments Prepared by:
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INTRODUCTION

These Planned Community (PC) District Regulations are adopted pursuant to Title 19, Zoning, of the Chula Vista Municipal Code and are intended to implement and integrate the Chula Vista General Plan, the General Development Plan, and the Sectional Planning Area Plans (SPAs) for EastLake I, Salt Creek I, EastLake Greens and EastLake Trails. (Refer to Exhibit 2 in Chapter I, Section I 1) These regulations set forth the development and use standards for all property within EastLake II General Development Plan Area by establishing:

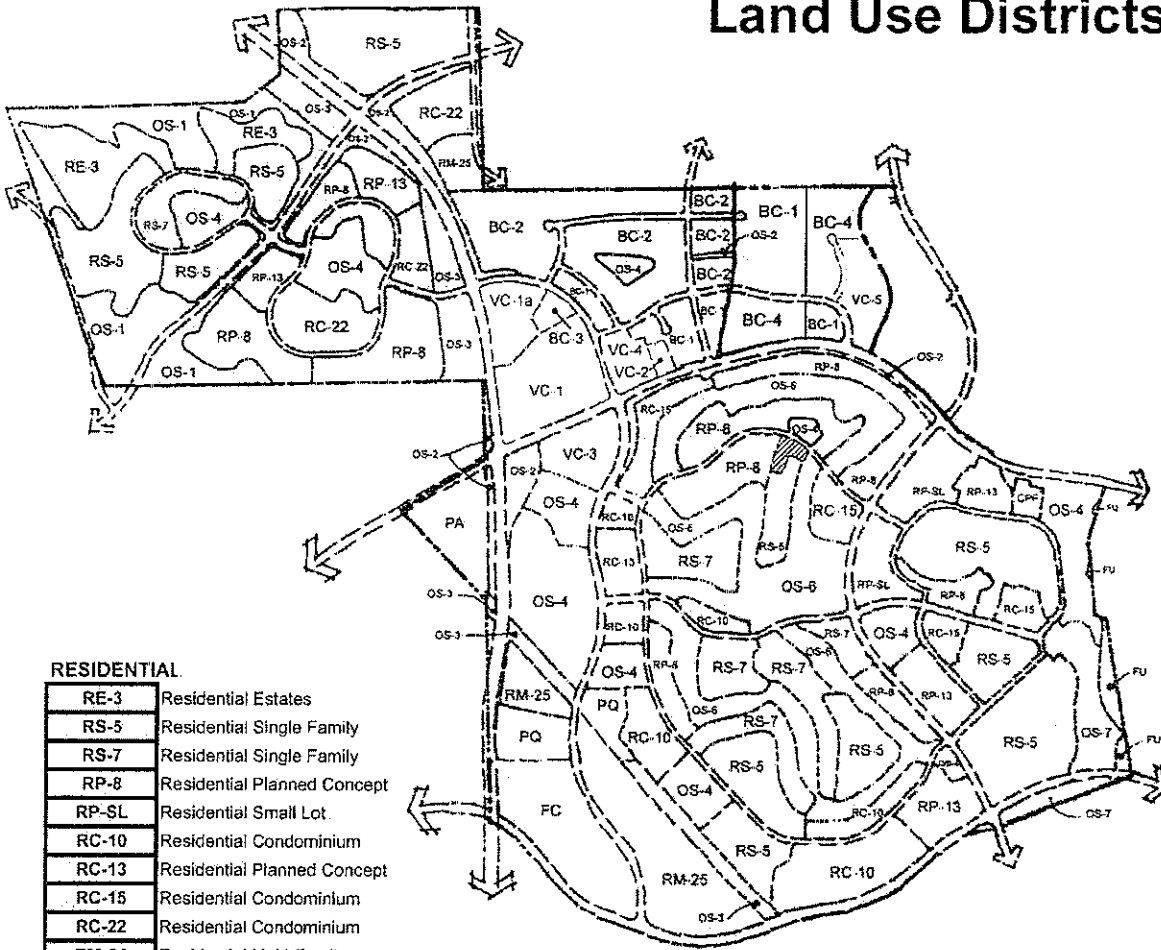
- setbacks;
- building heights;
- parking requirements;
- landscape requirements;
- use restrictions;
- animal regulations;
- density of development;
- lot size, width and depth;
- fencing requirements; and,
- signing regulations.

The PC District Regulations, along with the various SPA Plans, delineate precisely the allowable use of the property

The PC District Regulations are organized into four basic land use districts:

- Residential;
- Village Center and Commercial;
- Business Center; and,
- Special Purpose.

Land Use Districts



RESIDENTIAL

| | |
|-------|-----------------------------|
| RE-3 | Residential Estates |
| RS-5 | Residential Single Family |
| RS-7 | Residential Single Family |
| RP-8 | Residential Planned Concept |
| RP-SL | Residential Small Lot |
| RC-10 | Residential Condominium |
| RC-13 | Residential Planned Concept |
| RC-15 | Residential Condominium |
| RC-22 | Residential Condominium |
| RM-24 | Residential Multi-Family |
| RM-44 | Residential Multi-Family |

VILLAGE CENTER & COMMERCIAL

| | |
|-------|---|
| VC-1 | Village Center (Retail) |
| VC-1a | Village Center (Retail) |
| VC-2 | Village Center (Prof. Admin./Ltd. Retail) |
| VC-3 | Village Center (Retail) |
| VC-4 | Village Center (Retail) |
| VC-5 | Village Center (Retail) |
| FC | Freeway Commercial |
| PA | Professional & Administrative |

BUSINESS CENTER

| | |
|------|--|
| BC-1 | Business Center (Manufacturing Park District) |
| BC-2 | Business Center (Manufacturing Service District) |
| BC-3 | Business Center (Core District) |
| BC-4 | Business Center (Core Professional District) |

SPECIAL PURPOSE

| | |
|------|--|
| OS-1 | Open Space |
| OS-2 | Open Space |
| OS-3 | Open Space |
| OS-4 | Open Space |
| OS-5 | Open Space |
| OS-6 | Open Space |
| OS-7 | Open Space |
| FU | Future Urban District |
| PQ | Public/Quasi-public District |
| CPF | Community Purpose District |
| (GH) | Guest House Land Use District Overlay (Refer to Section II.3D in PC Dist. Regs) |

EASTLAKE II
A planned community by The EastLake Co

Revised 9/13/07

City of Land Planning
8/23/05
Adopted 12/18/07

SECTION I . GENERAL PROVISIONS

I .0 Purpose and Scope

For the purpose of promoting and protecting the public health, safety and welfare of the people of the City of Chula Vista, to safeguard and enhance the appearance and quality of development of EastLake II, and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources, these Planned Community District Regulations defining land use districts and regulations within those districts are hereby established and adopted by the City Council

I .1 Private Agreements

The provisions of this ordinance are not intended to abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions of this ordinance

I .2 Repeal of Conflicting Ordinances

Whenever the provisions of this ordinance impose more restrictive regulations upon construction or use of buildings or structures, or the use of lands or premises than are imposed or required by other ordinances previously adopted, the provisions of this ordinance or rules or regulations promulgated hereunder shall govern

I .3 Establishment of Land Use Districts

A. Division of EastLake II into Land Use Districts

In order to classify, regulate, restrict and separate the use of land, buildings and structures, and to regulate and limit the type, height and bulk of buildings and structures in the various districts, and to regulate the areas of yards and other open area abutting and between buildings and structures, and to regulate the density of population, EastLake II GDP is hereby divided into the following Land Use Districts:

Residential Land Use Districts

| | |
|-------|---------------------------------|
| RE-3 | Residential Estate |
| RS-5 | Residential Single Family |
| RS-7 | Residential Single Family |
| RP-8 | Residential Planned Development |
| RP-13 | Residential Planned Development |
| RP-SL | Residential Planned Development |
| RC-10 | Residential Condominium |
| RC-15 | Residential Condominium |
| RC-22 | Residential Condominium |
| RM-25 | Residential Multi-Family |
| RM-44 | Residential Multi-Family |

Village Center and Commercial Land Use Districts

| | |
|------|---------------------------------|
| VC-1 | Village Center |
| VC-2 | Village Center |
| VC-3 | Village Center |
| VC-4 | Village Center |
| VC-5 | Village Center |
| FC | Freeway Commercial |
| PA | Professional and Administrative |

Business Center Land Use Districts

| | |
|------|---------------------------------------|
| BC-1 | Business Center Manufacturing Park |
| BC-2 | Business Center Manufacturing Service |
| BC-3 | Core District |
| BC-4 | Core District |

Special Purpose Land Use Districts

| | |
|------|------------------------------|
| OS-1 | Open Space |
| OS-2 | Open Space |
| OS-3 | Open Space |
| OS-4 | Open Space |
| OS-5 | Open Space |
| OS-6 | Open Space |
| OS-7 | Open Space |
| PQ-1 | Quasi-Public Facilities |
| CPF | Community Purpose Facilities |

B Adoption of Land Use Districts - Maps

Said several Land Use Districts and boundaries of said Districts and each of them hereby are established and adopted as shown, delineated and designated on the EastLake II Planned Community District Regulations Land Use Districts Map of the City of Chula Vista, San Diego County, which map, together with all notations, references, data, district boundaries and other information thereon, is made a part hereof and adopted concurrently herewith.

C Filing

The original of the EastLake II Planned Community District Regulations Land Use District Map shall be kept on file with the City Clerk and shall constitute the original record. A copy of said Map shall also be filed with the Planning Department.

D Changes to the Land Use District Map

Changes to the boundaries of the land use districts shall be made by ordinance and shall be reflected on the EastLake II Planned Community District Regulations Land Use District Map. Minor changes resulting from the approval of a tract map may be made to the land use district map as an administrative matter.

I . 4 Clarification of Ambiguity

If ambiguity arises concerning the appropriate classification of a particular use within the meaning and intent of this ordinance, or if ambiguity exists with respect to matters of height, yard requirements, area requirements or land use district boundaries as set forth herein, it shall be the duty of the Director of Planning and Building to ascertain all pertinent facts and forward said findings and recommendations to the Planning Commission, or on appeal, to the City Council and if approved by the Commission or, on appeal, by the City Council. Thereafter, the established interpretation shall govern.

Should any provision of these regulations conflict with those of the Municipal Code, the requirements herein shall apply.

I 5 Effects of Regulations

The provisions of this ordinance governing the use of land, buildings, and structures, the size of yards abutting buildings and structures, the height and bulk of buildings, the density of population, the number of dwelling units per acre, standards of performance and other provisions hereby are declared to be in effect upon all land included with the boundaries of each and every land use district established by this ordinance.

I . 6 Enforcement

A Enforcement by City Officials

The City Council, the City Attorney, the City Manager, the Director of Public Safety, the Building Official, the Director of Planning and Building, the City Clerk and all officials charged with issuance of licenses or permits, shall enforce the provisions of this ordinance. Any permit, certificate or license issued in conflict with the provisions of this ordinance shall be void

B Actions Deemed a Nuisance

Any building or structure erected hereafter, or any use of property contrary to the provisions of a duly approved Design Review, Site Plan, Variance, Conditional Use Permit or Administrative Permit and/or this ordinance shall be and the same hereby is declared to be unlawful and a public nuisance per se and subject to abatement in accordance with local ordinance.

C Remedies

All remedies concerning this ordinance shall be cumulative and not exclusive. The conviction and punishment of any person hereunder shall not relieve such persons from the responsibility of correcting prohibited conditions or removing prohibited buildings, structures, signs or improvements, and shall not prevent the enforced correction or removal thereof.

D Penalties

Any person, partnership, organization, firm or corporation, whether as principal, agent, employee or otherwise, violating any provision of this ordinance or violating or failing to comply with any order or regulation made hereunder, shall be guilty of an infraction and, upon conviction thereof, shall be punishable as provided by local ordinance.

I . 7 Definitions

For the purpose of this Ordinance, certain words, phrases and terms used herein shall have the meaning assigned to them by Title 19 of the City of Chula Vista Municipal Code

When not inconsistent with the context, words used in the present tense include the future; words in the singular number include the plural; and, those in the plural number include the singular. The word "shall" is mandatory; the word "may" is permissive

Any aspect of land use regulation within EastLake II General Development Plan Area not covered by these district regulations or subsequent plan approvals, shall be regulated by the applicable section of the Chula Vista Municipal Code (CVMC).

SECTION II. RESIDENTIAL DISTRICTS

II.0 Purpose

In addition to the objectives outlined in Section I.0 (Purpose and Scope), the Residential Districts are included in the Planned Community District Regulations to achieve the following purposes:

- To reserve appropriately located areas for family living at a broad range of dwelling unit densities consistent with the General Plan and with sound standards of public health, safety and welfare;
- To ensure adequate light, air, privacy and open space for each dwelling;
- To minimize traffic congestion and avoid the overloading of public services and utilities by preventing construction of buildings of excessive bulk or number in relation to the land area around them;
- To protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences; and,
- To facilitate the provision of utility services and other public facilities commensurate with anticipated population, dwelling unit densities and service requirements

II.1 Land Use District Grouping

To facilitate the establishment of permitted use and development standards which are applicable to more than one land use district, land use groups are herein established. The following land use groups are established and shall be identified by the designation indicated below:

| <u>Land Use Group Designation</u> | <u>Land Use District Included in Group</u> |
|---------------------------------------|--|
| RE | RE-3 |
| RS | RS-5 and RS-7 |
| RP | RP-8, RP-13 and RP-SL |
| RC | RC-10, RC-15 and RC-22 |
| RM | RM-25 and RM-44 |

II.2 Permitted Uses

The following uses shall be permitted where the symbol "P" appears and shall be permitted subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be permitted subject to an Administrative Review. Uses where the symbol "N" appear shall not be permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

| <u>Land Use</u> | <u>Land Use Group</u> | | | | |
|---|-----------------------|-----------|-----------|-----------|-----------|
| | <u>RE</u> | <u>RS</u> | <u>RP</u> | <u>RC</u> | <u>RM</u> |
| A <u>Residential Uses</u> | | | | | |
| 1. Single family dwellings | P | P | P | P | P |
| 2. Duplex dwellings | N | N | P | P | P |
| 3. Guest dwellings or accessory living quarters | A | N | N | N | N |
| 4. Mobile homes on individual lots which are certified under the National Mobile home Construction and Safety Standards Act of 1974 | P | P | P | P | P |
| 5. Group residential, including but not limited to, boarding or rooming homes, dormitories, and retirement homes | N | N | C | A | A |
| 6. Multiple dwellings | N | N | A | P | P |

| <u>Land Use</u> | <u>Land Use Group</u> | | | | |
|--|-----------------------|-----------|-----------|-----------|-----------|
| | <u>RE</u> | <u>RS</u> | <u>RP</u> | <u>RC</u> | <u>RM</u> |
| 7 Townhouse dwellings | N | N | P | P | P |
| B <u>Agricultural Uses</u> | | | | | |
| 1. All types of horticulture | P | P | P | P | P |
| 2. Agricultural crops | A | A | A | A | A |
| 3. Animal raising or grazing | A | N | N | N | N |
| 4. Keeping of three (3) dogs and/or three (3) cats (over the age of four months) | P | P | P | P | P |
| C <u>Public and Quasi-Public Uses</u> | | | | | |
| 1. Day nurseries, day care schools and nursery schools (Children under 12 subject to City Standards) | C | C | C | C | C |
| 2. Convalescent homes | C | C | C | C | C |
| 3. Churches, convents, monasteries and other religious places of worship (subject to requirements of Section 19 58 110 CVMC) | C | C | C | C | C |
| 4. Essential public services including but not limited to: schools, libraries, museums, parks, public works facilities and other civic uses | C | C | C | C | C |
| 5. Public utility and public service substations, reservoirs, pumping plants and similar installations | C | C | C | C | C |
| 6. Recreational facilities including but not limited to: country clubs, tennis and swim clubs, golf courses, racquetball and handball. (Sites for such facilities which are 2 acres or less in size shall be subject to Administrative Review only) | C | C | C | C | C |
| 7. Recreational courts, including but not limited to: tennis, basketball, and similar uses | A | A | A | A | A |
| D <u>Home Occupations</u> | | | | | |
| 1 Home occupations subject to the provisions of Section VI 1 | A | A | A | A | A |
| E <u>Accessory Uses</u> | | | | | |
| 1. Accessory structures and uses located on the same site as a permitted use | A | A | A | A | A |
| 2. Accessory structures and uses located on the same site as a conditional use | A | A | A | A | A |
| F <u>Temporary Uses</u> | | | | | |
| 1 Temporary uses as prescribed in Section VI 0 | A | A | A | A | A |

II.3 Property Development Standards: Residential Districts

A. The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in their respective residential land use districts. The use of the symbol "SP" indicates that the standard is established by the approval of a Site Plan/Tentative Tract Map. Dimensions and

standards are minimums. Minor variations may be permitted subject to site plan or tract map approval providing that the minimums specified herein are maintained as average minimums. Lot widths and depths are herein maintained as average minimums. Lot widths and depths are typical minimums but may vary slightly with irregularly shaped lots and site specific conditions. The parking standards for a planned Senior Citizen or "affordable" residential development may be reduced from those specified herein for the district in which it is located by the Director of Planning.

B Large Day Care

The City of Chula Vista has established specific requirements for operating a large day care facility, including:

1. A large day care facility shall not be within 1,200 feet of another such facility on the same street as measured from the exterior boundaries of the property.
2. An area shall be provided for the temporary parking of at least two vehicles for the safe loading and unloading of children. In most cases, the driveway in front of a two-car garage will satisfy this requirement.
3. A usable rear yard play area of 1,200 sq. ft. shall be provided. Outdoor play activity shall not be allowed in the front or exterior side yard of the home.
4. Play areas shall be designed and located to reduce the impact of noise on surrounding properties. The Zoning Administrator may impose reasonable requirements to alleviate noise, including but not limited to installation of a six-foot high block wall around the perimeter of the rear yard.

Residential Property Development Standards

| Site Condition | | Land Use Group/District | | | | | | |
|----------------|--|-------------------------|----------|----------|----------|-------|----------|----------|
| | | RE | RS | RP | | | RC | RM |
| | | | | RP-8 | RP-13 | RP-SL | | |
| 1 | Lot area (in net 000's square feet) | 8 | 5 | 3* | 3* | 2.5 | SP | SP |
| 2 | Lot Width (in feet) (Attached Products in RP district) | 70 | 50 | 38 25 | 38 25 | 50 | SP | SP |
| 3 | Lot depth (in feet) | 100 | 100 | 90 | 50 | 50 | SP | SP |
| 4 | Lot coverage (percent) | 40 | 50 | SP | SP | SP | SP | SP |
| 5 | Front yard setback: (garage) | | | | | | | |
| | a) To direct entry garage | 20 | 20 | SP | SP | 20 | SP | SP |
| | b) To side entry garage (single story garage in RS district) | 20 | 15 10 | SP | SP | 10 | SP | SP |
| 6 | Front yard setback: (main residence) | 20 | 20 | SP | SP | 10 | SP | SP |
| 7 | Side yard setback: | | | | | | | |
| | a) to adjacent residential lot (min. total/one side) | 15/5 | 10/5 ** | SP | SP | 10/5 | SP | SP |
| | b) to adjacent street (corner lot) | | 10 | | | 10 | | |
| 8 | Rear yard setback | 20 | 15 | SP | SP | SP | SP | SP |
| 9 | Building height (maximum in feet) (2 1/2 story max. RE, RS, & RP districts) | 28*** | 28*** | 28*** | 28*** | 28*** | 45 | 45 |
| 10 | Parking spaces per unit: (g=garage; c=carport; op=open) | | | | | | | |
| | SF Detached Units | 2g | 2g | 2g | 2g | 2g | 2g | 2g |
| | SF Attached Units | | | 1g+1c | 1g+1c | 1g+1c | 1g+1c | 1g+1c |
| | MF Units (1 bedroom units) | | | | | | 1c+0.5op | 1c+0.5op |
| | MF Units (2 bedroom units) | | | | | | 1c+1op | 1c+1op |
| | MF Units (3+ bedroom units) | | | | | | 1c+1.5op | 1c+1.5op |

Notes:

- Refer to paragraph II.3E for detached structure overlay standards.
- * May be modified for attached unites with Site Plan Approval
- ** RS & RS-5 District only; 13/3 in RS-7 District.
- *** May be increased to 35 feet with Site Plan Approval.

C Group Parking Standards for RC and RM Land Use Groups

The parking requirements include 0.5 spaces for guest parking. This requirement may be reduced to 0.3 space per unit by the Zoning Administrator which would result in a reduction of the standards set forth in the table. If more than one space per dwelling unit is assigned to the dwelling unit, then the required guest parking spaces shall be marked and clearly identified as guest parking. The guest parking spaces shall not be permitted to be assigned to individual dwelling units.

D Special Requirements

1. Front yard setbacks shall be measured from the right-of-way of the fronting street. The front yard setback may be reduced, subject to site plan approval, within the RP, RC and RM districts. If the front yard setback is reduced to less than twenty (20) feet, and the dwelling unit is located on a street, cul-de-sac, or court containing more than twelve (12) dwelling units, then the garage shall be equipped with an automatic garage door opener.
2. The allowable building area for each lot shall be as permitted in the table below. The maximum building area for single family detached and attached products shall be the square footage listed or that permitted by the percentage of lot area, whichever is greater. Homeowner additions shall be allowed only where consistent with these standards. A 300 square foot open patio (covered but open on three sides) shall be permitted on each residential lot and shall be exempt from inclusion in this calculation.

E. Detached Structure Overlay Standards

1. The Detached Structure Overlay Standards shall only apply to those areas depicted on the Land Use Districts map as "Detached Structure Overlay."
2. Uses Permitted: A Guest House as defined in Section 10.04.106 CVMC, except as further defined as follows: A "Guest house" means detached living quarters of a permanent type of construction, without kitchen or cooking facilities and intended for use by occasional guests and occupants of the main building. Use by occasional guests shall not exceed 90 days for any one guest over a one year period. A guest house shall not be separately rented, let, or leased, whether compensation is direct or indirect.
3. Site Development Standards: Shall be as indicated for the base residential land use district, except that the front setback may be reduced to 15 feet if approved by the Director of Planning.

Permitted Building Area

| <u>District</u> | <u>Square Footage</u> | <u>Lot Area Percentage (FAR)</u> |
|-----------------|-----------------------|----------------------------------|
| RE & RS-5 | 4,500 | 50% |
| RS-7 | 3,900 | 50% |
| RP-SL & RP-8 | 2,900 | 55% |
| RP-13 | 2,300 | 55% |

All residential development north of Otay Lakes Road, within the EastLake I SPA, shall be exempt from this maximum building area standard. RP-13 parcels in the Greens SPA are limited to 2,000 square feet.

II. 4 Performance Standards: Residential Districts

In all Residential Districts, the following performance standards shall be met:

- A. Air conditioners, antennas, ham radio antennas, solar panels, heating, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be so operated and located so that they do not disturb the peace, quiet and comfort of neighboring residents and shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all other applicable ordinances. Heights of said equipment shall not exceed the required height of the zone in which they are located. Private, individual satellite dish antennas greater than three (3) feet in diameter are subject to a Conditional Use Permit. Community or association operated satellite dish antennas may be allowed subject to a Conditional Use Permit.

- B Required front and exterior side yards shall be landscaped and shall consist predominantly of trees, plant materials, ground cover and decorative rocks, except for necessary walks, drives and fences. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris. Landscaping requirements may be met by either installation by the builder or developer, or for single family development, requirements through CC&R's that individual homeowners install their front yard landscaping within one year of occupancy, or sooner if required by CC&R's.
- C. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with any appropriate screening treatment. Power lines and cables shall be installed underground.
- D The acceptable outdoor noise exposure level, measured at the property line, for each residential district is provided in the table below. (See Chapter 19 66 CVMC for definitions and additional details)

Exterior Noise Limits*

| <u>Receiving Land Use District</u> | <u>7 a.m. – 10 p.m.</u> | <u>10 p.m. – 7 a.m.</u> |
|------------------------------------|-------------------------|-------------------------|
| RE, RS, RP | 55 dbA | 45 dbA |
| RC, RM | 60 dbA | 50 dbA |

*Environmental Noise – l_{eq} in any hour

*Nuisance Noise – not to be exceeded at any time

- E. The maximum permissible dwelling unit interior noise levels are provided in the table below

Interior Noise Limits*

| <u>Time Interval</u> | <u>Any Time</u> | <u>1 min. in 1 hour</u> | <u>5 min. in 1 hour</u> |
|----------------------|-----------------|-------------------------|-------------------------|
| 7 a.m. – 10 p.m. | 55 dbA | 50 dbA | 45 dbA |
| 10 p.m. – 7 a.m. | 45 dbA | 40 dbA | 35 dbA |

- F Energy Conservation Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including but not necessarily limited to, the following conservation considerations:

- Co-generation;
- South facing windows;
- Eave coverage for windows;
- Double glazed windows;
- Earth berming against exterior walls;
- Greenhouses; and,
- Deciduous shade trees

- G In the RC and RM districts, including the conversion of apartments to condominiums where permitted, the following performance standards shall be met:

1. Masonry walls or fences six (6) feet in height, from the highest finished grade, shall be required where needed for noise attenuation and/or privacy.
2. Where a lot fronts on more than one street, it shall be considered to have multiple frontages and shall be required to meet special side yard setbacks.
3. When an RC and/or RM lot is adjacent to any single family zone, a minimum of fifteen (15) feet of landscaping shall be maintained on the RC and/or RM lot between such uses.
4. Lockable, enclosed storage shall be provided in the carport area; substitutions may be approved by the Director of Planning;
5. Conveniently located common laundry facilities shall be provided for units which do not have individual hook-ups

6. Conveniently located and well screened trash enclosures shall be provided for all dwelling units.
7. Recreation vehicle (including campers, boards and trailers) parking areas shall be provided, fully screened from view or the development CC&R's shall prohibit all parking of recreation vehicles.

II . 5 Accessory Structures: Residential Districts

Accessory Buildings and Structures: Accessory buildings and structures, attached or detached, used either wholly or in part for living purposes, shall meet all of the requirements for location of the main structure as constructed or required by the District, whichever is less restrictive; except as herein provided.

- A. Enclosed accessory buildings or structures that are attached to the main building shall not be allowed to encroach into the required rear yard setback. Open structures may be allowed to encroach into the rear yard setback subject to approval by the Director of Planning
- B. A detached accessory structure shall meet the setback requirements of the main building for the front and street side yard areas.
- C. A detached accessory structure may be located within an interior side or rear yard provided that such structure is located no closer than five (5) feet to an interior side or rear lot line and is at least six (6) feet from the main structure and does not exceed one story in height.
- D. Porches, steps, architectural features such as eaves, awnings, chimneys, balconies, stairways, wing walls or bay windows may project not more than four (4) feet into any required front or rear yard area, and not into any required side yard more than one-half of said required side yard

II . 6 Walls and Fences: Residential Districts

In any required front or side yard adjacent to a street, a wall, fence or hedge shall not exceed forty-two (42) inches in height, except as provided herein:

- A. A wall, fence or hedge not more than six (6) feet in height may be maintained along the interior side or rear lot line, provided that such wall, fence or hedge does not extend into a required front or side yard adjacent to a street except for noise attenuation as required by the City and as herein provided.
- B. A wall, fence or hedge adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two (42) inches in height within the front or side yard setback area of the lot. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility.
- C. Fiberglass or bamboo sheeting or other similar temporary material shall not be permitted as a fencing material on street frontages.

II . 7 Signs: Residential Districts

No sign or outdoor advertising structure shall be permitted in any residential district except as provided in Section VII.

SECTION III. VILLAGE CENTER & COMMERCIAL DISTRICTS

III.0 Purpose

In addition to the objectives outlined in Section 1.0 (Purpose and Scope), the Village Center and Commercial Districts are included in the Planned Community District Regulations to achieve the following purposes:

- To provide appropriately located areas for office uses, retail stores, service establishments and wholesale businesses, offering commodities and services required by residents of the City and its surrounding market area;
- To provide an opportunity for commercial and quasi-public community support facilities;
- To encourage office and commercial uses to concentrate for the convenience of the public and for a more mutually beneficial relationship to each other;
- To provide adequate space to meet the needs of modern commercial development, including off-street parking and loading areas;
- To minimize traffic congestion and to avoid the overloading of utilities by preventing the construction of buildings suited to the amount of land around them;
- To protect commercial properties from noise, odor, smoke, unsightliness, and other objectionable influences incidental to industrial uses; and
- To promote high standards of site planning, architectural and landscape design for office and commercial developments within the City of Chula Vista.

III.1 Permitted Uses: Village Center Districts

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

| | | |
|-------------------|---|---|
| "P" | = | Permitted |
| "C" | = | Permitted subject to Conditional Use Permit approved by the Chula Vista Planning Commission |
| "A" | = | Permitted subject to Conditional Use Permit by the Zoning Administrator |
| "a" | = | Permitted Accessory Use to a Permitted or Conditional Use |
| "N" | = | Use Not Permitted. |
| "P/N" | = | First symbol before "/" is the permissive status if all required discretionary applications for implementation have been submitted prior to December 31, 2004. Second symbol after "/" is the permissive status if all applications have not been submitted prior to December 31, 2004. |
| "P ₁ " | = | Subject to Zoning Administrator review and approval |

| <u>Land Use</u> | <u>Land Use District</u> | | | | | |
|--|--------------------------|--------------|-------------|-------------|--------------------------|----------------------------|
| | <u>VC-1</u> | <u>VC-1a</u> | <u>VC-2</u> | <u>VC-3</u> | <u>VC-4</u> ¹ | <u>VC-5</u> ^{2,3} |
| A <u>Administrative and Professional Services</u> | P | P | P | P | P | P |
| B <u>General Commercial Uses</u> | | | | | | |
| 1. Antique shops (no outdoor storage) | P | P | N | P | N | P |
| 2. Apparel stores | P | P | P/N | P | P | P |
| 3. Art, music and photographic studios and supply stores | P | P | P/N | P | P | P |
| 4. Appliance stores and repair (no outdoor storage) | P | N | P/N | P | P | P |
| 5. Arcades and electronic games (see Section VI 4) | C | C | P/N | C | P | A |
| 6. Athletic and health clubs | C | C | C | C | C | A |
| 7. Automobile and/or truck services, sales, rental agencies | A | N | N | A | N | A |
| 8. Bakeries - retail | P | P | P | P | P | P |
| 9. Barber and beauty shops | P | P | P | P | P | P |
| 10. Bicycle shops, non-motorized | P | P | P | P | P | P |
| 11. Blueprint and photocopy services | P | N | P | P | P | P |
| 12. Book, gifts and stationery stores | P | P | P | P | P | P |
| 13. Candy stores and confectioners | P | P | a | P | a | P |
| 14. Car Wash subject to provisions of Section 19 58.060 CVMC | C | N | N | C | N | C |
| 15. Catering establishments | P | P | N | P | N | P |
| 16. Cleaners | P | P | P/N | P | P | P |
| 17. Commercial recreation facilities not otherwise listed | C | C | C | C | C | C |
| 18. Eating and drinking establishments: | | | | | | |
| a. Bars, nightclubs cabarets | C | C | N | N | N | C |
| b. Restaurants, coffee shops, delicatessens: | | | | | | P |
| 1) with alcoholic beverages and/or entertainment | C | C | C | C | C | ZA |

| <u>Land Use</u> | <u>Land Use District</u> | | | | | |
|--|--------------------------|--------------|-------------|-------------|--------------------------|----------------------------|
| | <u>VC-1</u> | <u>VC-1a</u> | <u>VC-2</u> | <u>VC-3</u> | <u>VC-4</u> ¹ | <u>VC-5</u> ^{2,3} |
| 2) without alcoholic bev. | P | P | P | P | P | P |
| 3) with outdoor seating* | P | P | P | P | P | P |
| c. Snack bars and refreshment stands contained within a building | P | P | P | P | P | P |
| d. Fast food restaurants with drive-in or drive-through (subject to Site Plan and Arch Review by the Zoning Administrator) | C | N | N | C | N | C |
| 19. Equipment rental (enclosed building) | P | N | P | P | P | P |
| 20. Feed and tack stores (no outside storage) | P | P | N | P | N | P |
| 21. Financial Institutions with drive thru | P | N | P | N | P | P |
| 22. Florists' shops | P | P | P | P | P | P |
| 23. Food stores, supermarkets, drug stores | P | P | N | P | N | P |
| 24. Furniture stores | P | P | N | N | N | P |
| 25. Gasoline service stations | C | N | N | C | N | N |
| 26. Hardware stores: | | | | | | |
| a > 10,000 square feet | P | N | N | P | N | P |
| b < 10,000 square feet | P | P | N | P | N | P |
| 27. Hobby shops | P | P | P/N | N | P | P |
| 28. Hotels and motels (and accessory uses, including restaurant, bar, shops) | P | N | P | N | P | P |
| 29. Janitorial services/supplies | P | N | N | P | N | P |
| 30. Jewelry stores | P | P | P | P | P | P |
| 31. Junior department, department stores, discount and membership department stores | | | | | | |
| a > 50,000 square feet | P | N | P/N | N | P | P |
| b < 50,000 square feet | P | P | P/N | N | P | P |
| 32. Kiosks, and moveable vendors, including photo sales, located in parking lot | C | C | C | C | C | A |

| <u>Land Use</u> | <u>Land Use District</u> | | | | | |
|--|--------------------------|----------------|-------------|-------------|-------------------------|---------------------------|
| | <u>VC-1</u> | <u>VC-1a</u> | <u>VC-2</u> | <u>VC-3</u> | <u>VC-4¹</u> | <u>VC-5^{2,3}</u> |
| 33. Liquor stores | C | C | N | C | N | A |
| 34. Medical and dental offices, clinics | P | P | P | P | P | P |
| 36. Motorcycle sales and services including motorized bicycles | A | N | N | A | N | A |
| a Show room only, without service | A | P | N | A | N | A |
| 37. Newspaper and magazine stores | P | P | a | P | N | P |
| 35. Mortuaries | N | N | N | N | N | N |
| 38. Nurseries and garden supply stores in screened area | P | P | N | P | N | P |
| 39. Office suites, general | P | P | P | P | P | P |
| 40. Office supplies/stationery stores | P | P | P | P | P | P |
| 41. Parking facilities (commercial) | N | N | C | C | C | N |
| 42. Pharmacies | P | P | P | P | P | P |
| 43. Photocopying services | P | P | P | P | P | P |
| 44. Printing shops | P | P | P | P | P | P |
| 45. Recycling drop-off bins | A | N | N | A | N | N |
| 46. Retail stores and shops | P | P | P/N | P | P | P |
| 47. Sign painting shops (encl bldg) | P | N | N | P | N | P |
| 48. Stamp and coin shops | P | P | P/N | P | P | N |
| 49. Swimming pool supplies | P | P | P/N | P | P | P |
| 50. Television, stereo and radio stores including sales and repair | P | P | P/N | P | P | P |
| 51. Theaters | A | A | N | N | N | A |
| 52. Tire sales and services | A | N | N | A | N | N |
| 53. Travel agencies | P | P | P | P | P | P |
| 54. Veterinary offices and animal hospitals | A | A ¹ | C | A | C | A |

¹ Overnight animal boarding for non-medical purposes is prohibited

C Public and Semi-Public Uses

| | | | | | | | |
|---|---|---|---|---|---|---|---|
| 1 | Day nurseries, day care schools (subject to provisions of the Municipal | A | A | A | A | A | A |
|---|---|---|---|---|---|---|---|

| <u>Land Use</u> | Code) | Land Use District | | | | | |
|--------------------------|--|-------------------|----------------|-------------|-------------|--------------------------|----------------------------|
| | | <u>VC-1</u> | <u>VC-1a</u> | <u>VC-2</u> | <u>VC-3</u> | <u>VC-4</u> ¹ | <u>VC-5</u> ^{2,3} |
| 2 | Convalescent homes and hospitals | C | N | N | C | N | N |
| 3 | Clubs and lodges including YMCA, YWCA and similar youth group uses | A | N | N | N | N | A |
| 4 | Libraries | P | P | N | P | N | N |
| 5 | Educational institutions | C | C | C | C | C | A |
| 6 | Hospital, medical care facilities | N | N | N | N | N | N |
| 7 | Post office | P | P | N | P | N | N |
| 8 | Religious institutions | N | N | C | N | N | N |
| 9 | Group care facilities and residential retirement hotels | C | C | N | C | N | N |
| 10 | Utilities, public and private | P | N | N | P | N | N |
| 11 | Uses determined to be similar and consistent with the purposes of this chapter | C | P ₁ | C | C | C | C |
| <u>D. Accessory Uses</u> | | | | | | | |
| 1 | Accessory structures and uses located on the same site as a permitted use | P | P | P | P | P | P |
| 2 | Accessory structures and uses located on the same site as a conditional use | A | A | A | A | A | A |
| <u>E. Temporary Uses</u> | | | | | | | |
| 1 | Temporary uses as prescribed in Section VI 0 | P | P | P | P | P | P |

¹The VC-4 is a "Project Specific Land Use," district intended only to accommodate an approximately 98,500 square-foot Kohl's department store substantially similar retail operation as Kohl's store located in Temecula, California store (31870 Redhawk Parkway, Temecula California 92592), 16,800 square feet for retail shops and restaurants. The Project Specific Land Use District will be in effect only until July 15, 2006 unless the following two requirements are met:

- 1) commence construction of the Kohl's department store no later than July 15, 2005. For purposes of this land use designation, "commence construction" means the date of commencement contained within a contract for the construction of the Kohl's building and related site improvements which has been entered into by Kohl's Department Stores; and
- 2) Kohl's department store is open for business no later than July 15, 2006.

In the event that Kohl's has not commenced construction by July 15, 2005, the VC-4 "project specific land use" designation will revert back to VC-2 land use district. Furthermore, in the event that the Kohl's department store is not open for business by July 15, 2006, the VC-4 "project specific land use" designation will revert back to VC-2 land use district.

²All land uses within the VC-5 Land Use District must comply with the applicable parking standards outlined in section VIII.2 of the East Lake Business Center II PC District Regulations minus 15% reduction.

³Prior to the issuance of a business license or building permit for a new or existing tenant, the Parking Availability Table (see sample below) shall be updated, to the satisfaction of the City, to reflect the required number of parking spaces for the new use or additional floor area to insure that the new parking demand does not exceed the total number of parking spaces provided

Sample Parking Availability Table

| Permitted Land Use | Total Gross Floor Area by Use (s f.) | Total Restaurant Seats | Parking Ratio (1 space / X s f.) | Restaurant Parking Ratio (spaces per seat) | Required Parking (spaces) | 15% Reduction | Total Parking Provided | Excess Parking Spaces |
|------------------------|--------------------------------------|------------------------|----------------------------------|--|---------------------------|---------------|------------------------|-----------------------|
| Furniture Showroom | | | | | | | | |
| Medical, Dental Office | | | | | | | | |
| Professional Office | | | | | | | | |
| Retail | | | | | | | | |
| Restaurant | | | | | | | | |
| TOTAL | | | | | | | | |

III.2 Property Development Standards: Village Center Districts

The property development standards that shall apply to all land and buildings permitted in the Village Center Districts shall be those indicated on an approved site plan submitted pursuant to Section 19.14.420 through Section 19.14.480 inclusive in Title 19 of the Chula Vista Municipal Code.

The following property development standards apply to all land and buildings other than accessory buildings authorized in VC-1, VC-2 and VC-5 districts. Any legal lot may be used as a building site.

A. General Requirements

The following requirements are minimums unless otherwise stated:

| | <u>VC-1</u> | <u>VC-2</u> | <u>VC-5</u> |
|---|-------------|-------------|-------------|
| 1. Setback from Otay Lakes Road ¹ | 50 feet | 50 feet | 50 feet |
| 2. Setback from Fenton Avenue** ² | NA | 20 feet | 20 feet |
| 3. Setback from SR-125 ² | 50 feet | NA | NA |
| 4. Setback from EastLake Parkway ⁴ | 30 feet | 30 feet | NA |
| 5. Building height, maximum ³ | 45 feet | 45 feet | 35 feet |
| 6. Side Yard Setback | | | 10 feet |
| 7. Rear Yard Setback | | | 10 feet |

¹As measured from edge of curb may be modified with approval of DRC

²As measured from right-of-way

³Architectural features may exceed height with Design Review Approval.

⁴As measured from R/W. May be modified with Design Review Approval

III.3 Performance Standards: Village Center Districts

- A. Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- B. The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- C. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning.
- D. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Center.
- E. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- F. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Village Center District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- G. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.

- H Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls.
- I Air Pollution There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718
- J Odor No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
- K Energy Conservation Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including but not necessarily limited to the following conservation measures:
 - Cogeneration;
 - South facing windows;
 - Eave coverage for windows;
 - Earth berming against exterior walls; and,
 - Deciduous shade trees
- L Land Use Compatibility: Notwithstanding the range of uses permitted in the permitted use matrix, areas designated VC-3 that are also designated as Public/Quasi-Public on the General Development Plan shall be limited to those uses determined by the Zoning Administrator to be compatible with the Public/Quasi-Public designation

III .4 Permitted Uses: Commercial Districts

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

- “P” = Permitted
- “C” = Permitted subject to Conditional Use Permit approved by the Chula Vista Planning Commission
- “A” = Permitted subject to Conditional Use Permit by the Zoning Administrator
- “a” = Permitted Accessory Use to a Permitted or Conditional Use.
- “N” = Use Not Permitted

| <u>Land Use</u> | <u>Land Use District</u> | |
|--|--------------------------|-----------|
| | <u>FC</u> | <u>PA</u> |
| A Administrative and Professional Services | P | P |
| B. General Commercial Uses | | |
| 1 Antique shops (no outdoor storage) | P | N |
| 2 Apparel stores | P | N |
| 3 Art, music and photographic studios and supply stores | P | N |
| 4 Appliance stores and repair (no outdoor storage) | P | N |
| 5 Arcades and electronic games (see Section VI 4) | C | N |
| 6 Athletic and health clubs | C | C |
| 7 Automobile and/or truck services, sales, rental agencies; | C | N |
| 8 Bakeries - retail | P | N |
| 9 Barber and beauty shops | P | N |
| 10 Bicycle shops, non-motorized | P | N |
| 11 Blueprint and photocopy services | P | a |
| 12 Book, gifts and stationery stores | P | N |
| 13 Candy stores and confectioners | P | a |
| 14 Car Wash subject to provisions of Section 19 58 060 CVMC | C | N |
| 15 Catering establishments | P | N |
| 16 Cleaners | P | N |
| 17 Commercial recreation facilities not otherwise listed | C | N |
| 18 Eating and drinking establishments: | | |
| a. Bars, nightclubs cabarets | C | N |
| b. Restaurants, coffee shops, delicatessens: | | |
| 1) with alcoholic beverages and/or entertainment | C | N |
| 2) without alcoholic beverage | C | a |
| c. Snack bars and refreshment stands contained within a building | P | a |
| d. Fast food restaurants with drive-in or drive-through | P | N |
| 19 Equipment rental (in enclosed building only) | P | N |
| 20 Feed and tack stores (no outside storage) | P | N |
| 21 Florists' shops | P | a |
| 22 Food stores, supermarkets, drug stores | P | N |
| 23 Furniture stores (<10,000 sf) | P | N |
| 24 Gasoline service stations | C | N |
| 25 Hardware stores (<10,000 sf) | P | N |
| 26 Hobby shops | P | N |

| <u>Land Use</u> | <u>Land Use District</u> | |
|--|--------------------------|-----------|
| | <u>FC</u> | <u>PA</u> |
| 27. Hotels and motels (and accessory uses, including restaurant, bar, shops) | P | N |
| 28. Janitorial services/supplies | P | N |
| 29. Jewelry stores | P | N |
| 30. Junior department, department stores, discount and membership department stores | P | N |
| 31. Kiosks, and moveable vendors, including photo sales, located in parking lot | C | N |
| 32. Liquor stores (package, off-sale only) | C | N |
| 33. Medical and dental offices, clinics | P | P |
| 34. Mortuaries | C | N |
| 35. Motorcycle sales and services including motorized bicycles | P | N |
| 36. Newspaper and magazine stores | P | a |
| 37. Nurseries and garden supply stores in screened area | C | N |
| 38. Office suites, general | P | P |
| 39. Office supplies/stationery stores | P | a |
| 40. Parking facilities (commercial) | C | C |
| 41. Pharmacies | P | a |
| 42. Photocopying services | P | a |
| 43. Printing shops | P | a |
| 44. Recycling drop-off bins | C | N |
| 45. Retail stores and shops | P | N |
| 46. Retail distribution centers and manufacturer's outlets which require extensive floor areas for the storage and display of merchandise, and high volume, warehouse-type sale of goods | P | N |
| 47. Stamp and coin shops | P | N |
| 48. Swimming pool supplies | P | N |
| 49. Television, stereo and radio stores including sales and repair | P | N |
| 50. Theaters | C | N |
| 51. Tire sales and services | C | N |
| 52. Travel agencies | P | P |
| 53. Veterinary offices and animal hospitals | C | N |
| 54. General offices, financial institutions, Real Estate offices, institutional offices | P | P |
| 55. Any other retail business or service establishment supplying commodities or performing services determined by the Planning Commission to be of the same general character as the above mentioned permitted retail businesses or service uses and open during similar normal business hours | P | N |

| <u>Land Use</u> | <u>Land Use District</u> | |
|---|--------------------------|-----------|
| | <u>FC</u> | <u>PA</u> |
| C. Public and Semi-Public Uses | | |
| 1. Day nurseries, day care schools (subject to provisions of the Municipal Code) | C | C |
| 2. Convalescent homes and hospitals | C | N |
| 3. Clubs and lodges including YMCA, YWCA and similar youth group uses | C | C |
| 4. Libraries | C | C |
| 5. Educational institutions | C | C |
| 6. Hospital, medical care facilities | C | C |
| 7. Post office | P | P |
| 8. Religions institutions | C | N |
| 9. Group care facilities and residential retirement hotels | C | N |
| 10. Utilities, public and private | C | C |
| 11. Any other public or semi-public use determined by the Planning Commission to be of the same general character as other uses permitted by this section | C | C |
| D. Accessory Uses | | |
| 1. Accessory structures and uses located on the same site as a permitted or conditional use | P | P |

III.5 Property Development Standards: Commercial Districts

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, except no building permit shall be issued for any lot having a lot size less than 6,000 square feet. Each building site shall have a minimum 20 foot wide vehicular access to the street.

A. General Requirements

The following requirements are minimums unless otherwise stated:

| | <u>FC</u> | <u>PA</u> |
|--|-----------|-----------|
| 1. Lot area, net | 1 ac.* | 1 ac.* |
| 2. Lot width (in feet) | 100 | 150 |
| 3. Lot depth (in feet) | 150 | 150 |
| 4. Front yard setback (in feet) | 20 | 25 |
| 5. Side yard setback each side (in feet) | 10 | 10 |
| 6. Public street setback (in feet) | 20 | 20 |
| • Otay Lakes Road | 20 | 20 |
| • Olympic Parkway | 75** | n/a |
| 7. Rear yard setback (in feet) | 10*** | 10*** |
| 8. Building height, maximum | 45 feet | 45 feet |

* Map for condominium development does not need to meet lot area requirement. Minimum lot area may be reduced to 10,000 sf for master planned building complexes, subject to approval of a Site Plan. Such Site Plan shall be for a total site of no less than 60,000 sf.

** As measured from edge of sidewalk/curb.

*** Increase to 50 feet when abutting residential district.

Note: Minor deviations may be approved by the Zoning Administrator with Site Plan Approval.

III.6 Performance Standards: Commercial Districts

- A. Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape Manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- B. The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- C. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning.
- D. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Center.
- E. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- F. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Commercial District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.

- G All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- H Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls. Permanent outdoor sales areas shall be screened to improve site aesthetics when viewed from a distance, but the screening materials are not required to be solid or opaque, and may allow filtered close-range views of the materials for sale. Screening materials and design shall be consistent with the architecture/materials of the adjacent building.
- I Air Pollution. There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718
- J Odor No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site
- K Energy Conservation Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption, including but not necessarily limited to the following conservation measures:
1. Cogeneration;
 2. South facing windows;
 3. Eave coverage for windows;
 4. Earth berming against exterior walls; and,
 5. Deciduous shade trees

SECTION IV. BUSINESS CENTER DISTRICTS

IV.0 Purpose

In addition to the objectives outlines in Section I.0 (Purpose and Scope), the Business Center Districts are included to provide for a quality working environment and to achieve a harmonious mixture of uses which might otherwise be considered incompatible when located in close proximity. Activities are intended to promote employment opportunities in manufacturing, service, research and development, engineering and wholesale trade. In addition, the Business Center Districts are included to advance the following objectives:

- To reserve appropriately located areas for industrial use and protect these areas from intrusion by dwellings and other non-harmonious uses;
- To protect residential and commercial uses from noise, odor, dust, smoke, light intrusion, truck traffic and other objectionable influences and to prevent fire, explosion, radiation and other hazards incidental to certain industrial activities;
- To promote sufficient open space around industrial structures to protect them from hazard and to minimize the impact of industrial operations on nearby residential or commercial districts; and
- To minimize traffic congestion and avoid overloading utilities by restricting construction of buildings of excessive size in relation to the amount of land around them.

A. Business Center Manufacturing Park District (BC-1)

This district is intended as an area for modern industrial, research, and administrative facilities which can meet high performance and development standards.

B. Business Center Manufacturing Service District (BC-2)

This district is intended as an area for light industrial and limited service commercial uses which can meet high performance and development standards.

C. Business Center Core Districts (BC-3 and BC-4)

These districts are intended as an area for modern light industrial, administrative and service uses as a transition from the Village Center Commercial Districts and the BC-1 & BC-2 Districts.

The Business Center District areas (BC-1, BC-2, BC-3 and BC-4) of the EastLake Business Center have been included and constitute a portion of the High Tech/Bio Tech Zone, an area of the City of Chula Vista, the territory of which is shown on the Land Use Districts exhibit, within which certain qualifying high technology, bio-technical and bio-medical uses are encouraged to locate by providing to those businesses economic and land use processing incentives.

IV.1 Permitted and Conditional Uses: Business Center Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use. Uses where the symbol "A" appears shall be subject to an Administrative Design Review/Conditional Use Permit or Variance.

| <u>Land Use</u> | | <u>Land Use District</u> | | | |
|-----------------|---|--------------------------|-------------|-------------|-------------|
| | | <u>BC-1</u> | <u>BC-2</u> | <u>BC-3</u> | <u>BC-4</u> |
| A | Manufacturing | | | | |
| 1 | Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared typical materials such as canvas, cellophane, cloth, cork, felt, fiber, fur, glass, leather, paper (no milling), precious or semi-precious stones or metals, plaster, plastics, shells, textiles, tobacco, wood, and yarns; novelty items (not including fireworks or other | P | C | C | C |

| Land Use | | Land Use District | | | |
|--|---|-------------------|------|------|------|
| | | BC-1 | BC-2 | BC-3 | BC-4 |
| | explosive type items) | | | | |
| 2. | Electrical and related parts; electrical appliances, motors and devices; radio, television, phonograph and computers; electronic precision instruments; medical and dental instruments; timing and measuring instruments; audio machinery; visual machinery; cosmetics, drugs, perfumes, toiletries and soap (not including refining or rendering of fat or oils) | P | C | C | C |
| 3 | Furniture upholstery | P | C | C | C |
| 4. | Rubber and metal stamp manufacturing | P | C | C | C |
| 5. | Laboratories; chemical | C | C | C | C |
| 6 | Laboratories; dental, electrical, optical, mechanical and medical | P | P | P | P |
| 7 | Bottling plants | P | P | P | P |
| 8 | Cement products manufacturing | N | C | N | N |
| 9 | Pharmaceuticals; laboratories and manufacturing | P | P | P | P |
| B. Storage and Wholesale Trades | | | | | |
| 1. | Mini-storage, public storage and storage warehouses | C | P | N | N |
| 2. | Moving and storage firms | C | P | N | N |
| 3. | Building materials and lumber storage yards and/or contractors' yards | N | C | N | N |
| 4. | Building equipment storage, sales, rentals | N | C | N | N |
| 5. | Automobile fleet storage | C | C | N | N |
| 6 | Trailer, truck, or bus terminal | C | C | C | N |
| C Services | | | | | |
| 1 | Animal hospital or veterinary clinic and/or office | P | P | P | P |
| 2 | Automobile and/or truck services including but not limited to: sales, rental agencies, body repair, painting and car washes | N | C | N | N |
| 3. | Blueprinting and photocopying | P | P | P | P |
| 4. | Cleaning and dyeing plant | N | C | C | C |
| 5. | Distributors, showrooms and automobile offices | P | P | P | P |
| 6. | Eating and drinking establishments: | | | | |
| a. | Bars | C | C | C | C |
| b | Restaurants, coffee shops, delicatessens: | | | | |
| | 1) With alcoholic beverages | C | C | C | C |
| | 2) Without alcoholic beverages | A | A | A | A |
| c. | Snack bars, take-out only; refreshment stands within a building | P | P | P | P |

| Land Use | | Land Use District | | | | |
|----------|---|--|------|------|------|---|
| | | BC-1 | BC-2 | BC-3 | BC-4 | |
| | d | Fast food restaurants with drive-in or drive-through | C | C | N | N |
| 7. | | Furniture sales, new and used (no outdoor sales or display) | P | P | P | P |
| 8. | | Gasoline dispensing and/or automobile service station | C | C | N | N |
| 9. | | Kennels | N | C | N | N |
| 10. | | Heliports | C | C | C | C |
| 11. | | Motels, hotels and convention centers | C | C | C | C |
| 12. | | Newspaper publishing, printing, and distribution, general printing and lithography | P | P | P | P |
| 13. | | Offices, businesses, medical, professional, real estate and research | P | P | P | P |
| 14. | | Retail commercial when in conjunction with a permitted or conditional use | P | P | P | P |
| | | Commercial recreation facilities | N | N | C | C |
| | | Janitorial services/supplies | N | N | C | C |
| | | Medical facilities, offices, clinics, convalescent homes, hospitals, group care, and similar related facilities. | N | N | C | C |
| D. | | High-Technology Uses | | | | |
| | | Research, development and manufacturing of advanced technology products (such as but not limited to systems, subsystems, components, peripherals and accessories), inclusive of prototype and experimental products, utilized in the fields of aerospace, avionics, computers, electronics, advanced materials, defense industries, communications, energy and environmental systems, transportation, telecommunication, optics/laser, fiberoptics, optoelectrics, video, imaging, magnetics, oceanography, and other related fields | P | P | P | P |
| E. | | Bio-Technical Uses | | | | |
| | | Research, development and manufacturing of health care, food safety, nutrition, agriculture productivity and industrial and environmental improvement products, inclusive of prototype and experimental products involving use of organic, chemical, and biological processes | P | P | P | P |
| F. | | Bio-Medical Uses | | | | |
| | | Research, development and manufacturing of organic drug delivery systems and diagnostic and therapeutic products, inclusive of prototype and experimental products, utilized in the field of medical care | P | P | P | P |
| G. | | Public and Semi-Public Uses | | | | |
| | 1 | Day nurseries, day care schools and nursery schools | A | A | A | A |

| Land Use | | Land Use District | | | |
|------------------|---|-------------------|------|------|------|
| | | BC-1 | BC-2 | BC-3 | BC-4 |
| 2. | Post offices and post office terminals | A | C | C | C |
| 3. | Public utility pumping stations, equipment building and installation | A | A | A | A |
| 4. | Public utility service yards | N | C | C | C |
| 5. | Educational institutions, libraries, public or private including vocational schools | C | C | C | C |
| 6. | Clubs, Churches, and lodges, including YMCA, and similar youth group uses. | C | N | A | A |
| H. Other | | | | | |
| 1 | Uses determined to be similar and consistent with the purpose of this chapter. | C | C | C | C |
| I Accessory Uses | | | | | |
| 1 | Accessory structures and uses located on the same lot as permitted or conditional use | P | P | P | P |
| 2 | Incidental services for employees on a site occupied by a permitted or conditional use, including day care, recreational facilities, showers and locker rooms | P | P | P | P |
| 3. | Watchman's or caretaker's living quarters only when incidental to and on the same site as a permitted or conditional use | A | A | A | A |
| J Temporary Uses | | | | | |
| 1. | Temporary uses as prescribed in Section VI O | P | P | C | A |

IV.2 Property Development Standards: Business Center Districts

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, except no building permit shall be issued for any lot having a lot size less than 6,000 square feet. Each building site shall have a minimum 20 foot wide vehicular access to the street.

A General Requirements

The following requirements are minimums unless otherwise stated:

| | <u>BC-1</u> | <u>BC-2</u> | <u>BC-3</u> | <u>BC-4</u> |
|---|--|--|------------------------------|----------------------|
| 1. Lot area, net ¹ | 1 ac. | 1 ac | 1 ac | 1 ac |
| 2. Lot width (in feet) | 100 | 150 | 150 | 150 |
| 3. Lot depth (in feet) | 150 | 150 | 150 | 150 |
| 4. Front yard setback (in feet) | 20 | 25 | 25 | 25 ⁵ |
| 5. Side yard setback each side (in feet) | 10 | 15 | 15 | 15 ⁵ |
| 6. Public street setback (in feet) | 20 | 20 | 20 | 20 ⁵ |
| 7. Rear yard setback (in feet) ² | 10 | 10 | 10 | 10 ⁵ |
| 8. Building height, maximum | 35 feet or 2 stories, whichever is less ^{3 & 4} | 35 feet or 2 stories, whichever is less ^{3 & 4} | 60 feet ^{3 & 4} | 35 feet ⁵ |
| 9. Lot coverage (percent, net) | 60 | 70 | 70 | 70 |

¹ Map for condominium development does not need to meet lot area requirement. Minimum lot area may be reduced to 10,000 sf for master planned building complexes, subject to approval of a Precise Plan. Such Precise Plan shall be for a total site of no less than 60,000 sf.

² May be reduced to zero (0) with Site Plan approval for the purpose of this provision, lot means the minimum lot width and depth specified in the above minimum property development standards. Rear yard setback shall be a minimum of 20' along the northern boundary of the Business Center II SPA abutting Rolling Hills Ranch.

³ Height limit for buildings on lots within Business Center II, that are not adjacent to the external boundary of the Business Center II SPA, may be considered to be increased subject to subsequent environmental analysis of the project specific Design Review application. For the purpose of this provision, "lot" means the minimum lot width and depth specified in the above minimum property development standards.

⁴ Additional building height, up to 60', may be approved with Design Review approval, and must be consistent with the Design Guidelines established for this planning area.

⁵ Height limit for buildings within the BC-4 District may be increased to 76 feet with approval of the Design Review Committee and provided that buildings taller than 35 feet comply with the following additional requirements:

- A. The building setbacks adjacent to residential district and scenic highways shall increase at a ratio of 1:1 and shall be measured from property line (except along Otay Lakes Road shall be measured from top of slope, regardless of where property line is located).

B. Building design shall be subject to the design criteria contained in the Eastlake Business Center II Design Guidelines.

The Design Review Committee, at their discretion, may authorize minor deviations from the building setback ratio, if the architectural composition, style and overall concept, merits such deviation.

B. Special Requirements

1. Along all street frontages situated across from any residentially zoned property, a minimum three foot high landscaped earthen berm shall be constructed along all other lot lines adjacent to residential districts, a maximum eight (8) foot high wall may be constructed if required following Director of Planning review. Fences should blend in with the site's architecture.
2. Streetscapes shall be enhanced to provide an easy transition from the street to the building. Patios, circulation and parking spaces can be included in setback areas to help buffer adjoining parcels from one another.
3. Reciprocal ingress and egress, circulation and parking arrangements shall be required where possible and feasible to facilitate vehicular movement between adjoining properties and to limit superfluous driveways.

IV.3 Performance Standards: Business Center Districts

- A. In all Business Center Districts the required setbacks shall be landscaped. Landscaping shall consist predominantly of plant materials and shall be irrigated by automatic sprinklers. All planting and irrigation shall be in accordance with the City's Landscape Manual. All landscaping shall be permanently maintained in a clean, healthy and thriving condition, free of weeds, trash and debris
- B. All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a parapet, wall or fence, or shall be enclosed within a building. Exposed gutters, downspouts, vents, louvers and other similar elements shall be painted to match the surface to which they are attached unless they are used as part of the design theme
- C. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- D. Lighting. All light sources shall be shielded in such a manner that the light is directed away from streets and adjoining properties. Illuminators shall be integrated within the architecture of the building. The intensity of the light at the boundary of any Business Center District shall not exceed seventy-five (75) foot lamberts from a source of reflected light
- E. Electrical Disturbance, Heat and Cold, Glare. No use except a temporary construction operation shall be permitted which creates changes in temperature or direct glare, detectable by the human senses without the aid of instruments, beyond the boundaries of the site. No use shall be permitted which creates electrical disturbances that affect the operation of any equipment beyond the boundary of the site.
- F. Fire and Explosive Hazard. All uses involving inflammable and explosive materials shall be subject to initial and continued compliance with all applicable State regulations contained in the California Code of Regulations and the Uniform Fire Code
- G. Noise. The acceptable outdoor noise exposure levels, measured at the property line, for the Business Center districts are given in the following table. (See amended Chapter 19.66 CVMC for definitions and additional details.)

Exterior Noise Limits*

| | |
|------------------------------------|-------------------------|
| <u>Receiving Land Use District</u> | <u>10 p.m. - 7 a.m.</u> |
| BC-1, BC-2, BC-3 & BC-4 | 70 dbA |

- *Environmental Noise - Leg in any hour
- *Nuisance Noise - not exceeded at any time

- H. Odor. Any use involving the creation or emission of odorous gases or other odorous matter shall be subject to initial and continuous compliance with all applicable County regulations including, but not limited to Rule 51 of the San Diego County Air Pollution Control District (APCD) regulations.
- I. Radioactivity. Any use involving radioactive materials shall be subject to initial and continued compliance with all applicable State regulations including, but not limited to, Title 17 of the California Code of Regulations and Uniform Fire Code
- J. Vibration. No use except a temporary construction operation shall be permitted which generates inherent and recurrent ground vibration perceptible, without instruments, at the boundary of the lot on which the use is located.
- K. In any Business Center District, the conversion of a project to condominium ownership shall meet all the requirements of the zone to the maximum extent possible. Specific City Council waiver shall be required where the zone requirements cannot be met.
- L. Air Pollution. Emission of air contaminants shall be subject to initial and continued compliance with all applicable County regulations including, but not limited to, Rule 50 of the San Diego County Air Pollution Control District (APCD) regulations
- M. Outdoor Storage Areas shall be entirely enclosed by solid walls not less than eight (8) feet in height to adequately screen views from the external boundaries of the property.

N. Energy Conservation Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical Buildings should be designed to minimize energy consumption, including, but not necessarily limited to the following conservation measures:

- Cogeneration;
- South facing windows;
- Eave covering for windows;
- Earth berming against exterior walls; and,
- Deciduous shade trees

O Toxic Materials Any use involving hazardous materials shall be subject to initial and continued compliance with all applicable State regulations including, but not limited to, those contained in the California Code of Regulations, State Health and Safety Codes, and the Uniform Fire Code

P. Liquid or Solid Waste. The discharge or deposit of liquid or solid wastes shall be subject to the provisions of Section 19.66.150 CVMC.

NOTE: With the exception of the Uniform Building Code and Uniform Fire Code, the above referenced State and County regulations shall not be administered by City departments/agencies

SECTION V . SPECIAL PURPOSE DISTRICTS

V.0 Purpose

These districts are intended for general agriculture, open space, public and quasi-public uses. Only those additional uses which are complementary to, and can exist in harmony with, open space are permitted. For the open space districts, there is no lot size limitation and it is the intent that these districts may be applied to a portion of a lot provided that the remainder of the lot meets the requirements for which it is zoned.

In addition to the objectives outlined in Subsection I 0 (Purpose and Scope), the Open Space District is included in the Planned Community District Regulations to achieve the following purposes:

- To preserve open space for the conservation of natural resources;
- Maintain the natural character of the land;
- Provide for public/quasi-public and recreational uses;
- Conserve areas of historic and community significance for the enjoyment of future generations;
- Provide for private use of land under limited development; and
- Promote public health and safety

V.1 Permitted and Conditional Uses: Open Space Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted.

| <u>Land Use</u> | <u>OS-1</u> | <u>OS-2</u> | <u>OS-3</u> | <u>OS-4</u> | <u>OS-5</u> | <u>OS-6</u> | <u>OS-7</u> |
|-----------------------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| Agriculture - Interim | A | A | A | A | A | A | A |
| Arboreta (horticultural garden) | A | A | A | P | A | P | P |
| Christmas tree sales | A | N | A | A | A | A | A |
| Commercial equestrian facilities | N | N | N | N | N | N | A |
| Conference facilities | N | N | N | N | N | C | C |
| Field crops | A | N | A | A | A | N | A |
| Fruit and vegetable stands | N | N | C | N | A | N | A |
| Golf course/Country Club | N | N | N | N | N | P | A |
| Health Club/Spa | N | N | N | P | N | P | P |
| Heliport | N | N | N | N | C | C | C |
| Hotel/Motel/Lodging facilities | N | N | N | N | N | C | C |
| Incidental concessions | N | N | N | P | P | P | P |
| Parks and recreation facilities | P | P | P | P | P | P | P |
| Public and quasi-public uses | C | C | A | C | P | A | A |
| Temporary tract signs and offices | A | A | A | A | A | A | A |
| Tree farming | A | A | A | A | A | A | A |
| Utilities (public and private) | P | P | P | P | P | P | P |

V. 2 Permitted and Conditional Uses: Quasi-Public Facilities (PQ),

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use.

| <u>Land Use</u> | <u>PQ</u> |
|--|-----------|
| Agriculture - Interim | A |
| Arboreta (horticultural garden) | P |
| Christmas tree sales | A |
| Church/Religious Institution | P |
| Church related schools | C |
| Club, lodge, fraternal organization | A |
| Community Facility | P |
| Crops, Field | N |
| Fruit and vegetable stands | C |
| Grading and Infrastructure Improvements | P |
| Incidental Concessions | A |
| Parks and Recreation Facilities | P |
| Public and Quasi-public uses | P |
| Temporary tract signs and offices | A |
| Utilities (public and private) | P |
| Senior Care and recreation | P |
| Day Care Facilities | a |
| Recreation, non-profit, such as ball fields ¹ | P |

¹ Subject to the requirements outlined in Section 19 48 040 (B) (6) (d) CVMC

V. 3 Community Purpose Facilities (CPF) District Regulations

Lands designated "CPF" shall be subject to the applicable provisions in Title 19 of the Chula Vista Municipal Code for "Community Purpose Facilities", including, but not limited to, Section 19 48 020 through 19 48 025

Permitted and Conditional Uses: Community Purpose Facilities (CPF) Districts

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted uses subject to a Conditional Use Permit where the symbol "C" appears. Uses where the symbol "A" appears shall be subject to an Administrative Review. Uses where the symbol "N" appears are not permitted. Uses where the symbol "a" appears are only permitted as an accessory use to a basic permitted use

| | <u>CPF</u> |
|--|------------|
| 1. Boy Scouts, Girl Scouts and other similar organizations | C |
| 2. Social and human service activities, such as Alcoholics Anonymous | C |
| 3. Services for homeless | C |
| 4. Services for military personnel during the holidays | C |
| 5. Senior care and recreation | C |
| 6. Worship, spiritual growth and development, and teaching of family values | C |
| 7. Day care facilities that are ancillary to any of the above | C |
| 8. Private schools that are ancillary to any of the above | C |
| 9. Interim uses, subject to the findings outlined in 19 48.025(E) | C |
| 10. Recreation facilities, such as ballfields, for non-profit organizations serving the local community, subject to the requirements outlined in 19 48.004 (B)(6)(d) | C |

V 4 Property Development Standards: Special Purpose Districts

A The following regulations shall apply to the site of a Permitted or Conditional Use. The requirements are minimum unless otherwise stated.

| | |
|--|--|
| 1. Density - Maximum Dwelling unit per legal lot | 0 |
| 2. Lot width (in feet) | None Required |
| 3. Lot depth (in feet) | None Required |
| 4. Front yard setback (in feet) | 20 |
| 5. Rear yard setback (in feet) | 20 |
| 6. Side yard setback (in feet) each side | 20/10 |
| 7. Building height | 35 feet or two stories, whichever is less |

V 5 Signs: Special Purpose Districts

Signs approved as a component of a SPA Plan (or Comprehensive Sign Program) shall be permitted within open space districts included within the SPA. Other signs shall be permitted only as provided in Section VII of these regulations.

SECTION VI . SPECIAL USES AND CONDITIONS

The provisions of this ordinance shall apply to the uses and conditions hereinafter enumerated. Where this section prescribes regulations more restrictive than the land use district in which a use or conditional use is permitted, the provisions of this section shall apply.

VI . 0 Temporary Uses

The provisions of this Section shall be known as the Temporary Use Regulations and shall provide regulations for the uses hereinafter enumerated. Where this Section prescribes regulations more restrictive than the zone in which a use or conditional use is permitted, the provisions of this Section shall apply. Temporary uses are subject to approval by the Director of Planning, except as noted.

A Temporary Uses Listed

1. Circuses, rodeos, parades or similar outdoor entertainment or enterprises, subject to not more than five (5) calendar days of operation in any calendar year. Requests exceeding these limitations will require the submittal and approval of a conditional use permit.
2. Christmas tree sales lots, Halloween pumpkin sales, and other holiday sales subject to not more than forty (40) calendar days of site occupation and operation in any calendar year.
3. Subdivision sales offices, sales information centers, sales pavilions, and model home complexes located within the subdivision, subject to the following minimum requirements:
 - a. Offices shall be no closer than one vacant lot to an existing dwelling unit not part of the subdivision, trailers may be used for no more than ninety (90) calendar days or until such time as the subdivision sales offices have been completed, whichever is less;
 - b. An AC paved parking lot shall be provided with sufficient parking spaces to accommodate said use;
 - c. Offices shall be allowed for a maximum of four years;
 - d. Faithful performance bonding in an amount appropriate to guarantee removal and/or conversion of the sales office and attendant facilities shall be required; and,
 - f. Other conditions that the Director of Planning deems necessary to assure that the sales office will not constitute a nuisance or be objectionable to the residential uses in the neighborhood.
4. Outdoor art and craft shows and exhibits, subject to not more than three (3) calendar days of operation or exhibition in any sixty (60) calendar day period.
5. Contractors' offices and storage yards on the site of an active construction project.
6. Mobile home residences for security purposes on the site of an active construction project.
7. Outdoor display and sales located within commercially zoned properties not to exceed more than five (5) calendar days in any sixty (60) calendar days and subject to appropriate conditions of the Planning Department.
8. Seasonal retail sales of agricultural products (fruit and vegetable stands) for periods of less than ninety (90) days, if said products are raised on the premises.
9. Temporary use of properly designed mobile trailer units for classrooms, offices, banks, etc., for periods not to exceed ninety (90) days subject to Administrative Review. Requests for such uses of more than ninety days duration shall require approval of a Conditional Use Permit by the Planning Commission. Such units shall meet all necessary requirements of building, fire and health codes.
10. For any agricultural and animal husbandry activity or project (4-H, FFA, or similar) conducted for educational purposes or school credits, a permit may be granted in any district when the Director of Planning determines that such use will not cause a public nuisance relative to sanitation and health conditions.

11. Charitable or school sponsored drop-off bins for recycling of cans, newspapers or similar items, or for drop-off of clothes and small items. Bins shall be located in the parking lots of businesses or other public or semi-public property on a temporary basis when written permission is granted by the property or business owner. Said bins shall be kept in a neat and orderly manner
12. Additional uses determined to be similar to the foregoing in the manner prescribed by Section I 4 of these regulations.

B Permits and Bonds

All temporary uses shall be subject to the issuance of a Temporary Use Permit by the Director of Planning and other necessary permits and licenses, including but not limited to building permits, sign permits, and solicitors or vending licenses. In the issuance of such a permit, the Director of Planning shall indicate the permitted hours of operation and any other conditions, such as walls or fences and lighting, which are deemed necessary to reduce possible detrimental effects to surrounding developments and to protect the public health, safety and welfare. Prior to the issuance of a permit for a temporary use, except those listed under C, F, G, K and L above, a cash deposit may be required to be deposited by the City. This cash deposit shall be used to defray the costs of clean-up of the property by the City in the event the Permittee fails to do same.

C Extension or Modification of Limits

Upon written application, the Director of Planning may extend the time within which temporary uses may be operated, or may modify the limitations under which such uses may be conducted if the Director of Planning determines that such extension or modification is in accord with the purposes of the zoning regulations.

D Condition of Site Following Temporary Usage

Each site occupied by a temporary use shall be left free of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of the zoning regulations.

E Fee

The application shall be accompanied by a fee established by the Master Fee Schedule to cover the cost of processing the application prescribed in this section. This fee may be waived by the approving authority for charitable groups that do not need any public services.

VI. 1 Home Occupations

A. Home occupations may be permitted only when in compliance with the conditions listed herein. A permit must be issued by the Director of Planning prior to operation of such use. The fee shall be in accordance with the Master Fee Schedule.

1. There shall be no stock in trade or exterior storage of materials in the conduct of a home occupation.
2. A home occupation shall be conducted entirely within a dwelling; if in an attached or a detached garage, it shall not impede the use of said garage for vehicle storage.
3. Electrical or mechanical equipment which creates visible or audible interference in radio or television receivers or causes fluctuations in line voltage outside the dwelling unit, shall be prohibited.
4. Only the residents of the dwelling unit may be engaged in the home occupation.
5. There shall be no sale of goods on the premises.
6. The establishment and conduct of a home occupation shall not change the principal character or use of the dwelling unit involved.
7. There shall be no signs other than those permitted by this ordinance.
8. The required residential off-street parking shall be maintained.

9. A home occupation shall not create vehicular or pedestrian traffic in excess of that which is normal for the land use district in which it is located.
10. No vehicles or trailers (including pick-up trucks and vans) or construction or other equipment, except those normally incidental to residential use, shall be kept on the site.

VI.2 Recreational Courts

Construction of recreation courts, including necessary fencing and lighting, may be permitted subject to administrative review and a finding that adjacent properties will not be unduly affected.

Recreation courts shall meet the following minimum standards:

- A. A maximum 20-foot high fence (measured from the finished grade of the court) shall be allowed. Fences shall include a screening material which screens the court activity from off-site view and which improves the appearance of the fence.
- B. Setbacks for the court shall be:
 - Side yard: 10 feet
 - Rear yard: 10 feet
- C. Maximum of eight (8) lights permitted, height not to exceed 22 feet. All lights and light fixtures shall be certified by a qualified lighting engineer to:
 1. Be designed, constructed, mounted and maintained such that, the light source is cut off when viewed from any point five (5) feet above the ground measured at the lot line.
 2. Be designed, constructed, mounted and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed 2 foot candle above ambient levels.
 3. Be used between 7:00 a.m. and 10:00 p.m.
- D. The surface area of any recreational court shall be designed, painted, colored and/or textured to reduce the reflection from any light incident thereon.
- E. Landscaping shall be installed as required between the fence and the property line.

VI.3 Kennels - Commercial and Non-commercial

The following regulations are established for operation and maintenance of commercial and non-commercial kennels in the Manufacturing Service Land Use Districts pursuant to Section IV.1.C.9.

- A. Animal runs shall meet the following minimums:
 1. Minimum sizes:
 - 3'0" x 5'0" for small size animals
 - 3'0" x 9'0" for medium size animals
 - 9'0" x 9'0" for large size animals
 2. Animal runs shall be constructed and/or coated with non-porous material to discourage the breeding of ticks and other similar pests.
 3. All animal runs and animal holding areas shall have concrete or other durable flooring sloped for proper drainage.
 4. All animal runs shall be provided with adequate enclosures to provide protection from inclement weather.
 5. All animal runs shall be provided with drains sufficient to control drainage and daily washing of the runs.
 6. All animal runs shall be washed down daily to control odor, flies and the breeding of ticks, fleas, bacteria and other similar pests.

- B. All kennels shall be served by sewer and/or all excrement produced by said kenneled animals shall be dispersed on a regular basis so as to control flies and odor, or stored in an enclosed container and dispersed on a regular basis
- C. All noise shall be sound attenuated so that the noise level measured at the property line is within the ambient level for the land use district in which the site is located
- D. No animal runs, exercise areas or keeping of the kenneled animals for commercial and non-commercial purposes shall be located within the required front, street side or side yards of the land use district in which the site is located.

VI .4 Arcades

- A. In order to minimize adverse effects that arcades and electronic games may have on the neighborhood or area in which it is located, the following regulations are established. Arcades may be permitted only in the Village Center Commercial land use district subject to a conditional use permit and to the conditions listed herein:
 - 1. All such facilities shall provide parking with ingress and egress designed so as to minimize traffic congestion; shall be not less than twenty feet away from any adjacent residential zone; and shall show that adequate controls or measures will be taken to prevent offensive noise and vibration. Should the Municipal Code be amended to provide additional regulation of these uses, such amendments shall apply to arcade or similar uses within EastLake II
 - 2. The operation of four or less machines shall be permitted provided their operation is ancillary to the use of the building and said use does not materially alter the principal use of such a building. The operation of four or less machines where they are the principle use may be approved by the Director of Planning where, in his judgment, the location does not constitute a traffic or safety hazard to the public or abrogate the intent of the regulations contained in this section.

SECTION VII . COMPREHENSIVE SIGN REGULATIONS

VII .0 Purpose

The provisions of Sections VII 0 through VII.3, inclusive, shall be known as the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs.

The City of Chula Vista recognizes the need for signs as a means to identify businesses within the community. However, the City also recognizes that signing is an important design element of the physical environment. Regulations consistent with the goals and objectives of the community are necessary to ensure that the character and image the community is striving for can be attained.

It is the purpose of this chapter to make EastLake II attractive to residents, visitors, and commercial, industrial and professional businesses while maintaining economic stability through an attractive signing program. Specifically, the purposes of this chapter are to:

- Protect the general public health, safety and welfare of the community;
- Reduce possible traffic and safety hazards through good signing;
- Direct persons to various activities and uses, in order to provide for maximum public convenience;
- Provide a reasonable system of sign regulations, to ensure the development of a high quality visual environment;
- Encourage signs which are well designed and pleasing in appearance and to provide incentive and latitude for variety, good design relationship to the business or use it identifies, and spacing between signs and buildings;
- Encourage a desirable urban character which has a minimum of clutter;
- Enhance the economic value of the community and each area, business and use thereof, through the regulation of such elements as size, number, location design and illumination of signs; and,
- Encourage signs which are well located, and take in to account the service and usage of adjacent areas

VII .1 Permit Requirement and Review

A Sign Permit Required

A sign permit shall be required in accordance with Section 19 60.030 of the Municipal Code for any sign except as follows; provided, however, any signage in excess of the specific exemption listed below is prohibited:

- 1 Permanent window signage not exceeding twelve (12) square feet per business frontage and limited to the name of the business, service, or use, hours of operation, address and emergency information, except exposed neon tubing signs advertising products for sale on the premises, are permitted as permanent signs
- 2 Temporary advertising signage painted on the window or constructed of paper, cloth, or similar expendable material affixed on the window, wall or building surface, provided that all of the following conditions are met:
 - a The total area of such signs shall not exceed twenty-five (25) percent of the window area; however, in all cases, twelve (12) square feet per business frontage is permitted
 - b Such signs shall be affixed to the surface for no more than thirty (30) continuous calendar days but for not more than sixty (60) days each calendar year, to promote a particular event or sale of product or merchandise.
- 3 Real Estate Signs for Residential Sales: One (1) sign per street frontage not exceeding four (4) square feet in area and five (5) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow or the rental or lease has been accomplished. Signs placed on the rear street frontage are prohibited. Open House signs not exceeding four (4) square feet in area

and five (5) feet in height are permitted for directing prospective buyers to property offered for sale.

4. Political signs: Political signs having to do with any issue, ballot measure, political statements and expressions, or candidate in any Municipal, County, State or Federal election shall be permitted subject to the following provisions and any other applicable provisions within this chapter
 - a. Any person, party or group posting signs in the City shall abide by the provisions herein set forth
 - b. All political signs shall be placed, erected, constructed, painted or assembled, no earlier than thirty (30) calendar days prior to the election and shall be removed no later than ten (10) calendar days following the date of the election
 - c. A political sign shall not exceed thirty-two (32) square feet in total area for one side; double-faced signs shall not exceed thirty-two (32) square feet per side. No signs shall be placed in a manner that would obstruct visibility of or impede pedestrian or vehicular traffic, or to endanger the health, safety, or welfare of the community.
 - d. All political signs shall not exceed an overall height of eight (8) feet from the finished grade immediately around the sign
 - e. No political signs shall be lighted either directly or indirectly unless said sign is erected, painted or constructed on an authorized structure already providing illumination.
 - f. No political sign shall be placed or affixed to a traffic signal, street light, tree, fence, utility pole or existing sign, nor shall be posted on any public property or in the public right-of-way, if in the opinion of the Director of Planning, said sign impedes or renders dangerous public access to any public improvement, including but not limited to utility poles and fire hydrants; or obstructs the vision of any sign designed to regulate, control or assist public or private transportation or obstructs the vision of any user of a public right-of-way
 - g. No political sign shall be posted in violation of any provisions of this chapter. Further, the Director of Planning or his designee shall have the right to remove all signs placed contrary to the provisions of this section. Any political sign placed on private property without the consent of said private property owner may be removed by said owner or representative of said owner.
5. Contractor or Construction Signs: For residential projects greater than four (4) dwelling units, commercial and industrial projects, two (2) directory signs shall be permitted on the construction site for all contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the City. For all other projects, a total of two (2) signs per development site may be installed with a maximum of four (4) square feet in area and five (5) feet in height for each sign. Such sign(s) shall be removed upon finalization of building permits
6. Future Tenant Identification Sign: Future tenant identification signs may be placed on vacant or developing property to advertise the future use of an approved project on the property and where information may be obtained. Such signs shall be limited to one (1) per fronting street and to a maximum of ninety-six (96) square feet in area and twelve (12) feet in overall height each. Further, such signs shall be placed no closer than ten (10) feet to any property line. Any such sign shall be removed upon finalization of building permits. Where a project has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed.
7. Real Estate Signs for Sale of Commercial or Industrial Property: One (1) sign per street frontage not to exceed thirty-two (32) square feet in area to advertise the sale, lease or rent of such property. No such sign shall exceed eight (8) feet in overall height and shall not be located within the public right-of-way. Where a property has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed

8. Interior signs within a structure or building when not visible or readable, nor intended to be read from off-site or from outside of the structure or building
9. Identification signs for a business, service or use no greater than four (4) square feet in area may be permitted. Said signs shall not be visible from the public right-of-way, shall be attached to the main building, shall be for pedestrian traffic, and shall not otherwise require a building permit.
10. Memorial tablets, plaques, or directional signs for community historical resources, installed by a City recognized Historical Society or civic organization.
11. Convenience signs and secondary directional signs not exceeding four (4) square feet in area (see SPA Plan)
12. Residential building identification signs used to identify individual residences and not exceeding four (4) square feet in area
13. One name plate per parcel not exceeding four (4) square feet in area for single family residential uses and agricultural uses
14. Official and legal notices issued by any court, public body, person, or officer or in furtherance of any nonjudicial process approved by state or local law
15. Signs providing direction, warning, or informational signs or structures required or authorized by law or by Federal, State, County, or City authority.
16. A single official flag of the United States of America and/or two (2) flags of either the State of California or other states of the United States, counties, municipalities or official flags for nations, and flags of internationally or nationally recognized organizations or the company flag. Flags shall be a maximum of five (5) feet by eight (8) feet unless otherwise specifically approved on a Site Plan
17. Signs of public utility companies, indicating danger or which serve as an aid to public safety, or which show locations of underground facilities or public telephones.
18. Safety signs on construction sites.
19. One (1) freestanding time and temperature sign that conveys time and temperature only and not exceeding twelve (12) square feet in area nor fifteen (15) feet in height, or not higher than the roofline, whichever is less, when combined with business identification in accordance with Section VII.3, and counted toward sign area for the freestanding sign
20. One (1) wall mounted time and temperature sign that conveys time and temperature only not exceeding twelve (12) square feet in area shown when combined with business identification in accordance with Section VII.3, and counted toward sign area for the wall sign.
21. "No Trespassing", "no parking", and similar warning signs not exceeding four (4) square feet.
22. Signs on public transportation vehicles regulated by a political subdivision, including but not limited to buses and taxicabs
23. Signs on licensed commercial vehicles, provided such vehicles are not used or intended for use as portable signs or as may be prohibited in Section VII.1 B
24. A change of copy conforming to an approved Comprehensive Sign Program. All other changes of copy shall comply with Section VII.1
25. Incidental signs for automobile repair stores, gasoline service stations, automobile dealers with service repairs, motels and hotels, showing notices of services provided or required by law, trade affiliations, credit cards accepted, and the like, attached to a freestanding sign, structure or building; provided that all of the following conditions exist:
 - a. The signs number no more than four (4)
 - b. No such sign project beyond any property line
 - c. No such sign shall exceed an area per face of four (4) square feet.

26. Copy applied to fuel pumps or dispensers by the manufacturer such as fuel identification, station logo and other signs required by the law
27. Agricultural signs, either wall or freestanding types, non-illuminated, and not exceeding four (4) square feet for lots two (2) acres or less and sixteen (16) square feet for lots greater than two (2) acres, identifying only the agricultural products grown on the premises. The number of such signs shall be one (1) per street frontage or a maximum of two (2), with all signs to be located below the roofline and freestanding signs to be no higher than eight (8) feet.

B Prohibited Signs: All signs not expressly permitted are prohibited in all zones, including but not limited to the following:

1. Roof signs
2. Flashing signs (except time and temperature signs).
3. Animated signs (conveying the illusion of motion).
4. Revolving or rotating signs
5. Vehicle signs (when parked or stored on property to identify a business or advertise a product).
6. Portable signs (except where permitted in this chapter)
7. Off-site signs (except temporary subdivision signs)
8. Signs within the public right-of-way (except those required by a governmental agency). No sign shall be so placed, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs except as may be permitted in Section VII.1.A.4 of this Chapter.
9. Signs located on public property except as may be permitted in by Section VII.1.A.4 of this chapter or those required by a governmental agency.
10. Signs within the public right-of-way prohibited by the Streets and Highways Code (Sec 101 et seq and Sec 1460 et seq), the Vehicle Code (Sec. 21400 et seq) and the Public Utilities Code (Sec 7538 et seq).
11. Signs blocking doors or fire escapes
12. Outside light bulb strings and exposed neon tubing outside of building (except for temporary uses such as Christmas tree lots, carnivals and other similar events with prior approval of the City)
13. Banners, flags, pennants and balloons (except as permitted in Section VII A.16 and except for special events as provided for in this chapter in Section VII.2 A.3)
14. Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in this Chapter in Section VII 2 A.3)
15. Advertising structures (except as otherwise permitted in this chapter)
16. Statuary (statues or sculptures) advertising products or logos of the business that are located outside of the structure that houses the business.
17. The use of decals, stick-on or transfer letters, or tape on the walls or parapets of buildings, fences, walls or other structures
18. Readerboard/changeable copy signs, either electric or non-electric except as permitted in this chapter.
19. Signs which purport to be or are an imitation or resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic

C Signs Relating to Inoperative Activities: Signs pertaining to activities or businesses which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises has been vacated. Any such sign not removed within the specified time shall constitute a nuisance and shall be subject to removal under the provisions of this chapter and local ordinance.

D. Enforcement, Legal Procedures, and Penalties: Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by the Municipal Code. Unauthorized illegal signs may be abated by the City in accordance with local ordinance. If said sign is stored by the City the owner may recover said sign from the City upon payment to the City of any storage and/or removal charge incurred by the City. The minimum charge shall be no less than three dollars (\$3.00) per sign. All signs removed by the City may be destroyed thirty (30) calendar days following removal. If any sign, in the opinion of the Director of Planning, is an immediate threat to the public health and safety, said sign shall be immediately and summarily removed with the cost of said removal charged to the property owner in accordance with local ordinances.

E. Construction and Maintenance:

1. Construction: Every sign and all parts, portions, and materials shall be manufactured, assembled, and erected in compliance with all applicable State, Federal, and City regulations and the Uniform Building Code.
2. Maintenance: Every sign and all parts, portions, and materials shall be maintained and kept in proper repair. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked or broken surfaces, and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification of the business by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural change, is permitted.

VII.2 Sign Regulations

Sign permits may be issued for signs included under this section provided the signs are in compliance with all other applicable laws and ordinances.

A. Signs Permitted in any Land Use District:

The following signs may be permitted in any land use district. These signs are in addition to those signs expressly permitted in each land use district and are subject to the provisions listed:

1. Convenience Signs: On-site signs no greater than six (6) square feet necessary for public convenience or safety may be approved by the Director of Planning or his designee. Signs containing information such as "entrance," "exit," or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
2. Comprehensive Sign Program for Commercial and Industrial Zones: A Comprehensive Sign Program shall be developed for all commercial and industrial centers consisting of four (4) or more tenant spaces. The purpose of the program shall be to integrate signs with building and landscaping design into a unified architectural unit. This shall be achieved by:
 - a. Using the same background color on all signs
 - b. Using not more than three (3) different colors for sign lettering
 - c. Using the same type of cabinet supports, or method of mounting for signs of the same type, or by using the same type of construction material for components, such as sign copy, cabinets and supports, or by using dissimilar signing determined compatible by the Director of Planning.
 - d. Using the same form of illumination for all signs, or by using varied forms of illumination determined compatible by the Director of Planning
 - e. Allowing the use of different colors for logos.
3. Special Event Signs: Special event signs may be approved for a limited period of time as a means of publicizing special events such as grand openings, new management, inventory sales, Christmas tree lots, parades, rodeos, and fairs that are to take place within EastLake II.
 - a. Community Special Events such as a rodeo or community fair may be permitted the following signage:

- (1) No more than four (4) off-site signs up to thirty-two (32) square feet and eight (8) feet in height to publicize the event indicated above
 - (2) Temporary advertising signing consistent with the requirements set forth in Section VII.1 A.2.
- b. Commercial Special Events such as grand openings, Christmas tree lots, painted seasonal holiday window displays, and notice of new management may be permitted the following signage:
- (1) No more than one (1), thirty-two (32) square foot or smaller, eight (8) feet in height, on-site, freestanding, special event sign
 - (2) All other on-site special event signs can be either wall and window signs, flags, banners and pennants. Inflatable advertising devices of a temporary nature may be permitted. In no case shall any signage, flag, pennant, inflatable device or banner be placed in a location not approved by the Director of Planning

4. On-Site Subdivision Signs:

- a. One (1) temporary, on-site subdivision sign not to exceed 64 square feet total area for two (2) sides or 32 square feet for one (1) side and total overall height of twelve (12) feet may be permitted on each Circulation Element street frontage of the property being subdivided, not to exceed two (2) such signs for all phases of any subdivision; otherwise a maximum of one (1) sign is permitted.
- b. Such sign shall be for the identification of a subdivision, price information and the developer's name, address and telephone number
- c. Such signs shall be removed within ten (10) calendar days from the date of the final sale of the land and/or residences or within twenty-four (24) months, whichever comes first. Extensions of twelve (12) months may be approved by the Director of Planning
- d. Signs shall be maintained in good repair at all times.
- e. A cash deposit of three hundred dollars (\$300) per sign shall be deposited with the sign application to ensure compliance with this chapter and removal of such sign. Said deposit shall be refunded to the applicant upon sign removal by the applicant. If the City is forced to remove any signs, then the cost of removal shall be deducted from the deposit.

5. Off-Site Subdivision Directional Sign:

- a. A maximum of four (4) signs may be used to lead customers to the site.
- b. Signs shall be made of panels which shall be no longer than seventy-two (72) inches by twelve (12) inches each and shall be grouped on a single, double or four-sided kiosk. Such structure shall contain no more than seven (7) panels per side nor exceed seven (7) feet in height.
- c. A sign kiosk shall be located not less than three hundred (300) feet from an existing approved sign site. Further, each sign may only contain the name of the planned community, subdivision, developer or development logo and a directional arrow
- d. The placement of each sign structure and its copy shall be reviewed and approved by the Director of Planning prior to installation
- e. All kiosks that are to be placed on private property shall be with prior written consent of the property owner, to allow the City, in the event of noncompliance, to enter said property and remove the sign. A copy of said consent shall be filed with the Department of Planning prior to the acceptance of a sign permit application.
- f. A kiosk location plan shall be prepared showing the site of each kiosk and shall be submitted to and approved by the Director of Planning prior to the acceptance of a sign permit application.

- g. Any sign approved for a particular subdivision within EastLake II shall not be changed to another subdivision without prior approval of the Director of Planning.
- h. There shall be no addition, tag signs, streamers, devices, display boards, or appurtenances added to the sign as originally approved. Further, no other directional signing may be used as posters, portable signs, vehicle signs, trailer signs or temporary subdivision (bootleg) signs
- i. All off-site subdivision signs not conforming to this ordinance shall be deemed a public nuisance and removed prior to the program
- j. A three hundred dollar (\$300) cash deposit shall be placed with the City to ensure compliance with this chapter. Any sign placed contrary to the provisions of this chapter may be removed by the City and the cost of removal shall be deducted from said deposit. Additional costs incurred by the City resulting from the removal of illegal signs shall be charged to the developer.
- k. Said sign shall be allowed until the units within the subdivision are sold out, or for a period of twenty-four (24) months, whichever occurs first. Extensions of twelve (12) months may be approved by the Director of Planning

VII 3 Sign Design Standards

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings, or type of business on the site, and to the extent possible, signs located on commercial sites; but in a predominantly residential area, shall take into consideration compatibility with the residential area.

- A. Relationship to Buildings: Signs located upon a lot with only one main building housing the use which the sign identifies, shall be designed to be compatible with the predominant visual elements of the building, such as construction materials, color, or other design details. Each sign located upon a lot with more than one main building, such as a shopping center or other commercial or industrial area developed in accordance with a common development plan, shall be designed to be compatible with predominant visual design elements common or similar to all such buildings or the buildings occupied by the "main tenants" or principal uses.

The Director of Planning may condition approval of any sign to require such visual elements to be incorporated into the design of the sign where such element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings.

- B. Relationship to other signs: Where there is more than one (1) freestanding sign located upon a lot, all such signs shall have designs which are complementary to each other by either similar treatment or incorporation of one (1) or more of the following five (5) design elements:

1. Type of construction materials (such as cabinet, sign copy, supports);
2. Letter style of sign copy;
3. Type or method used for supports, uprights or structure on which sign is supported;
4. Sign cabinet or other configuration or sign area; or
5. Shape of entire sign and its several components

- C. Landscaping: Each freestanding sign shall be located in a planted landscaped area which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting and ground definition to the sign. The planted landscaped area shall be maintained in a neat, healthy and thriving condition

- D. Illumination and Motion: Signs shall be non-moving stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing)

- E. Sign Copy: The name of the business, use, serve and/or identifying logo shall be the dominant message on the sign. The use of advertising information such as lists of products (more than one product), is prohibited

F Relationship to Streets: Signs shall be designed so as not to obstruct any pedestrian, bicyclist or driver's view of right-of-way.

SECTION VIII . OFF-STREET PARKING

VIII .0 Purpose

All regulations set forth in this section are for the purpose of providing convenient off-street parking space for vehicles. The parking requirements of this section are to be considered as the minimum necessary for such uses permitted by the respective zone.

The intent of these regulations is to provide adequately designed parking areas with sufficient capacity and adequate circulation to minimize traffic congestion and promote public safety. It shall be the responsibility of the developer, owner or operator of the specific use to provide and maintain adequate off-street parking.

The provisions and standards set forth in this section apply primarily to non-residential uses. The standards for residential uses are included in Section II 3, Property Development Standards: Residential Districts.

VIII .1 General Provisions

- A Off-street parking facilities, for both motor vehicles and bicycles, shall be provided for any new building constructed, for any new use established, for any addition or enlargement of an existing building or use, and for any change in the occupancy of an exiting building.
- B For additions or enlargement of any existing building or use, or any change of occupancy or manner of operation that would increase the number of parking space required, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval of a Conditional Use Permit.
- C The required parking facilities needed for any development shall be located on the same site, or if an irrevocable access and/or parking easement is obtained, the parking may be on an adjacent site. Property within the ultimate right-of-way of a street or highway shall not be used to provide required parking or loading or unloading facilities.
- D The requirements of this ordinance shall apply to temporary as well as permanent uses.
- E All required off-street parking spaces shall be designed, located, constructed and maintained so as to be fully usable during workday periods or as needed by the use of the premises.
- F Where the application of these schedules results in a fractional space then the fraction shall be rounded to the higher whole number.
- G The parking requirement for uses not specifically listed in the matrix shall be determined by the approval body for the proposed use on the basis of requirements for similar uses, and on any traffic engineering and planning data that is appropriate to the establishment of a minimum requirement.
- H In the calculation of parking requirements for village centers, off-peak hour uses from the normal operating hours of the center shall not be counted toward the parking requirement.
- I In situations where a combination of uses are developed on a site, parking shall be provided for each of the uses on the site according to the schedule given in this section. Where residential and commercial uses are mixed, reduced guest parking may be permitted by the Zoning Administrator in consideration of shared parking with the commercial uses.
- J A maximum of 25 percent (1/4) of the parking spaces required on any site may be provided as "compact" spaces for non-residential uses.
- K Tandem parking shall not qualify as required parking unless specifically approved by the Planning Commission.
- L Required parking may be reduced by the Planning Commission with approval of a Conditional Use Permit.
- M In the VC-5 and BC-4 land use districts, as a condition of any required entitlement or permit, the total number of required parking spaces for a single use or a mix of uses may be satisfied using off-site parking within 500 feet of the subject property(ies) provided:

- i A shared parking agreement is recorded for the duration of the subject uses and need for shared parking
- ii Demonstration of adequate parking for the proposed mix of uses with complimentary parking use patterns via a parking use or needs survey to the satisfaction of the approving agency.

Any use not sufficiently specified herein, as determined by the Director of Planning, or where the parking for a use may require additional detail, the provisions of Title 19 of the Chula Vista Municipal Code relative to parking shall be applied.

VIII . 2 Schedule of Off-street Parking Requirements

| <u>USE</u> | <u>MINIMUM OFF-STREET PARKING REQUIRED</u> |
|---|--|
| A. Administrative and Professional Services | 1 space/300 square feet of gross floor area; minimum of 4 spaces. |
| B. Shopping Centers and General Commercial Uses except as noted below: | 1 space/200 square feet of gross floor area |
| 1. Eating & drinking establishments | 1 space/each 2 5 seats or 1 space/50 square feet of seating area where there are no fixed seats |
| a. Fast food restaurants with drive-in or drive through. | 1 space/each 7 seats plus one (1) space per employee, minimum 15 spaces and an on-site queue line for at least eight (8) vehicles when drive through is included |
| b. Planned Shopping Centers Complexes (VC-1) | 5 spaces per 1000 square feet of building area for all uses (outdoor garden areas and dining patios are not required to provide additional parking). |
| 2. Gasoline dispensing and/or automotive services stations | 2 spaces plus four (4) for each service bay. |
| 3. Appliance and/or furniture stores | 1 space/600 square feet of gross floor area ¹ |
| 4. Hotels and motels | 1 space per unit plus 1 space for every 25 rooms or portion thereof provided on the same lot |
| 5. Auto and/or truck sales | 1/10 the car storage capacity of the facility |
| 6. Medical and dental offices or clinics, veterinary offices or clinics | 1 space/200 square feet of gross floor area; minimum of 5 spaces |
| 7. Commercial recreation facilities ² | |
| a. Bowling alleys, billiard halls | 5 spaces/alley plus 2 for each billiard table plus required parking for other uses on the site |

¹Parking for furniture stores within the BC-4 and VC-5 Districts shall be provided at a rate of 1 space/1,100 square feet of gross floor area.

²Parking may be reduced by Director of Planning when facility is provided as a residential development amenity, recognizing that some local residents will not drive to facilities

| | | |
|---|--|---|
| b | Commercial stables | 1 space/5 horses boarded on-site. |
| c | Driving range (golf) | 1 space/tee plus required parking for any other uses on the site. |
| d | Golf course (regulation) | 6 spaces/hole plus required parking for any other uses on the site |
| e | Miniature golf | 3 spaces/hole plus required parking for any other uses on the site. |
| f | Skating rinks | 1 space/100 square feet of gross floor area. |
| g | Tennis, handball, and racquetball facilities | 3 spaces/court plus required parking for any other uses on the site. |
| h | Theaters | |
| | (1) Motion picture | 1 space/3.5 seats |
| | (2) Playhouse | 1 space/3.5 seats |
| C <u>Public and Semi-Public Uses</u> | | |
| 1 | Day nurseries, day care schools | 1 space/staff member plus 1 space/5 children or 1 space/10 children if adequate drop-off facilities are provided. Drop-off facilities must be designed to accommodate a continuous flow of passenger vehicles to safely load and unload children. The adequacy of drop-off facilities proposed shall be determined by the Director of Planning. |
| 2. | Convalescent and/or nursing homes (congregate care facilities) | 1 space/3 beds |
| 3. | Hospitals | 1.5 spaces/bed |
| 4 | Educational institutions, private | |
| | a Elementary and junior high school | 1 space per employee plus 5 spaces |
| | b. Senior high schools | 1 space per 4 students |
| | c Colleges and vocational schools | 0.5 space/faculty member and employee plus 1 space/3 students. |
| | d Churches, convents, monasteries, other religious institutions, and other spaces of public assembly | 1 space/3.5 seats within the main auditorium or 1 space/45 square feet of gross floor area within the main auditorium where there are no fixed seats. |
| 5 | Public Utilities | To be determined by the Director of Planning |

D. Manufacturing Uses

1. Manufacturing 1 space per 1.5 employees or 1 space/800 square feet of gross floor area devoted to manufacturing plus the required parking for square footage devoted to other uses, whichever is greater Ten (10) percent of the spaces provided must be designed for use by carpools
2. Research and Development 1 space/300 square feet of gross floor area Ten (10) percent of the spaces provided must be designed for use by carpools.
3. Storage 1 space/1,000 square feet of gross area for the first 20,000 square feet devoted to storage plus the required parking for square footage devoted to other use. 1 space/2,000 square feet for the second 20,000 square feet. 1 space/4,000 square feet for area in excess of 40,000 square feet.

E. Single Family Residential and Multiple Family Residential Indicated in their respective land use districts

1. Senior Housing Projects 1 space/bedroom (may be reduced by City Council).

F Handicapped Parking Requirements

Handicapped parking requirements are established by the State of California. The parking standards contained in this section are identical to those established by the State. Any future change in the State handicapped parking standards would preempt the requirements given in this section

1. Handicapped parking for residential uses shall be provided at the rate of one space for each dwelling unit that is designed for occupancy by the handicapped
2. Handicapped parking spaces shall be provided for all uses other than residential at the following rate:

| <u>Number of Automobile Spaces Provided</u> | <u>Number of Handicapped Spaces Required</u> |
|---|--|
| 1 - 40 | 1 |
| 41 - 80 | 2 |
| 81 - 120 | 3 |
| 121 - 160 | 4 |
| 161 - 300 | 5 |
| 301 - 400 | 6 |
| 401 - 500 | 7 |
| Over 500 | 7 + 1 for each 200 additional automobile spaces provided |

3. Handicapped parking spaces required by this section shall count toward fulfilling automobile parking requirements.

G. Bicycle Parking Requirements

The matrix below contains the minimum bicycle parking requirements. Only those uses identified in the matrix are required to install bicycle parking. Bicycle parking facilities shall be stationary storage racks or devices designed to secure the frame and wheel of the bicycle.

| <u>Use</u> | <u>Minimum Bicycle Parking Required</u> |
|---|---|
| 1. Administrative and Professional Services over 20,000 square feet of gross floor area | 5 spaces |
| 2. Shopping centers with 50,000 square feet of gross floor area | 1 space/33 automobile parking spaces required |
| 3. Eating and drinking establishments | 2 spaces |
| a. Fast food restaurants, coffee shops, delicatessens, etc. | 5 spaces |
| 4. Medical and dental offices or clinics, veterinary offices or clinics | 2 spaces |
| 5. Commercial Recreation | 1 space/33 automobile parking spaces required |
| 6. Hospitals | 4 spaces |
| 7. Churches | 4 spaces |

H. Motorcycle Off-Street Parking Requirements

Motorcycle parking areas shall be provided for all uses, except residential, at the following rate:

1. Uses with 20 to 100 automobile parking spaces shall provide one designated area for use by motorcycles
2. Uses with more than 100 automobile parking spaces shall provide motorcycle parking areas at the rate of one motorcycle parking area for every 100 automobile parking spaces provided

VIII.3 Property Development Standards: Off-street Parking

The following property development standards shall apply to all land, buildings, and uses authorized by the Planned Community District Regulations.

A. General Requirements

The following are minimums unless otherwise stated:

1. Residential
 - a. Covered in a garage or carport: 10' x 20' each space
 - b. Uncovered: 9' x 18 5' each space
2. All others shall use Parking Table, on following page.
3. Motorcycle parking space: 4 feet by 8 feet
4. Bicycle parking space: 2 feet by 6 feet.
5. Automobile, handicapped, motorcycle and bicycle: All parking stalls and maneuvering areas shall be paved and permanently maintained with asphalt, concrete, or any other all-weather surfacing approved by the Director of Planning and subject to current city standards
6. Striping and Identification
 - a. Automobile: All parking stalls shall be clearly outlined with double lines on the surface of the parking facility.
 - b. Handicapped: All handicapped spaces shall be striped and marked according to the applicable State standards
 - c. Motorcycle: All motorcycle spaces shall have bollards installed and appropriately spaced to prevent automobile usage of the motorcycle area. Motorcycle spaces shall be marked so that they can be clearly identified for motorcycle usage
 - d. Bicycle: All bicycle spaces shall be clearly identified

B. Special Requirements

1. Any unused space resulting from the design of the parking area shall be used for landscaping purposes
2. All parking lot landscaped islands shall have a minimum inside dimension of four (4) feet and shall contain a twelve (12) inch wide walk adjacent to parking stall and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland cement concrete curb.
3. All landscaping areas shall be irrigated automatically and kept in a healthy and thriving condition free from weeds, debris and trash
4. All parking facilities shall have lighting in accordance with the current City standards. The lighting shall be designed and installed so as to confine direct rays to the site. Parking lot lights shall be a maximum height of eighteen (18) feet from the finished grade of the parking surface and directed away from the property lines
5. All parking facilities shall be graded and drained so as to provide for the disposal of all surface water on the site.

- 6 In any R zone except RC and RM, the parking of motorized and non-motorized vehicles shall be subject to the following requirements:
- a No motorized or non-motorized vehicle shall be parked, stored and kept in the front yard except on land adjacent to the driveway or in the driveway.
 - b If motorized or non-motorized vehicles are to be parked, stored, or kept on the lot, other than as permitted in "a" above, they must be for the personal use of the resident

VIII. 4 Performance Standards: Off-Street Parking

- A All parking facilities required by this ordinance shall be maintained in good operating condition for the duration of the use requiring such facilities. Such facilities shall be used exclusively for the parking of vehicles. The parking facilities shall not be used for the storage of merchandise, or for the storage or repair of vehicles or equipment. Parking facilities shall not be used for the sale of merchandise, except on a temporary basis pursuant to Section VI.0 (Temporary Uses)
- B All shopping centers that use shopping carts shall provide convenient and safe on-site storage areas for the shopping carts.
- C Handicap, motorcycle, and carpool parking areas, when required, shall be located within close proximity of the entrance to the facility.

Parking Table

| A B C D E F G | | | | | | | A B C D E F G | | | | | | |
|---------------|------|------|------|------|------|------|---------------|-------|------|------|------|------|------|
| 0° | 8'0" | 8.0 | 12.0 | 23.0 | 28.3 | -- | 60° | 8'6" | 20.7 | 18.5 | 9.8 | 59.9 | 55.6 |
| | 8'6" | 8.5 | 12.0 | 23.0 | 29.0 | -- | | 9'0" | 21.0 | 18.0 | 10.4 | 60.0 | 55.5 |
| | 9'0" | 9.0 | 12.0 | 23.0 | 30.0 | -- | | 9'6" | 21.2 | 18.0 | 11.0 | 60.4 | 55.6 |
| | 9'6" | 9.5 | 12.0 | 23.0 | 31.0 | -- | | 10'0" | 21.5 | 18.0 | 11.5 | 61.0 | 56.0 |
| 20° | 8'0" | 14.0 | 12.0 | 23.4 | 40.0 | 31.5 | 70° | 9'0" | 21.0 | 19.0 | 9.6 | 61.0 | 57.9 |
| | 8'6" | 14.5 | 12.0 | 24.9 | 41.0 | 32.0 | | 9'6" | 21.2 | 18.5 | 10.1 | 60.9 | 57.7 |
| | 9'0" | 15.0 | 12.0 | 26.3 | 42.0 | 32.5 | | 10'0" | 21.2 | 18.0 | 10.6 | 60.4 | 57.0 |
| | 9'6" | 15.5 | 12.0 | 27.8 | 43.0 | 33.1 | | | | | | | |
| 30° | 8'0" | 16.5 | 12.0 | 16.0 | 45.0 | 37.1 | 80° | 9'0" | 20.3 | 24.0 | 9.1 | 64.3 | 62.7 |
| | 8'6" | 16.9 | 12.0 | 17.0 | 45.8 | 37.4 | | 9'6" | 20.4 | 24.0 | 9.6 | 64.4 | 62.7 |
| | 9'0" | 17.3 | 12.0 | 18.0 | 46.6 | 37.8 | | 10'0" | 20.5 | 24.0 | 10.2 | 65.0 | 63.3 |
| | 9'6" | 17.8 | 12.0 | 19.0 | 47.6 | 38.4 | | | | | | | |
| 45° | 8'0" | 18.2 | 12.0 | 20.0 | 48.4 | 38.7 | 90° | 9'0" | 19.0 | 24.0 | 9.0 | 62.0 | -- |
| | 8'6" | 19.4 | 13.5 | 12.0 | 52.3 | 46.5 | | 9'6" | 19.0 | 24.0 | 9.5 | 62.0 | -- |
| | 9'0" | 19.8 | 13.0 | 12.7 | 52.5 | 46.5 | | 10'0" | 19.0 | 24.0 | 10.0 | 62.0 | -- |
| | 9'6" | 20.1 | 13.0 | 13.4 | 53.3 | 46.5 | | | | | | | |
| 10'0" | 20.5 | 13.0 | 14.1 | 54.0 | 46.9 | | | | | | | | |

***Min. Stall Widths**

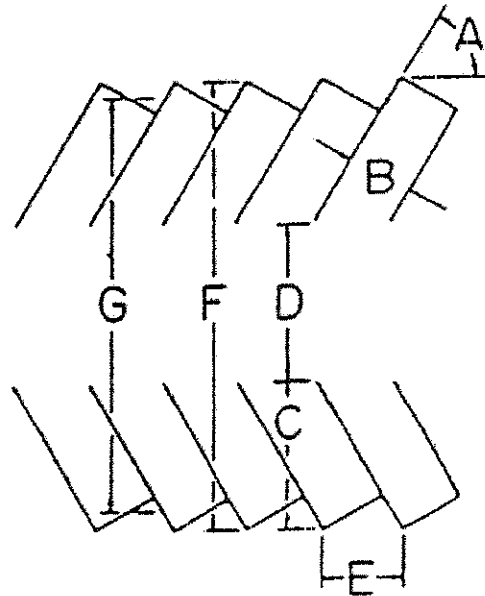
| Std. | Compact | |
|------|---------|-----------|
| 8'0" | 7'6" | = 0°-40° |
| 8'6" | 7'6" | = 41°-60° |
| 9'0" | 7'6" | = 61°-90° |

Average gross area required for parking one car at different angles:

| | | |
|------------------|------------------|------------------|
| 0° = 310 sq.ft. | 30° = 310 sq.ft. | 60° = 260 sq.ft. |
| 10° = 350 sq.ft. | 40° = 280 sq.ft. | 80° = 275 sq.ft. |
| 20° = 400 sq.ft. | 50° = 270 sq.ft. | 90° = 275 sq.ft. |

- *Note: a) Compact space 7½' X 15' - standard.
 b) Add 1' in width for all stalls adjacent to any structures..

- A PARKING ANGLE
- B STALL WIDTH
- C STALL TO CURB
- D AISLE WIDTH
- E CURB LENGTH PER CAR
- F CURB TO CURB
- G STALL CENTER



SECTION IX ADMINISTRATION

IX.0 Purpose

The Land Use District Map and these Planned Community District Regulations shall be administered as provided for herein

IX.1 Standard Procedures

- A. General: The Administrative Procedures, Conditional Uses, and Variances, Chapter 19.14 of the Chula Vista Municipal Code, shall be utilized as applicable to the administration of the Planned Community of EastLake II
- B. High Tech/Bio Tech Zone: Notwithstanding the above provisions, the High Tech/Bio Tech Subcommittee shall act in place of the Planning Commission and Design Review Committee on discretionary applications for high technology, bio technical and bio medical projects located within the High Tech/Bio Tech Zone, as described and established by Ordinance No 2621, in accordance with the authority vested in the High Tech/Bio Tech Subcommittee by said ordinance
- C. Sectional Planning Areas (SPA) and Section Planning Areas Plans (SPA Plans). The administration of SPA Plans shall be as provided for in Section 19.48.090 through Section 19.48.130 inclusive of the Chula Vista Municipal Code, except that the Director of Planning may accept less detail or require additional detail to suit the scope of the SPA

IX.2 Administrative Review

- A. Purpose: Certain uses may vary greatly in its effect depending on the scope, location, or exact circumstances. In order to avoid the permitting of these uses without any formal review, and to relieve the Planning Commission and City Council of formally reviewing uses which have insignificant or compatible effects, an Administrative Review is established.
- B. Application: The Administrative Review is applicable to uses identified on the Permitted Use matrices herein with the symbol "A".
- C. Procedures: The procedure shall be as specified in Section 19.14.030, Zoning Administration - Actions authorized without public hearing, in the Chula Vista Municipal Code; except that in addition, the Zoning Administrator may determine after reviewing the scope, location, or exact circumstances of the proposed use that the formal hearing process of the Conditional Use Permit procedure is warranted. If the Zoning Administrator makes the determination that a Conditional Use Permit is warranted, then the applicant shall be required to comply with the Conditional Use Permit procedures as specified in Sections 19.14.060 through 19.14.110 inclusive in the Chula Vista Municipal Code

IX.3 Site Plan and Architectural Approval

- A. Purpose: The purpose of site plan and architectural approval is to review proposed projects to determine compliance with the provisions of those regulations and to promote orderly and harmonious development with good design character.
- B. Application: This approval process is applicable to projects within all districts except RE and RS districts, where the Tentative Tract Map approval process may be used. Single family detached units on lots exceeding 5,000 sf (including those in the RE or RS districts) may use the Tentative Map to satisfy the Site Plan Review Requirement. Such single family units on lots larger than 5,000 sf may, at the discretion of the developer, apply for Site Plan Review
- C. Procedures: The procedures shall be as specified in Section 19.14.420 through Section 19.14.480 inclusive

IX.4 Other Provisions

In the event that these regulations do not address any particular matter relevant to the proper development and use of property within EastLake II, the provisions of Title 19 of the Chula Vista Municipal Code shall apply

Design Guidelines
for
EastLake Trails

Adopted November 24, 1998

by Resolution No. 19275

Project Sponsor:

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DESIGN GUIDELINES
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II.4.1 INTRODUCTION

II.4.1.1 Purpose

This document is a manual to guide the design of site plans, architecture, and landscape architecture within the EastLake Trails Sectional Planning Area (SPA) of the EastLake Planned Community. It illustrates the master developer's philosophy and commitment to a high quality, planned development program.

These guidelines are being provided to ensure that the quality and fundamental concepts established at the master planning stage are maintained in the final phase of detailed planning and design. This manual includes design concepts to guide specific areas of consideration, but more importantly it establishes a design context within which each element is important to the success of the entire program. Just as the entire community can be impacted by a substandard project, carefully crafted design themes and standards can be compromised by inattention to one element of the overall design program. The purpose of this manual is to ensure that all development within EastLake Trails will maintain a high standard of design through consistency with these published standards to which all project designers are expected to refer. The standards of these guidelines are consistent with those established for previous development phases of the EastLake Planned Community.

While it is the intention of the master developer to allow as much freedom as possible for creative design expression at the parcel and individual project levels, it is sometimes mandatory to precisely control the design of areas critical to the success of the overall community; locations where only a limited number of solutions are acceptable.

II.4.2 DESIGN REVIEW PROCESS

II.4.2.1 Introduction

The design review process includes two integrated procedures: design review and approval by the master developer and review and approval by the City of Chula Vista. Essentially the process requires the builder to formulate the design for his parcel and review it with the master developer prior to formal application and review of final designs by the City. The City of Chula Vista requires Site Plan and Architectural Review, as well as Landscape Review.

Master Developer Review Process

The review requirements of the master developer are intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community. The items to be included in the builder's design submittal package to the Master Developer are covered by private agreements between the builder and developer.

Following acceptance of the builder's schematic design, a continuing exchange of information will be expected as the design is finalized and the City's review process begins. Final, approved plans shall be provided to the master developer for his records.

City of Chula Vista Design Review Process

The requirements of the City are fairly typical and are further detailed below, but each builder should contact the City for current, specific requirements. The design review process with the master developer should be initiated prior to formal review by the City.

The standards and requirements for Site Plan and Architectural Approval shall be as provided for in the EastLake Community District Regulations. Single family detached residential areas with lots 5,000 sf or larger in RS districts may use the tentative tract map with typical building elevations and typical building locations on lots as a substitute for elevations and siting of all buildings. Specific requirements for application and review procedures are published in the City's Zoning Ordinance.

The City has also published a "Landscape Manual" which describes the landscape review process and provides some guidelines for landscape design from the City's perspective. The Manual also includes specific standards for landscape and irrigation improvements.

II.4.2.2 Zoning Administrator Design Review

The Zoning Administrator is authorized to consider and approve, disapprove or modify applications on several subjects as provided in Section 19.14.030 of the Chula Vista Zoning Code, specifically including: Site, architectural, and landscape plan approval.

II.4.2.3 Design Review Committee

The Design Review Committee shall review plans as required by the EastLake Trails Planned Community District Regulations, and as provided for herein. They shall base their findings on the City's Design Manuals and these Design Guidelines. Refer to Sections 19.14.581 through 19.14.600 of the City's Zoning Ordinance for additional information.

II.4.2.4 Appeals

An appeal to the Planning Commission on a decision to the Design Review Committee may be filed within ten days after the decision as provided for in Section 19.14.583 of the City's Zoning Ordinance.

II.4.3 COMMUNITY DESIGN CONCEPT

II.4.3.1 Community Character

The character of the EastLake Planned Community at the broadest level is established by the EastLake General Development Plans and subsequent SPA Plans. During the preparation of these plans, numerous community design features were established or considered. As individual parcels are developed, attention to these pre-established criteria is necessary to successfully execute the intended design. This section is intended to describe and promote the design features of the EastLake Trails SPA Plan and to provide guidance for consistent detailed design.

The primary SPA Plan features which influence the character of the EastLake Trails neighborhood are the land use and circulation patterns (see Site Utilization Plan Exhibit 1). The predominate land use is single family detached residential ranging in density from 3.0 du/ac to 5.0 du/ac. This land use will define the primary character of the neighborhood.

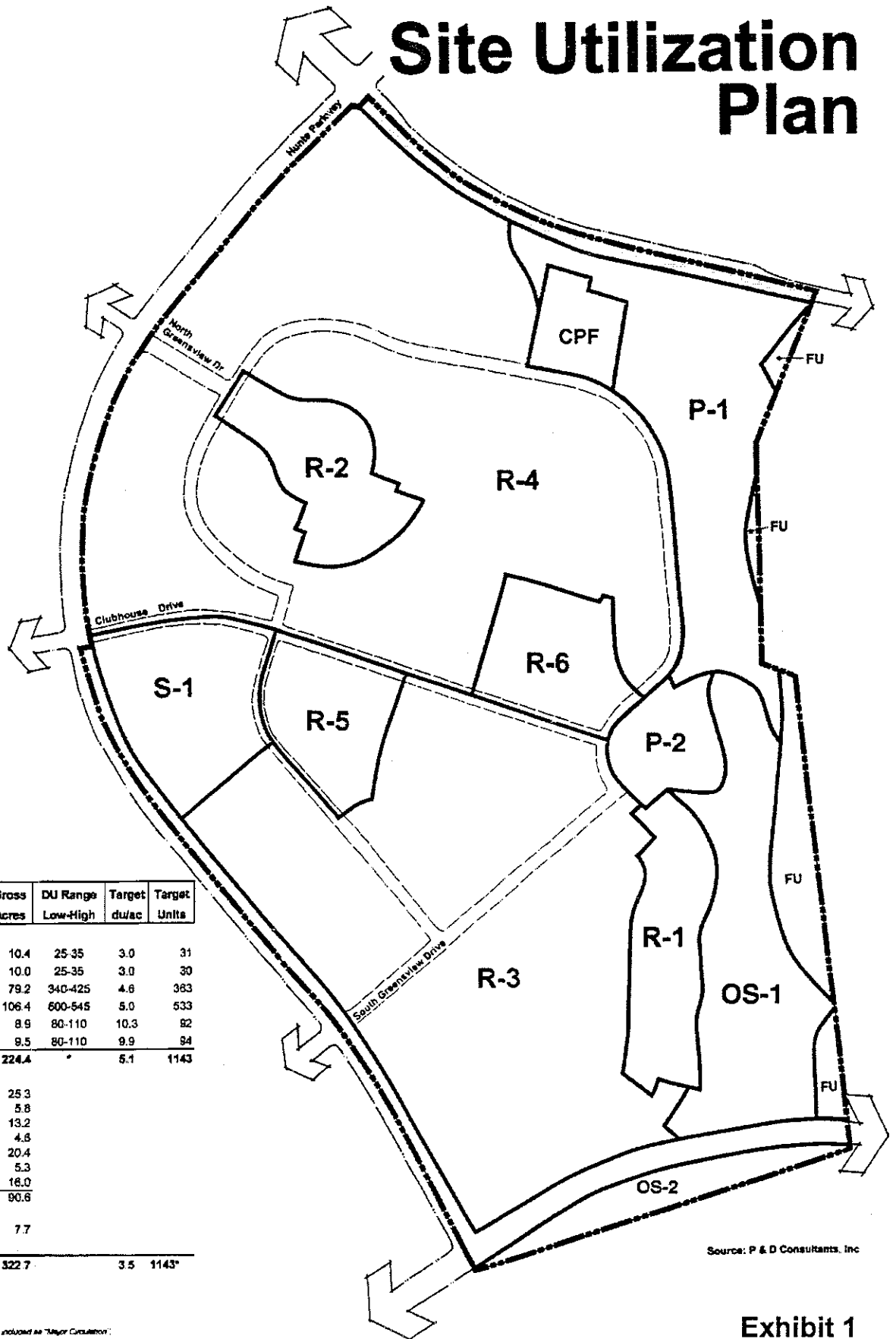
The focal point for the residential project will be the recreation and greenbelt use proposed for Salt Creek which basically forms the eastern edge of the neighborhood. Developed recreation will be concentrated in the private facility (Parcel P-2) and the public park (Parcel P-1). Development along this "green" edge should incorporate physical and visual access to the open area. Arterial roads form the other three edges of the neighborhood which may need buffering or separation from sensitive residential uses. An elementary school site is located along Hunte Parkway on the western edge of the project.

The proposed neighborhood circulation system represents a departure from previous EastLake residential areas. None of the internal streets are designated as collectors. The conceptual street layout is intended to keep traffic at slower speeds and lower volumes to allow driveway access on all internal streets.

A unique feature of the EastLake Planned Community is the Community Trail (Thematic Corridor) which provides a connection between the focal points of each neighborhood within the community. It extends from the Swim Club in EastLake Hills, through the lake and Beach Club area of EastLake Shores, to the Village Center site north of Otay Lakes Road. It continues across the road and through the Activity Corridor area of EastLake Greens along EastLake Parkway, and then through the center of the neighborhood, past the clubhouse area. From this point, it is proposed to extend eastward through EastLake Trails and across Salt Creek to EastLake Vistas. The Community Trail is defined by special landscaping and enhanced trail design.

The primary design influences on the EastLake Trails SPA are described in Section II.2.2 of the SPA Plan and the Community Structure, Exhibit 2 in this chapter.

Site Utilization Plan



| Parcel NO. | Land Use | P.C Dist. | Gross Acres | DU Range Low-High | Target du/ac | Target Units |
|------------------------|--------------------|-----------|--------------|-------------------|--------------|--------------|
| RESIDENTIAL | | | | | | |
| R-1 | Low - SFD | RS | 10.4 | 25-35 | 3.0 | 31 |
| R-2 | Low - SFD | RS | 10.0 | 25-35 | 3.0 | 30 |
| R-3 | Low Med - SFD | RP | 79.2 | 340-425 | 4.6 | 363 |
| R-4 | Low Med - SFD | RP | 106.4 | 600-545 | 5.0 | 533 |
| R-5 | Medium - SFD/SFAMF | RC | 8.9 | 80-110 | 10.3 | 92 |
| R-6 | Medium - SFD/SFAMF | RC | 9.5 | 80-110 | 9.9 | 94 |
| Sub-total | | | 224.4 | | 5.1 | 1143 |
| NON-RESIDENTIAL | | | | | | |
| P-1 | Public Park | OS-4 | 25.3 | | | |
| P-2 | Private Recreation | OS-4 | 5.8 | | | |
| S-1 | Elementary School | PQ-1 | 13.2 | | | |
| CPF | CPF Site | CPF | 4.6 | | | |
| OS-1 | Open Space | OS-7 | 20.4 | | | |
| OS-2 | Open Space | OS-7 | 5.3 | | | |
| Cir. | Major Circulation | | 16.0 | | | |
| Sub-total | | | 90.6 | | | |
| FU | Future Urban | FU | 7.7 | | | |
| SPA TOTAL | | | 322.7 | | 3.5 | 1143* |

*Maximum number of units permitted is 1143.

as:
Streets indicated by dashed lines are conceptual and are not included as "Major Circulation".

2. FU (Future Urban) designation is intended to be determined with the EastLake VIOMA SPA

Source: P & D Consultants, Inc

Exhibit 1

EastLake Trails
A Planned Community by The EastLake Company



Cinti
Land Planning
San Diego, CA (619) 223-7408
Date: 9-18-98

Community Structure



Clubhouse Drive/
Thematic Corridor



View
Opportunities



Development
Area



Elementary
School
Site



Activity
Node



Focal Point



Community
Penetration Point



Open Space
View Windows



Parks/
Greenbelt



Open Space/
Mitigation Area

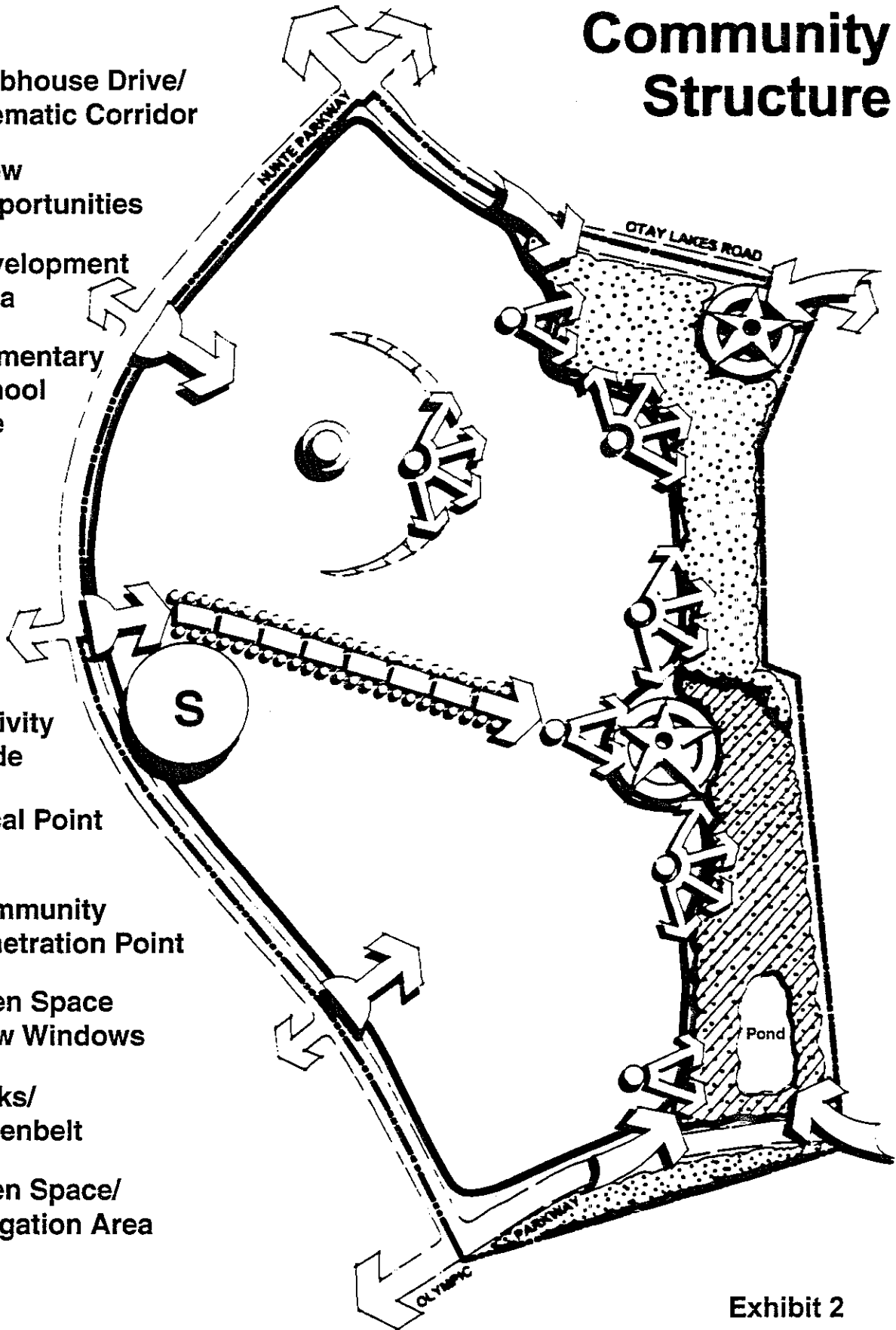


Exhibit 2

II.4.3.2 Community Landscape Design

The purpose of the General Landscape Concept is to establish the overall landscape treatment of the project. Various entities will be responsible for the planning and implementation of landscape improvements; therefore, this plan will provide the guidance necessary to achieve a visually compatible landscape.

The concept will provide a general design framework which allows latitude and flexibility to each individual project while maintaining the overall goals and objectives of the community.

Landscape will reinforce the design patterns established by the Land Use Plan. Prominent features such as the Salt Creek corridor and recreation areas, residential district, landmarks, paths and edges will be defined through the use of plant materials. Generally, trees and landscape intensity zones will be used to establish distinct identity, visual continuity, order and contrast.

Landscape Concept

The components of the General Landscape Concept include:

Trees

- Districts - Each district or neighborhood shall have a dominant theme tree and supplemental tree. Districts include the Salt Creek Recreation Corridor District and the Residential District.
- Paths - Landscaping of paths will provide visual continuity throughout the community and create the appropriate link to adjacent areas. The hierarchy of paths is as follows:

The Thematic Corridor (Community Trail) provides the common thread to link the various community elements. The thematic corridor will have its own dominant tree. The thematic corridor tree is *Populus Fremantii* "Nevada Western Cottonwood" - male species.

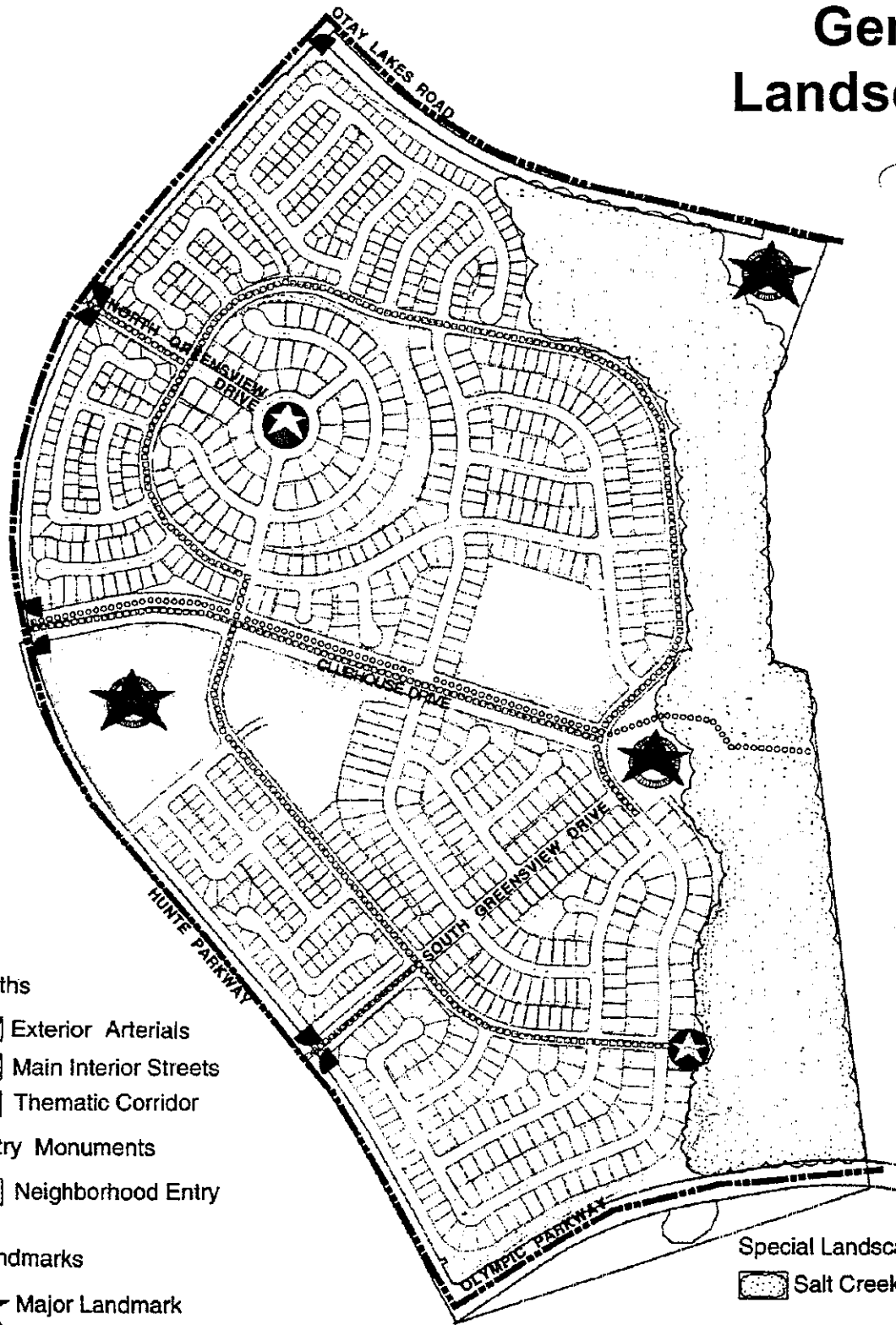
Major arterials (e.g., Otay Lakes Road, Hunte Parkway, and Olympic Parkway). A separate dominant tree will be used in the median and parkways of each.







Major internal streets within a district. The dominant tree selected for the district will apply.



Supplemental trees may be introduced to provide contrast and a transition into surrounding areas. This landscape approach will provide strong visual directions and connections throughout the site, while providing the necessary contrast to create an interesting experience as one travels through the community.

- Edges - Edges will be strongly defined by landscaping. This will create the appropriate delineation of the residential district to the Salt Creek Corridor.
- Entries - These are common points of entry and significant intersections. A tree which differs from the adjacent path and district trees will be used to provide a distinct accent statement and sense of arrival at entries. The hierarchy of entries is as follows:
 - Neighborhood Entry - *Schinus molle* "California Pepper"
 - Specific Site Entry - To be selected from the recommended plant list.
- Landmarks - Each landmark, whether major or minor, will have a distinct landscape character (similar to the district concept). As an example, all parks may have a common theme tree, so that parks are easily recognized and highlighted throughout the community

General Landscape Plan



- Paths**
-  Exterior Arterials
 -  Main Interior Streets
 -  Thematic Corridor
- Entry Monuments**
-  Neighborhood Entry
- Landmarks**
-  Major Landmark
 -  Minor Landmark

-  Special Landscape Zone
-  Salt Creek Corridor

Source: ONA, Inc.

Exhibit 3

EastLake Trails
A Planned Community by The EastLake Company



EastLake Trails Plant Materials List

| TREES | | Ornamental | Drought Tolerant | Naturalized |
|--|----------------------------|------------|------------------|-------------|
| BOTANICAL | COMMON | | | |
| <i>Albizia julibrissin</i> | Silk Tree | X | | |
| <i>Arbutus unedo</i> | Strawberry Tree | | X | X |
| <i>Cinnamomum camphora</i> | Camphor Tree | X | X | |
| <i>Cassin leptophylla</i> | Gold Medallion Tree | X | X | |
| <i>Cercis Occidentalis</i> | Western Redbud | | X | X |
| <i>Cupaniopsis anacardioides</i> | Carrotwood | X | | |
| <i>Fraxinus uhdei</i> | Evergreen Ash | X | | |
| <i>Eucalyptus species</i> | | | X | X |
| <i>Geijera parvifolia</i> | Australian willow | X | X | |
| <i>Jacaranda mimosifolia</i> | Jacaranda | X | X | |
| <i>Koelreuteria bipinnata</i> | Chinese Flame Tree | X | X | |
| <i>Lagerstroemia indica</i> Mildew | Crape Myrtle | X | X | |
| <i>Liquidambar styraciflua</i> "Palo Alto" | American Sweetgum | X | | |
| <i>Malaleuca quinquenervia</i> | Cajeput Tree | X | X | |
| <i>Metrosideros excelsus</i> | New Zealand Christmas Tree | X | X | |
| <i>Pinus species</i> | | X | X | X |
| <i>Platanus racemosa</i> | California Sycamore | X | X | |
| <i>Podocarpus gracillior</i> | Fern Pine | | X | X |
| <i>Populus fremontii</i> male species | Poplar | X | X | |
| <i>Populus nigra</i> "Italia" | Lombardy Poplar | X | X | |
| <i>Pyrus calleryana</i> "Aristocrat" | Ornamental Pear | X | | |
| and "Bradfordii" | | | | |
| <i>Quercus agrifolia</i> | Coast Live Oak | | | X |
| <i>Quercus ilex</i> | Holly Oak | X | X | |
| <i>Sambucus mexicana</i> | Blue Elderberry | | X | X |
| <i>Schinus molle</i> | California Pepper | X | X | X |
| <i>Tristania Conferta</i> | Brisbane box | X | X | |
| <i>Tabebuia chrysotricha</i> | Golden Trompet tree | X | | |

EastLake Trails Plant Materials List

SHRUBS

| | | Ornamental | Drought Tolerant | Naturalized |
|--------------------------------------|--------------------|------------|------------------|-------------|
| BOTANICAL | COMMON | | | |
| <i>Pumbago auriculata</i> | Cape Plumbago | X | X | |
| <i>Podocarpus species</i> | Yew Pine | X | | |
| <i>Ptonus ilicifolia</i> | Catalina Cherry | | X | X |
| <i>Pyracantha species</i> | Firethorn | X | X | |
| <i>Raphiolepis indica</i> | India Hawthorn | X | X | |
| <i>Rhamnus laurina</i> | Laurel Sumac | | | X |
| <i>Ribes species</i> | | | | X |
| <i>Rommeya coulteri</i> | Matilija Poppy | | | X |
| <i>Rosmarinus officinalis</i> | Rosemary | X | X | |
| <i>Salvia species</i> | Sage | | X | X |
| <i>Simmondsia chinensis</i> | Bladderpod | | | X |
| <i>Tecomaria capensis</i> | Cape Henesysuckle | X | X | |
| <i>Viburnum species</i> | Viburnum | X | | |
| <i>Xylosma congestum</i> | Xylosma | X | X | |
| <i>Parthenocisus jasminoides</i> | Star Jasmine | X | | |
| <i>Wisteria species</i> | Wisteria | X | X | |
| <i>Abelia grandiflora</i> | Glossy Abelia | X | X | |
| <i>Agapanthus africanus</i> | Lily of the Nile | X | | |
| <i>Arbutus unedo</i> | Strawberry Tree | X | X | |
| <i>Arctostaphylos species</i> | Manzanita | | X | |
| <i>Artemisia species-low growing</i> | Varies | | X | X |
| <i>Artiplex semibaccata</i> | Salt Bush | | X | X |
| <i>Baccharis pilularis</i> | Dwarf Coyote bush | | X | X |
| <i>Buxus sempervirens</i> | Boxwood | X | | |
| <i>Callistemon citrinus</i> | Bottlebrush | X | X | |
| <i>Ceanothus species</i> | Wild Lilac | | X | X |
| <i>Cistus species</i> | Rockrose | | X | X |
| <i>Coprosma kirkii</i> | No common name | X | X | |
| <i>Cotoneaster species</i> | Cotoneaster | X | X | |
| <i>Dodonaea viscosa</i> | Hopseed Bush | X | X | |
| <i>Echium fastuosum</i> | Pride of Madeira | X | X | |
| <i>Elaeagnus pungens</i> | Silverberry | X | X | |
| <i>Encelia californica</i> | California encelia | | | X |

EastLake Trails Plant Materials List

| SHRUBS | | Ornamental | Drought Tolerant | Naturalized |
|-------------------------|----------------------|------------|------------------|-------------|
| BOTANICAL | COMMON | | | |
| Eriogonum fasciculatum | Common Buckwheat | | | X |
| Escallonia species | Escallonia | X | X | |
| Feijoa sellowiana | Pineapple Guava | X | X | |
| Hebe 'Coed' | Hebe | X | | |
| Hemerocallis hybrids | Daylily | X | | |
| Heteromeles arbutifolia | Toyon | X | X | X |
| Juniperus species | Juniper | X | | |
| Lantana montevidensis | Lantana | X | X | |
| Leptospermum scoparium | New Zealand Tea Tree | X | X | |
| Limonium perezii | Statice | X | X | |
| Muhlenbergia rigens | Deer grass | X | X | |
| Nandina domestica | Heavenly Bamboo | X | X | |
| Nerium oleander | Oleander | X | X | |
| Phormium tenax | New Zealand Flax | X | X | |
| Photina species | Photinia | X | X | |
| Pittosporum tobira | Mockorange | X | X | |

GROUNDCOVERS

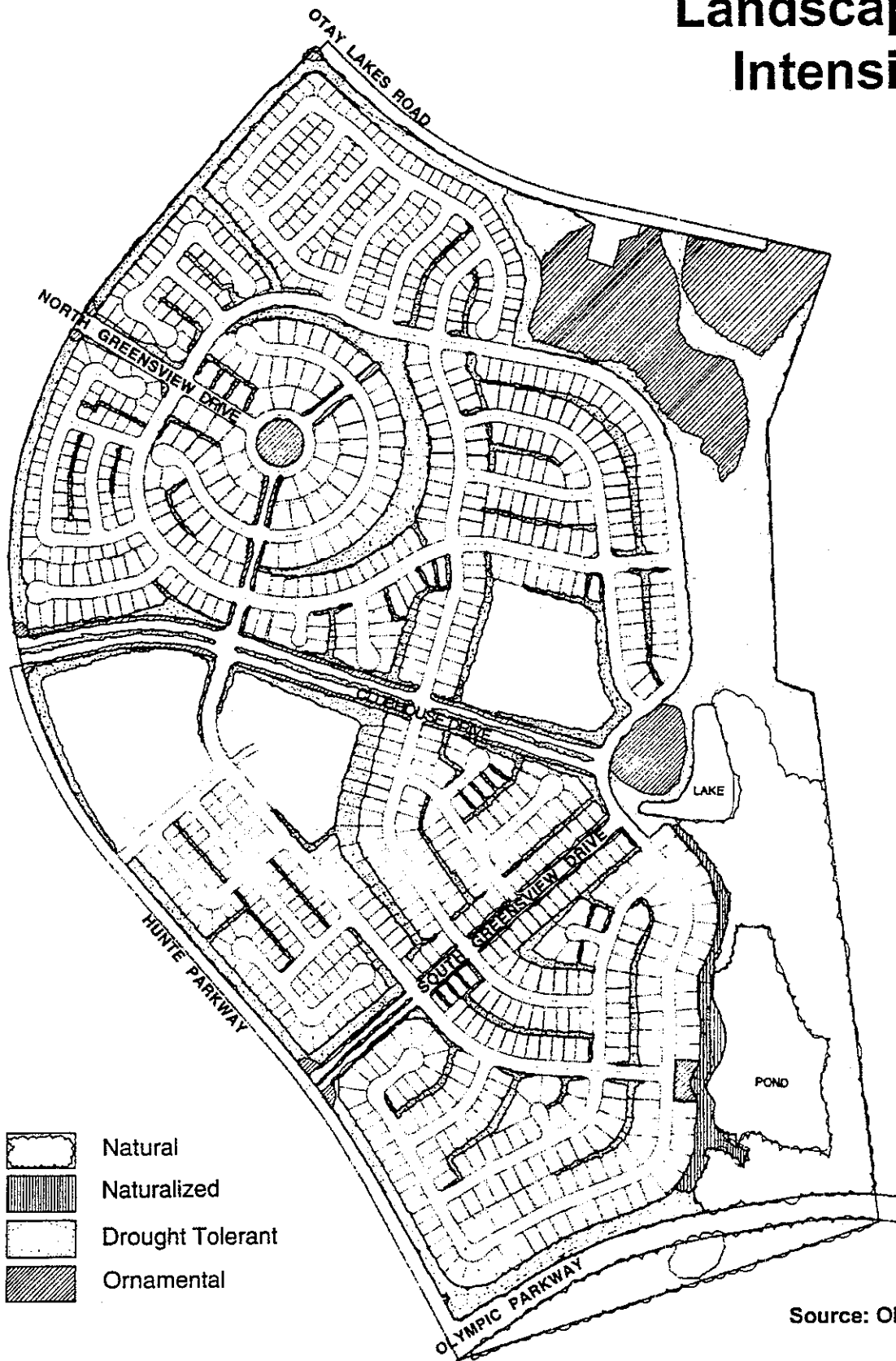
| | | | | |
|---|---------------------|----------|----------|----------|
| Arctotheca calendula | Cape Weed | X | X | |
| Baccharis pilularis 'twin Peaks' and 'Pidgeon Point' | Dwarf Coyote Bush | X | X | X |
| Cerastium tomentosum | Show in Summer | X | | |
| Gazania species | Gazania | X | X | |
| Hedera Helix | English Ivy | X | | |
| Hydroseed mixes(vary) | Subject to approval | | X | X |
| Iceplant species | Iceplant | X | X | |
| Lantana montevidensis | Lantana | X | X | |
| Myoporum pacificum | Myoporum | X | X | |
| Pelargonium pelatum "Balcan" | Ivy Geranium | X | | |
| Rosmarinus officinalis 'Prostratus' | | X | X | |
| Santolina species | Santolina | X | X | |
| Verbena hybrids | Verbena | X | X | |
| Vinca species | Vinca | X | | |





Landscape Intensity Zones

The entire EastLake Community shall be designed to include a well-balanced landscape palette. Plant material intensity classifications will vary from ornamental areas to natural areas. These classifications are mapped in the Landscape Intensity Plan and are generally described as follows (see exhibit):

- Native Areas - These are existing vegetated areas undisturbed by construction operations. Natural rainfall only is required for irrigation. Periodic clean-up and grubbing of seasonal growth may be required.
- Naturalized Areas - These are newly planted areas provided with temporary irrigation systems. Once plants become established, they shall be capable of surviving with no artificial irrigation.
- Drought Tolerant Areas - These are newly planted areas provided with permanent irrigation systems. Water demand will be low, requiring substantially less irrigation than ornamental areas, but will require regular maintenance and watering.
- Ornamental Areas - These are areas and corridors with a high degree of visual impact. Plant materials will require regular maintenance and watering. Lawn is included in this zone.

Landscape Intensity



-  Natural
-  Naturalized
-  Drought Tolerant
-  Ornamental

Source: ONA, Inc.

Exhibit 4

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9-28-98



- Fire Retardant/Fuel Modification Areas - These are areas between Native/Naturalized areas and improved properties and structures. These areas shall conform to Chula Vista Fire Department policies. This area will consist of clearing of natural brush and planting of fire retardant plant material where deemed necessary. Planting may be done in random patterns.

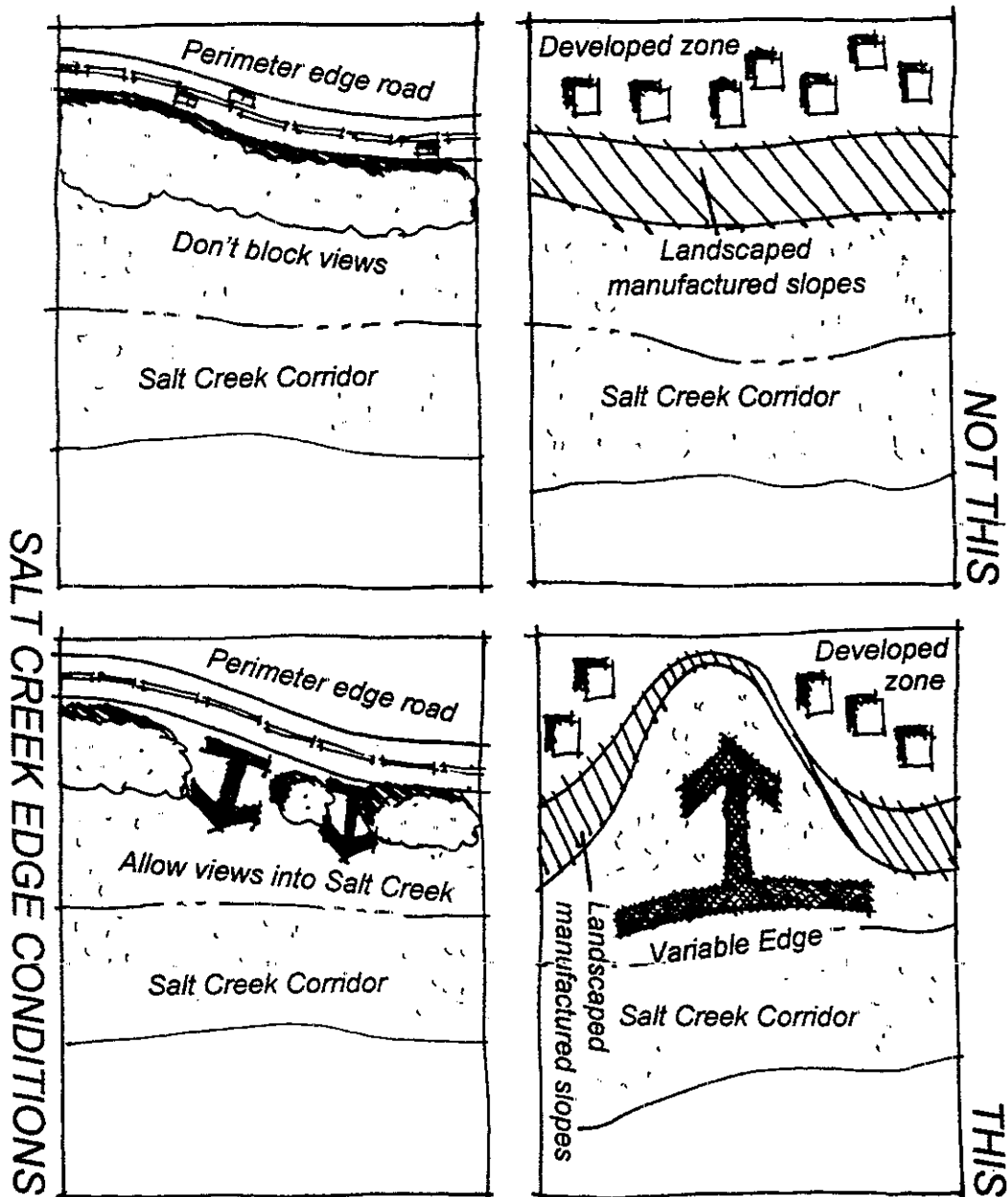


Exhibit 4

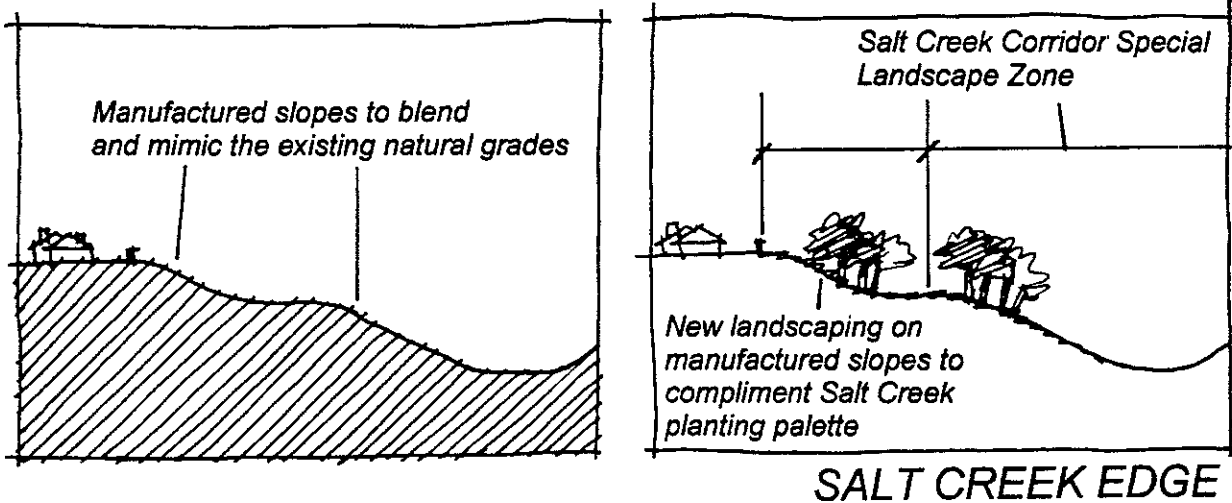
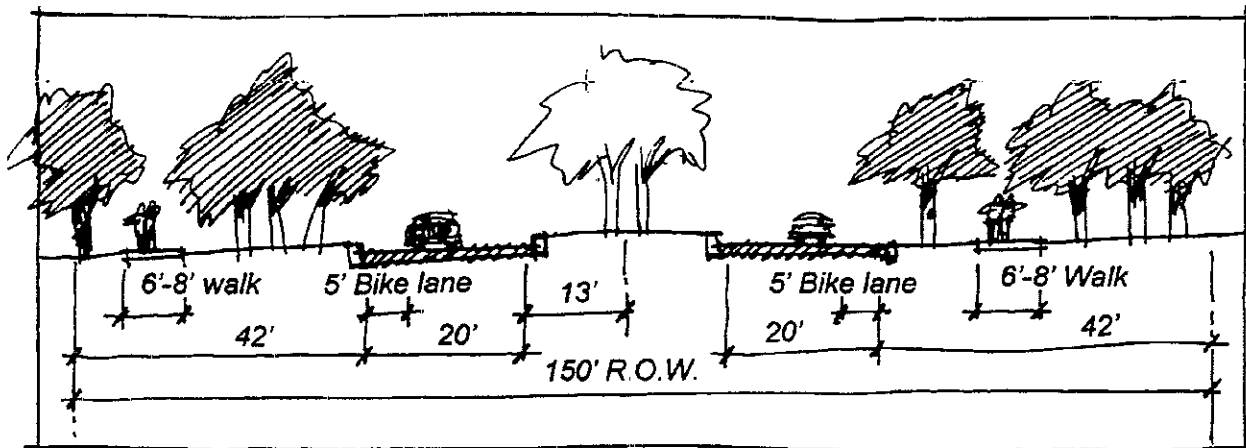


Exhibit 5

Street Landscaping

Entries, median plantings, parkways, walls and special features will be designed for a harmonious relationship. These elements will correspond to City requirements and project the upgraded image



THEMATIC CORRIDOR

Exhibit 6

of the EastLake Greens Community.

Slope/Erosion Control

The general intent of the slope erosion control program is to protect newly created slopes or denuded areas from erosion or unsightliness. Dust abatement is also a concern. All slope erosion control planting shall conform to the requirements of the City of Chula Vista Landscape Manual

and the City Landscape Architect.

Generally, five types of erosion control planting may exist subject to the direction and approval of the City of Chula Vista:

- Type 1 -These are permanent slope areas where permanent automatic irrigation systems, trees, shrubs and ground covers are required.
- Type 2 - These are permanent individual homeowner lot slopes where permanent manual irrigation systems, trees, shrubs and/or ground covers are required.
- Type 3 - These are permanent slope areas to be naturalized. One-gallon trees and shrubs with hydroseeded ground cover will be required. Irrigation requirements will be at the direction of the City of Chula Vista. Options are as follows:
 - No irrigation
 - Permanent automatic irrigation systems
 - Temporary automatic or manual systems
- Type 4 - These are fire retardant slopes where fire retardant plant materials are used between structures and native or naturalized slopes.
- Type 5 - These are temporary slopes or flat areas where hydroseed shall be installed during the rainy season. No irrigation is required. Plant materials should vary in height and be planted informally to soften the slope and avoid a hard edge.

Landscape and Irrigation Standards

Standards have been established for the planning of irrigation systems and landscaping. Some of these are municipal standards, while others are specific to the EastLake Community. The City of Chula Vista has specific standards in its Landscape Manual which must be met by all projects. Additionally, the Planning Department may have specific standards related to each individual project. The EastLake Development Company has specific standards in those common areas where the EastLake Community Association will assume eventual maintenance responsibility.

Landscape Standards

- Streetscape and common area landscape shall be planted to the following minimum standards:

- Ground covers shall be used to eventually cover the entire planting area (flatted material at the appropriate spacing or hydroseed at naturalized areas with City and Master Developer approval).
 - Spreading shrubs shall be used to eventually cover a minimum of fifty percent (50%) of the area at mature growth. Shrub and ground covers shall be selected subject to approval
 - Tree plantings shall consist of the designated dominant, accent and other approved trees (subject to City and Master Developer approval).
 - All trees will be staked in accordance with the City Standard detail. Type, size and installation of trees in the City right-of-way are subject to City approval.
 - Agricultural suitability tests shall be completed for each landscape project. Soil amendment and leaching recommendations by an independent laboratory shall be implemented.
- Irrigation Standards
 - All irrigation systems shall conform to the requirements of City of Chula Vista, Otay Water District, County of San Diego - Department of Environmental Health, and The EastLake Company.
 - Irrigation systems shall be designed to allow separate areas of maintenance responsibility. For example, separate systems and meters for:
 - EastLake Community Association
 - Private homeowners' or business owners' association
 - Private entity
 - Governmental agency
 - Open space maintenance assessment district
 - Private individual
 - Other
 - Open space maintenance district irrigation shall be coordinated with the City of Chula Vista. The system shall conform to standard equipment and installation techniques.
 - Equipment shall be located and installed to minimize negative visual impact. Low precipitation sprinkler heads should be utilized for optimum coverage and maximum water conservation.

- All irrigation systems shall be fully automatic with the exception of individual homeowner properties.

Landscape Maintenance

- All landscape maintenance shall conform to the City Landscape Manual, community requirements and project CC&R's.
- Maintenance is divided into the following categories of responsibility:
 - Individual property ownership
 - Neighborhood association
 - Community association
 - Governmental agency
 - Maintenance assessment district
- In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction of multi-family, planned unit development and unclassified uses shall be landscaped in accordance with a City approved landscape plan, subject to City inspection of adequate maintenance levels.

II 4.3.3 Community Fencing

One of the most dominant visual elements of a community is its fencing. It is essential for this element to be aesthetically pleasing and provide continuity in design to unify the various architectural styles within individual neighborhoods into a single community theme.

Fences and walls can serve many functions including security, identity, enclosure, privacy, etc. However care must be exercised in the design of fencing in order to avoid long, boring or awkward sections of fencing. It is intended that the available fencing types be combined to attract interest and provide variety. Using a combination of open and solid styles, changing angles and directions is encouraged. Long straight runs of a single fence style is monotonous and inappropriate.

The elevations of the EastLake Planned Community fencing program are sketched below. These are to be used for all fencing indicated on the Fencing Plan. Fencing for townhome and multi-family projects are not specified on the Fencing/Entries Plan (Exhibit 5), because the placement of such fences will be a design detail of each individual site plan in these areas. However, any fencing proposed in these attached residential neighborhoods shall use the same fencing style as indicated for the single family detached areas. The pilaster serves as the unifying design element among the different fence types and will establish the theme for community fencing.

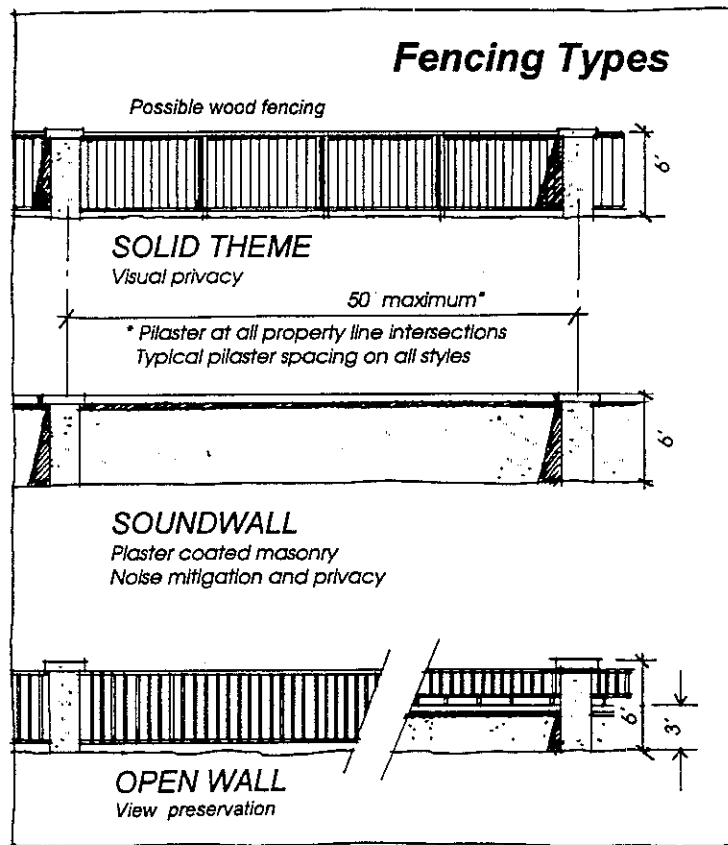


Exhibit 7

Fencing Plan



Solid Theme Wall



Open Theme Wall
(subject to sound attenuation requirements)



Possible Open Theme Wall

Note: The subdivision concept and the location/type of fencing is conceptual and subject to change.

EastLake Trails
A Planned Community by The EastLake Company

Exhibit 8



Each type of fence serves a particular purpose. The sound wall is a masonry wall intended to provide noise mitigation and privacy. The solid theme wall is used where visual privacy is needed, but protection from the noise of arterial highways is not important. This wall uses a pilaster similar to the sound wall, but may use fence boards between. An open wall is used where a physical barrier is needed, but a view needs to be preserved. Within EastLake, wrought iron fencing between the theme pilasters is proposed as the open wall. Pilasters should be provided at each property line intersection or at a typical spacing of approximately 50 feet.

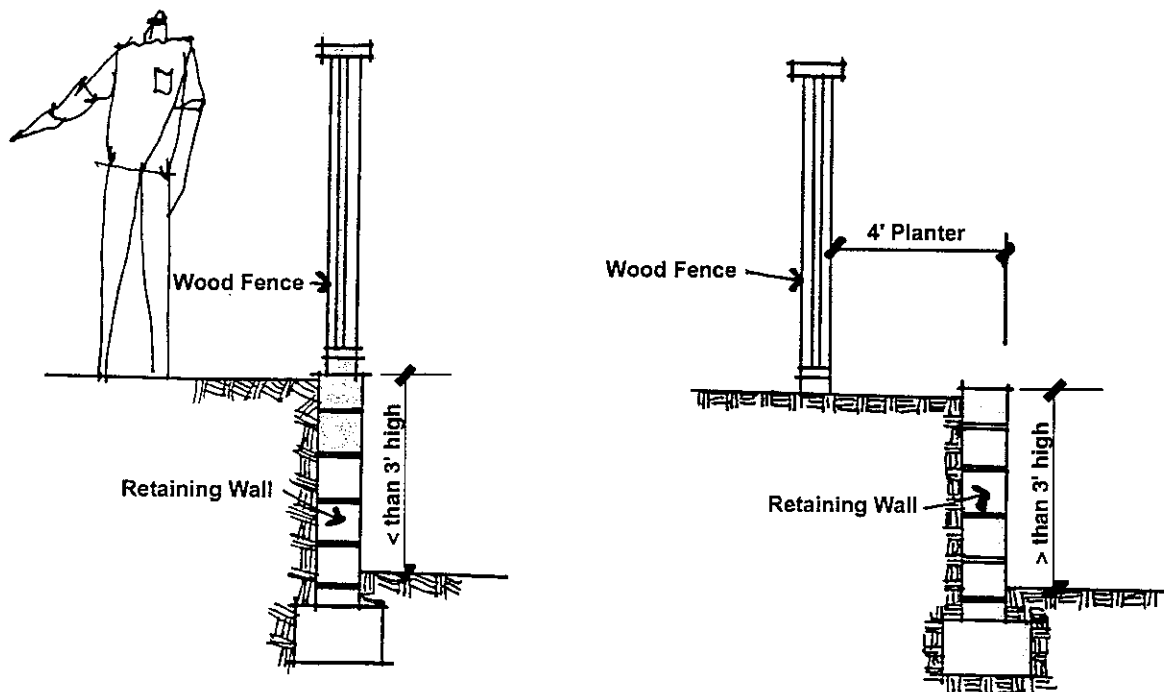
Exterior fences should be designed and placed according to the following guidelines:

1. Walls should be made of a textured surface material that is compatible with the design of the neighborhood area.
2. The monotony of a long wall should be broken by visual relief through periodically recessing the wall or constructing pilasters.
3. Landscaping, such as trees, shrubs or vines, should be used to soften the appearance of the wall.
4. Walls which serve as a subdivision exterior boundary should be up to six feet in height from the highest finished grade.
5. Walls used as rear or side yard walls should be constructed up to six feet in height depending upon the conditions that exist.
6. Combined solid fencing, walls and open fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation.
7. Fencing design should avoid long continuous runs. Jogging the fence line to avoid monotony is encouraged.
8. Sound wall fencing, where required, should be used to mitigate adverse noise impacts on residential units.
9. Landscape planting should be used to supplement and soften fencing and obscuring long lengths of fence with vines and shrubs is encouraged.

Combined Wall and Fence Guidelines

The combining of a conventional fence on top of a retaining wall can result in combined wall height that is not desirable. The combining of walls is generally discouraged. Where necessary, it shall be within the combined limits indicated in the sketch below.

Combined Wall and Fence



II.4.3.4 Community Signing

The purpose of a planned sign program is to provide a continuity of design which will contribute to an integrated, well-planned, high quality environment. All signs with the EastLake Trails SPA will be designed and constructed in accordance with the standards of the comprehensive sign program which has been prepared for the EastLake Planned Community. Community and neighborhood entry sign locations are identified in Exhibit 5.

Permanent signs include:

1. Community Entry - Entry sign should be a large scale, monument type sign, creating a major statement. Materials used should be compatible with landscape

and hardscape elements. Entry sign could be illuminated

2. Neighborhood Entry - Neighborhood entry sign should relate its use of materials and styling to the neighborhood thematic treatment.
3. Identification Sign (for parks, libraries, schools, etc.) - Sign should be low key, monument type sign, with single or double face. Materials will be consistent with the thematic treatment for the major neighborhood or district in which it exists.
4. Street Name Sign - A sign to identify street names and inform the viewer shall be provided consistent with the standards of the City of Chula Vista.
5. Community Trail Sign - A sign to identify and direct traffic, vehicular and pedestrian, to special community trails such as bicycling and jogging. Form should be small scale, freestanding, consistent with community signs.

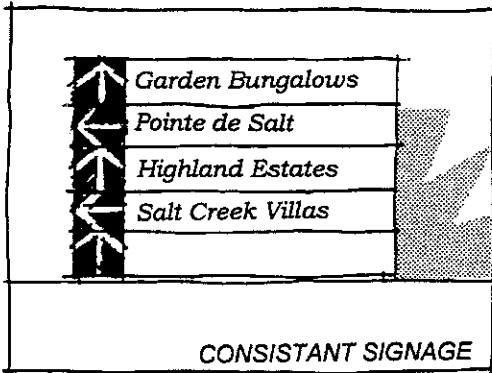
Temporary signs will be used to identify and direct traffic to specific neighborhoods and products during construction and sales periods. These signs will be subject to permit approval for specified periods of time.

Temporary signs include:

1. Neighborhood/Product Directional Sign - A sign to direct vehicular traffic to specific neighborhoods and/or products in the context of the merchandising program. Constructed of painted plywood panels on wood support posts.
2. Product Identification Sign - A sign to identify a specific residential product, sales complex or information center.
3. Secondary Directional Sign - A small sign to direct the viewer to specific areas within a product such as parking, sales office and models.
4. Future Facility Sign - A sign which informs the viewer, through symbol and verbal reinforcement, of the various future building sites in EastLake indicating opening dates, building names and phone numbers. They consist of painted plywood sign panels supported on wood posts.

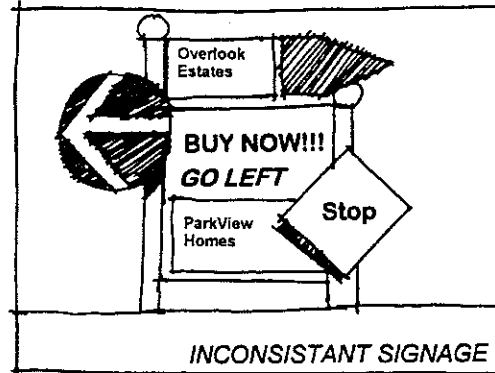
Graphic and construction standards for each of these sign types have been specified by the Master Developer. The following illustrations provide some common sense guidance in the design of signs; additional, more specific sign regulations will be implemented by the master developer. Within the EastLake II PC Regulations, Section VII - Comprehensive Sign Regulations should be consulted for specific sign restrictions (e.g., sizes, permit requirements, prohibitions, etc.)

THIS



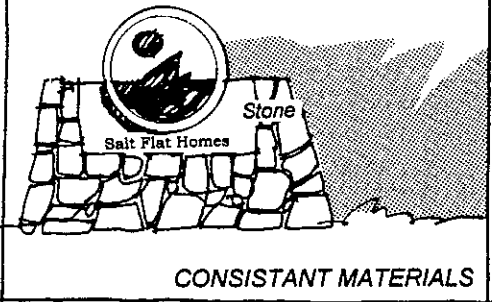
CONSISTANT SIGNAGE

NOT THIS



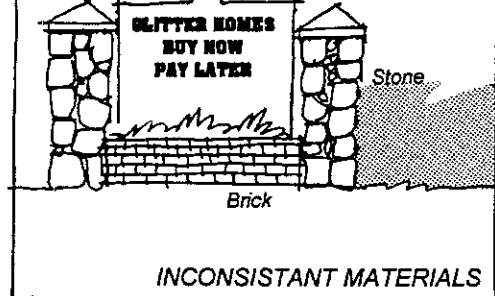
INCONSISTANT SIGNAGE

Sandblasted painted wood sign

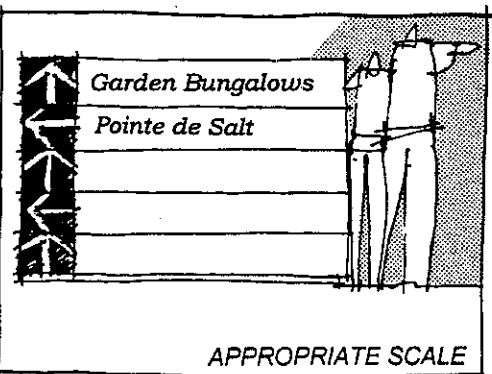


CONSISTANT MATERIALS

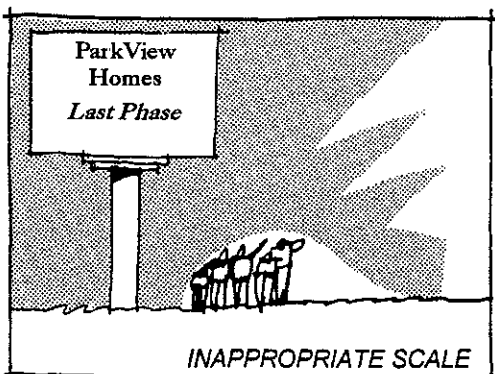
Plexiglas Concrete



INCONSISTANT MATERIALS



APPROPRIATE SCALE



INAPPROPRIATE SCALE

Exhibit 10

II.4.3.5 Community Lighting

The design issue of "lighting" includes street lighting, as well as, building and landscape accent lighting, and sign illumination. Three basic principals should be considered in the provision of lighting:

1. Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures should relate to the human scale especially in pedestrian areas.
3. Lighting and lighting fixtures should complement the design and character of the environment in which they are placed.

All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.

Lighting for community facilities and recreation areas shall be considered as an element of Site Plan Review. Any such lighting which will illuminate a residential area past the hour of 10:00 p m shall be clearly identified on the site plan.

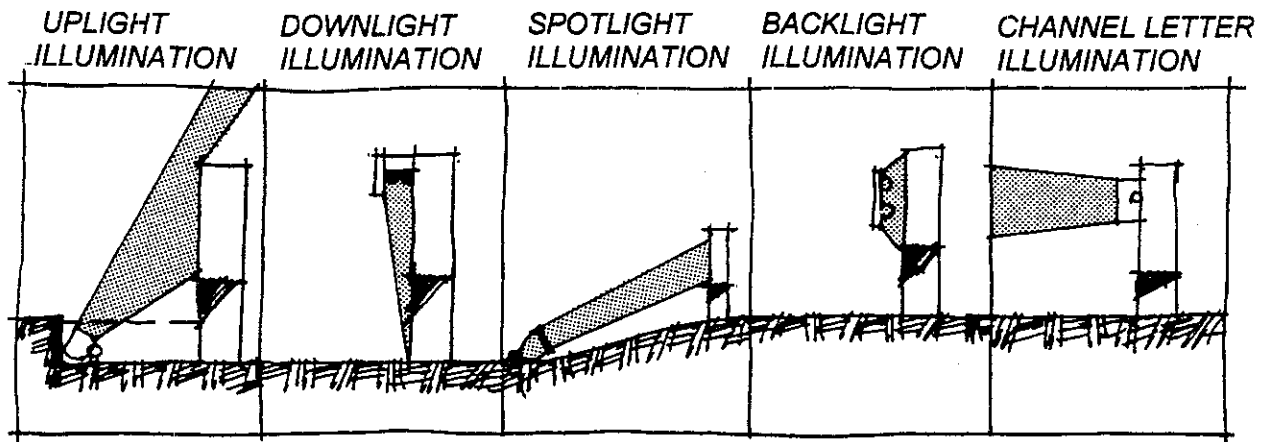
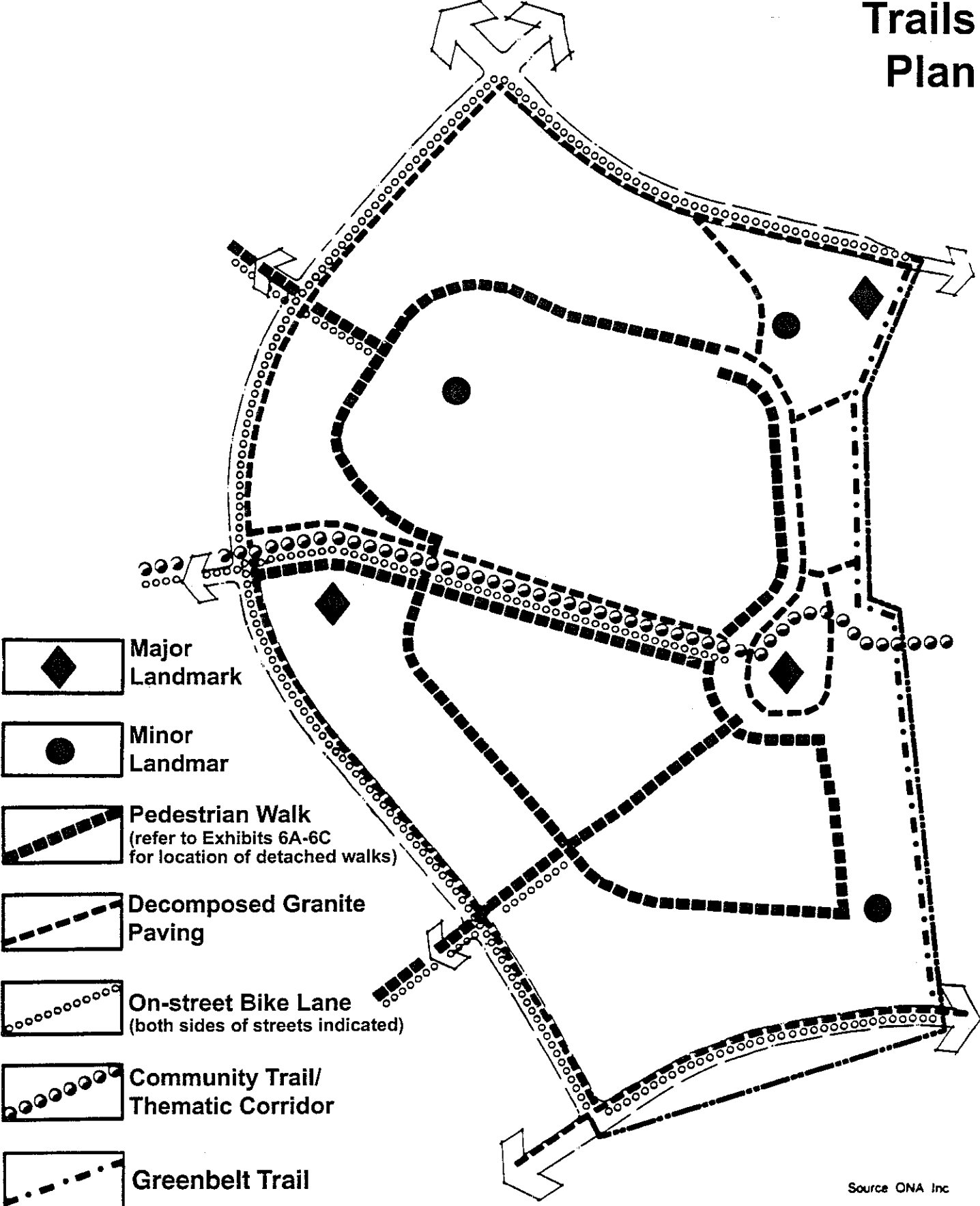






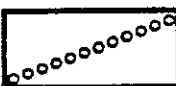

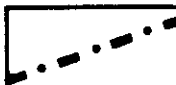
Exhibit 11

II.4.3.6 Community Trails

The EastLake Community Trail (thematic corridor) which extends through the developed portion of the EastLake Planned Community will be continued from its current terminus in EastLake Greens across Hunte Parkway and down the center entry to the EastLake Trails neighborhood. A bicycle route and pedestrian trail through the Salt Creek park/open space corridor will be provided and function as a community trail.

Trails Plan



-  Major Landmark
-  Minor Landmar
-  Pedestrian Walk
(refer to Exhibits 6A-6C for location of detached walks)
-  Decomposed Granite Paving
-  On-street Bike Lane
(both sides of streets indicated)
-  Community Trail/
Thematic Corridor
-  Greenbelt Trail

EastLake Trails

A Planned Community by The EastLake Company

Source ONA Inc

 Cinti
Land Planning
San Diego, CA (619) 223-7408

 Date: 9/30/98

II 4 3.7 Community Entries

Entries serve two primary purposes. The first is informational; they identify the community or neighborhood. To this end, entry signs must be clearly readable to the motorists and not so overly sculpted and landscaped that their basic message becomes obscured.

The second purpose is to provide unifying design accents throughout the community. If each project or neighborhood attempted to compete for attention via their entries, the overall unity of the community would be decreased. Therefore, there will be a common design treatment for all entries to reinforce the overall sense of community.

Entry monumentation will be provided by both the master developer and individual builders. There are two primary types of entries: major entries and minor entries, and gated entries. The approximate location of these entries is depicted on Exhibit 5.

Major Entries

Major entries are those which provide access to the entire EastLake Community. Eventually, one such entry point will be located at the intersection of Hunte Parkway and Orange Avenue which is a southern entry to the Eastlake Community. Although the Otay Ranch property to the south is not currently developed and construction of the entry may not be justified yet, the eventual placement of entry monumentation at this location should be planned and adequate space reserved. A typical entry with special monumentation and landscape planting, as illustrated below.

These entries should be designed to create a portal and convey a sense of arrival. They will inform the motorist that this is the entrance to the EastLake Planned Community. They will include design features that are consistent with community fencing materials. Entry design should flow with the terrain and appear to be an extension of adjacent land forms.

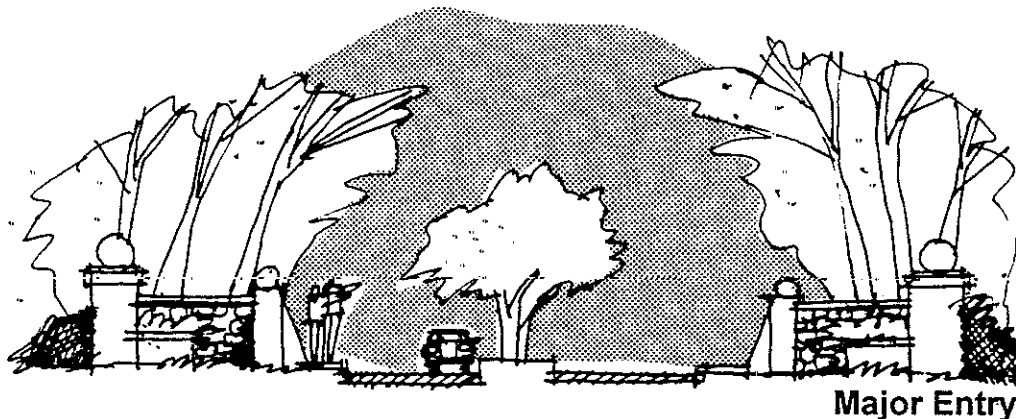


Exhibit 13

Minor Entries

These are the entries to the EastLake Trails neighborhood. They are to be designed as an enhanced extension of the community fencing detail. These will be limited to the major entry points of the neighborhood and will provide visitors with the neighborhood identification.

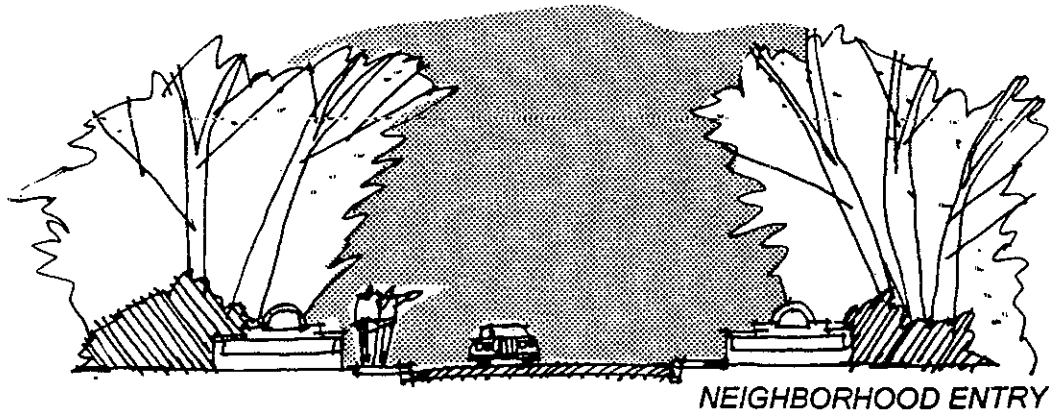


Exhibit 14

II.4.3.8 Street Furniture

Street furniture includes all of the various objects generally found adjacent to the street such as: fire hydrants, post boxes, bus benches, utility company boxes, sprinkler and traffic signal control boxes, etc. Two principal design issues should be considered in regard to these objectives. The first is their overall aesthetic appeal or their contribution to the overall design of the community. The second issue is the location of street furniture in relation to the sidewalk travelway.

In the majority of cases, street furniture is designed for basic utility, ease of maintenance, and service longevity. Because of this, and the fact that they are located for easy service access, street furniture can be intrusive and detract from the aesthetic quality created by other design elements. The often conflicting requirements of the project designer and service provider necessitate close coordination and cooperation between the builder and service company in regard to the installation of such items.

Design standards vary with the various street furniture items and the agencies involved. In some cases the standards are fairly strict, while in others, ample room exists for negotiation. As an example, the Postal Service requires ganged, curb-side post boxes for new single family detached developments. This may be provided by several rural-type boxes at a single location, or the installation of Neighborhood Delivery Collection Box Units (NDCBU) supplied by the Post Office. However, the facade or structure surrounding these boxes can be designed to suit any motif, allowing the designer to integrate the required unit into the character of the neighborhood. Similar post box standards have been established for other residential and commercial/industrial

uses. As an example of rigid requirements, the standards for fire hydrants are strictly applied due to their importance to the safety of residents.

When designing for street furniture, every effort should be made to reduce potential adverse aesthetic impacts. Techniques to be considered include landscape screening, construction of a

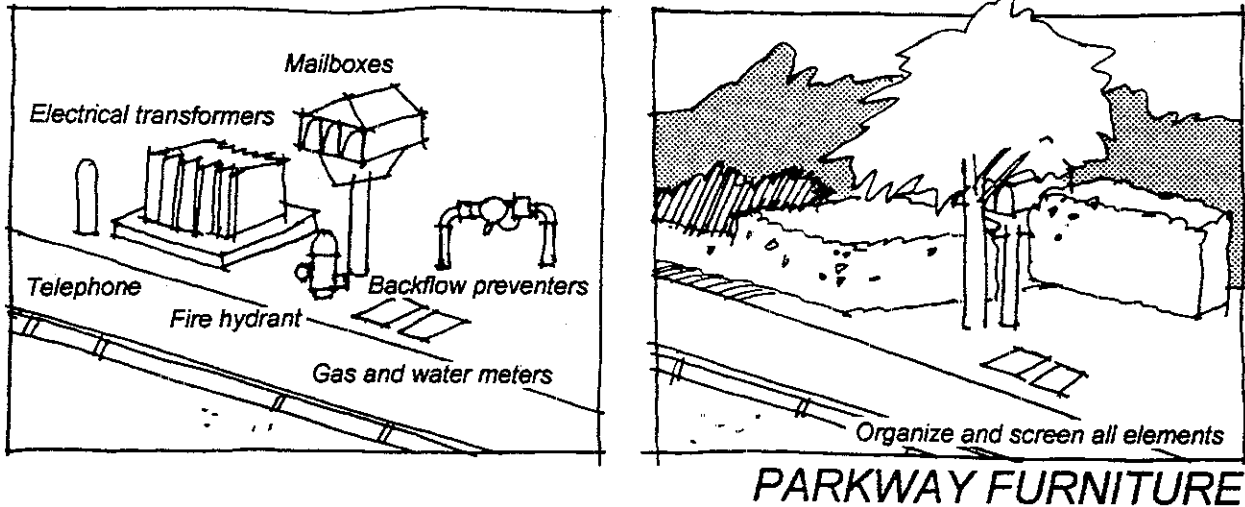


Exhibit 15

facade, use of neutral or complimentary colors, and undergrounding, where possible

II 4.3.9 Scenic Corridor Guidelines

Three off-site scenic corridors will be affected by development within EastLake Trails. These are the Otay Lakes Road, Hunte Parkway and Olympic Parkway. Views from these streets to residential development areas will mainly comprise rear unit elevations and rooflines, rear yard fencing, and some graded slope areas. In such visible areas, attention will need to be given to the aesthetics of the rear exposure, as well as the front. Additional rear elevation detailing, variable lot depths or rear yard setbacks, and special slope landscaping should be considered as potential design solutions.

II.4.4 RESIDENTIAL DESIGN GUIDELINES: SINGLE FAMILY

II.4.4.1 Site Planning

Tract subdivision construction in single-family detached areas should be based upon the following criteria:

1. A minimum of three housing plans should be provided each with a minimum of three facade treatments which vary entry, window type and treatment exterior materials and color.
2. Roof style, material and height should be varied.

Single-family detached residential lots and setbacks should encourage variety in the design, orientation and placement of homes, wherever practical.

4. Front yard building setbacks should be varied to avoid a monotonous pattern of houses.
5. Side yard setbacks should be varied to create greater solar access, provide more useful private open space in side yards, and avoid monotonous pattern of houses.
6. The appropriateness of lots backing to other than major arterials will be reviewed with individual tract maps or site plans. When deemed appropriate, lots backing up to collector streets should be set back from the street right-of-way to permit adequate landscaped buffers along the street frontage.

Building/Lot Schematics

On the following pages a series of lot/building schematics are presented to provide additional guidance in the design of single family housing types. It should be stressed that the schematics and building envelopes that follow are prototypical lotting concepts and are not intended to constrain more creative solutions to spatial relationships (e.g., non-perpendicular lot lines, open space easements, etc.). Small lot and cottage products which are subject to Site Plan Review are not required to meet the criteria applied to standard subdivisions outside the PC District. Additional flexibility for reduced street frontage, lot depth and width, etc. are appropriate within the context of the planned community as long as the spirit and intent of the SPA Plan and PC Regulations are met and the quality of development is not adversely affected. The evaluation of these criteria by City staff will be accomplished during Site Plan Review.

Within this section, special attention is also given to the issues of streetscape quality and corner lot situations in small lot areas. Development is not limited to those prototypes illustrated here. These are examples of the range of products envisioned.

HOUSING TYPE: SFD Conventional
Example Lot Size: 70' x 110'

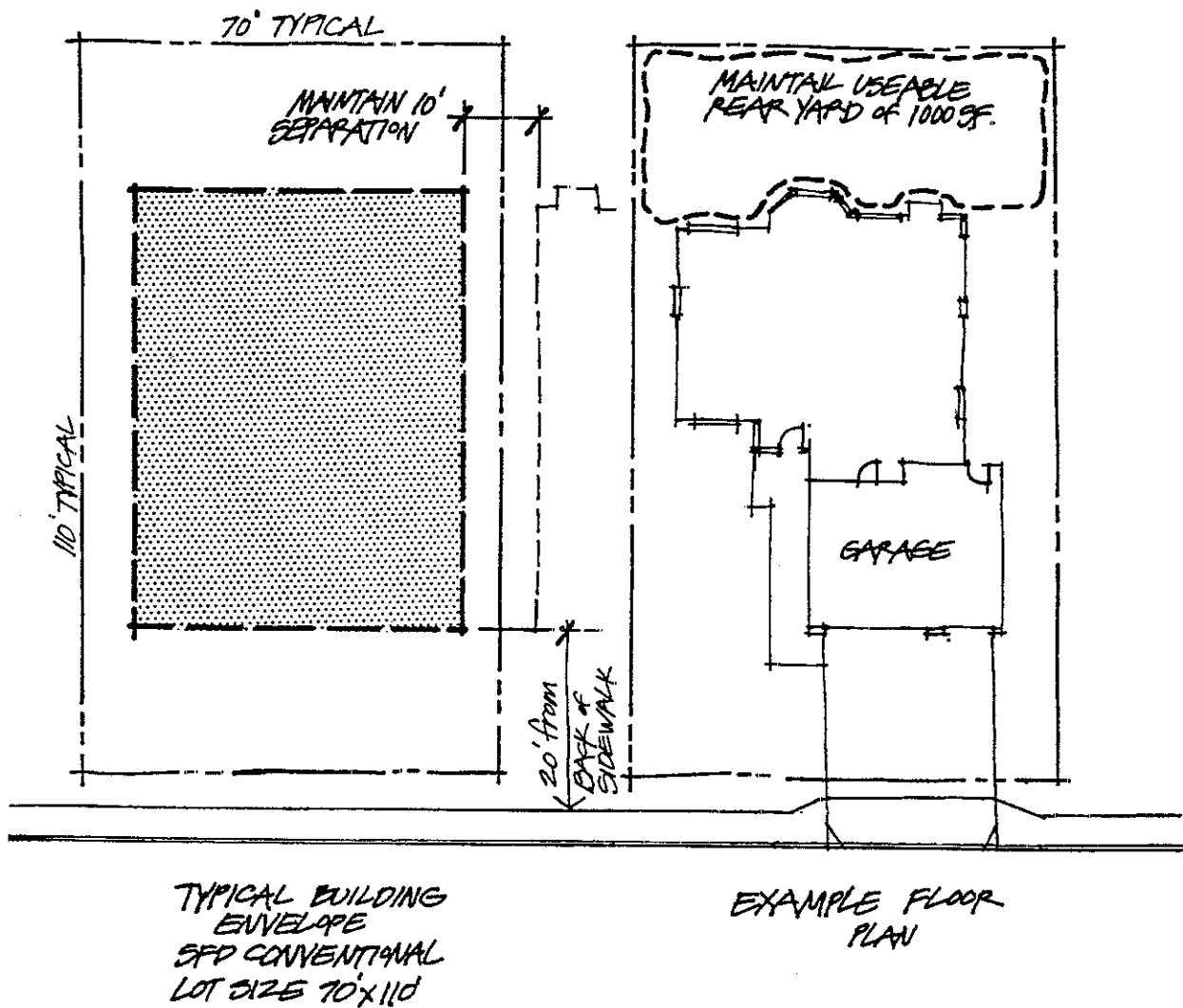
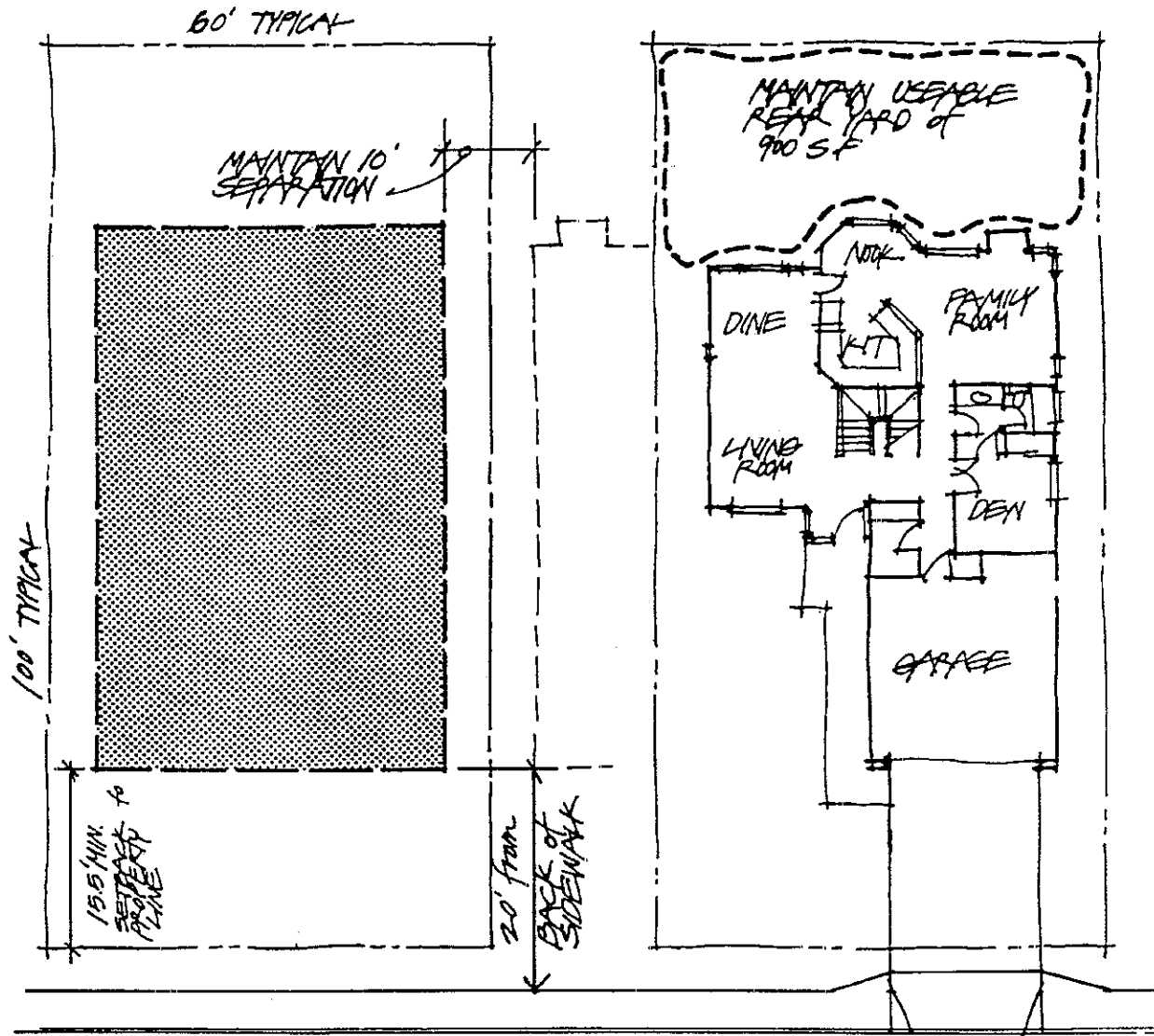


Exhibit 16

HOUSING TYPE: SFD Conventional
Example Lot Size: 60' x 100'

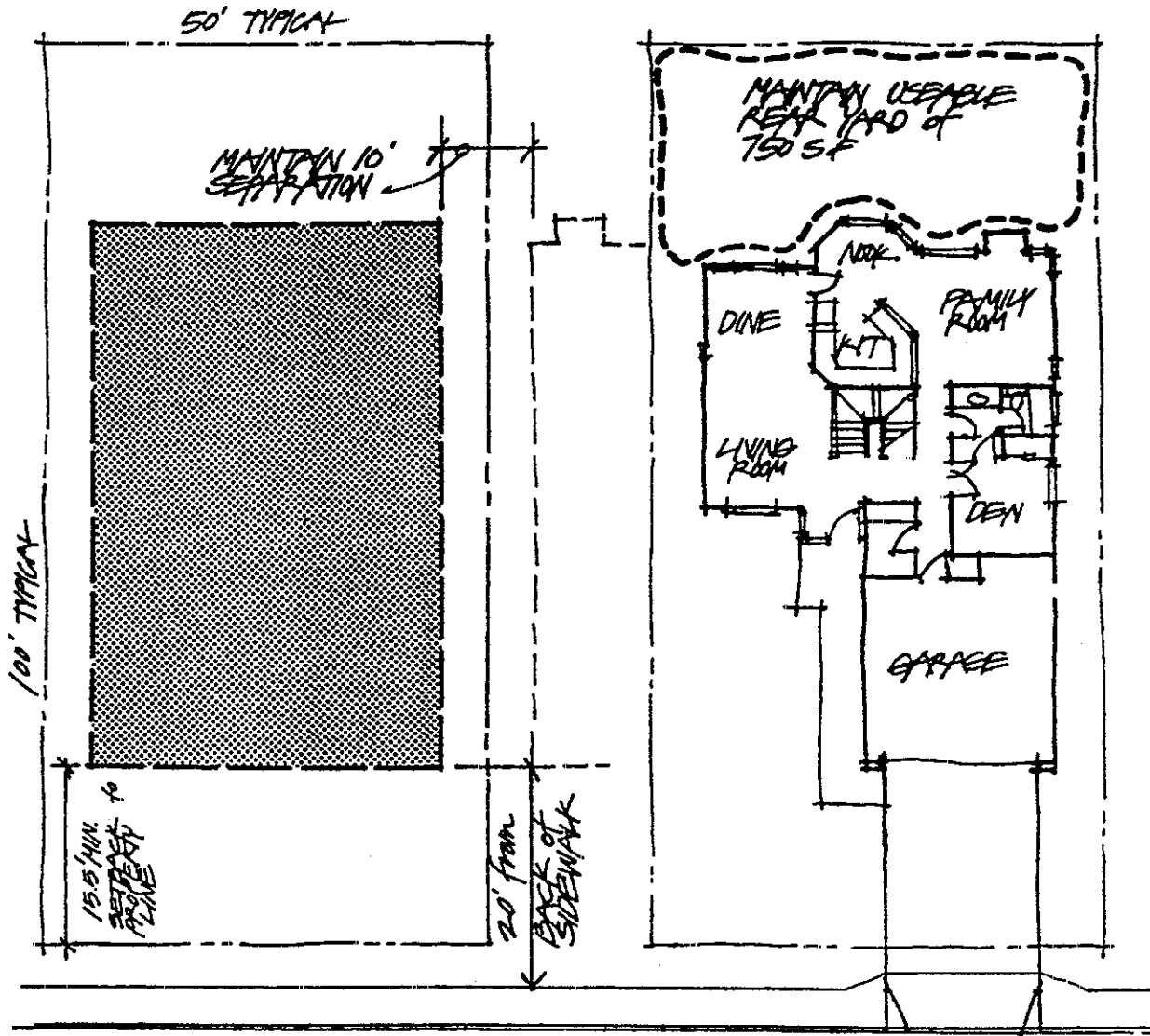


TYPICAL BUILDING ENVELOPE
 SFD CONVENTIONAL,
 LOT SIZE 60'x100'

EXAMPLE FLOOR PLAN

LOT WIDTHS and DRIVEWAY LOCATIONS DESIGNED TO ACCOMMODATE ONE ON-STREET PARKING SPACE FOR RESIDENCE

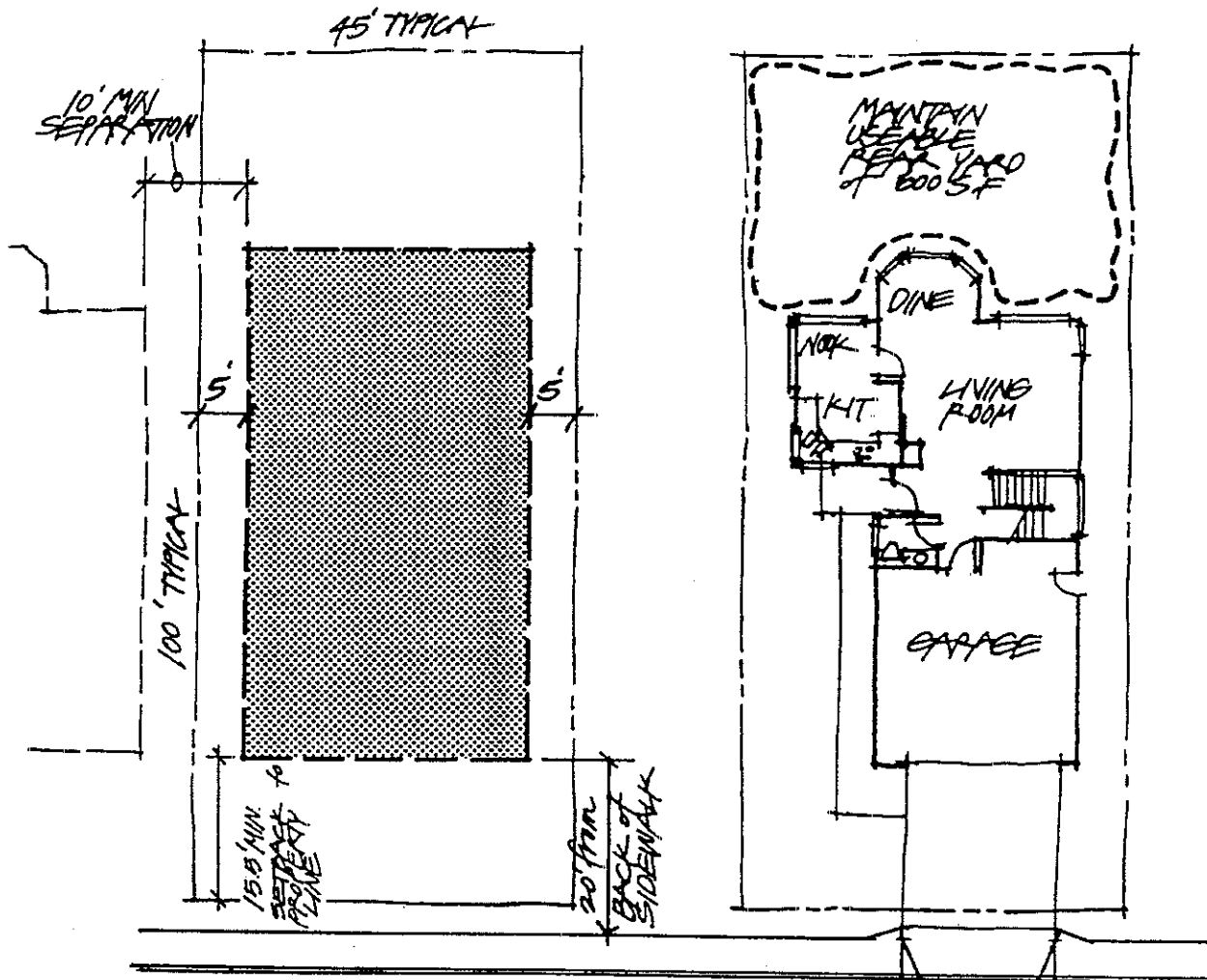
HOUSING TYPE: SFD - Conventional
Example Lot Size: 50' x 100'



TYPICAL BUILDING ENVELOPE
SFD CONVENTIONAL,
LOT SIZE 50x100'

EXAMPLE FLOOR PLAN

HOUSING TYPE: SFD - Cottage
Example Lot Size: 45' x 100'

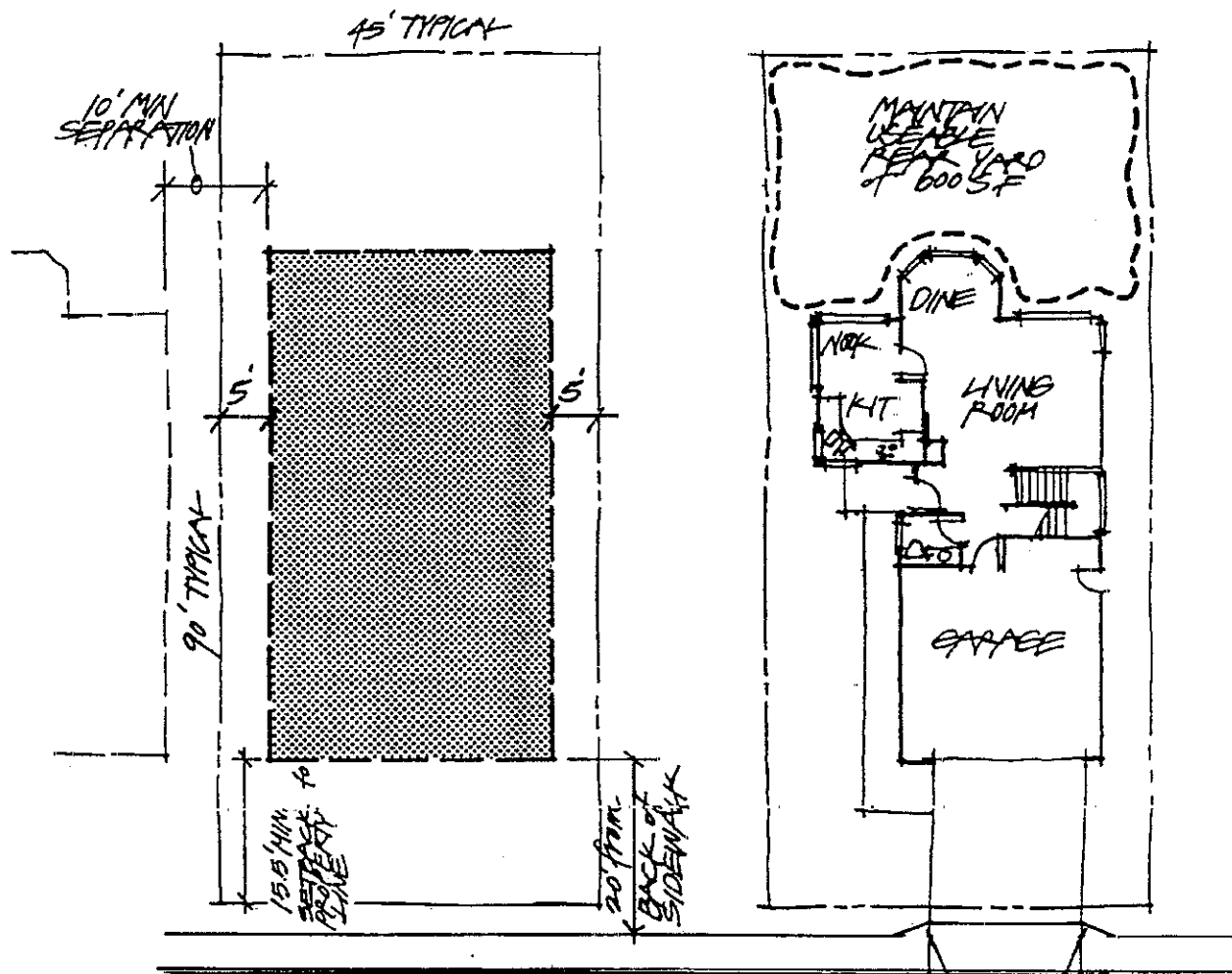


TYPICAL BUILDING ENVELOPE
 SFD COTTAGE
 LOT SIZE 45' x 100'

EXAMPLE FLOOR PLAN

LOT WIDTHS and DRIVEWAY LOCATIONS DESIGN TO ACCOMMODATE ONE ON STREET PARKING SPACE PER RESIDENCE.

HOUSING TYPE: SFD - Cottage
Example Lot Size: 45' x 90'



TYPICAL BUILDING ENVELOPE

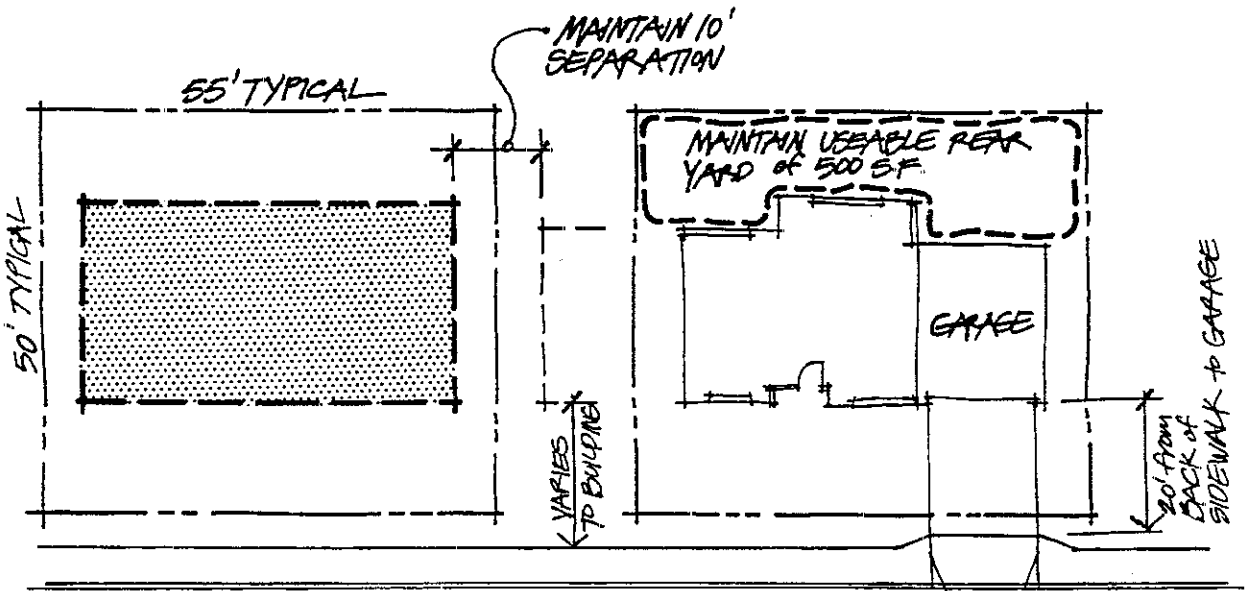
SFD COTTAGE,
 LOT SIZE 45' x 90'

EXAMPLE FLOOR PLAN

LOT WIDTHS and DRIVEWAY LOCATIONS DESIGN TO ACCOMMODATE ONE ON STREET PARKING SPACE PER RESIDENCE.

Exhibit 20

HOUSING TYPE: SFD - Cottage
Example Lot Size: 55' x 50'



TYPICAL BUILDING
ENVELOPE
SFD COTTAGE 55'x50'

Exhibit 21

Yard Restrictions

Careful attention to maintaining continuity of design during initial construction can be negated by subsequent individual homeowner improvements. Enclosed additions, patio structures, decks, storage sheds, fencing and other similar homeowner improvements are of particular concern. Yet, restrictions such as setbacks, coverage, materials, etc. must relate to the particular type of lot and residence involved. This supplement will detail for each housing type, the specific restrictions on the size and location of balconies, covered patios, enclosed additions, or storage buildings. In addition, specific guidance and restrictions shall be provided for materials, colors and design characteristics. This supplement shall be officially adopted as a component of the Site Plan Review approval. And to insure continued conformance, it will also become a component of the recorded CC&R's given to each new home purchaser.

II.4.4.2 Grading and Landform

Attention to detail in the execution of grading is important at both the mass grading and detail grading levels. The EastLake Trails SPA includes design standards for grading (see Section II.2.4 of the SPA Plan).

II.4.4.3 Streetscape Design

See Landscaping Section II.4.8.3.

II.4.4.4 Visual Aspect

Buildings within the development should have a variety of sizes, shapes, colors and materials used to promote interest in the built environment. However, the densities designated for the SPA will generally promote one and two story single family homes. These structures placed within the planned community design structure (see Chapter II.4.3) will promote a high quality suburban appearance.

II.4.4.5 Architecture

While the landscaping, fencing, and signing will have a common design throughout the entire community, some variety in architectural styles is envisioned for structures within the community. Although various architectural styles are intended to coexist in the overall community, they should not be mixed within a single project. Each parcel on the Site Utilization Plan shall have internal consistency. And, of particular importance, architecture should not be a hybrid style, such as

"Spanish Cape Cod".

II 4.4.6 Signage

DON'T MIX ARCHITECTURAL STYLES

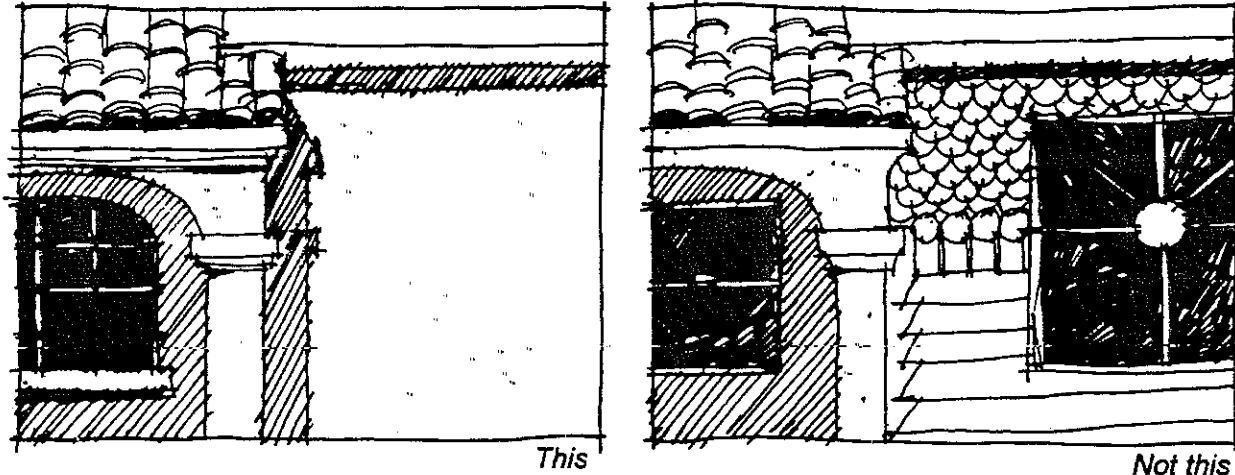


Exhibit 22

Signage within single family detached districts is regulated by the sign provisions of the EastLake PC District Regulations. Signs are not an important design issue within such neighborhoods and no specific design guidance is required. See Section II 4.3.4 for Community Signing.

II 4.4.7 Lighting

Lighting is not anticipated to be a significant design issue in single family residential areas. (see Section II 2.8.5)

II 4.4.8 Parking

The amount of parking required within each residential district is specified in the EastLake Planned Community District Regulations. Requirements for sizing and spacing are provided in the PC Regulations. Beyond providing the number of spaces required, the design of common parking areas for attached and multi-family neighborhoods is an important element in site planning. However, within single family neighborhoods, parking is provided in individual garages, driveway spaces (between back of sidewalk and garage face) and guest parking on- street. No special design criteria are required for these areas.

II.4.4.9 Landscaping Requirements

II.4.4.10 Individual Parcel Design Criteria

The product descriptions and parcel plan features described in this section are those envisioned at the of SPA Plan preparation. These designs and specifications are subject to change and refinement in conjunction with the tentative tract map approval, and are subject to such approval. All parcel plans which are prepared should respond to the listed planning and design criteria, implementing the techniques and solutions described in the previous sections of this text. All parcel plans shall conform to the development standards and other provisions of the EastLake PC District regulations adopted by the City of Chula Vista.

The following are guidelines for site planning each of the single family detached parcels designated for single family detached products (refer to the Site Utilization Plan for the location of each parcel).

Parcel R-1: This is the lowest density housing area in the SPA and is located in the southern half of the project. This parcel abuts most of the southern half of Salt Creek which is planned for more passive use than the north. Providing appropriate visual and physical access into the greenbelt corridor will be an important site planning issue. Another issue will be the siting and design of homes, which will be prominently visible from the creek corridor. Additional rear yard setbacks and rear elevation detailing may be required. An open cul-de-sac at the end of residential streets could improve the visual quality of the development area and greenbelt. The parcel edge adjoining the private recreation parcel (Parcel P-3) deserves special consideration to provide the appropriate balancing of physical separation/buffering due to different levels of activity and visual aesthetic integration since the facility is the neighborhood focal point.

Parcel R-1 Design Issues Summary

Product: Low density single family residential

Salt Creek: Views to and from greenbelt and trail

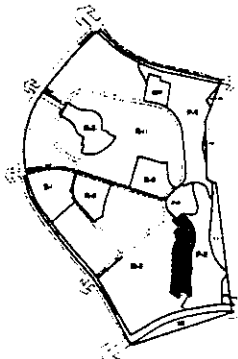
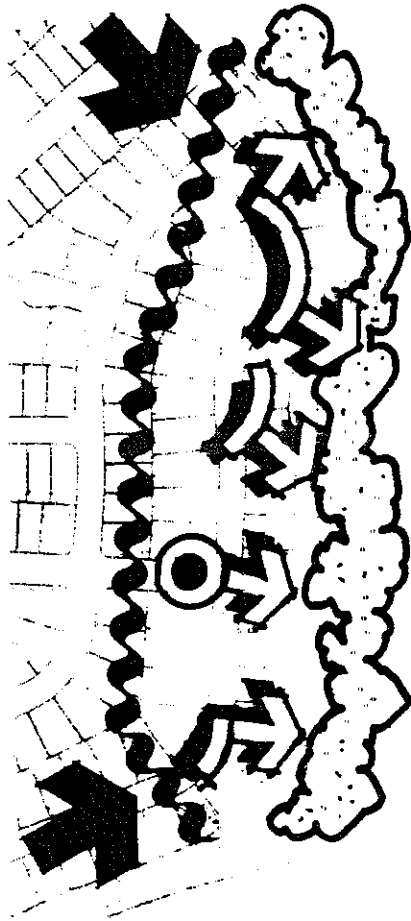
Entry: None

Fencing: Off-site views; consistency with community theme fencing on western side of Hunte Parkway and along Olympic Parkway

Edges: Salt Creek and major arterials; private recreation area

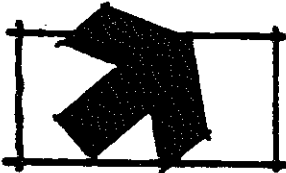
Landscaping: Slopes adjoining Salt Creek (naturalized) and arterial road edge (consistent with Olympic Parkway Design).

Parcel R-1



Parcel Locator Map

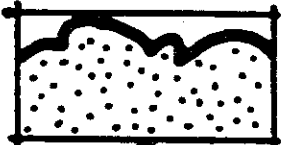
Vehicular Access



Product/Use Transition Edge



Open Space Edge



View Opportunity



Open Space Vista Point



Exhibit 23

Parcel R-2: This single family housing parcel is located in the north central portion of the project. It is planned to have it's main entry as an extension of North Greensview Drive, terminating at a large planted island. This is the second lowest density parcel in the Trails and is expected to contain the housing at the higher end of the Trails economic spectrum. Pedestrian access northerly to the public park and southerly to the private park is proposed.

**Parcel R-2
Design Issues Summary**

Product: Low density single family residential

Salt Creek: None

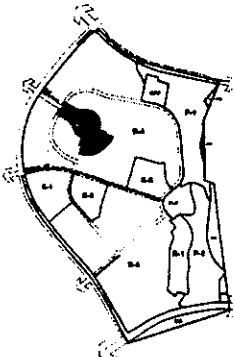
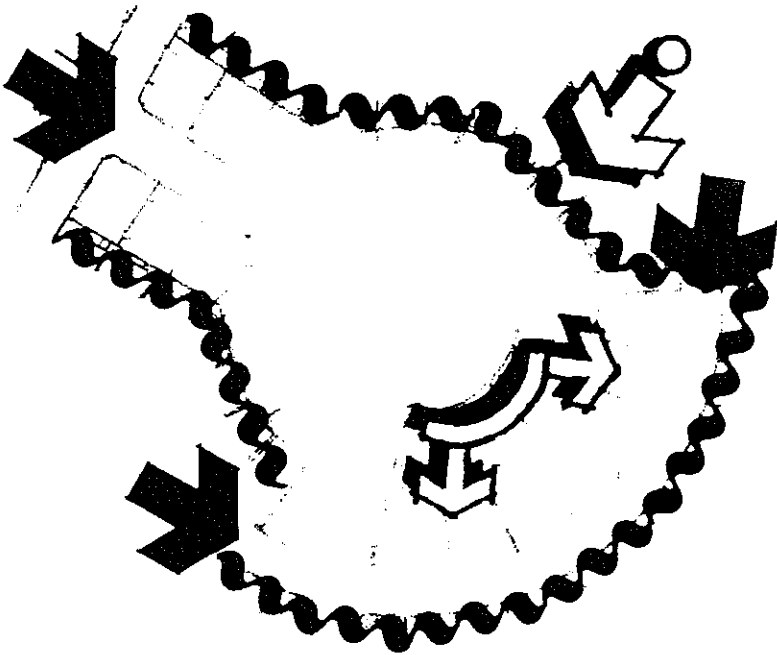
Entry: Community fencing and landscaping standards

Fencing: Community theme fencing.

Edges: Single family residential

Landscaping: Special landscape treatment for central island at entry.

Parcel R-2



Parcel Locator Map

Vehicular Access



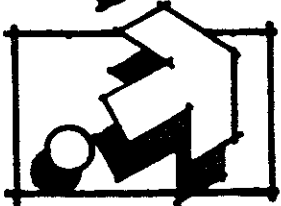
Product/Use Transition Edge



View Opportunity



Pedestrian Penetration Point



EastLake Trails

A Planned Community by The EastLake Company

Exhibit 24



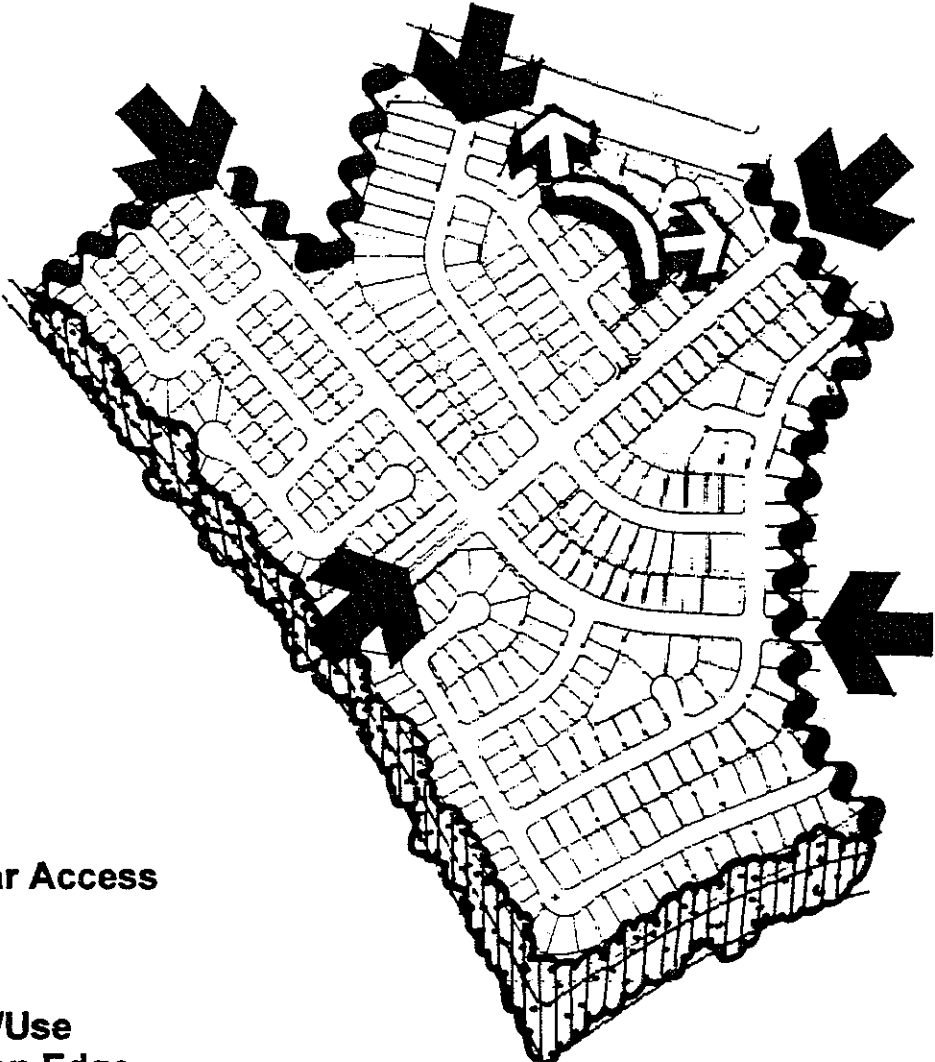
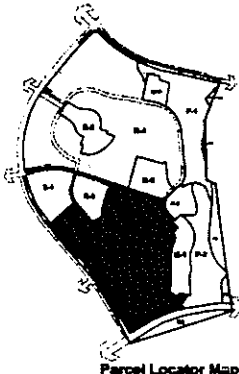
Date: 8-28-98

Parcel R-3: This parcel is located in the southern portion of the SPA, adjacent to most of the southern portion of Salt Creek. It includes one neighborhood entry off of Hunte Parkway and also has an edge bordering on Olympic Parkway. An important consideration will be the housing south of the proposed Elementary School and adjacent to the medium density residential parcel (R-5).

Parcel R-3 Design Issues Summary

- Product: Low-medium density single family residential
- Salt Creek: Views to and from greenbelt and trail
- Entry: Community fencing and landscaping standards
- Fencing: Off-site views; consistency with community theme fencing on west side of Hunte Parkway, Olympic Parkway
- Edges: Elementary School, medium density residential, and major arterials.
- Landscaping: Street and/or lots adjoining Salt Creek park area and arterial road edge

Parcel R-3



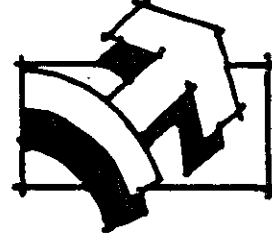
Vehicular Access



Product/Use
Transition Edge



Scenic Corridor



View Opportunity

EastLake Trails
A Planned Community by The EastLake Company

Exhibit 25

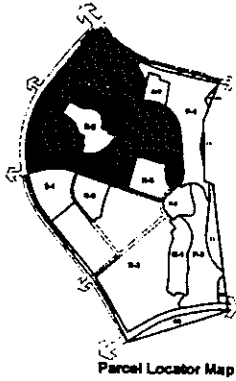


Parcel R-4: This parcel is located in the northern portion of the SPA, adjacent to most of the northern portion of Salt Creek. It includes one neighborhood entry off of Hunte Parkway and also has an edge bordering on Telegraph Canyon Road. The conceptual circulation plan shows an internal street fronting on a long portion of the park. Streetscape design on this street to provide a transition from the residential neighborhood to the park area will be important. The other potential transition need will be along the edge with the higher density residential parcel (Parcel R-6).

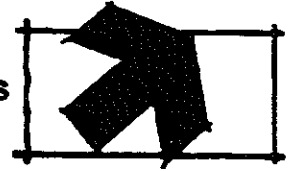
**Parcel R-4
Design Issues Summary**

- Product: Low-medium density single family residential
- Salt Creek: Views to and from greenbelt and trail
- Entry: Community fencing and landscaping standards
- Fencing: Off-site views; consistency with community theme fencing on west side of Hunte Parkway, Otay Lakes Road
- Edges: Salt Creek and major arterials
- Landscaping: Street and/or lots adjoining Salt Creek park area and arterial road edge

Parcel R-4



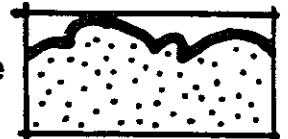
Vehicular Access



Product/Use Transition Edge



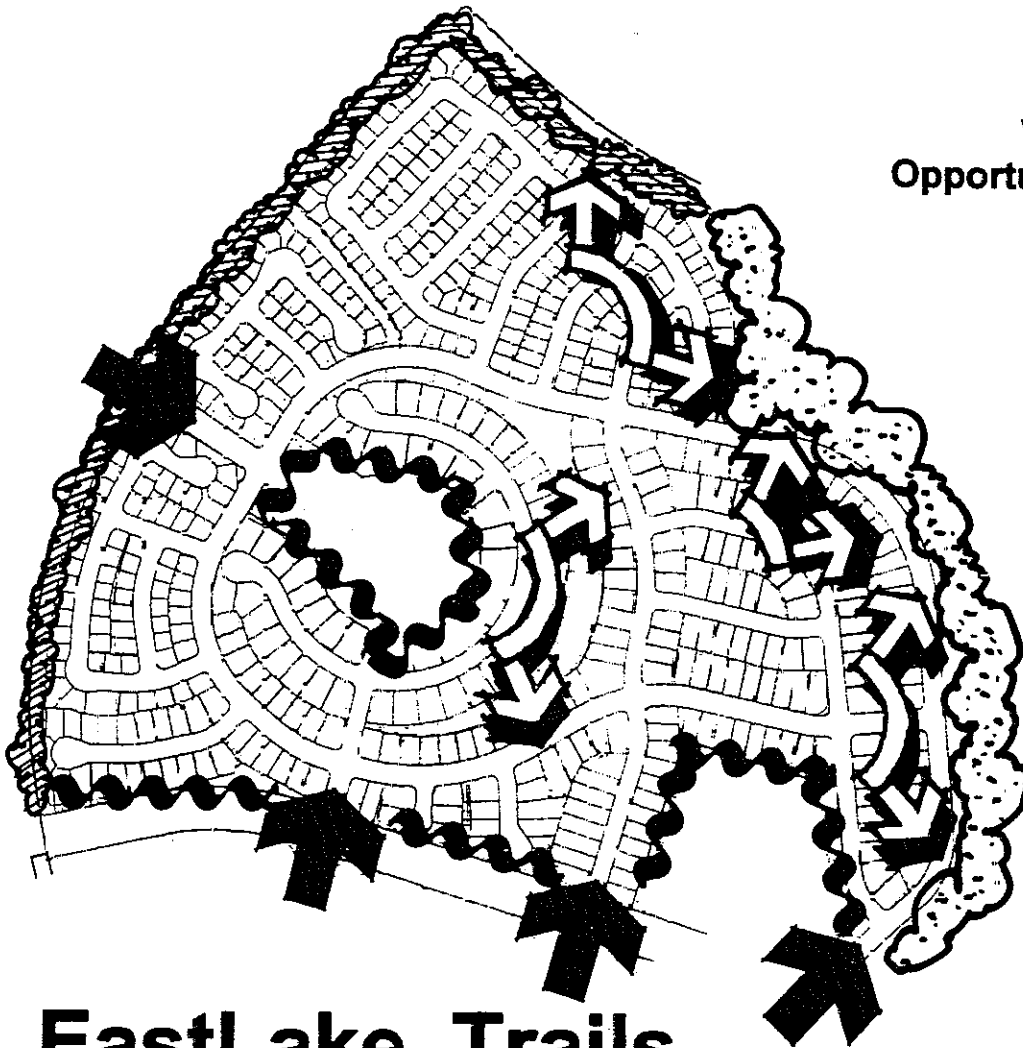
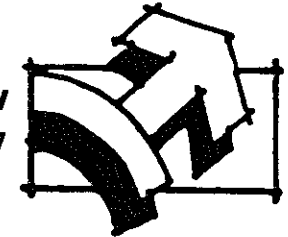
Park Edge



Scenic Corridor



View Opportunity



EastLake Trails
A Planned Community by The EastLake Company

Exhibit 26



Parcel R-5: This parcel is located in the east central portion of the SPA immediately adjacent to the private recreation facility. Nearly all edges of the parcel adjoin other development areas. Appropriate transition and/or separation/buffering of uses should be provided. Depending upon the layout and mix of products within the parcel, similar internal transitions or separations may be important. A portion of the Community Trail extends through this parcel to the private recreation facility.

**Parcel R-5
Design Issues Summary**

Product: Medium density residential (SFD, SFA or MF)

Salt Creek: Minor edge segment connecting to greenbelt and trail

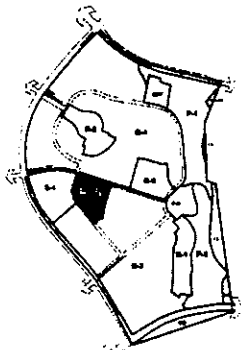
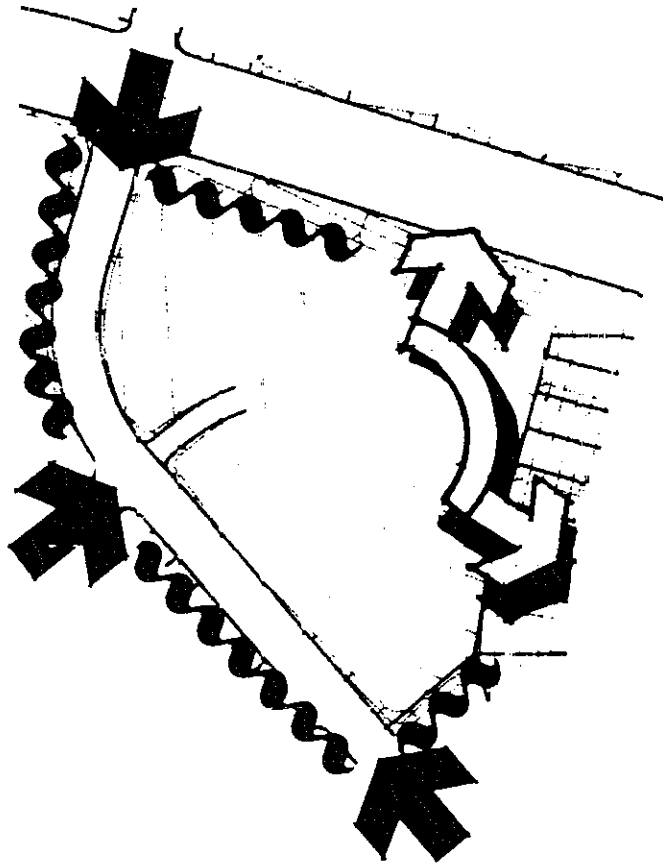
Entry: None

Fencing: None

Edges: Private recreation facility; use transitions (external and/or internal)

Landscaping: Community Trail south of parcel

Parcel R-5



Parcel Locator Map

Vehicular Access



**Product/Use
Transition Edge**



**View
Opportunity**

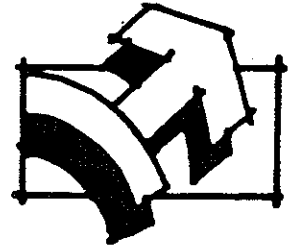


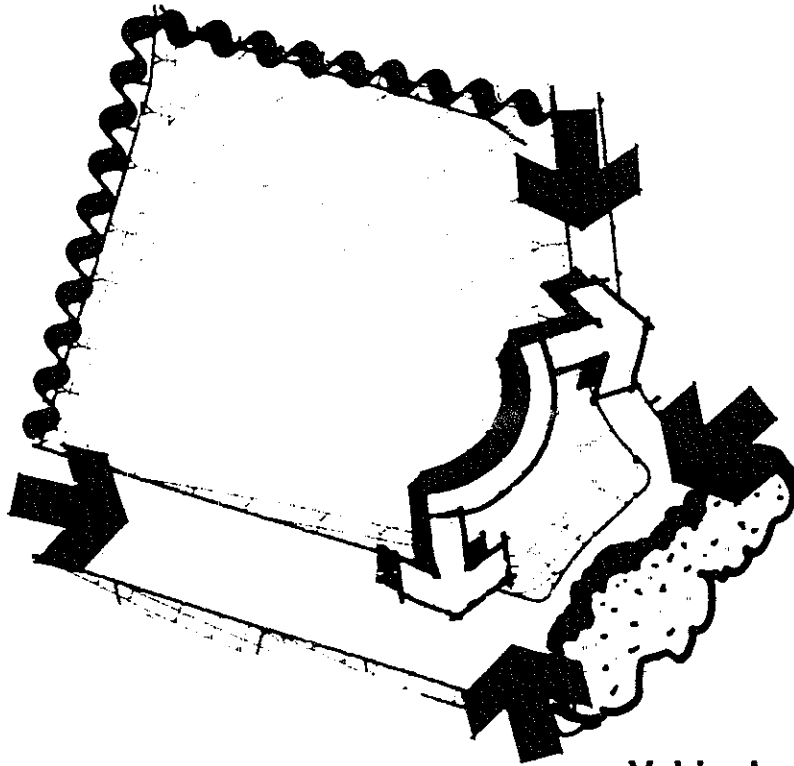
Exhibit 27

Parcel R-6: This parcel is located in the central portion of the SPA immediately adjacent to the elementary school site. Nearly all edges of the parcel adjoin other development areas. Appropriate transition and/or separation/buffering of uses should be provided. Depending upon the layout and mix of products within the parcel, similar internal transitions or separations may be important. A portion of the Community Trail extends through this parcel to the private recreation facility.

**Parcel R-6
Design Issues Summary**

- Product: Medium density residential (SFD, SFA or MF)
- Salt Creek: Minor edge segment connecting to greenbelt and trail
- Entry: None
- Fencing: None
- Edges: Elementary school; use transitions (external and/or internal)
- Landscaping: Community Trail north of parcel

Parcel R-6



Vehicular Access



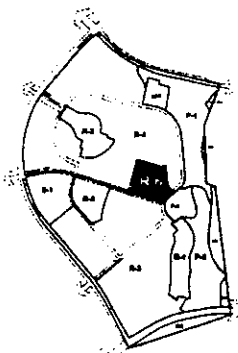
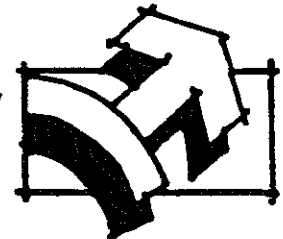
Product/Use
Transition Edge



Park Edge



View
Opportunity



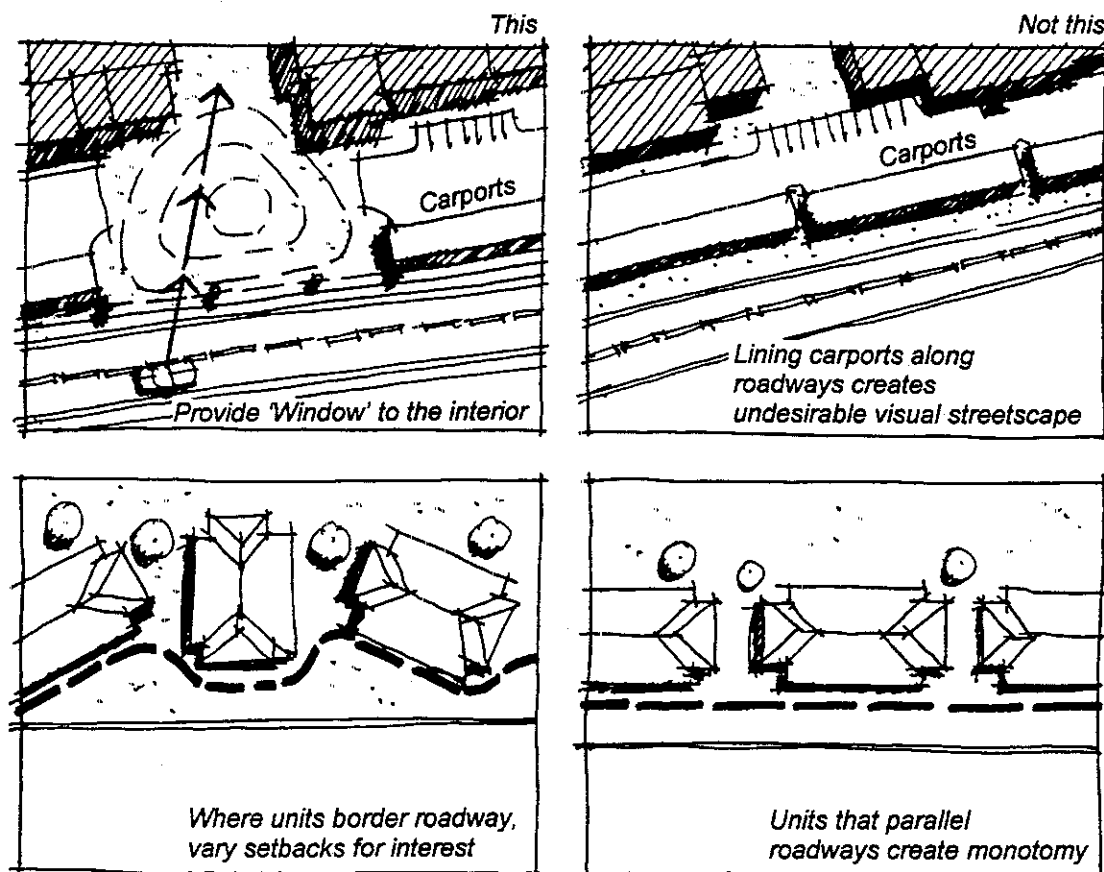
Parcel Locator Map

Exhibit 28

II.4.5 RESIDENTIAL DESIGN GUIDELINES: MULTIFAMILY

The EastLake Trails SPA does not specifically identify any development parcels for multi-family residential development although this type of product may be developed within Parcels R-5 and R-6 as part of an overall mix consistent with the development statistics on the Site Utilization Plan. Since this type of development is not anticipated to be a significant component of the project, detailed design guidance is not provided. The most important issue will be the integration of multi-family housing into the predominate single family residential mix. Careful consideration should be given to possible density/activity level conflicts which could arise at the edge of a multi-family parcel which abuts a single family parcel.

Generally, site plans for attached products should consider the following issues: indoor and outdoor privacy, solar access, building appearance, and overall project design appeal. Buildings should be oriented to create courtyards and open space areas, thus increasing the aesthetic appeal of the site. Building architecture should incorporate a variety of units, building sizes and heights, and color accents. Building facades should include relief to avoid a monotonous appearance. Stairwells should be covered and integrated into the overall building design, and private spaces such as patios or balconies are encouraged for each unit. Another design consideration is the need to buffer group parking areas from the street and adjacent properties. A few of these design concepts are illustrated below and on the following pages.



MULTI FAMILY SITE DESIGN

Exhibit 29

Various types of multiple family units and single-family attached areas are planned for EastLake Greens to provide a greater variety in design and life-style preference.

The following unit types are anticipated within EastLake Trails:

- Zero-Lot Line Homes: One or two story detached or attached homes where either a single structure is built on a single side lot line or two structures share a single wall astride a side lot line, thus increasing the usable side yard area.
- Patio Homes: Attached and detached homes clustered in a courtyard fashion, often in zero-lot line ownership and individually oriented toward an outdoor patio area.
- Duplex: Attached two story single family homes sharing a single wall on one or two lots.
- Town Houses: One and two story attached units in buildings with 4 to 8 or more units that are the traditional "Southern California Condominium." These may have individual fee ownership lots or condominium ownership.

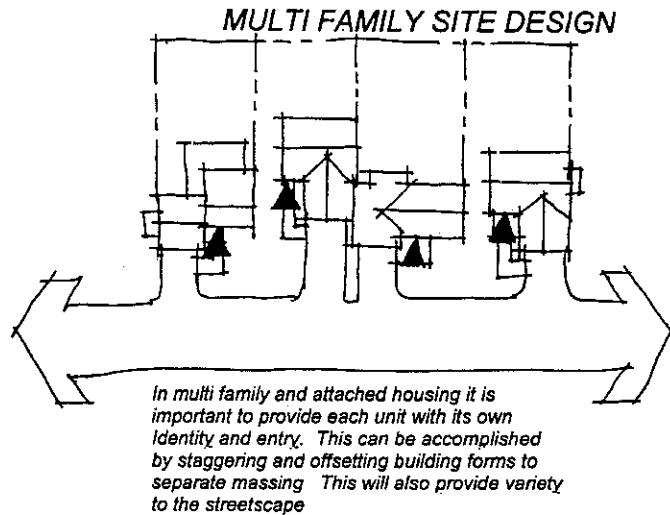


Exhibit 30

Building orientation in multiple family housing should consider indoor and outdoor privacy, solar access and overall aesthetic appearance.

1. Buildings should be oriented in such a way as to create courtyards and open space areas, thus increasing the aesthetic appeal of the area.
2. Building design should incorporate variety in the type of materials, colors, units, heights and facades.
3. Textured materials such as stucco, rough sawn wood and split faced block are encouraged.

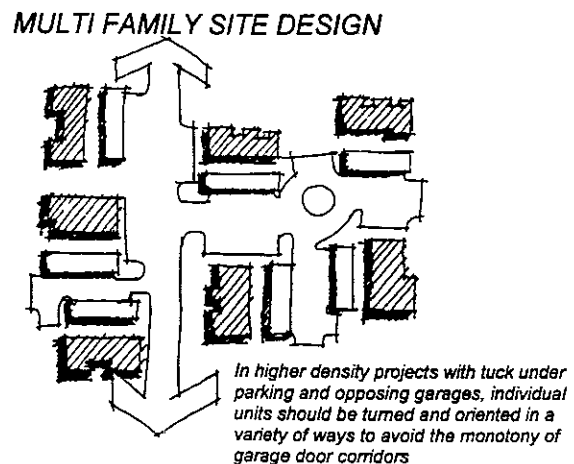


Exhibit 31

4. Buildings with roof overhangs are encouraged to give a traditional residential appearance.
5. Building facades should include relief to avoid a monotonous line.
6. Private spaces such as patios or balconies are encouraged for each unit.
7. Solid walls or fences, not less than 5 feet in height, should be provided along property lines adjoining access or parking areas, except where adjacent to another multiple family housing area.

MULTI FAMILY STREET ORIENTATION

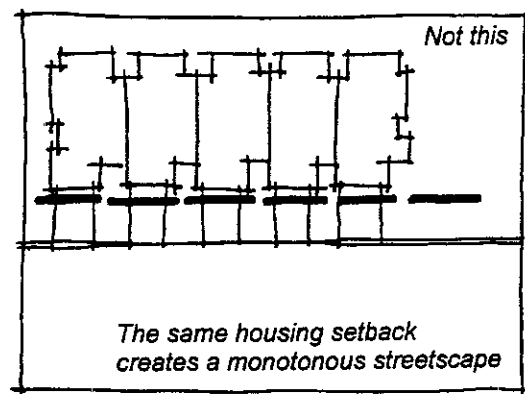
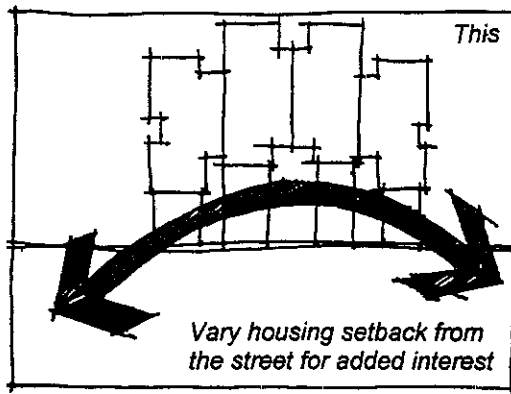
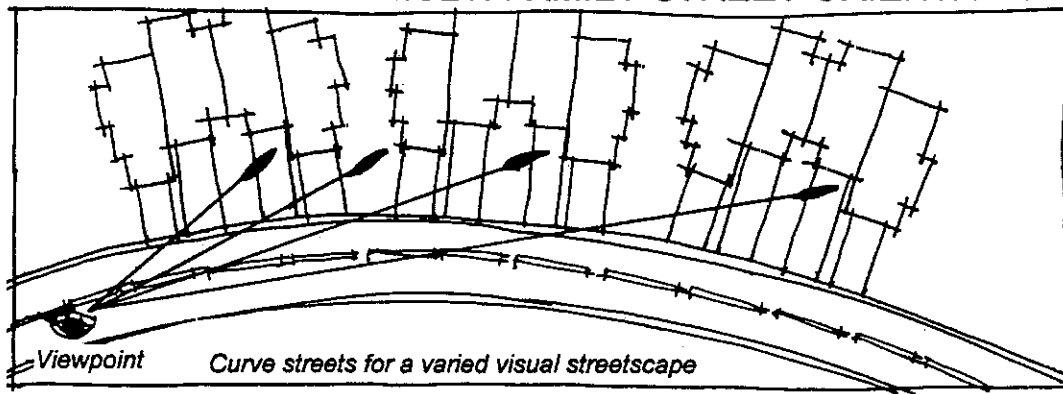


Exhibit 32

**CITY OF CHULA VISTA,
CALIFORNIA**

**EASTLAKE TRAILS SPA
PUBLIC FACILITIES FINANCE PLAN**

CITY COUNCIL

Shirley A. Horton
Mayor

| | |
|--------------------|--------------|
| Stephen C. Padilla | John S. Moot |
| Jerry R. Rindone | Mary Salas |

CITY STAFF

| | |
|------------------------|--------------------------|
| David D. Rowlands, Jr. | City Manager |
| John M. Kaheny | City Attorney |
| George Krempf | Deputy City Manager |
| Robert A. Leiter | Director of Planning |
| John P. Lippitt | Director of Public Works |
| Clifford L. Swanson | City Engineer |
| J. Luis Hernandez | Senior Planner |

CONSULTANT

Willdan Associates
6363 Greenwich Drive, Suite 250
San Diego, CA 92122
(619) 457-1199
JN11131

October 15, 1998

EastLake Trails Public Facilities Finance Plan

The EastLake Trails PFFP has been reviewed for accuracy by the responsible department or agency as indicated below.

| <u>SECTION</u> | <u>DEPARTMENT</u> |
|---|---|
| II.5.3 LAND USE ASSUMPTIONS | Planning Department |
| II.5.4 FACILITY ANALYSIS | |
| II.5.4.1 Traffic | Public Works Department |
| II.5.4.2 Police | Police Department |
| II.5.4.3 Fire and EMS | Fire Department |
| II.5.4.4 Schools | Chula Vista Elementary School District Sweetwater Union High School District |
| II.5.4.5 Libraries | Library Department |
| II.5.4.6 Parks and Open Space | Planning Department |
| II.5.4.7 Water | Otay Water District |
| II.5.4.8 Sewer | Public Works Department |
| II.5.4.9 Drainage | Public Works Department |
| II.5.4.10 Air Quality | <i>Contained in SPA Plan</i> |
| II.5.4.11 Civic Center | City Manager's Office |
| II.5.4.12 Corporation Yard | City Manager's Office |
| II.5.4.13 Other Public Facilities | City Manager's Office |
| II.5.4.14 Fiscal Analysis | Finance Department |

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| II.5.2.4 The EastLake Trails Project | II.5.2 - 3 |
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EXECUTIVE SUMMARY

II.5.1 Executive Summary

OVERVIEW

This Public Facilities Finance Plan (PFFP) has been prepared under the requirements of the City of Chula Vista's Growth Management Program and Implementation Ordinance No. 2448. The preparation of the PFFP is required in conjunction with the preparation of the Sectional Planning Area (SPA) Plan to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program and the EastLake II General Development Plan to ensure that the development of the project will not adversely impact the City's Quality of Life Standards. This PFFP meets the policy objectives of the EastLake II GDP.

The PFFP is based upon the phasing as presented in the (submittal draft) SPA Plan dated November 1998. The EastLake Trails project is proposed to be developed in three phases. The PFFP begins by analyzing the existing demand for facilities based upon the demand from existing development and those projects with various entitlements through the year 2005. The list of forecasted projects is used for analytical purposes only and unless a development agreement or other legal instrument guarantees facility capacity, some projects may not have committed capacity. Then, the PFFP uses the phasing as contained in the EastLake Trails Sectional Planning Area (SPA) Plan to determine the impacts associated with each phase of the project.

When specific thresholds are projected to be reached or exceeded based upon the analysis of the phased development of the EastLake Trails project, the PFFP provides recommended mitigation necessary for the continued compliance with the Growth Management Program and Quality of Life Standards. The PFFP does not propose different development phasing from that identified in the SPA Plan, but may indicate that the development phasing should be limited or reduced until certain actions are taken to guarantee public facilities will be available or provided to meet the Quality of Life Standards. Subsequent changes to the phasing shall require an amendment to the PFFP.

As an applicant receives each succeeding development approval, the applicant must perform required steps leading to the timely provision of the required facility. Failure to perform the required step curtails additional development approvals. The concept is illustrated below:

Performance of Facility Thresholds

- | | |
|------------|--|
| GDP | <ul style="list-style-type: none">• Goals, objectives & policies established.• Facility thresholds established.• Processing requirements established. |
| SPA | <ul style="list-style-type: none">• Facility financing refined and funding source identified consistent with GDP goals, objectives & policies.• Facility demand and costs calculated consistent with adopted land uses and GDP defined methodologies.• Specific facility financing and phasing analysis performed to assure compliance with Growth Management Thresholds• Facilities sited and zoning identified. |

- TENTATIVE MAP**
- Subdivision approval conditioned upon assurance of facility funding.
 - Subdivision approval conditioned upon payment of fees, or the dedication, reservation or zoning of land for identified facilities.
 - Subdivision approval conditioned upon construction of certain facility improvements.
- FINAL MAP**
- Tentative Map conditions performed.
 - Lots created.
- BUILDING PERMIT**
- Impact fees paid as required.

The critical link between the thresholds and development entitlements is the Public Facilities Finance Plan. Section I.11 of the GDP, General Development Plan Implementation, imposes the preparation of Public Facility Financing and Phasing Plans as a condition of approval of all SPAs. This PFFP satisfies the GDP requirement. The PFFP requires the preparation and approval of phasing schedules showing how and when facilities and improvements necessary to serve proposed development will be installed or financed to meet the threshold standards, including:

- An inventory of present and future requirements for each facility.
- A summary of facilities cost.
- A facility phasing schedule establishing the timing for installation or provisions of facilities.
- A financing plan identifying the method of funding for each facility required.

Subsection C of Municipal Code Section 19.09.100 (Growth Management Ordinance) requires that if the City Manager determines that facilities or improvements within a PFFP are inadequate to accommodate any further development within that area the City Manager shall immediately report the deficiency to the City Council. If the City Council determines that such events or changed circumstances adversely affect the health, safety or welfare of City, the City may require amendment, modification, suspension, or termination of an approved PFFP.

General Conditions for EastLake Trails Public Facilities Finance Plan

1. All development within the boundaries of the PFFP for the EastLake Trails shall conform to the provisions of Section 19.09 of the Chula Vista Municipal Code (Growth Management Ordinance) and to the provisions and conditions of this Public Facilities Financing Plan.
2. All development within the boundaries of the PFFP for EastLake Trails shall be required to pay development impact fees for public facilities, transportation and other applicable fees pursuant to the most recently adopted program by the City Council, and as amended from time to time. Development within the boundaries of the EastLake Trails shall also be responsible for fair share proportionate fees that are necessary to meet the adopted facility performance standards as they related to the SPA Plan.
3. The Public Facilities Financing Plan shall be implemented in accordance with Chula Vista Municipal Code 19.09.090. Future amendments shall be in accordance with CVMC 19.09.100 and shall incorporate newly acquired data, to add conditions and update standards as determined necessary by the City through the required monitoring program. Amendment to this Plan may be initiated by action of the Planning Commission, City Council or property owners at any time. Any such amendments must be approved by the City Council.
4. Approval of this PFFP does not constitute prior environmental review for projects within the boundaries of this Plan. All future projects within the boundaries of this PFFP shall undergo environmental review as determined appropriate by the City of Chula Vista.
5. Approval of this PFFP does not constitute prior discretionary review or approval for projects within the boundaries of the Plan. All future projects within the boundaries of the EastLake Trails PFFP shall undergo review in accordance with the Chula Vista Municipal Code. This PFFP analyzes the maximum allowable development potential for planning purposes only. The approval of this plan does not guarantee specific development densities.
6. The facilities and phasing requirements identified in this PFFP are based on the SPA Plan which assumes that 1,143 units will be constructed. If fewer units are actually constructed, facility and phasing requirements shall be adjusted proportionately.
7. The plan analysis is based upon the phasing presented in this document. Any changes to phasing shall require an amendment to the PFFP.

SPA PLAN PUBLIC FACILITY COST AND FEE SUMMARY

The following tables identify and summarize the various facility costs associated with development of the EastLake Trails project. The facilities and their cost are identified in detail in Section 3 of this Public Facilities Finance Plan. The tables indicate a recommended financing alternative based upon current City practices and policies. However, where another financing mechanism may be shown at a later date to be more effective, the City may implement such other mechanisms in accordance with City policies. This will allow the City maximum flexibility in determining the best use of public financing to fund public infrastructure improvements.

The traffic study has identified three projects that will be required as the result of future development. The projects are: 1) Lane Avenue widening, 2) Olympic Parkway construction, 3) and Otay Lakes Road widening. Each of these projects are either currently in the City's traffic fee program or they will be considered for inclusion in the program during the next update. The total cost of the Lane Avenue improvement is \$768,500. In the event a DIF improvement is constructed by the developer, the cost of the improvement may be eligible for credit against DIF fees. Construction of non-DIF eligible improvements are the responsibility of the developer.

Transportation DIF Fees generated by the EastLake Trails SPA Plan total \$4,420,988. Fees are also generated for Pre-SR125 facilities (\$906,756) and for traffic signals (\$155,870).

The EastLake Trails SPA Plan is anticipated to require one elementary school which will be constructed with funding established through a Mello-Roos Community Facilities District already established by the Chula Vista Elementary School District. The Project will also participate in a CFD established by the Sweetwater Union High School District.

Backbone sewer, drainage and water improvements will be funded, in part, through the payment of impact fees and capacity fees established for these purposes. Onsite facilities will be funded by the developer.

Parks, trails and open space will be funded, in part, through the payment of Park Acquisition and Development Fees (PAD fees), dedication, and developer exactions. The EastLake Trails SPA Plan will generate approximately \$2,531,100 in PAD (development portion only) fee revenues.

Police, library, civic center, corporation yard, and other public facilities will be funded from revenues generated from the payment of Public Facilities Development Impact Fees at building permit issuance. These fee revenues total approximately \$2,232,624.

The Public Facilities Development Impact Fee for fire and emergency medical services totals \$163,109. However, by prior agreement, The EastLake Company established a credit in the amount of \$616,153.00 by building the temporary fire station in the EastLake Business Center. In recognition of the cost of this facility, the City has been providing credits towards the payment of the fire component of the Public Facilities DIF amount. As of May 1, 1998, the remaining credit balance was \$402,567.28. It is intended that the fire component of the PFDIF will further reduce this credit balance.

Table 1
SUMMARY OF CITY DIF FEES BY PHASE AND FACILITY

| Facility | Phase 1 | Phase 2 | Phase 3 | Totals |
|-------------------------|--------------------|--------------------|----------------|---------------------|
| Traffic | \$4,687,916 | \$795,698 | \$0 | \$5,483,614 |
| Sewer | \$595,930 | \$513,769 | \$6,752 | \$1,116,451 |
| Drainage | | | | \$0 |
| Water | | | | \$0 |
| Police | \$147,110 | \$124,738 | \$0 | \$271,848 |
| Fire/EMC | \$88,266 | \$74,843 | \$0 | \$163,109 |
| Schools | | | | \$0 |
| Library | \$340,544 | \$288,755 | \$0 | \$629,299 |
| Parks | \$1,389,000 | \$1,142,100 | \$0 | \$2,531,100 |
| Civic Center | \$329,902 | \$279,732 | \$0 | \$609,634 |
| Corp. Yard | \$322,390 | \$273,362 | \$0 | \$595,752 |
| Other Facilities | \$68,234 | \$57,857 | \$0 | \$126,091 |
| Total | \$7,969,292 | \$3,550,854 | \$6,752 | \$11,526,898 |

Table 2

| TRAFFIC FACILITIES BY PHASE | FACILITY DESCRIPTION | COST ESTIMATE | TOTAL DIF (STREET, SR125, SIGNALS) | TIMING | FUNDING SOURCE | FINANCE MECHANISM |
|-----------------------------|---------------------------|------------------|------------------------------------|--------|----------------|-----------------------------|
| 1 | Intersection Improvements | \$768,500 | \$4,687,916 | Ph-1 | DIF/ Exaction | Partial Assessment District |
| 2 | | \$0 | \$795,698 | Same | DIF/ Exaction | |
| 3 | | \$0 | \$0 | Same | DIF/ Exaction | |
| Traffic Total | | \$768,500 | \$5,483,614 | | | |

| SEWER FACILITIES BY PHASE | DESCRIPTION | FEE ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|---------------------------|------------------------------------|--------------------|-----------------|----------------|-------------------|---|
| 1 | TC Pumped Fee/Salt Creek Basin Fee | \$595,930 | Building Permit | CIP/Dev. | Fee Programs | Telegraph Cyn. Basin Salt Creek Basin LOC ok for pumped fee with Final Map |
| 2 | TC Pumped Fee/Salt Creek Basin Fee | \$513,769 | Building Permit | CIP/Dev. | | |
| 3 | TC Pumped Fee/Salt Creek Basin Fee | \$6,752 | Building Permit | CIP/Dev. | | |
| Sewage Total | | \$1,116,451 | | | | |

| DRAINAGE FACILITIES BY PHASE | DESCRIPTION | COST ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|------------------------------|-------------------|---------------|--------|----------------------|-------------------|---------------------------|
| 1 | Onsite facilities | TBD | | Exaction/DIF streets | N/A | No drainage fees in place |
| 2 | | | | | | |
| 3 | | | | | | |
| Drainage Total | | \$0 | | | | |

Table 4 (Cont'd)

| WATER FACILITIES BY PHASE | DESCRIPTION | COST ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|----------------------------------|--------------------|----------------------|---------------|-----------------------|--------------------------|--------------|
| 1 | | TBD | | ID 22 and 27 | | |
| 2 | | | | | | |
| 3 | | | | | | |
| Water Total | | \$0 | | | | |

| Police Facilities by Phase | Description | Fee Estimate | Timing | Funding Source | Finance Mechanism | Notes |
|-----------------------------------|--------------------|---------------------|-----------------|-----------------------|--------------------------|--------------|
| 1 | Pay PFDIF | \$147,110 | Building Permit | PFDIF | N/A | |
| 2 | Pay PFDIF | \$124,738 | | | | |
| 3 | Pay PFDIF | \$0 | | | | |
| Police Total | | \$271,848 | | | | |

| Fire Facilities by Phase | Description | Fee Estimate | Timing | Funding Source | Finance Mechanism | Notes |
|---------------------------------|--------------------|---------------------|-----------------|-----------------------|--------------------------|---|
| 1 | Pay PFDIF | \$88,266 | Building Permit | PFDIF | N/A | Fees to be deducted from credit balance by prior agreement. |
| 2 | Pay PFDIF | \$74,843 | | | | |
| 3 | Pay PFDIF | \$0 | | | | |
| Fire Total | | \$163,109 | | | | |

Table 2 (Cont'd)

| School Facilities By Phase | Description | Cost Estimate | Timing | Funding Source | Finance Mechanism | Notes |
|----------------------------|------------------------|---------------|--------|----------------|-------------------|---|
| 1 | Elem. School initiated | | | Mello-Roos CFD | CFD | No final map approved unless financing mechanism in place |
| 2 | | | | | | |
| 3 | | | | | | |
| Schools Total | | | | | | |

| LIBRARY FACILITIES BY PHASE | DESCRIPTION | FEE ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|-----------------------------|-------------|------------------|-----------------|----------------|-------------------|-------|
| 1 | Pay PFDIF | \$340,544 | Building Permit | PFDIF | N/A | |
| 2 | Pay PFDIF | \$288,755 | | | | |
| 3 | Pay PFDIF | \$0 | | | | |
| Libraries Total | | \$629,299 | | | | |

| PARKS/OS FACILITIES BY PHASE | DESCRIPTION | PAD FEE ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|-------------------------------------|--------------|--------------------|-----------|----------------|-------------------|-------|
| 1 | Pay PAD Fees | \$1,389,000 | Final Map | PAD Fees | N/A | |
| 2 | Pay PAD Fees | \$1,142,100 | | | | |
| 3 | Pay PAD Fees | \$0 | | | | |
| Parks & Open Space Total | | \$2,531,100 | | | | |

Table 2 (Cont'd)

| CIVIC FACILITIES BY PHASE | DESCRIPTION | FEE ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|---------------------------|-------------|------------------|-----------------|----------------|-------------------|-------|
| 1 | Pay PFDIF | \$329,902 | Building Permit | PFDIF | N/A | |
| 2 | Pay PFDIF | \$279,732 | | | | |
| 3 | Pay PFDIF | \$0 | | | | |
| Civic Center Total | | \$609,634 | | | | |

| CORP. YARD FACILITIES BY PHASE | DESCRIPTION | FEE ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|--------------------------------|-------------|------------------|-----------------|----------------|-------------------|-------|
| 1 | Pay PFDIF | \$322,390 | Building Permit | PFDIF | N/A | |
| 2 | Pay PFDIF | \$273,362 | | | | |
| 3 | Pay PFDIF | \$0 | | | | |
| Corporation Yard Total | | \$595,752 | | | | |

| OTHER PUBLIC FACILITIES BY PHASE | DESCRIPTION | FEE ESTIMATE | TIMING | FUNDING SOURCE | FINANCE MECHANISM | NOTES |
|--------------------------------------|-------------|------------------|-----------------|----------------|-------------------|-------|
| 1 | Pay PFDIF | \$68,234 | Building permit | PFDIF | N/A | |
| 2 | Pay PFDIF | \$57,857 | | | | |
| 3 | Pay PFDIF | \$0 | | | | |
| Other Public Facilities Total | | \$126,091 | | | | |

II.5.2 INTRODUCTION

II.5.2 INTRODUCTION

II.5.2.1 Overview

The City of Chula Vista has looked comprehensively at issues dealing with development and the additional impacts it places on public facilities and services. The approval of the Threshold Ordinance and the General Plan update were the first steps in the overall process of addressing growth related issues. The second step in this process was the development and adoption of a specific Growth Management Element which set the stage for the creation of the City's Growth Management Program.

The Chula Vista City Council adopted the Growth Management Program and Implementing Ordinance No. 2448 on May 28, 1991. These documents implement the Growth Management Element of the General Plan, and establish a foundation for carrying out the development policies of the City by directing and coordinating future growth in order to guarantee the timely provision of public facilities and services.

The Growth Management Ordinance requires a Public Facilities Finance Plan (PFFP) to be prepared for future development projects requiring a Sectional Planning Area (SPA) Plan or Tentative Map. The contents of the PFFP are governed by Section 19.09.060 of the Municipal Code which requires that the plan show how and when the public facilities and services identified in the Growth Management Program will be installed or financed.

II.5.2.2 Purpose

The purpose of the Public Facilities Finance Plan is to implement the City's Growth Management Program and to meet the General Plan goals and objectives as well as the Growth Management Element goals and objectives. The Chula Vista Growth Management Program implements the City's General Plan and Zoning Ordinance by ensuring that development occurs only when necessary public facilities and services exist or are provided concurrent with the demands of new development.

II.5.2.3 Growth Management Threshold Standards

City Council Resolution No. 13346 identified eleven (11) public facilities and services with related threshold standards and implementation measures. These public facilities and services were listed in a policy statement dated November 17, 1987 and have subsequently been refined based on recommendations from the Growth Management Oversight Commission (GMOC)

The 11 public facilities and services include:

- Traffic
- Police
- Fire/EMS
- Schools
- Libraries
- Parks and Recreation
- Water
- Sewer
- Drainage
- Air Quality
- Fiscal

During development of the Growth Management Program two new facilities were added to the list of facilities to be analyzed in the PFFP:

- Civic Facilities
- Corporation Yard

Threshold standards are used to identify when new or upgraded public facilities are needed to mitigate the impacts of new development. Development approvals will not be made unless compliance with these standards can be met. These threshold standards have been prepared to guarantee that public facilities or infrastructure improvements will keep pace with the demands of growth.

II.5.2.4 The EastLake Trails Project

The EastLake Trails SPA is located in the eastern portion of the Chula Vista City limits. The site is located immediately east of the EastLake Greens SPA, on the south side of Otay Lakes Road approximately 8 miles east of the Chula Vista Civic Center. Exhibit 1 illustrates the location of EastLake Trails and its proximity to the existing development within the EastLake community.

The majority of the overall EastLake Planned Community has been zoned "Planned Community" (PC) and designated for a range of urban uses defined in two General Development Plans (GDPs) identified as EastLake II GDP and EastLake III GDP. The EastLake Trails SPA is the final SPA plan to be prepared within the EastLake II GDP.

The EastLake Trails SPA planning area is essentially defined by three major circulation routes, Otay Lakes Road on the north, Hunte Parkway on the west, Olympic Parkway on the south, and the Salt Creek Greenbelt forms the planning area's eastern boundary. Future phases of the EastLake community are planned for the adjacent vacant property

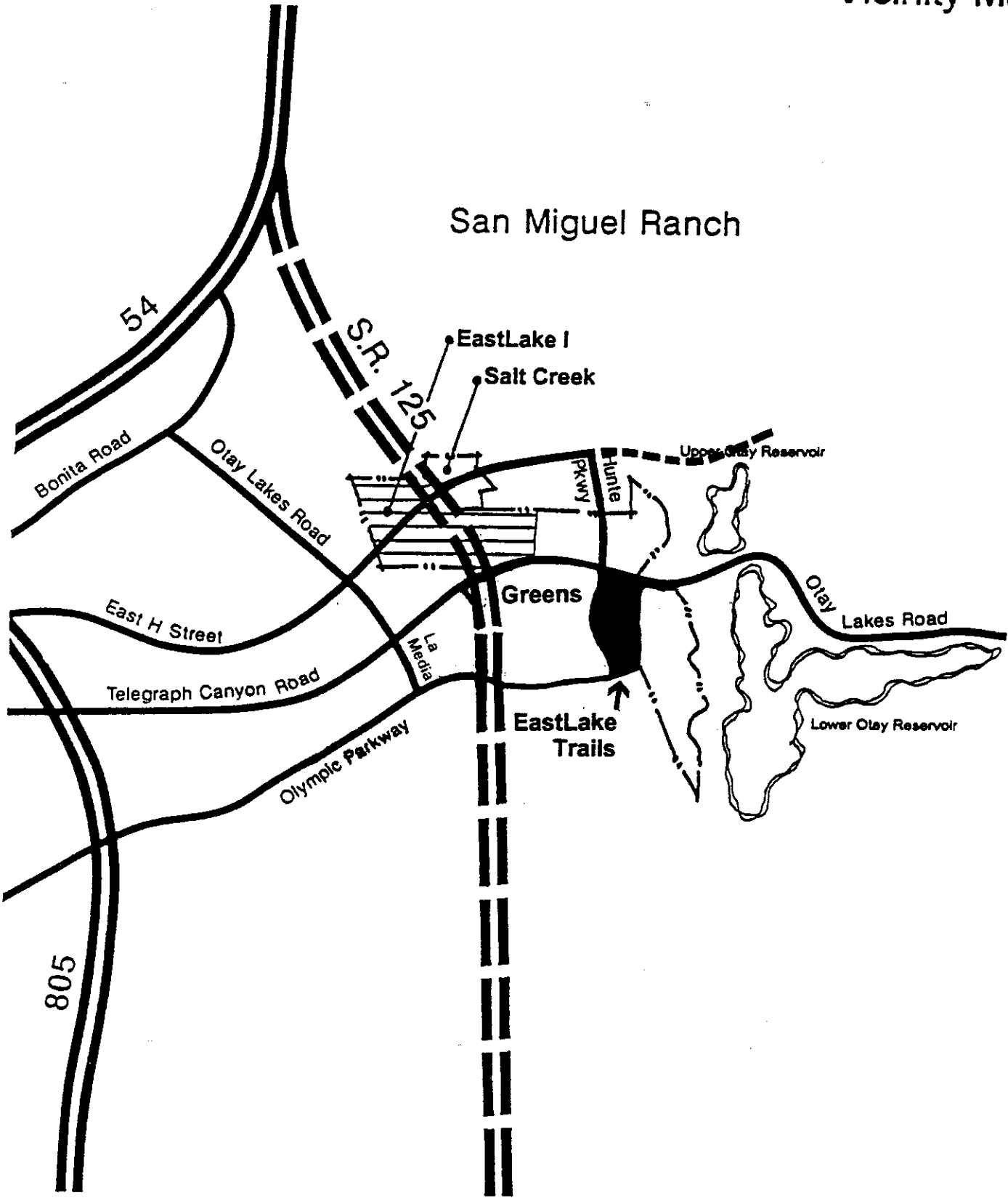
to the north and east; the existing EastLake Greens neighborhood is to the west while the vacant land to the south is planned for development as part of Otay Ranch.

II.5.2.5 Public Facilities Finance Plan Boundaries

Section 19.12.070 of the Municipal Code requires that the boundaries of the PFFP be established by the City at the time a SPA Plan or Tentative Map is submitted by the applicant. The boundaries shall be based upon the impact created by the Project on the existing and future need for facilities. The project boundaries will correlate the proposed development project with existing and future development proposed for the area of impact to provide for the economically efficient and timely installation of both onsite and offsite facilities and improvements required by the development. In establishing the boundaries for the PFFP, the City shall be guided by the following considerations:

1. Service areas, drainage, sewer basins, and pressure zones which serve the Project;
2. Extent to which facilities or improvements are in place or available;
3. Ownership of property;
4. Project impact on public facilities relationships, especially the impact on the City's planned major circulation network;
5. Special district service territories;
6. Approved fire, drainage, sewer, or other facilities or improvement master plans.

The boundaries of the PFFP for the EastLake Trails project are congruent with the Sectional Planning Area (SPA) Plan boundaries. However, the PFFP does address certain facilities (streets, drainage, sewer, police, fire, etc.) which are impacted beyond the boundaries of the SPA Plan.



EASTLAKE

A PLANNED COMMUNITY BY EASTLAKE DEVELOPMENT CO.



Figure 1

II.5.3 LAND USE ASSUMPTIONS

II.5.3 LAND USE ASSUMPTIONS

II.5.3.1 Purpose

The purpose of this section of the PFFP is to quantify how the EastLake Trails project will be analyzed in relationship to all other projects which are at some stage in the City's development process. The Growth Management Program addressed the issue of development phasing in relationship to location, timing, and fiscal/economic considerations.

Based upon the overall elements to be considered when projecting the phasing of development and policies contained in the Growth Management Program, the City was able to forecast where and when development will take place and produced a 5 to 7 year Development Phasing Forecast. Since the approval of the Growth Management Program, the development phasing forecast has been updated and will be updated periodically as facility improvements are made and the capacity for new development becomes available.

The specific factors which effect the development phasing forecast include the status of development approvals and binding development agreements, and the future construction of State Route 125. These components were reviewed as part of this PFFP in conjunction with the requirement to provide facilities and services, concurrent with the demand created by the EastLake Trails project, to maintain compliance with the threshold standards.

The management of future growth includes increased coordination of activities of the various City departments as well as with both School Districts and Water Districts which serve the City of Chula Vista. The development phasing forecast enables the City to prioritize and maximize limited staff resources in order to focus efforts on the highest priority projects in the forecast. The development phasing forecast (5 to 7 years) is a method which will be used to effectively and efficiently manage future development.

As indicated in the Growth Management Program, accuracy of the forecast is dependent upon numerous outside influences which affect the overall demand for new development. The first 12 to 18 months of the forecast will be more accurate and subsequent years less accurate due to lower levels of development approval and corresponding agreements to provide public facilities. These later years are subject to change and will become more accurate as development entitlements are obtained and public facilities are guaranteed.

The PFFP for EastLake Trails will begin analyzing the existing demand for facilities based upon the demand from existing development. Next, the development identified in the development phasing forecast to the year 2005 is added to the existing development category. Then, the PFFP adds the proposed phasing of the EastLake

Trails project, as shown in the Sectional Planning Area (SPA) Plan, to determine the cumulative impacts associated with each phase of the project.

II.5.3.2 Existing Development

As a starting point, the PFFP considers all existing development up to July 1997 as the base condition. This information is based upon City of Chula Vista Planning Department growth management monitoring data. According to this data, the population of the City as of July 1997 was estimated to be 157,427. The population west of Interstate 805 was approximately 109,647 and east of Interstate 805 approximately 47,780.

For the purposes of projecting facility demands for the EastLake Trails SPA, the City of Chula Vista utilizes a 1998 population coefficient of 2.975 persons per dwelling unit. This factor is used throughout this Public Facilities Financing Plan to calculate facility demands from approved projects. This coefficient has been confirmed for use in the PFFP by the Planning Department. The same coefficient will be used for calculating the specific EastLake Trails project facility demands.

II.5.3.3 Development Phasing Forecast

A summary of the latest development phasing forecast is shown in Table 3. The table reflects total dwelling units, and industrial and commercial acres remaining for building permit issuance as of July 1, 1997, as well as an estimate of the amount of development activity anticipated to the year 2005 (approx. 5-7 years from 1997).

The total number of dwelling units remaining for building permit issuance to the year 2005 is 13,658 dwelling units. Additionally, there were 161.4 acres of industrial and 60.2 acres of commercial land remaining for permit issuance in the year 2005 category. It should be noted that these projects are used for analytical purposes only and unless a development agreement or other legal instrument guarantees facility capacity, some projects with varying levels of entitlement may not have committed capacity.

II.5.3.4 EastLake Trails Development Summary

The EastLake Trails project is proposed to include a total of 1,143 residential dwelling units and other land uses constructed in three (3) phases as shown in Figures 2 and 3 and in Table 4 on the following pages.

Also included within the project are 25.3 acres of public parks, 5.8 acres of private parks, a 13.2 acre school site, 4.6 acres for community purpose facilities, 25.7 acres of open space, 16.0 acres of major circulation facilities, and 7.7 acres for future urban development.

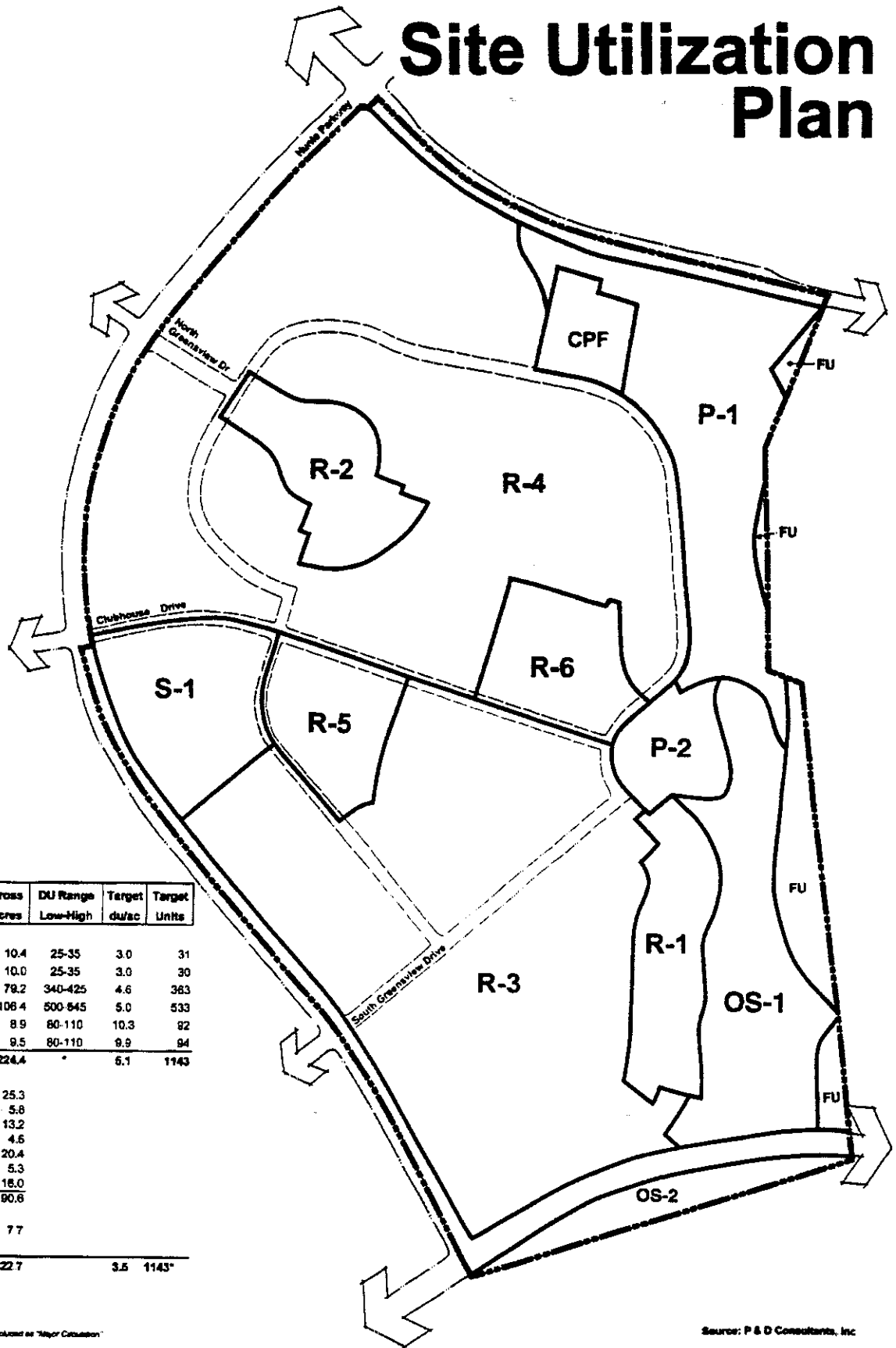
**Table 3
Development Phasing Forecast (5 to 7 Years) Summary**

| Development | Assessment District Number | Tract Number | Dwelling Units Remaining on 7-1-97 | Industrial Acres Remaining on 7-1-97 | Commercial Acres Remaining on 7-1-97 | Units to Year 2005 | Commercial Acres to Year 2005 | Industrial Acres to Year 2005 |
|------------------------------------|-----------------------------------|---------------------|---|---|---|---------------------------|--------------------------------------|--------------------------------------|
| Rancho Del Rey I | 87-1 | 88-1 | 54 | 15.9 | 15.7 | 54 | | |
| EastLake I/BP Phase I | 88-1 | 84-9 | 0 | 58.8 | | | | 58.8 |
| EastLake I/BP Phase II | 88-1 | | | 102.6 | | | | 102.6 |
| Corona Vista | | 87-1 | 2 | | | 2 | | |
| Olympic T. C. ¹ | 90-3 | 90-5 | | | | | | |
| Rancho Del Rey II | 87-1 | 89-5 | 285 | | | 285 | | |
| Rancho Del Rey Business Ctr. | 87-1 | | | 14.5 | 10.3 | | 10.3 | |
| Salt Creek I (Rancho La Cuesta) | 90-1 | 89-9 | 0 | | | 0 | | |
| Salt Creek Ra. (Rolling Hills Ra.) | | 92-2 | 2609 | | | 1310 | | |
| Telegraph Cyn. Estates | | 93-3 | 89 | | | 89 | | |
| EastLake Greens ² | 90-3, 94-1 | 88-3 | 1641 | | 87 | 1238 | | |
| Sunbow II | | 87-8 | 1946 | 46 | 11 | 1055 | 5 | |
| EastLake Village Ctr. | 90-3 | 84-9 | 0 | | 75.7 | | 37.9 | |
| Brehm Terra Nova (Sanibelle) | | 89-14 | 20 | | | 20 | | |
| Vista Mother Miguel | | | 43 | | | 43 | | |
| Rancho Del Rey III | | 90-2 | 823 | | | 823 | | |
| EastLake III Vistas | | | 1092 | | | 433 | | |
| East Palomar Estates | | | 7 | | | 7 | | |
| Bonita Meadows | | | 290 | | | 290 | | |
| San Miguel Ranch | | | 1394 | | 13.9 | 813 | 7 | |
| Otay Ranch | 97-2 | | 17903 | | | 7196 | | |
| Otay Valley Rd. Redev. | | several | | 123.4 | | | | |
| | | Totals | 28,198 | 361.2 | 213.6 | 13,658 | 60.2 | 161.4 |

¹ OTC map includes 300 beds for athletes.

² Unit figures based on entitlements of the original Tentative Map #88-3 (2774 units), and the July, 1994, amendment to the TM (#88-3A) which added 97 units. Also includes development for area designated as "EastLake Greens Landswap."

Site Utilization Plan



| Parcel NO. | Land Use | P.C. Dist. | Gross Acres | DU Range Low-High | Target du/ac | Target Units |
|------------------------|--------------------|------------|--------------|-------------------|--------------|--------------|
| RESIDENTIAL | | | | | | |
| R-1 | Low - SFD | RS | 10.4 | 25-35 | 3.0 | 31 |
| R-2 | Low - SFD | RS | 10.0 | 25-35 | 3.0 | 30 |
| R-3 | Low Med. - SFD | RP | 78.2 | 340-425 | 4.6 | 363 |
| R-4 | Low Med. - SFD | RP | 106.4 | 500-645 | 5.0 | 533 |
| R-5 | Medium - SFD/SFAMF | RC | 8.9 | 60-110 | 10.3 | 92 |
| R-6 | Medium - SFD/SFAMF | RC | 9.5 | 60-110 | 9.9 | 94 |
| Sub-total | | | 224.4 | | 6.1 | 1143 |
| NON-RESIDENTIAL | | | | | | |
| P-1 | Public Park | OS-4 | 25.3 | | | |
| P-2 | Private Recreation | OS-4 | 5.8 | | | |
| S-1 | Elementary School | PQ-1 | 13.2 | | | |
| CPF | CPF Site | CPF | 4.6 | | | |
| OS-1 | Open Space | OS-7 | 20.4 | | | |
| OS-2 | Open Space | OS-7 | 5.3 | | | |
| Cir. | Major Circulation | | 18.0 | | | |
| Sub-total | | | 90.6 | | | |
| FU | Future Urban | FU | 7.7 | | | |
| SPA TOTAL | | | 322.7 | | 3.5 | 1143* |

* Maximum number of units permitted is 1143.

Notes:

- Streets indicated by dashed lines are conceptual and are not shown as "Major Circulation"
- FU (Future Urban) designation is intended to be determined with the EastLake Vista SPA

Source: P & D Consultants, Inc

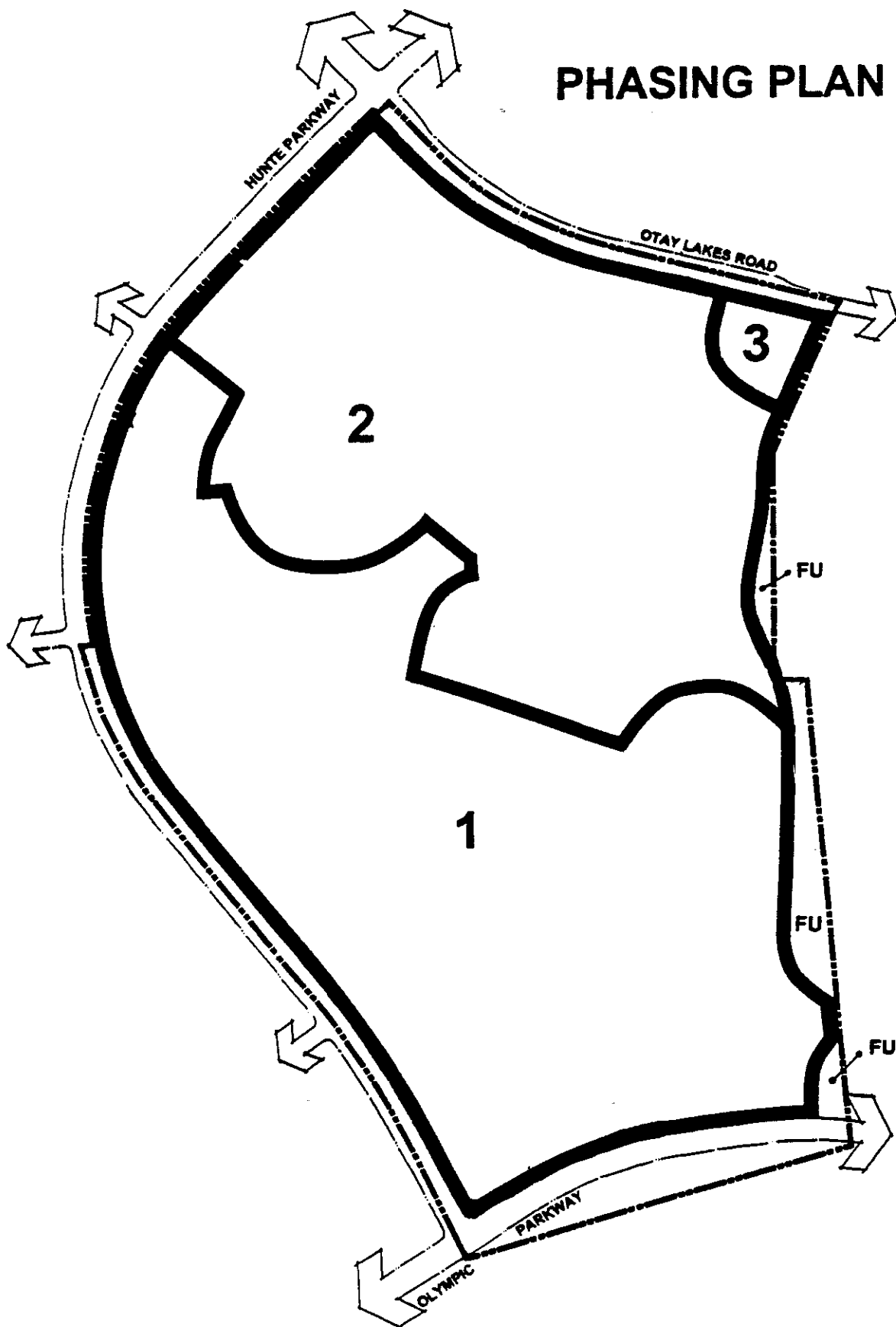
EastLake Trails

A Planned Community by The EastLake Company



Figure 2

PHASING PLAN



EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Figure 3

| Table 4 EastLake Trails Phasing and Site Utilization Plan | | | | |
|--|-------------|-------------|------------|----------------|
| Land Use | Phases | | | Dwelling Units |
| | 1 | 2 | 3 | |
| Residential DU's | | | | |
| R-1 | 31 | 0 | 0 | 31 |
| R-2 | 0 | 30 | 0 | 30 |
| R-3 | 363 | 0 | 0 | 363 |
| R-4 | 140 | 393 | 0 | 533 |
| R-5 | 92 | 0 | 0 | 92 |
| R-6 | 0 | 94 | 0 | 94 |
| Total Residential Units | 626 | 517 | 0 | 1,143 |
| Non-Residential Acres | | | | |
| | | | | Acres |
| P-1 Park Acres | 0 | 21.3 | 4.0 | 25.3 |
| P-2 Private Rec. Acres | 5.8 | 0 | 0 | 5.8 |
| S-1 School Site Acres | 13.2 | 0 | 0 | 13.2 |
| CPF Comm Purpose Site Acres | 0 | 4.6 | 0 | 4.6 |
| OS Open Space Acres | 20.4 | 0 | 5.3 | 25.7 |
| Total Non-Residential Acres | 39.4 | 25.9 | 9.3 | 74.6 |

II.5.3.5 EastLake Trails Equivalent Dwelling Units

Transportation

The following equivalent dwelling units (EDU's) apply to the calculation of impact fees in accordance with Ordinance No's. 2580 for Transportation and 2579 for Interim Pre-SR125 facilities.

The current Transportation Development Impact Fee is \$3,998 per EDU. Each new single family detached dwelling shall be considered one EDU for the purposes of this fee. A single family attached dwelling shall be 0.8 EDU's. A unit within a multi-family dwelling shall be considered 0.6 EDU's. Commercial/Office shall be charged at the rate of 25.0 EDU's per gross acre of land while Industrial is 20.0 EDU's per acre.

The current Interim Pre-SR125 Development Impact Fee is \$820 per EDU. The same EDU rates apply to the Interim Pre-SR125 Development Impact Fee as for the Transportation Development Impact Fee.

Table 5
Equivalent Dwelling Units (EDU's) by Phase for Transportation and Interim Pre-SR125 Facilities

| Land Use | DU's | EDU's by Phase | | | |
|--------------------|----------------|----------------|--------------|------------|----------------|
| | | Phase 1 | Phase 2 | Phase 3 | Total EDU's |
| SFR-DETACHED | 957.0 | 534.0 | 423.0 | 0.0 | 957.0 |
| SFR-ATTACHED | 186.0 | 73.6 | 75.2 | 0.0 | 148.8 |
| EDU's/PHASE | 1,143.0 | 607.6 | 498.2 | 0.0 | 1,105.8 |

Public Facilities

The following table of equivalent dwelling units (EDU's) applies to the calculation of impact fees in accordance with Ordinance 2554 for public facilities. The current Public Facilities Development Impact Fee is \$2,150 per EDU. The fee funds, in part, the following facilities:

| | | |
|-----|-------------------------------|-----------------|
| 1. | Civic Center Expansion | \$ 527 |
| 2. | Police Facility and Equipment | \$ 235 |
| 3. | Corporation Yard Relocation | \$ 515 |
| 4. | Libraries | \$ 544 |
| 5. | Fire Suppression System | \$ 141 |
| 6. | GIS | \$ 49 |
| 7. | Computer Systems | \$ 23 |
| 8. | Telecommunications | \$ 32 |
| 9. | Records Management System | \$ 5 |
| | Subtotal | \$ 2,071 |
| 10. | PFDIF Administration | \$ 79 |
| | Total | \$ 2,150 |

Each new single family detached dwelling, single family attached dwelling, or unit within a multi-family dwelling in a Development Project shall be considered one EDU for purposes of this fee. Commercial/Office and Industrial development Projects shall be charged at the rate of 5.00 EDU's per gross acre of land. The EDU rate for each CPF use shall be charged at the rate of 3 EDU's per gross acre of land.

The calculations of PFDIF due for each facility addressed in the following sections of this report do not include the \$79 amount for "administration." However, this amount is collected as part of the \$2,150 fee per EDU.

Table 6
Equivalent Dwelling Units (EDU's) by Phase for Public Facilities

| Land Use | EDU's by Phase | | | |
|--------------------|----------------|--------------|------------|----------------|
| | Phase 1 | Phase 2 | Phase 3 | Totals |
| RESIDENTIAL | 626.0 | 517.0 | 0.0 | 1,143.0 |
| CPF-Ball Fields | 0.0 | 13.8 | 0.0 | 13.8 |
| EDU's/PHASE | 626.0 | 530.8 | 0.0 | 1,156.8 |

II.5.4 FACILITY ANALYSIS

II.5.4 FACILITY ANALYSIS

This portion of the PFFP contains 13 separate subsections for each facility addressed by this report. Of the 13 facilities, 11 have adopted threshold standards, except Civic Center and Corporation Yard.

The following figure highlights the level of analysis for each facility:

| Facility | LEVEL OF ANALYSIS | | | |
|-------------------------------|-------------------|---------------|------------------------|------------------|
| | Citywide | East of I-805 | Service Area Sub-basin | Special District |
| Traffic | ✓ | ✓ | | |
| Police | ✓ | | | |
| Fire/EMS | ✓ | | ✓ | |
| Schools | | | | ✓ |
| Libraries | ✓ | | | |
| Parks & Recreation | | ✓ | | |
| Water | | | ✓ | ✓ |
| Sewer | | | ✓ | |
| Drainage | | | ✓ | |
| Air Quality | ✓ | | | |
| Fiscal ³ | ✓ | | ✓ | |
| Civic Center ⁴ | | | | |
| Corporation Yard ² | | | | |

Each subsection analyzes the impact of the EastLake Trails Project based upon the adopted Quality of Life Standards. The analysis is based upon the specific goal, objective, threshold standard and implementation measures. The current master plan or documents which are being used in place of a completed master plan is used to determine facility adequacy and is referenced within the facility section.

Each analysis is based upon the specific project processing requirements for that facility, as adopted in the Growth Management Program. These indicate the requirements for evaluating the project consistency with the threshold ordinance at various stages (General Development Plan, Sectional Planning Area Plan/Public Facilities Finance Plan, Tentative Map, Final Map and Building Permit) in the development review process.

³ Fiscal is analyzed on a project-by-project basis

⁴ Specific Threshold Standards have not been developed for these facilities

A service analysis section is included which identifies the service provided by each facility. An existing facilities inventory is included along with those future improvements which will be required through the conditioning of future forecasted development projects or are scheduled to be made in the City's adopted Capital Improvement Budget.

The existing plus forecasted demands for the specific facility are identified in the subsection based upon the adopted threshold standard.

Each facility subsection contains an adequacy analysis followed by a detailed discussion indicating how the facility is to be financed. The adequacy analysis provides a determination of whether or not the threshold standard is being met and the finance section provides a determination if funds are available to guarantee the improvement. If the threshold standard is not being met, mitigation is recommended in the Threshold Compliance and Recommendations subsection which proposes the appropriate conditions or mitigation to bring the facility into conformance with the threshold standard.

II.5.4.1 TRAFFIC

II.5.4.1 TRAFFIC

II.5.4.1.1 Threshold Standard

1. City-wide: Maintain Level Of Service (LOS) "C" or better, as measured by observed average travel speed on all signalized arterial segments except that during peak hours an LOS of "D" can occur for no more than any two hours of the day.
2. West of Interstate 805: Those signalized intersections which do not meet the standard above may continue to operate at their current LOS, but shall not worsen.

II.5.4.1.2 Service Analysis

The City of Chula Vista through the Public Works Department is responsible for ensuring that traffic improvements are provided to maintain a safe and efficient street system within the City. Through project review City staff ensures the timely provision of adequate local circulation system capacity in response to planned development while maintaining acceptable levels of service. Planned new roadway segments and signalized intersections will maintain acceptable standards at the buildout of the City's general plan and circulation element.

The traffic threshold standard will be analyzed by the following:

1. LOS measures shall be for the average weekday peak hour, excluding seasonal and special circumstance variations.
2. The measurement of LOS shall be by the *1985 Highway Capacity Manual* (HCM) method of calculation, using the City's published circulation element design standards.
3. Intersection of City arterials with freeway ramps shall be excluded from this policy.
4. Circulation improvements shall be implemented prior to anticipated deterioration of LOS below established standards.

The Circulation Element of the General Plan serves as the overall facility master plan. Additionally, the *Eastern Chula Vista Transportation Phasing Plan (ECVTPP)* provides additional information relevant to the phasing of development and necessary improvements required in the area east of Interstate 805.

The traffic analysis for the EastLake Trails entitled *Traffic Impact Analysis, EastLake Trails Replanning Program, Chula Vista, California* was prepared by

Linscott, Law & Greenspan, Engineers and dated June 29th, 1998. The analysis addresses both existing and planned circulation system conditions. The study details necessary improvements and outlines the incremental circulation improvements based upon planned project phasing. The study also includes an evaluation of impacts that are considered significant as a result of project development.

Freeway Segments

The California State Department of Transportation (Caltrans) recommends LOS E or better as acceptable for freeways. Caltrans is currently in the process of planning and implementing ramp meters at freeway on-ramps to assist in maintaining acceptable traffic flow on the freeway network. The mitigation of impacts on arterial segments as a result of the implementation of these meters will be the responsibility of Caltrans.

Arterial Roadway Segments

The City of Chula Vista recommend that arterial segments located in largely undeveloped areas maintain level of service C or better. However, as discussed in the *Traffic Impact Analysis, EastLake Replanning Program*, report LOS D or better during the AM and PM peak periods is considered to be an acceptable level of service

Peak Hour Intersections

While roadway levels of service based on daily traffic volumes are useful as a general indication of traffic operating conditions, peak hour operations at major signalized intersections provide a more definitive measure of the actual functional capacity of the circulation network. It is for this reason that intersection performance, which relates to the ability of signalized intersections to operate at acceptable levels of service during peak hours, is considered the primary determinant of adequate operations. For peak hour intersection operations, LOS C or better is considered acceptable with the exception that LOS D may occur at signalized intersections for a period not to exceed a total of two hours in a 24 hours period.

II.5.4.1.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans:

1. Identify phased traffic demand and demonstrate compliance with the "Eastern Chula Vista Transportation Phasing Plan".
2. Identify onsite and offsite impacts and improvements by phase of development.
3. Provide cost estimates for all improvements.

II.5.4.1.4 Existing Conditions

The following paragraphs summarize the results of the level of service analysis for the key project freeway segments, local arterial segments, and intersections.

Freeway Segments

Portions of I-805 in the vicinity of the project were analyzed under existing conditions (Bonita Road to Otay Valley Road). The results of the analysis found that these segments of I-805 operate at acceptable LOS E or better as recommended by the California Department of Transportation during the AM and PM peak periods.

Arterial Segments

The results of the level of service analyses for existing conditions found that East H Street (I-805 to Otay Lakes Road) and Telegraph Canyon Road (I-805 to Medical Center Drive) segments currently operate at LOS "E" in the westbound directions during the AM peak hour and in the eastbound directions during the PM peak hour.

The recent annual traffic monitoring program performed for the GMOC shows acceptable levels of service.

Peak Hour Intersections

Three signalized intersections were found to currently operate at an unacceptable level of service during the peak hours. The East H Street/I-805 northbound ramps intersection operates at LOS E during the AM peak hour, East H Street/I-805 southbound ramps intersection operates at LOS F during the PM peak hour, and Telegraph Canyon Road/I-805 southbound ramps intersection operates at LOS F during the PM peak hour.

Based on a more detailed study of all intersections and traffic volume to road capacity ratios, all of the above mentioned intersections operate at an acceptable level of service.

II.5.4.1.5 Transit

The following principles should be followed in determining the location of transit stops along planned transit routes in the community and in designing the pedestrian system:

1. Where there are numerous major pedestrian generators, access to stops for transit vehicles moving in both directions would be facilitated by locating transit stops near striped intersections.

2. Transit stops should be located and walkways designed to provide access as directly as possible without impacting residential privacy.
3. At intersection points of two or more transit routes, stops should be located to minimize walking distance between transfer stops.
4. Transit vehicle conflicts with automobile traffic can be mitigated by locating bus turnouts at the far side of intersections in order to permit right-turning vehicles to continue movement.
5. Transit stops should be provided with adequate walkway lighting and designed shelters.
6. Walkway ramps should be provided at transit stops to ensure accessibility to the handicapped.

II.5.4.1.6 Trip Generation and Phasing

Network Analysis

The analysis of network performance under the EastLake Trails alternatives was based on the traffic forecasting methodologies and land use forecast information contained in the Series 8 Transportation Model, developed and operated by San Diego Association of Governments (SANDAG). Linscott, Law & Greenspan (LLG) worked with the City of Chula Vista and SANDAG to input the proper land use and network designations into the model for the five scenarios. Series 8 regional projections for population and employment were utilized in the EastLake Trails traffic forecasting model runs. The model also assumed the partial buildout of approximately 6,000 acres of industrial land in Otay Mesa, located to the south of the project site. SANDAG staff performed all transportation modeling for the EastLake Trails Transportation Analysis under the direction of LLG.

- Year 2000 without SR 125
- Year 2005 without SR 125
- Year 2005 with SR 125
- Year 2010 with SR 125
- Buildout with SR 125

Under each of the above scenarios, some key network assumptions were assumed by the project team.

1. Year 2000: no SR 125 or Olympic Parkway east of Medical Center Drive.

2. Year 2005: a) Olympic Parkway is assumed as a four lane roadway between I-805 and Wueste Road, b) Hunte and EastLake Parkways completed to their ultimate configuration from Otay Lakes Road to Olympic Parkway, and c) analysis performed with and without SR 125 as a toll road.
3. Year 2010: a) SR 125 is assumed built as toll road, b) Olympic parkway built to its ultimate configuration (6 lane roadway) between I-805 and Wueste Road, c) Hunte and EastLake Parkways built to their ultimate configuration from Otay Lakes Road to Olympic Parkway, and d) The northbound on-ramp and southbound off-ramp at I-805/East Palomar Street interchange are opened to traffic.
4. Year Buildout: SR 125 operates as a freeway (not a toll road).

Project trip generation

The proposed project will generate approximately 11,990 average daily trips with 9,200 trips resulting from residential units, 1,340 trips from a neighborhood park, and 1,450 trips resulting from an elementary school within the project land uses.

The purpose of conducting a detailed transportation phasing analysis for the project is to develop a recommended set of transportation system improvements for each phase of the project development. For purposes of the traffic analysis, the project was subdivided into two phases: Phase I is defined as Years 1998 to 2000 and Phase II as Years 2000 to 2005. The phasing analysis also determined the amount of development that can be accommodated by the transportation system during each phase.

The phasing analysis incrementally loads cumulative and project only trips to segments and intersections within the Study Area. Only those planned developments which have obtained tentative map approval are included in the phasing analysis.

Table 7 calculates the trips generated within the EastLake Trails project by phase and land use. The circulation system assumed under Phases I - II with the following trigger points based on average daily trips (ADT) taken from the Traffic Analysis of the EIR were used to create the tables:

| | |
|----------|------------------|
| Phase I | 6,060 ADT |
| Phase II | <u>5,930</u> ADT |
| | 11,990 ADT |

Table 7
Trip Generation for EastLake Trails by Phase and Land Use Combined (*)

| Phase | SFR @ 8 | Passive Park @ 5 | Act. Park @ 50 | Schools @ 145 | Total Trips |
|-------|------------|---------------------|-------------------|------------------|----------------|
| 1 | 4,320.0 | 70.0 | 220.0 | 1,450.0 | 6,060 |
| 2 | 4,880.0 | 70.0 | 980.0 | 0.0 | 5,930 |
| TOTAL | 9,200.0 | 140.0 | 1,200.0 | 1,450.0 | 11,990 |

note (*): For the purposes of the traffic analysis, the EastLake Trails project was assumed with a higher land uses in order to determine a worst case scenario. The traffic report assumed the following project land uses:

- 1,150 single family dwelling units,
- 13 gross acre (10 net acre) elementary school,
- 28.2 acre passive park, and
- 24.1 acre active park.

II.5.4.1.7 Network Performance Assessment Process

The Traffic Impact Report (*Traffic Impact Analysis, EastLake Trails Replanning Program, June 29th, 1998 by LLG*) included the traffic model projections for cumulative development projects. The report also identified the number of daily trips for each project phasing development on key roadway segments in order to perform the analysis of network performance based on daily segment levels of service. This performance evaluation was performed for all Study Area arterial and freeway segments. A review of peak hour intersection operations was also performed which required the application of peak hour factors to average daily traffic volumes to develop peak hour turning movements at each of the key project intersections.

II.5.4.1.8 Adequacy Analysis

The adequacy of the traffic system is based upon the Traffic Impact Report which considered two cases for the buildout of the project. First case considers SR-125 is not built by the year 2005 and the second case considers SR-125 is built as a toll road by 2005. The analysis of the two cases was necessary in order to provide adequate mitigation for increased traffic levels for the project in the event the SR-125 is not completed as scheduled. The approval and subsequent implementation of SR-125 should allow the City to implement the second case analysis mitigation measures outlined in the Traffic Impact report. In any case, maintenance of the City's Growth Management Threshold Standards for level of services is required.

Arterial roadway segments were analyzed to determine whether a project-related impact is "significant" or "less than significant" with regard to the following three levels of criteria.

1. Project contribution of 800 or more daily trips to the roadway segment (800 or more daily trips is the CMP threshold for determining a project impact).
2. Five percent (5%) or more project traffic contributed to total ADT projected for the given study year.
3. Level of Service (LOS) drops from acceptable LOS A through D to LOS E or F; or LOS drops from LOS E to LOS F as compared to the given year with No Project conditions.
4. Criterion 1 is applied to all impacted segments to identify segments that meet the CMP threshold for having a project-related impact. If criterion 1 is not met, then criteria 2 and 3 are not applied. Criterion 2 is then applied to the list of segments with more than 800 daily trips contributed (criterion 1) to cumulative ADT to screen for impacts to be carried forward to criterion 3. If criterion 3 is met in addition to Criteria 1 and 2, the impact is considered a significant project-related impact. If an arterial roadway segment meets criteria 1 and 2, but does not meet criterion 3, is considered a less than significant project-related impact.

The City of Chula Vista General Plan Circulation Element recommends LOS C or better as acceptable for arterial roadway segment ADT volumes. This LOS C is applied to the buildout analysis presented in pages 72 & 73 (Table 19-Buildout Street Segment Operations) of the Traffic Impact Study by LLG, dated June 29, 1998. These standards are generally used as long-range planning guidelines to determine the functional classification of roadways and maintain quality of life for Southbay residents. It should be recognized that the actual functional capacity of roadway facilities vary by the actual characteristics which exist on each facility under review. Typically, the performance and LOS of a roadway segment is based on the ability of arterial intersections to accommodate peak hour volumes. Special designs of intersections to achieve acceptable levels of service and lower levels of approach delay could result in higher capacities than those shown in Table 5 of the Traffic Impact Study Report for the project. Such designs are evaluated in further detail in subsequent chapters of that study report.

Level of Service D is considered acceptable under Existing and Interim Conditions (Years 2005 and 2010) for roadway segments within the jurisdiction of the City of Chula Vista, assuming adjacent intersection performance is acceptable. Due to the fact that the transportation network in the interim time frame is only partially

constructed and the geographic distribution of trip activity is limited, there will be a lack of balance in the assignment of traffic prior to the construction of the full General Plan Circulation Element in the eastern portion of the general plan area (Eastern Territories).

In addition to conformance with the arterial roadway performance standards detailed above, the project will be required to conform to the threshold standards included in the Traffic section of the adopted Growth Management Ordinance. The project's participation in the City's annual review of network performance is mandated as all major circulation element facilities within the City of Chula Vista are included in the annual traffic study prepared by the City Public Works Department, Engineering Division, and reviewed for conformance by the Growth Management Oversight Commission (GMOC). Finally, utilization of the arterial performance standards presented in the Traffic Impact Study and the required adherence to the Growth Management traffic threshold standards will result in full conformance with the requirements of the mitigation measures described in the Findings of Fact adopted for the EastLake Trails EIR related to Transportation, Circulation, and Access.

Peak Hour Intersections were analyzed to determine whether a project-related impact is "significant" or "less than significant" with regard to the following two levels of criteria.

1. Five percent (5%) or more project traffic contributed to projected given study year total entering volumes.
2. Level of Service (LOS) drops from acceptable LOS A through D to LOS E or F; or LOS drops from LOS E to LOS F as compared to the given study year under No Project conditions.

If an impacted intersection meets Criteria 1 and 2, the impact is considered to be a significant project-related impact. If neither or just one criterion is met, the impact is considered to be less than significant.

Freeway Segment Impacts/Mitigation

Impacts to freeway segments for the portions of I-805 in the vicinity of EastLake Trails project have been identified and some segments are forecasted to operate at LOS F. Under the regional Congestion Management Plan (CMP) a reduction in freeway segment level of service from LOS E to LOS F is considered a significant impact and requires the development of a Deficiency Plan. This Plan would be developed jointly by SANDAG, Caltrans, APCD, MTDB, and the City of Chula Vista.

One of the main purposes of the Deficiency Plan is to identify where and when a deficiency is expected to occur before it actually happens. EastLake Trails is one of many development plans for the Southbay which will contribute to the cumulative daily traffic volume growth, especially in the I-805 corridor. The early development of the Deficiency Plan by the multi-agency team will assist in the identification of project only fair-share contributions for improvements and mitigation.

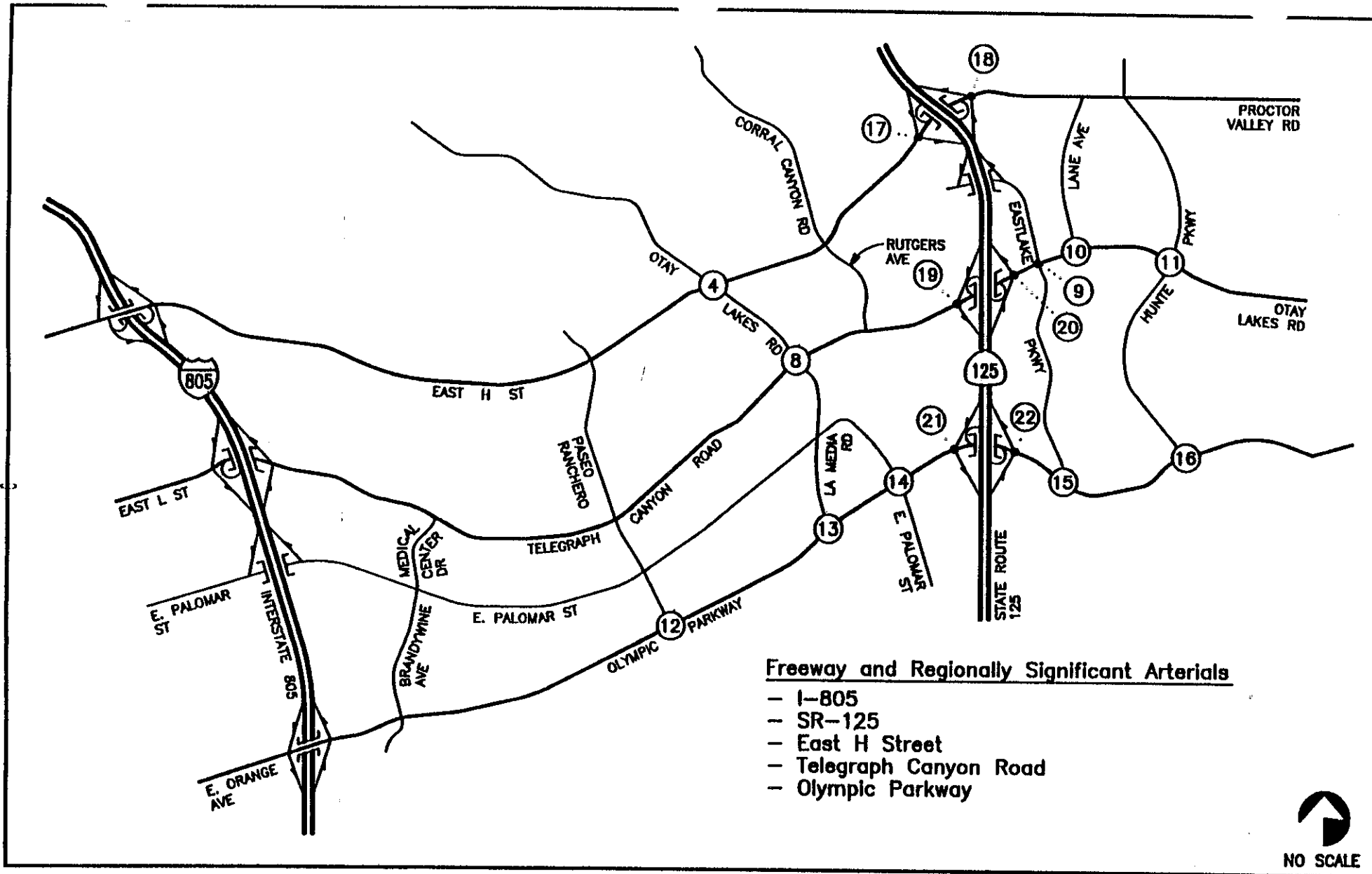
PROJECT PHASING

The phasing shown herein is consistent and conforms to the phasing contained in the *Traffic Impact Analysis, EastLake Trails Replanning Program, Chula Vista, California* was prepared by Linscott, Law & Greenspan, Engineers and dated June 29th, 1998. Development of EastLake Trails project contributes 6,060 daily trips during Phase I (1998-2000). Development of Phase II of the EastLake Trails project contributes an additional 5,930 daily trips (2000-2005). This results in a cumulative total of 11,990 daily trips loaded onto the circulation network during both phases of the EastLake Trails development.

Five alternative network development scenarios were analyzed for Phases I and II as follows:

- **Alternative A** (year 2000) analyzes the impacts associated with the EastLake Trails Phase I Traffic on the existing circulation system. Olympic Parkway (East Orange Avenue) would not be extended from its current terminus east of Brandywine Avenue to the project easterly limits and SR 125 would not be built by year 2000.
- **Alternative B** (year 2005 without SR 125) analyzes the impacts associated with the EastLake Trails Buildout (Phases I & II) on the projected year 2005 circulation system. Olympic Parkway would be extended as a 4-lane roadway easterly to Wueste Road at the easterly limits of EastLake Trails project. SR 125 would not be built under this alternative and EastLake and Hunte Parkways would be extended southerly to Olympic Parkway as 4-lane major facilities.
- **Alternative C** (year 2005 with SR 125 as toll road) analyzes the impacts associated with the EastLake Trails Buildout on the projected year 2005 circulation system. Olympic Parkway would be extended as a 4-lane roadway easterly to Wueste Road and SR 125 as toll road under this alternative. EastLake and Hunte Parkways would be extended southerly to Olympic Parkway as 4-lane major facilities.

- **Alternative D** (year 2010 with SR 125 as toll road) analyzes the impacts associated with the EastLake Trails Buildout on the projected year 2010 circulation system. Olympic Parkway would be built as a 6-lane roadway easterly to Wueste Road and SR 125 as toll road under this alternative. EastLake and Hunte Parkways would be extended southerly to Olympic Parkway as 4-lane major facilities. This alternative considers the half-diamond interchange at I-805/East Palomar Street completed.
- **Alternative E** (General Plan Buildout with SR 125 as freeway) analyzes the impacts associated with the EastLake Trails Buildout on the projected buildout year (2015) of the City's general plan land uses circulation system. Olympic Parkway would be built as a 6-lane roadway facility easterly to Wueste Road and SR 125 as a regular freeway facility under this alternative. EastLake and Hunte Parkways would be extended southerly to Olympic Parkway as 4-lane major facilities. This alternative also includes the half-diamond interchange at I-805/East Palomar Street.



Eastern Area Circulation Map

Figure 4

Roadway Segment and Intersection Impacts/Mitigation

Street, intersection and interchange improvements required of EastLake Trails project as mitigation are identified

- **Alternative A (year 2000)**

Intersection: Based on the established significance criteria, a potential cumulative impact is identified at the intersections of East H Street/I-805 southbound ramps and Telegraph Canyon Road/I-805 southbound ramps. The project peak hour traffic contribution at these intersections is less than 5% of the intersection entering volume. Therefore, the traffic impact is considered cumulative and not project related impact.

Cumulative Mitigation

Provide a fourth eastbound through lane and a third northbound right-turn lane at the intersection of East H Street and I-805 southbound ramps.

Extend Olympic Parkway eastward to Paseo Ranchero. The extension of Olympic Parkway will improve the level of service at the intersection of Telegraph Canyon Road/I-805 southbound ramps.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Street Segments: Based on the established significance criteria, a potential cumulative significant impact is identified on East H Street between I-805 and Hidden Vista Drive and on Telegraph Canyon Road between I-805 and Paseo Del Rey.

Cumulative Mitigation

Constructing SR-125 would improve the level of service on the segment of East H Street.

Improve the segment on Telegraph Canyon Road from a 6-lane Major Arterial to 6-lane Prime Arterial roadway standard.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Freeways: Based on the established significance criteria, a potential cumulative significant impact is identified on I-805 in the vicinity of the project.

Cumulative Mitigation

Improve I-805 in the vicinity of the project to a 10-lane freeway section.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

- **Alternative B (year 2005 without SR-125)**

Intersection: Based on the established significance criteria, a potential cumulative impact is identified at the intersections of East H Street/I-805 southbound ramps and Telegraph Canyon Road/I-805 southbound ramps. The project peak hour traffic contribution at these intersections is less than 5% of the intersection entering volume. Therefore, the traffic impact is considered cumulative and not project related impact.

Cumulative Mitigation

Provide a fourth eastbound through lane and a third northbound right-turn lane at the intersection of East H Street/I-805 southbound ramps intersection.

Extend Olympic parkway eastward to Hunte Parkway. The extension of Olympic Parkway will improve the level of service at the intersection of Telegraph Canyon Road/I-805 southbound ramps.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Street Segments: Based on the established significance criteria, a potential cumulative significant impact is identified on East H Street between I-805 and Hidden Vista Drive, Otay Lakes Road between East H Street and Telegraph Canyon Road, and Olympic Parkway between I-805 and Paseo Ranchero.

Cumulative Mitigation

Constructing SR-125 would mitigate the traffic impact on East H Street from I-805 to Hidden Vista Drive

Improve the segment on Otay Lakes Road east of Hunte Parkway to a 6-lane Prime Arterial facility.

Improve Otay Lakes Road between East H Street and Telegraph Canyon Road from a 4-lane Major Arterial to a 6-lane Major Arterial roadway standards and/or construct SR-125.

Improve Olympic Parkway between I-805 and Paseo Ranchero from 4-lane Major Arterial to a 6-lane Prime Arterial roadway standards.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Freeways: Based on the established significance criteria, a potential cumulative significant impact is identified on I-805 in the vicinity of the project.

Cumulative Mitigation

Improve I-805 in the vicinity of the project (Telegraph Canyon Road to Bonita Road) to a 10-lane freeway section.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

- **Alternative C (year 2005 with SR-125 as toll road)**

Intersection: Based on the established significance criteria, no potential project or cumulative impact is identified at any of the intersections within the study area.

Street Segments: Based on the established significance criteria, no potential project or cumulative impact is identified at any of the roadway segments within the study area.

Freeways: Based on the established significance criteria, a potential cumulative significant impact is identified on I-805 in the vicinity of the project.

Cumulative Mitigation

Improve I-805 in the vicinity of the project (Telegraph Canyon Road to Bonita Road) to a 10-lane freeway.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

- **Alternative D (year 2010 with SR-125 as a toll road)**

A key assumption under this scenario analysis is that EastLake Parkway is a 6-lane facility between Otay Lakes Road and Miller Drive and Otay Lakes Road is an 8-lane facility between EastLake Parkway and SR-125. These improvements are of the Village Center (Village One) as stated in the EastLake I SPA Plan Amendment Public Facilities Financing Plan dated June 1992.

Intersection: Based on the established significance criteria, a potential project impact is identified at the intersection of Otay Lakes Road and Lane Avenue.

Project Mitigation:

Provide a second eastbound left-turn lane on Otay Lakes Road and a second southbound right-turn lane on Lane Avenue.

Cost: \$768,500 includes design (15%), administration and inspection (15%), project contingency (20%).

Street Segments: Based on the established significance criteria, a potential cumulative significant impact is identified on Otay Lakes Road (SR-125 to EastLake Parkway), EastLake Parkway (north of Otay Lakes Road to Olympic Parkway), and on Lane Avenue (Proctor Valley Road to Otay Lakes Road).

Cumulative Mitigation

Improve Otay Lakes Road between EastLake Parkway and SR-125 to an 8-lane facility.

Improve the remaining segments of EastLake Parkway from north of Otay Lakes Road to Olympic Parkway to a 6-lane Major roadway facility.

Improve Lane Avenue between Proctor Valley Road and Otay Lakes Road to a 4-lane Major roadway facility.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Freeways: Based on the established significance criteria, a potential cumulative significant impact is identified on I-805 in the vicinity of the project.

Cumulative Mitigation

Improve I-805 to a 10-lane freeway facility from Olympic Parkway to Otay Valley Road.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

● **Alternative E (General Plan Buildout with SR-125 as Freeway)**

Street Segments: Based on the established significance criteria, potential project and cumulative significant impacts are identified on EastLake Parkway north of Otay Lakes Road to Olympic Parkway.

Cumulative Mitigation

Improve the remaining segments of EastLake Parkway from north of Otay Lakes Road to Olympic Parkway to a 6-lane Major roadway facility.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Freeways: Based on the established significance criteria, a potential cumulative significant impact is identified on I-805 in the vicinity of the project.

Cumulative Mitigation

Improve I-805 to a 12-lane freeway facility between Telegraph Canyon Road and Bonita Road.

Project Mitigation

There are no mitigation associated directly to the EastLake Trails project.

Subsection C of Municipal Code Section 19.09.100 (Growth Management Ordinance) requires that if the City Manager determines that facilities or improvements within a PFFP are inadequate to accommodate any further development within that area the City Manager shall immediately report the deficiency to the City Council. If the City Council determines that such events or changed circumstances adversely affect the health, safety or welfare of City, the City may require amendment, modification, suspension, or termination of an approved PFFP.

II.5.4.1.9 Financing Traffic Improvements

Transportation Development Impact Fees (DIF)

On December 7, 1993, the Chula Vista City Council adopted Ordinance 2580 amending Ordinance 2251 which previously commenced collection of development impact fees (DIF) to be used to construct circulation element transportation facilities to accommodate increased traffic generated by new development within the City's eastern territories. The fee is \$3,998 per equivalent dwelling unit (EDU) effective January 1, 1995.

Also effective January 1, 1995 is an interim pre-SR-125 development impact fee in the amount of \$820 per equivalent dwelling unit to implement the pre-SR-125 strategy as defined in the study entitled "Interim State Route 125 Facility Feasibility Study" dated May 1993.

The EastLake Trails project is within the boundaries of the Transportation DIF program and, as such, the project is subject to the payment of the fees at the rates in effect at the time building permits are issued. However, the improvement

identified on Page 3.2.14 of the PFFP will be required to be constructed according to the approved phasing plan. In this case, the DIF ordinance allows for the issuance of credit in lieu of fees when an eligible facility is constructed by the project. If the total eligible construction cost amounts to more than the total required DIF fees as is indicated below, the owner/developer will be given credits toward future building permits outside of the SPA area.

The following equivalent dwelling units (EDU's) apply to the calculation of impact fees in accordance with Ordinance No's. 2580 for Transportation and 2579 for Interim Pre-SR125 facilities.

The Transportation Development Impact Fee beginning January 1, 1995 is \$3,998 per EDU. Each new single family detached dwelling shall be considered one EDU for the purposes of this fee. A single family attached dwelling shall be 0.8 EDU's. A unit within a multi-family dwelling shall be considered 0.6 EDU's. Commercial/Office shall be charged at the rate of 25.0 EDU's per gross acre of land while Industrial is 20.0 EDU's per acre.

The Interim Pre-SR125 Development Impact Fee beginning January 1, 1995 is \$820 per EDU. The same EDU rates apply to the Interim Pre-SR125 Development Impact Fee as for the Transportation Development Impact Fee.

Table 8
Equivalent Dwelling Units (EDU's) by Phase for Transportation and Interim Pre-SR125 Facilities

| Land Use | DU's | EDU's by Phases | | | Total EDU's |
|--------------------|----------------|-----------------|--------------|------------|----------------|
| | | 1 | 2 | 3 | |
| SFR-DETACHED | 957.0 | 534.0 | 423.0 | 0.0 | 957.0 |
| SFR-ATTACHED | 186.0 | 73.6 | 75.2 | 0.0 | 148.8 |
| EDU's/PHASE | 1,143.0 | 607.6 | 498.2 | 0.0 | 1,105.8 |

Table 9
Transportation DIF Fees

| Development Phase | EDU's | Transportation Fee @ \$3,998/EDU |
|-------------------|----------------|----------------------------------|
| 1 | 957 | \$3,826,086 |
| 2 | 148.8 | 594,902 |
| Total | 1,105.8 | \$4,420,988 |

| Development Phase | EDU's | Interim Pre-SR125 Fee @ \$820.00/EDU |
|-------------------|----------------|--------------------------------------|
| 1 | 957 | \$784,740 |
| 2 | 148.8 | 122,016 |
| Total | 1,105.8 | \$906,756 |

Traffic Signal Fee

Future development within EastLake Trails will be required to pay Traffic Signal Fees in accordance with Chula Vista Council Policy No. 475-01. The fee is calculated at \$13.00 per vehicle trip generated per day for various land use categories. The fees per phase consistent with Table 7 are as follows: \$78,780 for Phase 1 at 6,060 trips; and \$77,090 for Phase 2 at 5,930 trips. The total traffic signal fees due from EastLake Trails is \$155,870.

Non-DIF Streets and Signals

The EastLake Trails project contains residential streets and signals that, by city policy, are not eligible for DIF credit. These streets and signals will be funded by the development.

II.5.4.1.10 Threshold Compliance and Recommendations

Threshold compliance will continue to be monitored through the annual intersection monitoring program and the Eastern Chula Vista Transportation Phasing Plan updates.

Based upon the Traffic Impact Report for the proposed project, threshold compliance is projected to be maintained with implementation of the improvements identified to have a significant impact and with the payment of transportation impact fees or the construction of street improvements identified herein

EastLake Trails shall be conditioned to pay Transportation DIF Fees and Interim Pre-SR125 DIF Fees at the rate in effect at the time building permits are issued

Lane Avenue: It is recommended that the improvements on Lane Avenue and Otay Lakes Road intersection be incorporated into the City's Transportation DIF program.

Olympic Parkway Feasibility and Financing Study: The City is currently completing a feasibility and financing study for the construction of Olympic

Parkway east of Interstate 805. It is recommended that EastLake Trails be required to participate with its fair share for the construction of Olympic Parkway east of I-805.

Otay Lakes Road: Otay Lakes Road shall be constructed as a six lane prime arterial along the entire frontage of the Eastlake Trails. Construction security and right-of-way shall be guaranteed prior to approval of the first final map in phase 2 of Eastlake Trails. Actual roadway construction may be postponed, at the discretion of the City Engineer, until the development of adjacent properties.

II.5.4.2 POLICE

II.5.4.2 POLICE

II.5.4.2.1 Threshold Standard

- A. Emergency response: properly equipped and staffed police units shall respond to 84 percent of "Priority One" emergency calls within 7 minutes and maintain an average response time to all "Priority One" emergency calls of 4.5 minutes or less measured annually.
- B. Respond to 62 percent of "Priority Two Urgent" calls within 7 minutes and maintain an average response time to all "Priority Two" calls of 7 minutes or less measured annually.

II.5.4.2.2 Service Analysis

Police services are provided by the City of Chula Vista Police Department. The purpose of the Threshold Standard is to maintain or improve the current level of police services throughout the City by ensuring that adequate levels of staff, equipment and training are provided.

Police Facilities are also addressed in *A Master Plan for the Chula Vista Civic Center Solving City Space Needs Through Year 2010*, dated May 8, 1989.

II.5.4.2.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

- 1. Services reviewed consistent with proposed phasing of the project.
- 2. Demonstrate conformance with *A Master Plan for the Chula Vista Civic Center*, May 8, 1989.

II.5.4.2.4 Existing Conditions

The Chula Vista Police Department (CVPD) currently provides police service for the City of Chula Vista, including the area of the EastLake Trails.

Police Facility Inventory

Existing Facility

Police Headquarters 276 4th Avenue

Future Facilities

Remodel Existing Facility 276 4th Avenue

II.5.4.2.5 Adequacy Analysis

Based upon the Growth Management Oversight Commission 1997 Report dated April 1998, both measures for Priority II Calls for Service (CFS) were met, while only one of the two measures for Priority I CFS was met. For Priority I CFS, the Police Department responded to 83.8% of calls within an average of 4.5 minutes. The GMOC submitted recommendations for continued improvement of the response to priority Calls For Service. Included in the recommendations is a call for City Council support of the Police Department's efforts to adequately staff and fund the completion of a long range strategic plan by October 1998.

The Police Department indicated to the GMOC that based upon the proposed development phasing schedule that "...the current facilities, equipment and staff will be insufficient to absorb forecasted growth during the next 5 to 7-year time frame."

II.5.4.2.6 Financing Police Facilities

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista⁵. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The current fee established by Ordinance No. 2554 is \$2,150 per equivalent dwelling unit.

The portion of the fee attributable to police services in the existing fee program is \$235/EDU.

The EastLake Trails project is within the boundaries of the public facilities DIF program and, therefore, the project is subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the EastLake Trails obligation at buildout is \$ 271,848.

| Development Phase | EDU's | Police Fee @ \$235/EDU |
|-------------------|----------------|------------------------|
| 1 | 626.0 | \$147,110 |
| 2 | 530.8 | 124,738 |
| 3 | 0.0 | 0 |
| Total | 1,156.8 | \$271,848 |

⁵ For Police and other facilities discussed throughout this Public Facilities Finance Plan, reference is hereby made to the report titled, *Development Impact Fees for Public Facilities* dated April 20, 1993.

II.5.4.2.7 Threshold Compliance and Recommendations

The City will continue to monitor police responses to calls for service in both the Emergency (priority one) and Urgent (priority two) categories and report the results to the GMOC on an annual basis.

EastLake Trails will be conditioned to pay Public Facilities Fees at the rate in effect at the time building permits are issued.

II.5.4.3 FIRE AND EMERGENCY MEDICAL SERVICES

II.5.4.3 FIRE AND EMERGENCY MEDICAL SERVICES

II.5.4.3.1 Threshold Standard

Emergency response: Properly equipped and staffed fire and medical units shall respond to calls throughout the City within seven (7) minutes in 85 percent (current service to be verified) of the cases (measured annually).

II.5.4.3.2 Service Analysis

Fire and Emergency Medical Services are provided by the City of Chula Vista Fire Department. The City also has county wide mutual aid agreements with surrounding agencies should the need arise for their assistance. The purpose of the Threshold Standard and the monitoring of response times is to maintain and improve the current level of fire protection and emergency medical services (EMS) in the City. Fire/EMS facilities are provided for in the *Fire Station Master Plan*, dated March 23, 1989. The Fire Station Master Plan indicates that response time is primarily determined by the number and location of fire stations. The Fire Station Master Plan evaluates the planning area's fire coverage needs, and recommends an eight station network at buildout to maintain compliance with the threshold standard.

City staff recently completed the 1998 Fire Station Master Plan Update which is reported to adequately address future fire needs. The update may be considered for adoption by the City Council in the near future.

II.5.4.3.3 Project Processing Requirements

Developments shall be in accordance with the project guidelines outlined in the Fire Station Master Plan as may be amended from time to time.

In accordance with the Fire Station Master Plan, the City, at its sole discretion, shall determine when a new fire station is required in order to achieve threshold service levels, meet specific project guidelines or maintain general operational needs of the Fire Department.

The requirement to pay for fire station construction and related equipment shall be the sole responsibility of the developer or developers and the City may require said developer or developers to provide a guarantee mechanism to assure the availability of such funding.

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Specific siting of the facility takes place which conforms with the *Fire Station Master Plan*, March 23, 1989.
2. Site reserved.
3. Equipment needs identified.
4. Methods of financing discussed.
5. Timing of construction is consistent with threshold service levels, specific project guidelines and/or general operational needs of the Fire Department.
6. Demonstrate the ability to provide adequate facilities to access required fire stations in conjunction with the construction of sewer and water facilities.

II.5.4.3.4 Existing Conditions

There are currently six city stations and one fire protection district station serving the City of Chula Vista. The existing and future stations are listed below:

FIRE STATION INVENTORY

Chula Vista Existing Facilities

| <u>Station #</u> | <u>Location</u> |
|------------------------|---------------------|
| Station #1 | 447 "F" Street |
| Station #2 | 80 East "J" Street |
| Station #3 | 266 East Oneida |
| Station #4 | 861 Otay Lakes Road |
| Station #5 | 391 Oxford Street |
| Interim Station #6 | 975 Lane Avenue |
| Fire Training Tower | 850 Paseo Ranchero |
| Fire Prevention Bureau | 447 "F" Street |
| Fire Administration | 447 "F" Street |

Fire Protection District Facility

| <u>Facility</u> | <u>Location</u> |
|--|------------------|
| Bonita/Sunnyside Fire Protection Dist. | 4900 Bonita Road |

Planned Facilities

| <u>Station #</u> | <u>Location</u> | <u>Cost Estimate</u> |
|----------------------------------|--------------------|------------------------|
| Station #3 (to be relocated) | Sunbow | \$674,000 ⁶ |
| Station #4 (to be relocated) | 850 Paseo Ranchero | \$650,000 ¹ |
| Station #5 (to be reconstructed) | 391 Oxford Street | \$650,000 ¹ |
| Station #6 (permanent facility) | Salt Creek | \$674,000 ¹ |
| Otay Ranch | Village 2 | None Established |
| Otay Ranch | Village 9 | None Established |
| Otay Ranch | Village 13 | None Established |

Other Capital Improvements

| | | |
|--|---------------------|------------------|
| Radio Communications Tower | Otay Mountain | \$38,000 |
| Public Safety Communications (CAD/RMS) | Dispatch Center | \$1,788,000 |
| Public Safety Communications (800MHz) | Citywide | None Established |
| Brush Engine | Eastern Territories | \$225,000 |

⁶ Cost estimate based upon 1995 planning for relocation of Fire Station 4, (base estimate of \$598,600 with 3% per year projected cost increases).

II.5.4.3.5 Adequacy Analysis

The City of Chula Vista Fire Department (CVFD) currently serves areas within the City's boundaries including the EastLake Trails SPA area. The closest CVFD stations to the project site are:

- Fire Station 4, located on Otay Lakes Road, South of East H street, and
- Fire Station 6, located in the EastLake Business Park.

The City of Chula Vista's Fire Station Master Plan, dated February, 1989 and revised July 10, 1989, provides for an eight station network at build-out.

In a letter from Fire Chief James B. Hardiman dated March 4, 1998, to Mr. Luis Hernandez of the City's Planning Department, the Fire Chief expressed a preference for the future site of a permanent fire station to be located on the north side of Otay Lakes Road westerly of the future north/south street providing access to the Woods neighborhood. Emergency access traffic conflicts and other potential liability problems for a fire station in close proximity to the park and gym appear to preclude consideration of the EastLake trails/Land Swap Site. The Chief goes on to indicate that since the fire station will not be needed in the immediate future to serve the EastLake and surrounding communities, the site location decision and development can be dealt with at the time of the next EastLake submittal for EastLake III.

II.5.4.3.6 Financing Fire Service Facilities

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993.

The portion of the fee attributable to fire and emergency medical services is \$141/EDU

By prior agreement, the EastLake Development Company established a credit in the amount of \$616,153.00 by establishing the temporary fire station in the EastLake Business Center. In recognition of the cost of this facility, the City has been providing credits towards the payment of the fire component of the Public Facilities DIF amount. As of May 1, 1998, the remaining credit balance was \$402,567.28. It is intended that the fire component of the PFDIF calculated below will further reduce this credit balance.

The EastLake Trails project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the EastLake Trails obligation at buildout is \$163,109.

**Table 12
Public Facilities Fees For Fire and EMS**

| Development Phase | EDU's | Police Fee @ \$141/EDU |
|--------------------------|----------------|-------------------------------|
| 1 | 626.0 | \$88,266 |
| 2 | 530.8 | 74,843 |
| 3 | 0.0 | 0 |
| Total | 1,156.8 | \$163,109 |

II.5.4.3.7 Threshold Compliance and Recommendations

The City will continue to monitor Fire Department responses to emergency fire and medical calls and report the results to the GMOC on an annual basis.

The EastLake Trails SPA shall be conditioned to pay Public Facilities Fees at the rate in effect at the time building permits are issued. However, such payment will be offset by credits remaining toward the EastLake Development Company's overall Fire Suppression Fee Credit balance.

II.5.4.4 SCHOOLS

II.5.4.4 SCHOOLS

II.5.4.4.1 Threshold Standard

The City annually shall provide the two local school districts with a 12 to 18 month development forecast and request an evaluation of their ability to accommodate the forecast and continuing growth. The Districts' replies should address the following:

1. Amount of current capacity now used or committed.
2. Ability to absorb forecasted growth in affected facilities.
3. Evaluation of funding and site availability for projected new facilities.
4. Other relevant information the District(s) desire(s) to communicate to the City and GMOC.

II.5.4.4.2 Service Analysis

School facilities and services in Chula Vista are provided by two school districts. The Chula Vista Elementary School District administers education for kindergarten through sixth grades. The Sweetwater Union High School District administers education for the Junior/Middle and Senior High Schools of a large district which includes the City of Chula Vista. The purpose of the threshold standard is to ensure that the districts have the necessary school sites and funds to meet the needs of students in newly developing areas in a timely manner, and to prevent the negative impacts of overcrowding on the existing schools. Through the provision of development forecasts, school district personnel can plan and implement school facility construction and program allocation in line with development.

Chula Vista Elementary School District's Standards and Criteria are used in the place of a defined master plan.

Sweetwater Union High School District utilizes the "Sweetwater Union High School District Long Range Comprehensive Master Plan", dated November 1989 and updated in May, 1993.

II.5.4.4.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Identify student generation by phase of development.
2. Specific siting of proposed school facilities will take place in conformance with the *Sweetwater Union High School District Long Range Comprehensive Plan*, November, 1989 and Chula Vista Elementary School District's Standards and Criteria.

3. Reserve school sites, if necessary, or coordinate with the district for additional school classrooms.
4. Provide cost estimates for facilities.
5. Identify facilities consistent with proposed phasing.
6. Demonstrate the ability to provide adequate facilities to access public schools in conjunction with the construction of water and sewer facilities.
7. Secure financing.

II.5.4.4.4 Existing Conditions

School Facilities Inventory, Chula Vista Elementary School District

The Chula Vista Elementary School District's inventory consists of 34 elementary schools, including Casillas. Table 13 lists existing schools together with the capacity and enrollment of each as reported in June, 1998. Capacity using existing permanent and relocatable buildings was 19,730. Enrollment in June, 1998 totaled 20,925. Twenty seven of the 34 schools are over capacity.

New elementary schools will be needed to meet the educational needs of students generated from the projected development and resultant population increase. The district reported a 5% increase in student population for the 1997-98 school year. This growth was reportedly due to:

1. Demographic changes in older neighborhoods in the west;
2. New growth in the eastern territories; and
3. Higher student generation ratios (students per household) in some new developments in the east.

The District has built two of the four schools planned for the EastLake community. A third school is being planned within CFD No. 1 (EastLake). An agreement with Tucker, Sadler & Associates for design and construction services at the EastLake Trails school has been Board approved. Construction of the school is currently projected in the year 1999.

School Facilities Inventory, Sweetwater Union High School District

The Sweetwater Union High School District currently administers ten (10) junior high/middle schools and nine (9) senior high schools plus one continuation high school within the District. Of the nine junior highs, six have been converted to middle schools serving grades seven and eight. As the population grows, the District is predicting a need for 4 to 6 middle schools and 3 to 6 high schools throughout the District's boundaries.

Table 13
Chula Vista Elementary School District
6-5-98 Enrollments vs. Capacity

| | 6-5-98 Enrollment | Permanent & Relocatable Capacity | Over Capacity |
|-------------------|----------------------|--|------------------|
| Allen | 456 | 430 | 26 |
| Casillas | 0 | 670 | |
| Castle Park | 582 | 600 | |
| Chula Vista Hills | 658 | 570 | 88 |
| Clear View | 586 | 540 | 46 |
| Cook | 535 | 500 | 35 |
| Discovery | 834 | 710 | 124 |
| EastLake | 814 | 750 | 64 |
| Feaster | 998 | 950 | 48 |
| Finney | 522 | 460 | 62 |
| Halecrest | 577 | 600 | |
| Harborside | 752 | 710 | 42 |
| Hilltop Drive | 574 | 570 | 4 |
| Juarez--Lincoln | 564 | 530 | 34 |
| Kellogg | 423 | 430 | |
| Lauderbach | 938 | 610 | 328 |
| Loma Verde | 706 | 640 | 66 |
| Los Altos | 498 | 460 | 38 |
| Montgomery | 425 | 430 | |
| Mueller | 757 | 610 | 147 |
| Olympic View | 752 | 740 | 12 |
| Otay | 675 | 500 | 175 |
| Palomar | 452 | 500 | |
| Parkview | 508 | 360 | 148 |
| Rice | 731 | 740 | |
| Rogers | 555 | 530 | 25 |
| Rohr | 541 | 530 | 11 |
| Rosebank | 705 | 670 | 35 |
| Silver Wing | 629 | 600 | 29 |
| Sunnyside | 598 | 570 | 28 |
| Tiffany | 730 | 610 | 120 |
| Valle Lindo | 525 | 500 | 25 |
| Valley Vista | 669 | 570 | 99 |
| Vista Square | 656 | 540 | 116 |
| Total | 20,925 | 19,730 | 1,195 |

Table 14
Sweetwater Union High School District
High School Enrollments vs. Permanent Capacity

| SCHOOL | TOTAL PERMANENT & TEMPORARY CAPACITY | 10/98 CBEDS ENROLLMENT (PROJECTION) | OVER CAPACITY |
|-----------------------------------|---|---|------------------|
| High Schools | | | |
| Bonita Vista | 2,490 | 2,265 | -225 |
| Castle Park | 2,070 | 1,951 | -119 |
| Chula Vista | 2,100 | 2,104 | 4 |
| EastLake | 2,460 | 1,867 | -593 |
| Hilltop | 1,830 | 1,781 | -49 |
| Mar Vista | 1,650 | 1,819 | 169 |
| Montgomery | 2,400 | 2,055 | -345 |
| Southwest | 2,340 | 2,185 | -155 |
| Sweetwater | 2,220 | 1,972 | -248 |
| Palomar | 570 | 450 | -120 |
| SUBTOTAL | 20,130 | 18,449 | -1,681 |
| Junior High/Middle Schools | | | |
| Bonita Vista Mid | 1,740 | 1,355 | -385 |
| Castle Park Mid. | 1,530 | 1,289 | -241 |
| Chula Vista Jr. | 1,470 | 1,385 | -85 |
| Granger Jr. | 1,200 | 1,130 | -70 |
| Hilltop Mid. | 1,470 | 1,252 | -218 |
| Mar Vista Mid | 1,440 | 1,365 | -75 |
| Montgomery Mid. | 1,620 | 1,100 | -520 |
| National City Mid | 990 | 840 | -150 |
| Rancho del Rey | 1,500 | 635 | -865 |
| Southwest Jr | 1,320 | 1,189 | -131 |
| SUBTOTAL | 14,280 | 11,540 | -2,740 |
| TOTAL | 34,410 | 29,989 | -4,421 |

| Sweetwater Union High School District | | |
|--|----------|------------------------------------|
| FUTURE SCHOOLS | CAPACITY | ESTIMATED OPENING DATE |
| Rancho del Rey Middle School | 1,400 | Fall 1998 |
| Junior/Middle School in EastLake Woods | 1,400 | Contingent on schedule of buildout |

II.5.4.4.5 School Sizing and Location

The EastLake Trails is proposed to consist of 1,143 dwelling units at buildout. At completion, the proposed EastLake Trails project could generate approximately 648 students.

Student Generation Factors:

| | | | |
|---------------------|---|-----|------------------------|
| Elementary (K-6) | = | .30 | students/dwelling unit |
| Middle School (7-8) | = | .10 | students/dwelling unit |
| High School (9-12) | = | .19 | students/dwelling unit |

The CVESD has discovered that the student generation ratio, which is used to predict student enrollment, is higher in some eastern communities. For example, the District found that the EastLake community has a generation ratio of 0.44 children per household versus the current 0.30 ratio which amounts to a 47% increase over the average ratio. If this higher ratio were used in the EastLake Trails, the elementary population generation would be 503 or 160 more students than under the existing ratio.

By phase and school category, EastLake Trails is expected to generate the following students:

| Phase | Dwelling Units | Elementary .3 per DU | Middle .10 per DU | Sr. High .19 per DU | Total |
|---------------------|----------------|-------------------------|----------------------|------------------------|------------|
| 1 | 626 | 188 | 63 | 119 | 370 |
| 2 | 517 | 155 | 52 | 98 | 305 |
| 3 | 0 | 0 | 0 | 0 | 0 |
| SPA Subtotal | 1,143 | 343 | 115 | 217 | 675 |

| | | | |
|------------------------|-------------|---------|----------|
| School Size Standards: | Elementary | 600-650 | students |
| | Middle | 1,400 | students |
| | Senior High | 2,400 | students |

II.5.4.4.6 Financing School Facilities

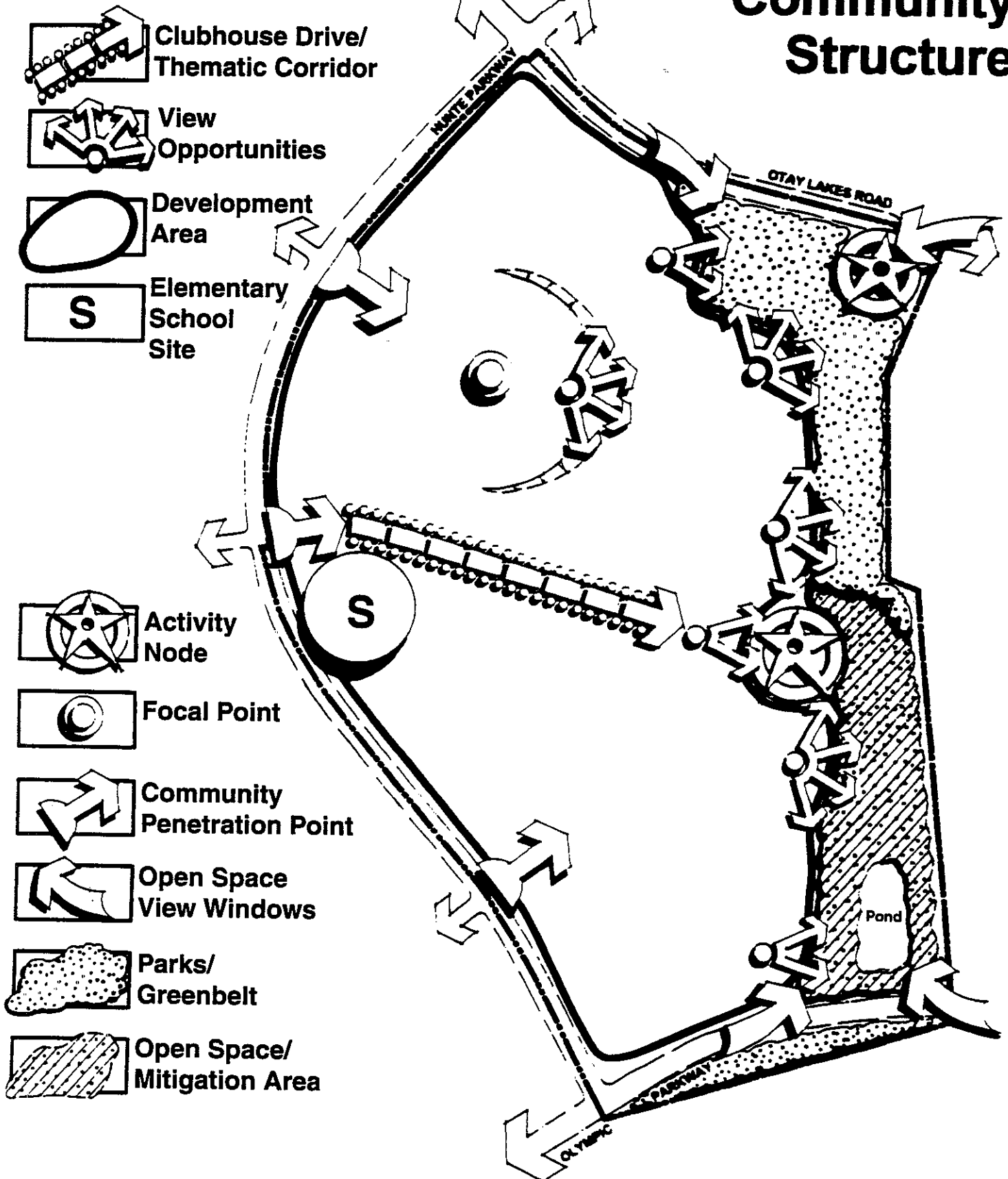
California Government Code section 65995 and Education Code Section 53080 authorize school districts to impose facility mitigation exactions on new development as a way to address increasing enrollment caused by that development.

The current developer fees for the Sweetwater District are \$1.08 and \$0.17 per square foot for residential and non-residential, respectively. The current (1998-2000) developer fees for the Chula Vista District are \$0.85 and \$0.14 per square foot for residential and non-residential, respectively.

Although the collection of school fees is one method available to defray the cost of new development, it is not an acceptable solution since the maximum amount which could be collected by law represents less than one-fourth the cost to construct schools.

In recognition of this funding deficiency, it is the policy of each district to fully mitigate the facility impacts caused by a master planned community via the creation of a Mello-Roos Community Facilities District as a condition of approval of the SPA Plan (CVESD) or prior to recordation of a final map (SUHSD).

Community Structure



EASTLAKE TRAILS
 A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Figure 5

The following Mello-Roos Districts have been created by each district:

SUHSD

- CFD No. 1 EastLake
- CFD No. 2 Bonita Long Canyon
- CFD No. 3 Rancho del Rey
- CFD No. 4 Sunbow
- CFD No. 5 Mission Verde/Annexable
- CFD No. 6 Otay Ranch (in process)
- CFD No. 7 Rolling Hills Estate
- CFD No. 8 Coral Gate (Otay Mesa)
- CFD No. 9 Ocean View Hills (Otay Mesa)
- CFD No. 10 Remington Hills/Annexable
- CFD No. 11 Lomas Verde (in process)

CVESD

- CFD No. 1 EastLake
- CFD No. 2 Bonita Long Canyon
- CFD No. 3 Rancho del Rey
- CFD No. 4 Sunbow
- CFD No. 5 Territory for Future Annexations
- CFD No. 6 Otay Ranch
- CFD No. 10 Annexable
- CFD No. 11 Otay Ranch (Lomas Verde) McMillin

The estimate of costs for the construction of school facilities is based on historical data available from each district. Both districts follow state standards for determining the costs and size for school construction. The costs, including land acquisition, for a high school is approximately \$16,004 per student (1998 dollars). Excluding land, the cost is \$12,700 per student. The costs, including land acquisition, for a middle school is approximately \$13,401 per student (1998 dollars). Excluding land, the cost is \$10,508 per student. The costs, including land acquisition, for an elementary school is approximately \$13,489 per student (1998 dollars). Excluding land, the cost is \$10,289 per student. Land value is calculated at \$200,000/acre sheet graded (10 acre school site).

Using the above costs per student together with the school size, the following costs per facility can be anticipated.

Elementary School Cost

| | |
|---|-------------|
| (625 students) (\$10,289/student w/o land cost) | \$6,430,525 |
| (625 students) (\$13,489/student w/land cost) | \$8,430,625 |

Middle School Cost

| | |
|---|--------------|
| (1,500 students) (\$13,000/student w/o land cost) | \$19,500,000 |
| (1,500 students) (\$16,333/student w/ land cost) | \$18,761,400 |

High School Cost

| | |
|---|--------------|
| (2,500 students) (\$13,960/student w/o land cost) | \$34,900,000 |
| (2,500 students) (\$17,960/student w/ land cost) | \$44,900,000 |

II.5.4.4.7 Threshold Compliance and Recommendations

As future development applications are processed in the Eastern Territories, the City shall coordinate with each school district to ensure that development does not occur until acceptable school site(s) are identified and a financing mechanism satisfactory to each district is in place.

Condition the first tentative map to require that no final map shall be approved unless and until a school facility financing mechanism is in place to the satisfaction of the Sweetwater Union High School District and the Chula Vista Elementary School District.

II.5.4.5 LIBRARIES

II.5.4.5 LIBRARIES**II.5.4.5.1 Threshold Standard**

Population ratio: 500 square feet (gross) of library adequately equipped and staffed facility per 1,000 population.

II.5.4.5.2 Service Analysis

Library facilities are provided by the City of Chula Vista Library Department.

II.5.4.5.3 Project Processing Requirements**Sectional Planning Area Plan/Public Facilities Finance Plans**

1. Identify phased demands in conjunction with the construction of streets, water and sewer facilities.
2. Specifically identify facility site in conformance with the *Chula Vista Library Master Plan*, April 30, 1987.

II.5.4.5.4 Existing Conditions**Inventory**

The City provides library services through the Chula Vista Public Library at Fourth and "F" Street (Civic Center), the South Chula Vista Library in the Montgomery/Otay planning area, and the library at the EastLake High School. The Castle Park and Woodlawn Libraries have been closed. The existing and future libraries are listed on the following tables.

| Existing Libraries | Square Footage |
|-----------------------------------|-----------------------|
| Chula Vista (Civic Center) | 55,000 |
| South Chula Vista | 37,000 |
| EastLake | 10,000 |
| Total Existing Square Feet | 102,000 |

**Table 17
FUTURE LIBRARY FACILITIES**

| Future Libraries | Square Footage | Estimated Cost |
|---|----------------|-------------------|
| Sweetwater/Bonita | 29,000 | 11,153,440 |
| Eastern Territories (17,000 sf total - 10,000 sf @ EastLake existing) | 7,000 | 6,758,770 |
| Total Planned Square Feet | 36,000 | 17,912,210 |
| Total Planned Library Square Feet | 138,000 | |

II.5.4.5.5 Adequacy Analysis

Using the threshold standard of 500 square feet of library space per 1,000 population, the demand for library space based on a July 1, 1997 population of 157,427 is 78,714 square feet. Chula Vista currently provides 102,000 square feet of library space. This represents a 23,286 square foot surplus. The demand generated by the 13,658 forecasted dwelling units is 20,316 square feet ($(13,658 \times 2.975/1,000) \times 500$). The demand for library space generated by existing and forecasted dwelling units totals 99,030 (78,714 + 20,316) square feet. Comparing this demand to the existing library square footage of 102,000 square feet results in a small surplus of 2,970 square feet after build-out of the 13,658 forecasted dwelling units.

The following table highlights existing plus forecasted project demands for library space as compared to the existing and scheduled library space as well as the impact of the EastLake Trails project on library facilities.

**TABLE 18
LIBRARY SPACE DEMAND COMPARED TO SUPPLY
AS OF JULY 1, 1997**

| | Population | Demand Square Footage | Supply Square Footage | Above/ (Below) Standard |
|--------------------------------------|--------------------|-----------------------|-----------------------|-------------------------|
| Existing (Citywide) | 157,427 | 78,714 | 102,000 | 23,286 |
| Forecasted Projects (13,658 x 2.975) | 40,632 | 20,316 | | |
| Subtotal | 198,059 | 99,030 | 102,000 | 2,970 |
| EastLake Trails by Phase | | | | |
| 1 626DU | 1,803 ⁷ | 902 | | 2,068 |
| 2 517DU | 1,489 | 745 | | 1,323 |
| 3 0DU | 0 | 0 | | 1,323 |
| Subtotal | 1,143 | 1,647 | | 1,323 |
| TOTAL | 201,351 | 100,677 | 102,000 | 1,323 |

7

Population calculated at 2.88 persons per dwelling unit

EastLake Trails will generate a total library demand of 1,647 square feet which will be satisfied by the excess supply of library space.

II.5.4.5.6 Financing Library Facilities

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2554 on April 27, 1993. The current fee is \$2,150 per equivalent dwelling unit.

The portion of the fee attributable to libraries is \$544/EDU.

The EastLake Trails project is within the boundaries of the current public facilities DIF program. However, the project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current library fee rate, the EastLake Trails library obligation at buildout is \$629,299.

| Development Phase | EDU's | Library Fee @ \$544/EDU |
|-------------------|----------------|-------------------------|
| 1 | 626.0 | \$340,544 |
| 2 | 530.8 | 288,755 |
| 3 | 0.0 | 0 |
| Total | 1,156.8 | \$629,299 |

II.5.4.5.7 Threshold Compliance and Recommendations

Based upon the analysis contained in this PFFP, it is projected that the library threshold standard will be maintained throughout the development of the EastLake Trails project. The existing library space totals 102,000 square feet, while the existing, total forecasted projects, and EastLake Trails project demand is 100,677 square feet. This results in an excess supply of 1,323 square feet.

No mitigation is required other than the payment of the Public Facilities Fee for library facilities at the rate in effect at the time building permits are issued.

II.5.4.6 PARKS AND OPEN SPACE

II.5.4.6 PARKS AND OPEN SPACE

II.5.4.6.1 Threshold Standard

Three (3) acres of neighborhood and community parkland with appropriate facilities shall be provided per 1,000 residents east of Interstate 805.

II.5.4.6.2 Service Analysis

The City of Chula Vista provides public park and recreational opportunities through the Planning, Public Works, and Library/ Recreation Departments which are responsible for the acquisition and development of parkland. All park development plans are reviewed by City staff and presented to the Parks and Recreation Commission for review. A recommendation is made by this Commission to the deciding body, the City Council.

The Parks and Recreation Element of the General Plan dated July 1990 and revisions through September 5, 1995, serves as the master plan for park facilities. While there is currently no existing citywide detailed parks master plan, the City is nearing completion of a new Park Master Plan which it expects to forward to the City Council for adoption.

II.5.4.6.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Identify phased demands in conformance with street improvements and in coordination with the construction of water and sewer facilities.
2. Specific siting of the facility will take place in conformance with the *Chula Vista General Plan Park and Recreation Element*.
3. Site reserved.

II.5.4.6.4 Existing Conditions

The existing and future parks as depicted in the Park and Recreation Element of the General Plan and as updated by the inclusion of more recent information are contained in Tables 22 and 23.

II.5.4.6.5 Project Park Requirements

Compliance to Public Park Standards

All new development in the City of Chula Vista is subject to the requirements contained in the City's Parkland Dedication Ordinance revised June 22, 1991, which is confirmed in Municipal Code Chapter 17.10. The ordinance establishes land development fees for park acquisition and development, sets standards for

dedication and establishes criteria for acceptance of parks and open space by the City of Chula Vista.

Parkland dedication requirements are shown on Table 20.

| Dwelling Unit Type | Land Dedication per Unit | Dwelling Units per Park Acre |
|---------------------------|---------------------------------|-------------------------------------|
| Single-Family — Detached | 423 sf/du | 102.9 du/ac |
| Single-Family — Attached | 366 sf/du | 119.0 du/ac |
| Multiple-Family | 288 sf/du | 151.0 du/ac |

Parkland dedication requirements for the EastLake Trails Project are outlined in Table 21.

| Dwelling Unit Type | Parkland Required/DU | Number of DU's | Park Acres Required |
|---------------------------|-----------------------------|-----------------------|----------------------------|
| Single Family - Detached | 423 sf/du | 957 | 9.3 |
| Single Family - Attached | 366 sf/du | 186 | 1.6 |
| Multiple Family | 288 sf/du | 0 | 0.0 |
| TOTALS | | 1,143 | 10.9 |

The EastLake Trails Phasing and Land Use Summary contained in Table 4 identifies the park designations and acreage that are also shown in Table 25. Table 25 also identifies the phase of development in which the park will be constructed and the park acres that the city has determined will be given credit for purposes of satisfying the project's parkland dedication as measured against the City's Parkland Dedication Ordinance. All parkland contained within P-1 and P-2 will be graded and offered for dedication in the context of the development of Phase One and Two of the trails Neighborhood.

The improvements contained in P-1 will be constructed in a phased manner as described in Section II. Using the parkland dedication requirements, 10.9 acres of public parkland is required for dedication by the EastLake Trails development. In addition, Table 24 identifies the phase of development in which the park will be constructed and the park acres that the City has determined will be given credit for purposes of measuring the supply of parkland against the demand generated by the Parkland Dedication Ordinance.

Table 22
Chula Vista Existing Park Inventory

| | Acres ⁸ | |
|---|--------------------------|--------------------------|
| | <u>West of I-805</u> | <u>East of I-805</u> |
| <u>Community Parks</u> | | |
| Eucalyptus Park | 19.80 | |
| Chula Vista Community Park | | 12.9 |
| Greg Rogers Park | | 52.1 |
| Rohr Park | | 62.2 |
| Discovery Park | | <u>14.5</u> |
| Total Existing Community Acres: | 19.80 | 141.7 |
| <u>Neighborhood Parks</u> | | |
| Marina View Park | 4.50 | |
| Friendship Park | 8.40 | |
| Memorial Park | 8.00 | |
| Explorer Park | | 5.0 |
| Norman Park | 10.90 | |
| Hilltop Park | 10.90 | |
| Lauderbach Park | 4.00 | |
| Palomar Park | 3.10 | |
| Orange Avenue Fields | 4.00 | |
| Reinstra Ball Field | 6.00 | |
| Loma Verde Park | 6.20 | |
| SDG&E Park | 18.00 | |
| Otay Park | 5.20 | |
| Los Niños Park | 5.20 | |
| Bay Boulevard Park | 1.50 | |
| Valle Lindo Park | | 4.2 |
| Halecrest Park | | 2.0 |
| Terra Nova Park | | 7.0 |
| Independence Park | | 4.1 |
| Tiffany Park | 7.2 | |
| Paseo del Rey Park | | 3.0 |
| Bonita Long Canyon Park | | 12.5 |
| Sunridge Park | | 6.0 |
| Sunbow I Park | | 4.0 |
| Rancho del Rey Park | | 10.2 |
| Connoley Park | .65 | |
| Holiday Estates I | .26 | |
| Holiday Estates II | .26 | |
| Lancerlot Park | 10 | |
| Voyager Park | | 10.0 |
| Sherwood Park | <u>.28</u> | |
| Total Existing Neighborhood Acres: | 104.65 | 68.0 |
| EXISTING INVENTORY TOTAL | 124.45 | 209.7 |

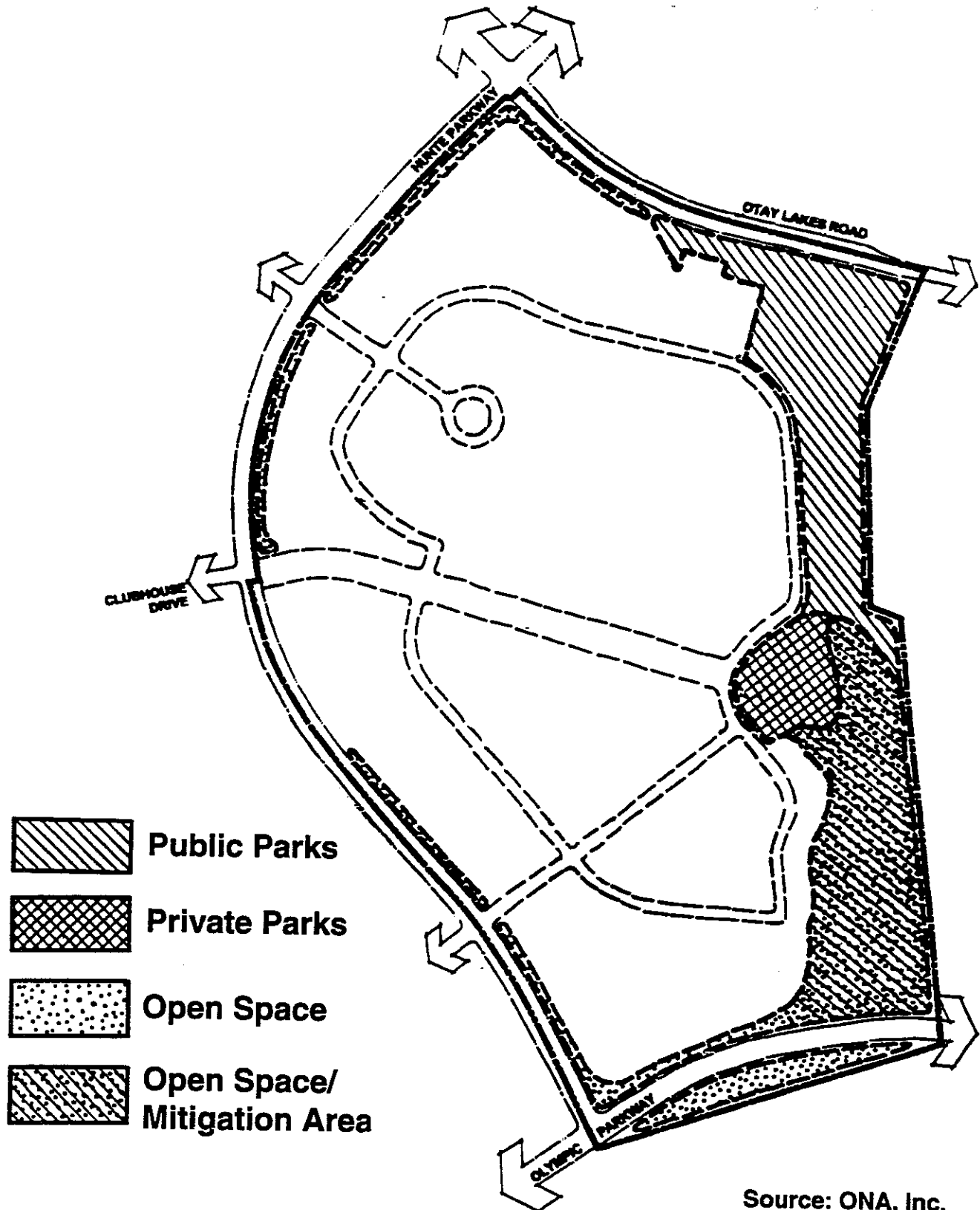
⁸ Inventory and acreages provided by the Planning Department.





**Table 23
Chula Vista Future Parks**

| | Acres ⁹ | |
|--|--------------------------|--------------------------|
| | <u>West of I-805</u> | <u>East of I-805</u> |
| <u>Future Community Parks</u> | | |
| San Miguel Ranch | | 15.0 |
| Salt Creek | | 19.8 |
| Rolling Hills Ranch | | 20.0 |
| Eastern Urban Center | | 20.0 |
| Wolf Canyon | | 25.0 |
| Sunbow II Community | | <u>10.5</u> |
| Montgomery | <u>24.0</u> | |
| Total Future Community Park Acres: | 24.0 | 110.3 |
| <u>Future Neighborhood Parks</u> | | |
| Marisol Park | | 6.0 |
| Rancho Drive Park | 16.0 | |
| EastLake Greens | | 10.0 |
| Bayfront | | 7.0 |
| F Street & Woodlawn | | 5.0 |
| Otay Valley Road & Brandywine | | 5.0 |
| Eastlake Woods | | 7.0 |
| Eastlake Vistas | | 10.0 |
| Rolling Hills Ranch | | 7.0 |
| Otay Ranch Parks: | | |
| Village 1 - Unnamed | | 11.6 |
| Village 1 - Unnamed | | 7.0 |
| Village 1 West - Unnamed | | 5.0 |
| Village 2 - Unnamed | | 10.0 |
| Village 4 - Unnamed | | 3.4 |
| Village 5 - Unnamed | | 6.7 |
| Village 5 - Unnamed | | 5.7 |
| Village 5 - Unnamed | | 2.0 |
| Village 5 - Unnamed | | 1.3 |
| Village 6 - Unnamed | | 10.0 |
| Village 7 - Unnamed | | 9.3 |
| Village 8 - Unnamed | | 8.9 |
| Village 11- Unnamed | | <u>10.0</u> |
| Total Future Neighborhood Park Acres: | <u>16.0</u> | <u>147.9</u> |
| TOTAL FUTURE PARK ACRES | 40.0 | 258.2 |

⁹ Inventory and acreages provided by the Planning Department

PARKS and OPEN SPACE



-  **Public Parks**
-  **Private Parks**
-  **Open Space**
-  **Open Space/
Mitigation Area**

Source: ONA, Inc.

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Figure 6

| Park Identification | Acreage | Phase | Proposed Credit % | Eligible Credit Acres |
|--|---------|-------|-------------------|-----------------------|
| P-1 | 25.3 | 2,3,4 | 78% | 19.8 |
| P-2 (Private) | 5.8 | 1 | 50% | 2.9 |
| Total Acres Eligible For Credit Against PAD | | | | 22.7 |
| EastLake Trails PAD Requirements | | | | 10.9 |
| EastLake Trails Excess PAD Acreage | | | | 11.8 |

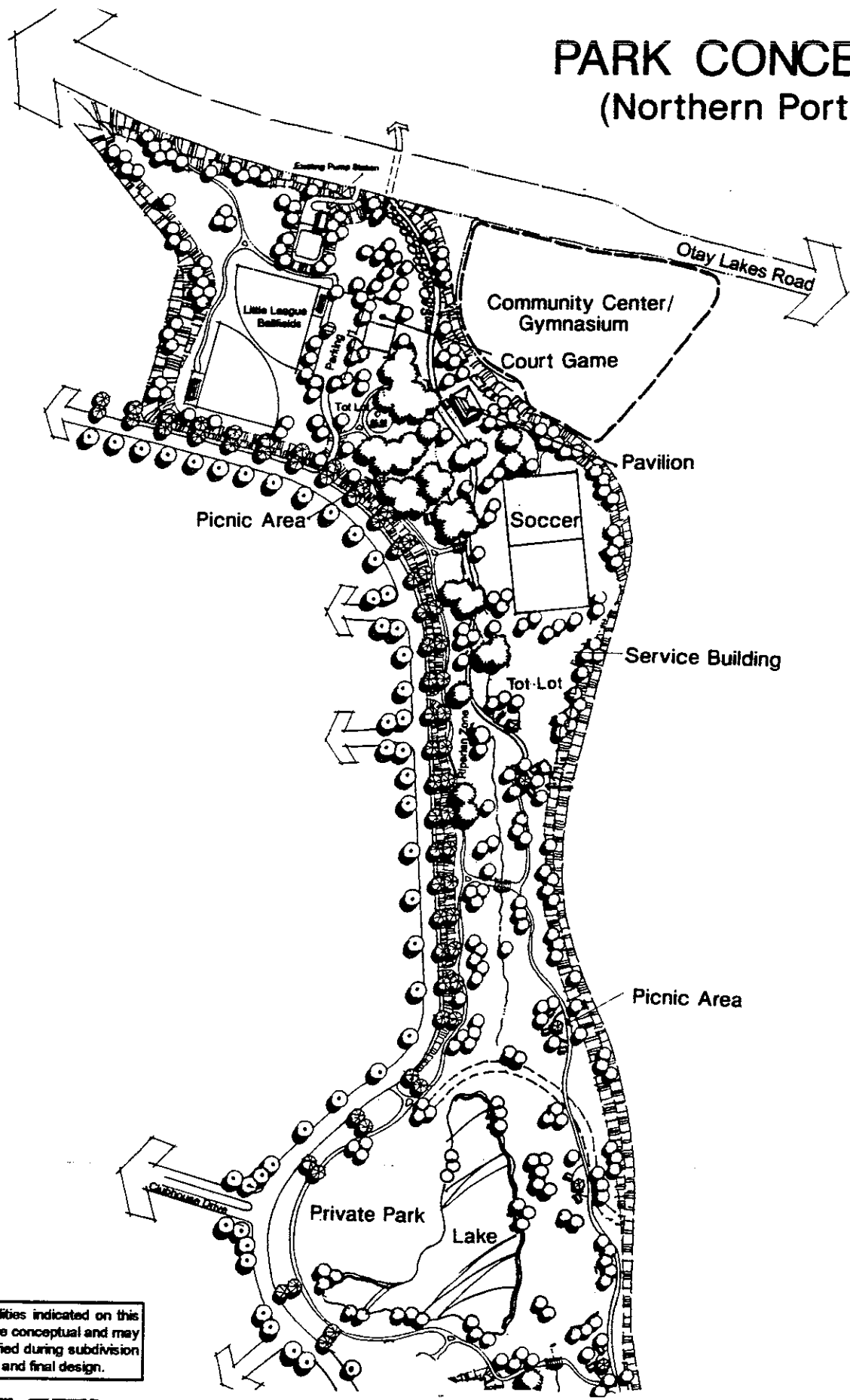
The parkland identified as P-1 in Table 24 is proposed to satisfy a total of 19.8 acres of the EastLake Community’s parkland dedication requirement. The total acreage within P-1 is 25.3 acres. The Salt Creek Community Park planning effort has identified areas within P-1 that would not be applied to parkland dedication standards. This acreage is either encumbered by slopes that are greater than 5:1 or by conservation easements related to the project’s streambed alteration and wetland impacts. A final determination of the area impacted by slopes and conservation easements will occur during the park’s design and an adjustment to the proposed credit for P-1 will be made if necessary.

The parkland identified as P-2 in Table 24 is proposed to satisfy a total of 2.9 acres of the EastLake Community’s parkland dedication requirements. The total acreage within P-2 is 5.8 acres. The park improvements include a picnic area, trails, a swimming pool, club house, and two-acre lake. The improvements will be constructed concurrent with Phase 1.

II.5.4.6.6 Adequacy Analysis

Table 25 is a comparison of park acreage demands and supply east of Interstate 805 for existing, approved projects, as well as the phased addition of the EastLake Trails project.

PARK CONCEPT (Northern Portion)



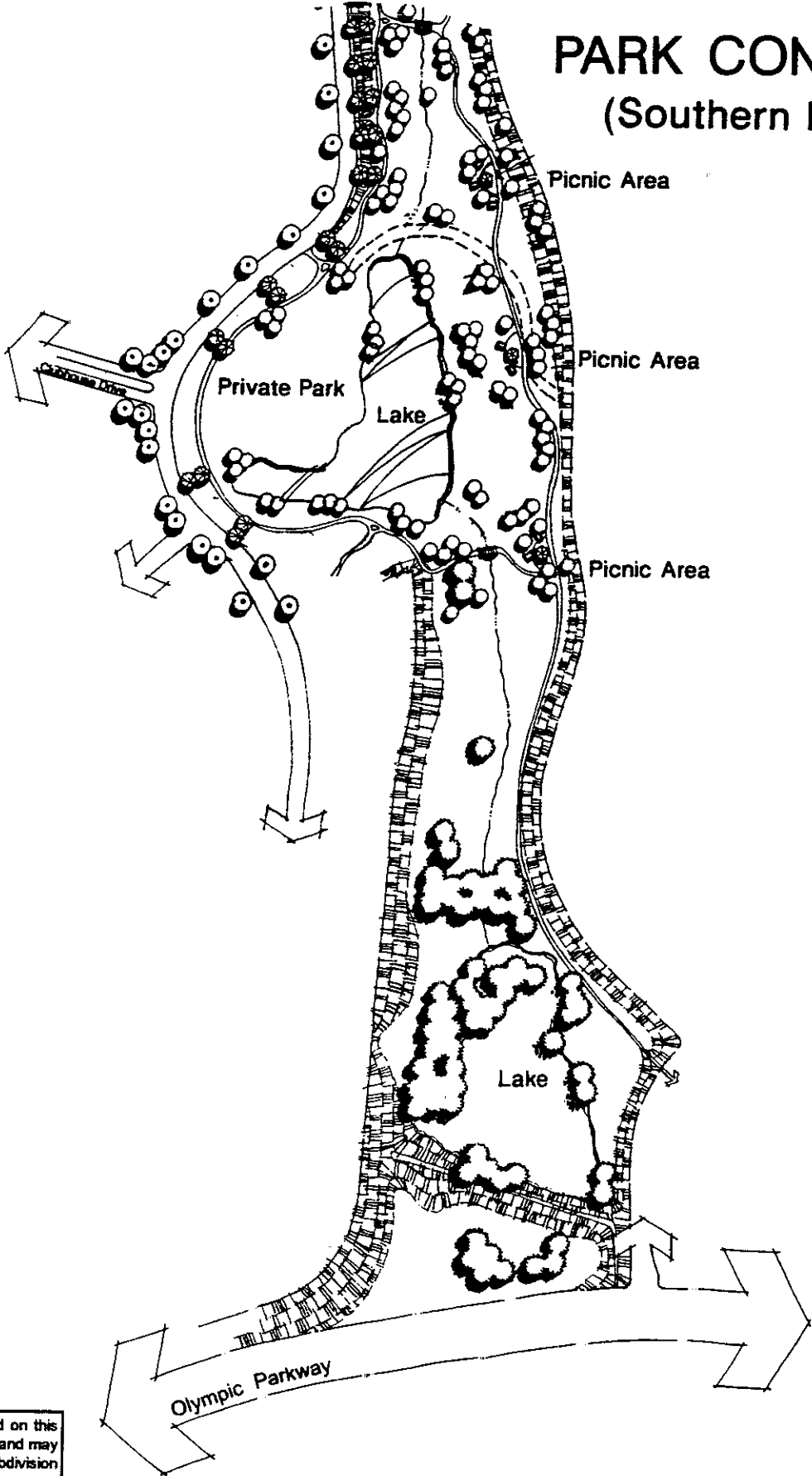
The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Figure 7

PARK CONCEPT (Southern Portion)



The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

EASTLAKE TRAILS
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Cinti
Land Planning
San Diego, CA 6191 223-7408

Figure 8

**TABLE 25
PARK ACREAGE DEMAND COMPARED TO SUPPLY EAST OF INTERSTATE 805
AS OF JULY 1, 1997 PLUS EASTLAKE TRAILS**

| | | Population East of I-805 | Demand Park Acres | Supply Park Acres | Eligible Credit Acres | Net Project Acres +/- Standard | Trails Cumulative +/- Standard |
|---------------------------------|--------------|--------------------------------|----------------------|----------------------|-----------------------------|---|---|
| Existing | | 47,780 ¹⁰ | 143.3 | 209.7 | 209.7 | 66.4 | n/a |
| Forecasted Projects | | 40,632 | 121.9 | 81.3 | 81.3 | -40.6 | n/a |
| Subtotal | | 88,412 | 265.2 | 291.0 | 291.0 | 25.8 | n/a |
| EastLake Trails by Phase | | | | | | | |
| 1 | 626DU | 1,803 | 3.6 | 26.2 | 2.9 | -0.7 | -0.7 |
| 2 | 517DU | 1,489 | 3.0 | 21.3 | 19.8 | 16.8 | 16.1 |
| 3 | 0 | 0 | 0.0 | 4.0 | 0.0 | 0.0 | 16.1 |
| Subtotal | 1,143 | 3,292 | 6.6 | 51.5 | 22.7 | 16.1 | 16.1 |
| TOTAL | | 91,704 | 271.8 | 342.5 | 313.7 | 41.9 | 16.1 |

A review of the existing and approved park demands with the addition of EastLake Trails indicates a total demand for 271.8 acres of neighborhood and community park east of Interstate 805. The supply of park acres is 342.5 which is 70.7 acres more than the demand.

Neighborhood Parks

The EastLake Trails SPA plan identifies parcel P-2, a private recreation facility, as serving as the neighborhood amenity. It will be located on the edge of the public corridor which extends the length of the Salt Creek Greenbelt. The proposed public facility will be owned and maintained by a Master Community association.

Community Park

The EastLake Trails SPA Plan provides for a large park and recreational opportunity in the Salt Creek corridor. The park is detailed in the *draft Salt Creek Community Park Master Plan* dated April 1998. The northern portion of the corridor, Parcel P-1, will be improved with traditional active recreation facilities such as ball fields and sports courts. The southern portion (OS-1) will be dedicated to more passive activities consistent with the existing pond and wetlands in the corridor and will include a segment of the Chula Vista Greenbelt Trail. Both the active and passive area within the community park along Salt Creek will be dedicated to the City and maintained by the City. The precise boundary and size of this area will be determined by the Tentative Tract Map and Salt Creek Park Master Plan process.

¹⁰

Population figure furnished by City Planning Department.

Cumulative Parkland Dedication Requirements

In addition to the parkland dedication requirements of the City's General Plan, the amount of parkland required in EastLake is also regulated by provisions contained in prior agreements between the applicant and the City of Chula Vista. These Agreements, the EastLake III Development Agreement and the Escrow Agreement (regarding resolution of outstanding park and recreation facility issues) require that an additional 9.0 acres of improved parkland be provided in future phases of the EastLake Community.

The 11.8 acres of Eastlake Trails excess PAD acreage identified in Table 24 will be used to satisfy the additional acreage requirement of the prior agreements. To the extent that the parks within the Trails Neighborhood exceed the requirements of the Trails population and the prior agreements, the resulting excess acreage will be applied to future Eastlake requirements (i.e. those of the future Vistas and Woods Neighborhoods).

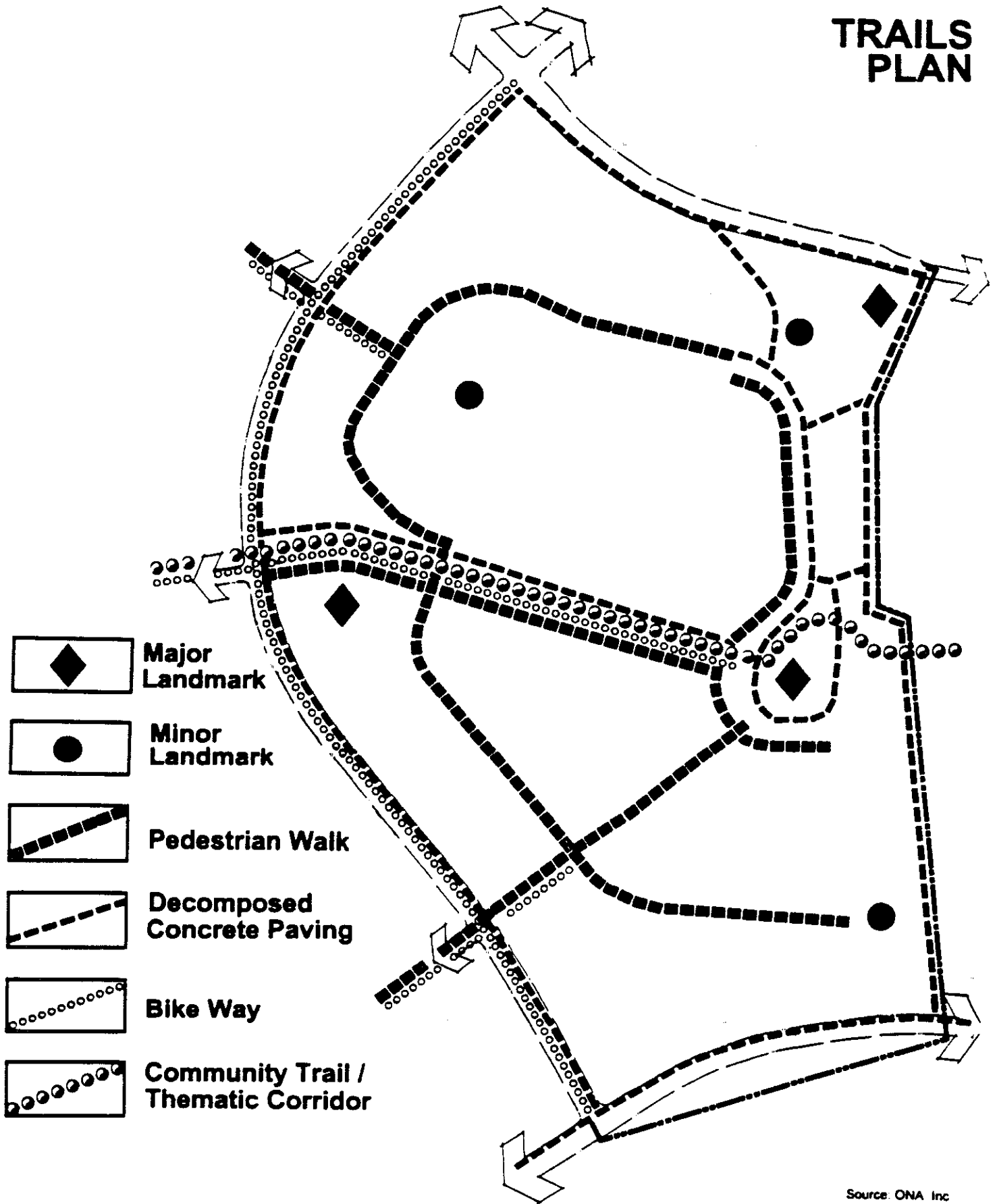
II.5.4.6.7 Trails and Open Space





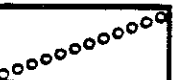

Generally accepted standards for open space have not been adopted on a citywide basis. Usually the need, amount and location of open space is determined by the natural environmental conditions of the land and facility related needs such as detention basins, future road rights-of-way, and buffer space between unrelated land uses, etc.

Open space areas within EastLake Trails will be provided for buffer areas where required along Otay Lakes Road, Hunte Parkway and Olympic Parkway based on final design proposals along these arterials.

Open space lands indicated as preserved on the EastLake Trails Site Utilization Plan will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to a Master Community Association.

TRAILS PLAN



-  Major Landmark
-  Minor Landmark
-  Pedestrian Walk
-  Decomposed Concrete Paving
-  Bike Way
-  Community Trail / Thematic Corridor

Source: ONA Inc

EASTLAKE TRAILS
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Figure 9

II.5.4.6.8 Financing Park Facilities

The financing of parkland and improvements is governed by Chapter 17.10 of the Chula Vista Municipal Code as amended June 22, 1991. Included as part of the regulations are Park Acquisition and Development (PAD) fees established for the purpose of providing neighborhood and community parks and improvements are included in this regulation. The Ordinance provides that fees are paid to the City prior to approval of a final subdivision map.

The EastLake Trails project is responsible for the following PAD Fees. However, the applicant may construct parks and receive credit against the payment of such PAD fees.

**TABLE 26
PARK DEVELOPMENT COMPONENT OF PAD FEES**

| Phase | Dwelling Units | | | Development Component of PAD Fees/DU | | | Total Fees Due |
|--------------|----------------|------------|----------|--------------------------------------|------------------|---------------|--------------------|
| | SFD | SFA | MFD | SFD @ \$2,260 | SFA @ \$1,980 | MFD @ \$2,990 | |
| 1 | 534 | 92 | 0 | 1,206,840 | 182,160 | 0 | 1,389,000 |
| 2 | 423 | 94 | 0 | 955,980 | 186,120 | 0 | 1,142,100 |
| 3 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total | 957 | 186 | 0 | \$2,162,820 | \$368,280 | \$0 | \$2,531,100 |

II.5.4.6.9 Threshold Compliance and Recommendations

Based upon the analysis contained in this section of the PFFP, the parks standard for both neighborhood and community parks measured on an area-wide basis east of Interstate 805 is projected to be met at the completion of the EastLake Trails project.

On a project-level, the community and private parks provided within EastLake Trails SPA meet the demand on a cumulative basis. In order to comply with the City's local park standard, it is the responsibility of the developer to comply with the City's Landscape Manual related to park planning, to grade the sites according to the approved plan, and to install improvements or pay fees, or a combination thereof, as required by the City's Parkland Dedication Ordinance.

In addition, the developer shall participate financially in proportion to other developers in a collaborative study analyzing local parks needs for the area east of I-805 Freeway prior to approval of the first final map.

Park Phasing

The phasing of the Salt Creek Community Park and private park (P-2) was developed in consideration of the phasing of adjacent community improvements (streets and utilities) and the Park Development Fees that will be generated by the residential units served by those improvements. Phase One will include the dedication and improvement of Area P-2 (the private park). Phase Two will include the dedication of all lands within P-1. Phase Two improvements will include grading of the entire P-1 area and its improvement with the exception of a parking area (accessed through future development in the Vistas Neighborhood located east of the community park) and the proposed gymnasium and community center. Phase Three and Four of the park's improvements, the aforementioned parking area and gymnasium/community center, will be constructed with subsequent development in the EastLake Community (i.e. the proposed Vistas and Woods Neighborhoods and the Land Swap Property).

**EastLake Trails
PARK PHASING**

| Phase | Description | Timing |
|--------------|--|-------------------------------|
| I | Construct Private Park P-2 | Trails Phase I |
| II | Dedicate Land and Improve Community Park (P-1) | First Half of Trails Phase II |
| III | Dedicate Land and Construct Gymnasium/Community Center | Vista Phase I |

Note: Due to the fact that the City is in the process of preparing and adopting a city-wide master plan, the park phasing may be refined during the Trails tentative map process.

II.5.4.7 WATER

II.5.4.7 WATER

II.5.4.7.1 Threshold Standard

1. Developer will request and deliver to the City a service availability letter from the Water District for each project, as defined by the City.
2. The City shall annually provide the San Diego County Water Authority, the Sweetwater Authority, and the Otay Water District with a 12 to 18 month development forecast and request an evaluation of their ability to accommodate the forecast and continuing growth. The Districts' replies should address the following:
 - a. Water availability to the City and Planning Area, considering both short and long term perspectives.
 - b. Amount of current capacity, including storage capacity, now used or committed.
 - c. Ability of affected facilities to absorb forecasted growth.
 - d. Evaluation of funding and site availability for projected new facilities.
 - e. Other relevant information the District(s) desire(s) to communicate to the City and GMOC.

The growth forecast and water district response letters shall be provided to the GMOC for inclusion in its review.

II.5.4.7.2 Service Analysis

Water is provided to the City of Chula Vista through the San Diego County Water Authority, Sweetwater Authority, and the Otay Water District. The City of Chula Vista is working with each of these special districts to ensure that new growth will not reduce the availability of adequate water supplies or jeopardize the water quality standards within the City. Each of these districts is responsible for providing capital facilities necessary to accommodate future growth as well as providing services to existing development within the City of Chula Vista.

The Sweetwater Authority utilizes the *Sweetwater Authority Water Master Plan*, dated December, 1989.

The Otay Water District utilizes the 1995 *Water Resources Master Plan* prepared Montgomery Watson. The document is the planning document used for all future

CIP water facilities work. An environmental impact report was also prepared to assess the impacts of the Master Plan.

A *Subarea Water Master Plan for EastLake Trails* dated September 1998 was prepared by John Powell & Associates, consistent with the *Water Resources Master Plan*. Recycled water is also addressed in the Subarea Master Plan.

II.5.4.7.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Identify phased demands in conformance with street improvements and in coordination with the construction of sewer facilities
2. Identify location of facilities for onsite and offsite improvements in conformance with the master plan of the water district serving the proposed project
3. Provide cost estimates and proposed financing responsibilities.
4. Identify financing methods.
5. A Water Conservation Plan shall be required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDU's of water demand or greater).

II.5.4.7.4 Existing Conditions

Much of the water used in the San Diego County Water Authority (SDCWA) area is imported from the Metropolitan Water District. MWD receives its water supply through the State Water Project and the Colorado River Aqueduct. The San Diego County Water Authority conveys water from the MWD to local purveyors within San Diego County.

EastLake Trails is located entirely within the Otay Water District's Central Service Area.

Potable water is provided to the Central Service Area by the SDCWA via the Second San Diego Aqueduct. Water is delivered at Aqueduct connections No. 10 and No. 12 and is conveyed by gravity to the District's terminal reservoirs at a grade of 624 feet. One hundred percent of Otay Water District's demand is satisfied by purchases from the SDCWA together with use of recycled water from the Ralph W. Chapman Water Recycling Facility (RWCWRF). A small amount is also purchased from the Helix Water District (HWD).

The delivery and guaranteed availability of water to the City of Chula Vista continues to improve through the cooperative efforts of the water districts and the SDCWA.

II.5.4.7.5 Adequacy Analysis

Water Conservation Plan

A Water Conservation Plan is required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDU's of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects which are not processed through a Planned Community Zone.

The *Water Conservation Plan - EastLake Trails SPA*, dated March 18, 1998, provides an analysis of water usage requirements of the proposed project, as well as a detailed plan of proposed measures for water conservation, use of reclaimed water, and other means of reducing per capita water consumption from the proposed project, as well as defining a program to monitor compliance. The Water Conservation Plan is contained in the SPA Plan document and is, therefore, not a part of the Public Facilities Financing Plan.

EastLake Trails Water Demand

EastLake Trails is within the Otay Water District's 711 and 980 pressure zones. Water demand is projected using unit demand factors from the SAMP. The projected average annual day (AAD) is 431,000 gallons per day or .431 MGD. The maximum day demand (MDD) is .79 MGD.

Until recently, the policy of the Otay Water District was to provide emergency storage equivalent to ten average days' demand. However, this policy has recently been revised to provide a maximum of five average days of terminal storage capacity and a minimum of five average days of supply from interconnections and other sources.

A total volume of 2.16 MG (.431 MGD x 5) is required to provide five average days of emergency storage capacity for the EastLake Trails. Emergency storage for the project will be provided in the 624-3 reservoir. Adequate capacity exists to meet the five day storage requirement.

Otay Water District Master Plan

The Otay Water District's water and reclaimed water master plan includes water demands for this project as part of the overall demands in the area based upon land use data.

II.5.4.7.6 Existing Facilities

Potable Water

Water is supplied to the 711 Zone from the 624-1 reservoir by the 16,000 gpm capacity 711-1 Pump Station located west of the EastLake Greens development. Supply to the 980 Zone is provided by the 4,000 gpm capacity 980-1 Pump Station which takes suction from the 711 Zone distribution system.

Recycled Water

The District intends to construct the system of pumps, transmission pipelines and reservoirs which will provide recycled water to the development. Two water recycling facilities could supply water to the District. In the near term, the amount of recycled water will be limited to the output of the 1.3 mgd Ralph W. Chapman Water Recycling Facility located near the intersection of Singer Lane and Highway 94.

Supplemental recycled water supply will be available from the City of San Diego's proposed 7 mgd capacity South Bay Water Reclamation Plant which will be located in the Tijuana River Valley near the Mexican border. Deliveries to the District will be pumped up to the proposed 680 Zone Recycled Reservoir to be located in EastLake Greens.

EastLake Trails will receive recycled water from existing 950 Zone distribution system via existing mains in Otay Lakes Road and Hunte Parkway.

II.5.4.7.7 Proposed Facilities

Potable Water

Operational Storage

An additional 0.45 MG of operational storage will be required for the EastLake Trails in the 711 Zone and 0.55 MG in the 980 Zone. Fire flow storage is assumed to be provided by existing fire flow storage within each zone. The District has recognized the short term need for additional 711 operational storage and is currently in the design phase for the 8.0 MG 711-3 Reservoir.

Pumping Facilities

No pumping facilities are required to be constructed by the EastLake Trails project.

Emergency Storage

Earlier District policy was to provide ten average days of storage capacity to provide for emergency storage to meet aqueduct shutdown conditions. Current District policy has been revised from ten average days to provide a maximum of five average days of terminal storage capacity within the system and utilize other options to make up the difference.

A total volume of 2.16 MG (.431 MGD x 5) is required to provide five average days of total storage capacity for the EastLake Trails. Emergency storage for the project will be provided in the 624-3 reservoir. Adequate capacity exists to meet the five day storage requirement.

Transmission Mains

As part of the District's Capital Improvement Program (CIP), the 711 and 980 Zone transmission systems will be extended east in Otay Lakes Road and south of Otay Lakes Road in EastLake Parkway, Hunte Parkway, and the future Olympic Parkway. In addition to providing service to the Otay Ranch area, these mains will furnish redundant supply to EastLake Trails. In conjunction with buildout of the development, EastLake Trails will extend the existing mains in Hunte Parkway south to Olympic Parkway and construct the mains in Olympic Parkway from Hunte Parkway east to the Olympic Training Center.

Phasing

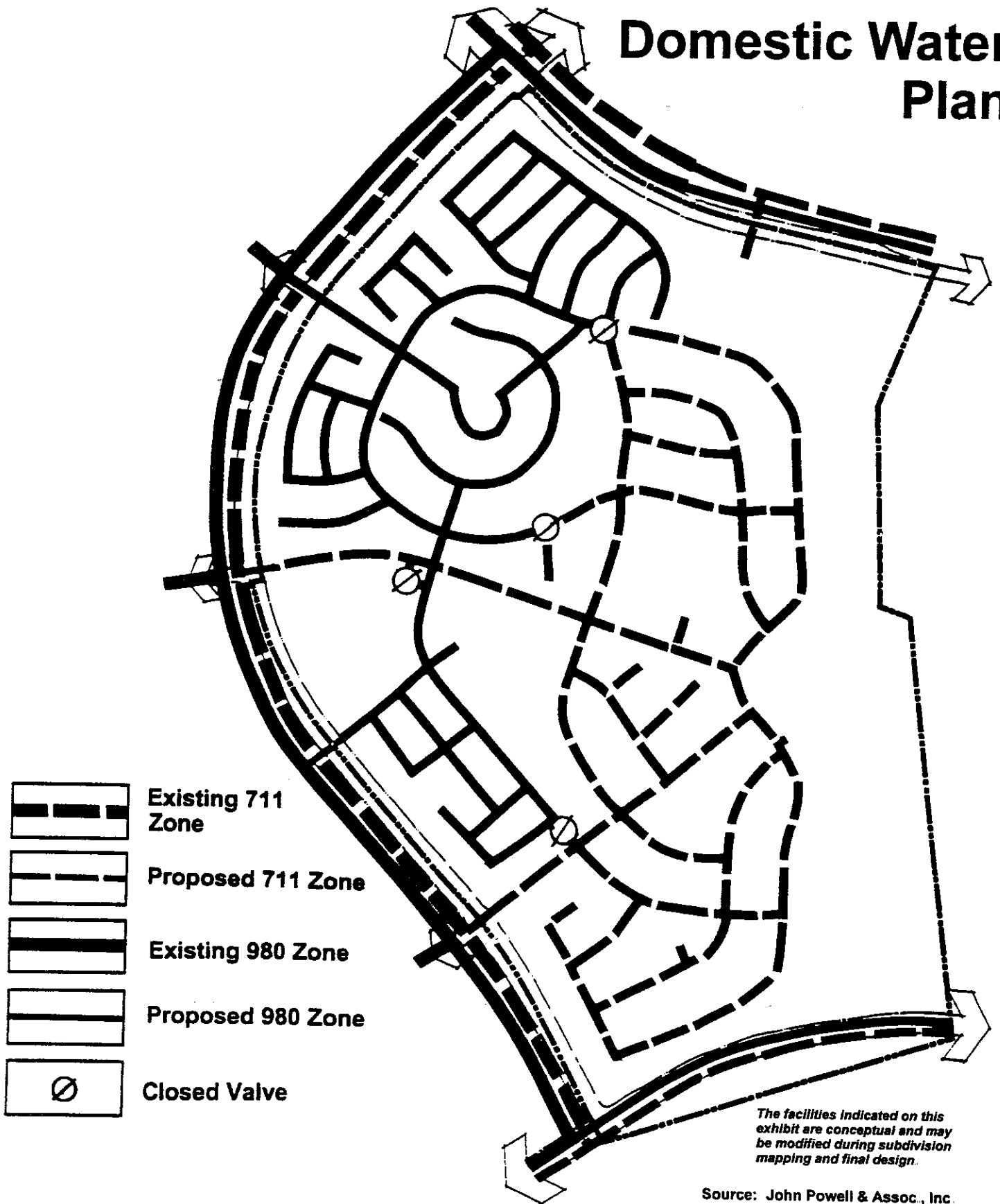
EastLake Trails will initially be required to relocate the temporary 12-inch pipeline connecting the existing 711 and 980 Zone mains in Hunte Parkway to the existing 711 Zone main within the Olympic Training Center (OTC). Subsequent to construction of the 711 Zone CIP transmission mains in Hunte and Olympic Parkways, the temporary pipeline will be removed.

Phase 1 improvements will include construction of the backbone 711 and 980 Zone systems in the southern portion (Trails South) of the development. Connections will be made to the existing 24-inch 711 zone main in Hunte Parkway at South Greensview Drive and Clubhouse Drive, and to the existing 16-inch 980 Zone main in Hunte Parkway approximately 1,100 feet south of Clubhouse Drive and the existing 30-inch, 980 Zone main in Hunte Parkway at North Greensview Drive.

Phase 2 improvements consist of construction of the remaining distribution pipelines within Trails South and construction of the backbone 711 and 980 Zone systems in the northern portion (Trails North) of the development.

Phase 3 improvements include construction of the remaining distribution systems in Trails North.

Domestic Water Plan



The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

Source: John Powell & Assoc., Inc.

EASTLAKE TRAILS
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Reclaimed Water

The Otay Water District Master Plan identifies that the EastLake Trails will be served by the existing 950 Zone recycled water mains in Otay Lakes Road and Hunte Parkway. In accordance with District design criteria, all onsite pipelines will be 6-inch diameter and will be installed concurrent with the phased construction of the potable water system.

It will be necessary to install the 950 Pressure Zone recycled water pipeline in Olympic Parkway to provide adequate flow and pressure to the Olympic Training Center's recycled irrigation system. These recycled pipelines will be installed at the same time as the 711 Pressure Zone lines in Olympic Parkway.

II.5.4.7.8 Financing Water Facilities

The financing and construction of potable water facilities is provided by two methods:

Capacity Fees:

Otay Water District's Capital Improvement Program (CIP) wherein the District facilitates design and construction of facilities and collects an appropriate share of the cost from developers through collection of capacity fees from water meter purchases. Capital Improvement Projects typically include supply sources, pumping facilities, operational storage, terminal storage, and transmission mains. Specific CIP projects are identified in the SAMP for the EastLake Trails.

The Otay Water District may use bond debt financing from ID 27 to assist in the financing of the District's CIP program.

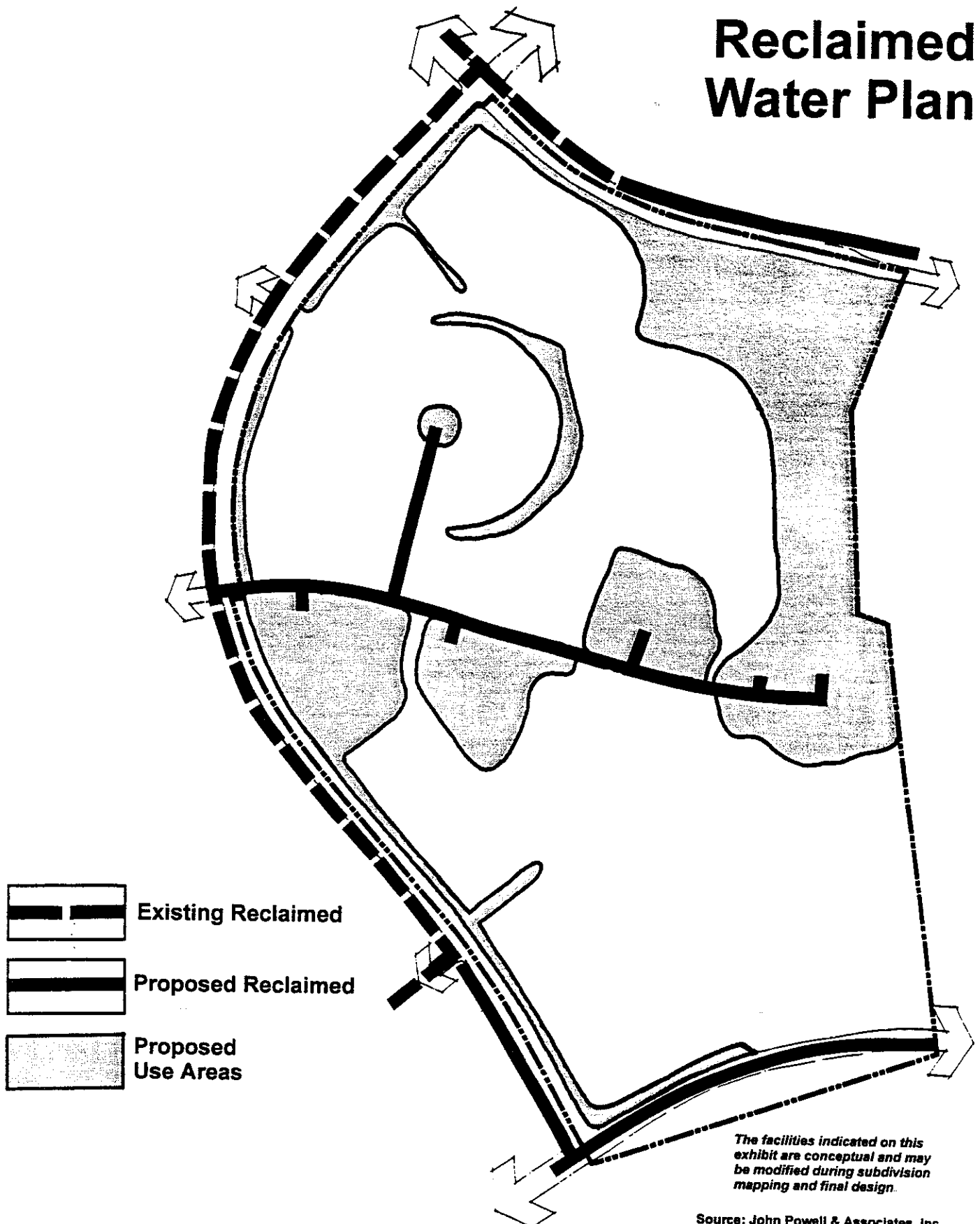
CIP projects are paid for by capacity fees collected on the sale of water meters after building permit issuance.

EastLake Trails is currently within the boundaries of Improvement District (ID) No. 27. The project will be required to annex into Improvement District No. 22.

Exaction:

Wherein the developer designs and constructs facilities which serve his development only. When complete, the facilities are dedicated to the District. The developer is required to finance and construct water and recycled water facilities and dedicate these facilities to the Otay Water District.

Reclaimed Water Plan



The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

Source: John Powell & Associates, Inc.

EASTLAKE TRAILS
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Figure 11

Potable Water Improvement Costs

The total capital cost for potable water facilities is approximately \$1.1 million (page 3-17 of SAMP). In accordance with District Policy No. 26, the District will provide reimbursement for construction and design costs associated with development of these improvements.

Reclaimed Water Improvement Costs

The total capital cost for recycled water facilities is approximately \$500,000 (page 4-4 of SAMP). The District will provide reimbursement for construction and design costs associated with development of these improvements.

II.5.4.7.9 Threshold Compliance and Recommendations

The *Otay Water District Water Resource Master Plan* and SAMP identify water facilities to be constructed to provide the appropriate level of water service to meet the criteria established within the plans. As such, the facilities identified in the plans are required of the development to be constructed as a part of the EastLake Trails project.

The developer shall request and deliver to the City a service availability letter from the Otay Water District prior to each final map.

Provide water and reclaimed water improvements in accordance with the report entitled *draft Sub-Area Water Master Plan for EastLake Trails* (SAMP) prepared by John Powell & Associates dated September 1998.

II.5.4.8 SEWER

II.5.4.8 SEWER

II.5.4.8.1 Threshold Standard

1. Sewage flows and volumes shall not exceed City Engineering Standards.
2. The City shall annually provide the San Diego Metropolitan Sewer Authority with a 12-18 month development forecast and request confirmation that the projection is within the City's purchased capacity rights and an evaluation of their ability to accommodate the forecast and continuing growth. As an alternative, the City Engineering Department staff shall gather the necessary data. The information provided to the GMOC shall include the following:
 - a. Amount of current capacity now used or committed.
 - b. Ability of affected facilities to absorb forecast growth.
 - c. Evaluation of funding and site availability for projected new facilities.
 - d. Other relevant information.

II.5.4.8.2 Service Analysis

The City of Chula Vista currently purchases capacity for wastewater treatment through the City of San Diego. Chula Vista oversees the construction, maintenance and the operation of the sewer trunk line system. The City Engineer is responsible for reviewing proposed developments and ensuring that the necessary sewer facilities are provided with each development project.

The Sewer Threshold Standard was developed to maintain healthful, sanitary sewer collection and disposal systems for the City of Chula Vista. Individual projects are required to provide necessary improvements consistent with the City of Chula Vista Wastewater Master Plan dated July 1989 and shall comply with all city engineering standards.

Information regarding the existing sewer facilities was obtained from the Telegraph Canyon Sewer Basin Improvement and Financing Plan (TC Basin Plan) dated July 31, 1992; the Telegraph Canyon Sewer Basin Improvement and Financing Plan Amendment Incorporating Pumped Flows (TC Pumped Flows Plan) dated June 9, 1993; the Salt Creek Basin Gravity Sewer Analysis dated November 1994; and the master plan for sewerage prepared for EastLake Trails by Dudek & Associates entitled *The Trails Wastewater Master Plan Update* dated August 24, 1998.

II.5.4.8.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Identify phased demands for all sewer trunk lines in conformance with the street improvements and in coordination with the construction of water facilities.
2. Identify location of facilities for onsite and offsite improvements, including reclaimed water facilities in conformance with *The Trails Wastewater Master Plan* revised June 5, 1998 by Dudek & Associates.
3. Provide cost estimates for all facilities and proposed financing responsibilities.
4. Identify financing methods.

II.5.4.8.4 Existing Conditions

Wastewater generated within the project area is conveyed to either the Telegraph Canyon or the Salt Creek Canyon collection systems. However, as a wastewater conveyance facility in Salt Creek Canyon is not complete, existing wastewater flows from developments in this area are pumped via two pump stations to the Telegraph Canyon collection system. These two pump stations include the Otay Lakes Road and Olympic Parkway Pump Stations. These two pump stations are considered to be temporary until such time as downstream infrastructure has been completed. Pump station and drainage basin locations are shown on Figure 12.

II.5.4.8.5 Adequacy Analysis

The wastewater master plan evaluates sewer facilities from two aspects. The current and future adequacy of trunk sewers and the future wastewater treatment facilities.

Wastewater Treatment

Current Chula Vista average daily wastewater flow is approximately 11.0 million gallons per day (mgd). The City's allocation is 19.2 mgd resulting in a capacity surplus of 8.2 mgd.

For design purposes, a factor of 280 gpd from the City's *Subdivision Manual* is used. Based on measured flows in the Telegraph Canyon Basin, a factor of 250 gpd per Equivalent Dwelling Unit (EDU) was used in the Telegraph Canyon Sewer Basin Fee Study. The sewage generation factors used in this report are given below.

- | | | |
|----|--------------------------------|-----------------|
| 1. | Low Density Residential (R-L) | 1 EDU/du |
| 2. | High Density Residential (R-H) | .75 EDU/du |
| 3. | Elementary School (PQ(ES)) | .06 EDU/student |
| 4. | Private Park | 2 EDU/acre |

The Development Phasing Forecast Summary, as shown on Table 3 lists 13,658 residential dwelling units, 161.4 acres of industrial, and 60.2 acres of commercial in various categories of entitlement through the year 2005. Using the per day wastewater figures for each land use, equates a total of 4,378,315 gallons per day of wastewater generation associated with the forecasted development category, reducing the capacity surplus from 8.2 to 3.822 mgd. This surplus capacity can accommodate approximately 13,650 DU's.

Table 27
Available Surplus Capacity

| Land Use | DU or Acres | Total Daily Gallons |
|--------------|-------------|---------------------|
| Residential | 13,658 DU | 3,824,240 |
| Commercial | 60.23 AC | 150,575 |
| Industrial | 161.4 AC | 403,500 |
| TOTAL | | 4,378,315 |

Until recently, the Federal Clean Water Act required all wastewater dischargers to upgrade their sewerage system facilities to the secondary treatment level. However, the U.S. Environmental Protection Agency (EPA) has tentatively decided to grant a variance from secondary treatment requirements to the City of San Diego for discharge to waters of the Pacific Ocean through the Point Loma Ocean Outfall Extension. The outfall discharges beyond the 3-mile State waters limit to federal waters. The EPA and the State of California jointly issue and administer discharges that are granted variances from secondary treatment requirements.

To assure compliance with the requirements of the Ocean Pollution Reduction Act, the City of San Diego has initiated a program of phased Metro System improvements. The following table identifies the City's proposed schedule for these improvements.

| TABLE 28 METRO SYSTEM IMPROVEMENTS | | |
|---|---|-----------------------------------|
| Improvement Phase | Improvement Description | Proposed Schedule |
| Phase 1 | Increased rated treatment capacity at Point Loma Treatment Plant | 1996 |
| Phase 1 | Digester rehabilitation at treatment plant | 1997 |
| Phase 2 | Complete construction of North City Water Reclamation Plant and the North City Regional reclaimed water conveyance system, and initiate water reclamation operations. | 1997 |
| Phase 3 | Complete construction of Northern Sludge Processing Facility and initiate operation of regional solids handling facilities | Before end of 5-year NPDES permit |
| Phase 3 | Initiate secondary treatment for additional flows at reclamation plant and discharge treated water at Point Loma. | Before end of 5-year NPDES permit |

The City of Chula Vista authorized a study of wastewater treatment and disposal alternatives as it affects Chula Vista. As a result of this study, Chula Vista will determine whether the Clean Water Program's alternative, or some other option, is in Chula Vista's best interest for providing the required treatment upgrade and/or additional capacity required for the total buildout Residential Dwelling Units plus Industrial and Commercial acres.

Trunk Sewers

The design capacity is a standard for peak flows based on the sewer line's size. The design capacity flow rate is low compared to actual sewer pipe capacities. But evaluating the design capacity, as opposed to the actual flow capacity, establishes an early warning system which will identify where future improvements may be necessary. Current peak flows exceed existing design capacities on sections of pipes in the Telegraph Canyon Basin and the Poggi Canyon Basin.

The construction of new sewer trunk lines must be phased with the construction of streets. The wastewater treatment requirements and sewer trunk line system are currently meeting the threshold standard.

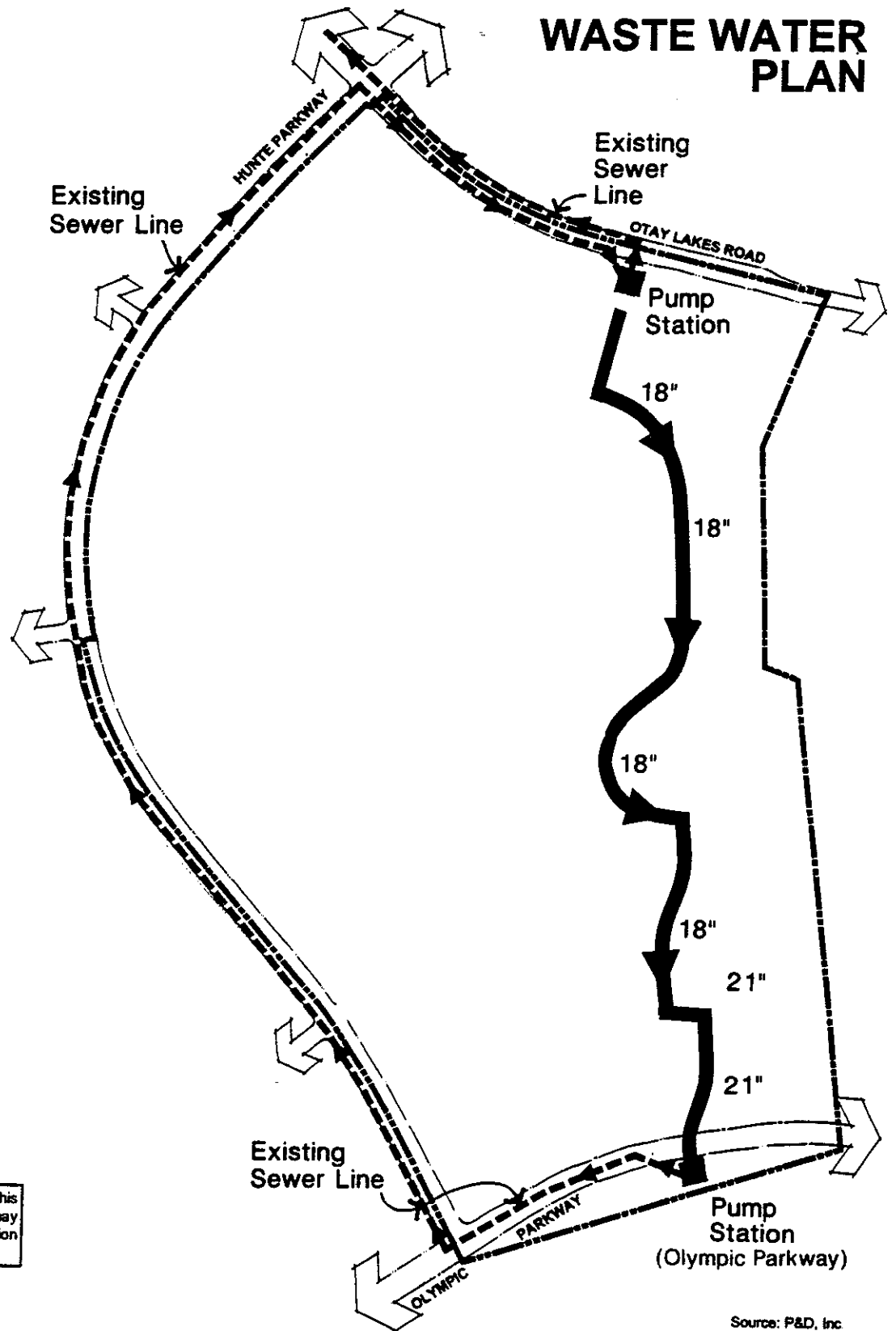
II.5.4.8.6 Recommended Sewerage Facilities

EastLake Trails Sewage Flows

Based on the sewage generation factors presented herein and the proposed development plan for the EastLake Trails project, the total projected average sewage flow from the Trails is 333,700 gallons per day. Of this amount, 323,700 gpd flows to the Olympic Parkway Pump Station and 10,000 gpd flows to the Otay Lakes Road Pump Station.

Conveyance of wastewater along Salt Creek Park requires a system that is paralleled by Reach 2 of the Salt Creek Canyon Interceptor. For the purposes of evaluation, these facilities are considered to be separate. However, further investigation into the system design may reveal that portions of these pipelines could be combined. It should be noted that the City of Chula Vista does not allow laterals to be connected to interceptor pipelines, so that portion of the Reach 2 will require a parallel conveyance pipeline.

WASTE WATER PLAN



The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.

EASTLAKE TRAILS
 A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Source: P&D, Inc

Cinti
 Land Planning
 San Diego, CA (619) 223-7608

Date: 7/7/98

Figure 12

Salt Creek Canyon Interceptor

Reach 2 of the Salt Creek Canyon Interceptor, as proposed in the November 8, 1994 *Salt Creek Basin Gravity Analysis* prepared by Wilson Engineering, passes in a north-south direction along Salt Creek Park within EastLake Trails. At buildout, Reach 2 will be required to convey flows from portions of the EastLake and Rolling Hills developments, as well as flows from Otay Ranch and adjacent developments to the north.

Pump Station Upgrades

The Otay Lakes Road Pump Station (OLRPS) and the Olympic Parkway Pump Station (OPPS) were both designed as temporary pump stations, for the purpose of lifting wastewater into the existing Telegraph Canyon Interceptor. At the time of construction, it was anticipated that the Salt Creek Canyon Interceptor would be completed before the pump stations reached their design capacity. The pump stations were designed to be constructed in two phases. The development of the Salt Creek Canyon Interceptor and development areas within the pump station service area has continued to grow. These conditions will necessitate that the second phase of improvements for the two pump stations be constructed assuming that the Salt Creek Interceptor is not constructed in the near future. The following discussions present upgrade requirements for the various pump station facilities based on projected wastewater flows from the Trails Development.

Olympic Parkway Pump Station (OPPS):

The OPPS will ultimately receive wastewater flows from the Trails, Greens, and Vistas developments, as well as the Olympic Training Center (assuming that the Salt Creek Canyon Interceptor is not completed prior to buildout). The existing capacity of the OPPS is 1,450 gpm (approximately 2,674 EDU's). Currently, the OPPS receives wastewater from only the Greens development (approximately 831 EDU's). The Trails development will add an additional 1,157 EDU's of wastewater flow, yielding a total of approximately 1,988 EDU's. These 1,988 EDU's are projected to generate approximately 66 percent of the available pump station capacity. Therefore, buildout of the Trails development does not require additional upgrades to the OPPS.

Otay Lakes Road Pump Station (OLRPS):

The OLRPS will ultimately receive wastewater generated by the Business Center, Trails, Greens, and Woods developments. Also, under agreement with EastLake, wastewater generated in the portions of Rolling Hills Ranch which do not drain by gravity to Telegraph Canyon will also be conveyed through the OLRPS. These wastewater volumes, as well as wastewater pumped through the OPPS, will be conveyed to the Telegraph Canyon Interceptor through the OLRPS.

The OLRPS has an existing capacity of 1,530 gpm and it currently receives wastewater from the Greens Development (1,086 EDU's) and Rolling Hills Ranch (1,174 EDU's). Construction of the Trails Development (1,193 EDU's) will increase the tributary EDU count to approximately 3,453 EDU's, yielding a peak wastewater flow of approximately 1,300 gpm. At these development levels, the OLRPS will be operating at approximately 85 percent of its existing capacity. As with the OPPS, the OLRPS does not necessarily require additional capacity increases for buildout of the Trails Development.

However, an agreement between the City of Chula Vista and EastLake Development in January of 1998 (Resolution No. 18875) requires EastLake to initiate upgrades to the OLRPS at a tributary EDU count of 3,000 EDU's. The required upgrades would increase the station capacity to approximately 2,170 gpm (approximately 5,790 EDU's). The Greens Development is currently nearing completion with a total EDU count of 1,086 EDU's. Therefore, based on the current agreement with the City, pump station upgrades must be initiated once an additional 1,914 EDU's are constructed (3,000 - 1,086 = 1,914 EDU's). Consideration will also be given to the current agreement between EastLake and Rolling Hills Ranch which provides for a total of 1,174 EDU's of wastewater conveyance capacity for the Rolling Hills Ranch.

II.5.4.8.7 Financing Sewerage Facilities

Telegraph Canyon Basin

Prior to pumping into the system, the EastLake Trails will be required to pay fees to the City of Chula Vista in order for the City to fund improvements to the downstream system needed to accommodate the increased flows. The fees and their related improvements are contained in the City report entitled *Telegraph Canyon Sewer Basin Improvement and Financing Plan Amendment Incorporating Pumped Flows* dated June 9, 1993. The facilities identified in the report shall be required of the developer either as constructed facilities, through the payment of fees, or a letter of credit for the fee amount provided at the time of final map. This option is provided because the pumped flow facilities may not need to be built if downstream gravity facilities in the Salt Creek Basin can be provided prior to the time that segments of the Telegraph Canyon sewer reaches capacity.

| Land Use | Amount | Fee | Cost |
|---------------------------|-------------|---------------|------------------|
| Single Family Residential | 1,143 units | \$560/unit | \$640,080 |
| CPF | 4.6 acres | \$5,600/acre | 25,760 |
| Elementary School | 1 site | \$20,160/site | 20,160 |
| Parks (Public & Private) | 51.5 acres | \$1,120/acre | 57,680 |
| | | Total | \$743,680 |

| Phase | SFR UNITS | CPF ACRES | SCHOOL SITES | PARK ACRES | FEES |
|--------------|--------------|--------------|-----------------|---------------|------------------|
| 1 | 626 | 0 | 1 | 26.2 | \$400,064 |
| 2 | 517 | 4.6 | 0 | 21.3 | 339,136 |
| 3 | 0 | 0 | 0 | 4.0 | 4,480 |
| Total | 1,143 | 4.6 | 1.0 | 51.5 | \$743,680 |

The City of Chula Vista *Sewage Pump Station Financing Policy* (No. 570-03) adopted by Resolution No. 17491 effective May 17, 1994, established the following policy and procedure relative to the construction of sewage pump stations and to the financing of their associated costs for maintenance, operation, repair, replacement, retrofit and rehabilitation (generally O & M costs).

- A. The construction of sewage pump stations is to be discouraged and shall be approved only in accordance with the provisions of the policy.
- B. The following actions shall be taken before (1) approving a Tentative Subdivision Map or a Preliminary Parcel Map for a project dependent upon the construction of a sewage pump station for the provision of sewer service or (2) first approval (Design Review or similar action) for a project not requiring approval of a Tentative Map or Preliminary Parcel Map:
 1. The developer shall prepare and provide the City with a study analyzing the feasibility of constructing a gravity sewer line versus installing a pump station. The study shall include a comparison of the cost of constructing a gravity sewer line to that of installing, maintaining and operating the pump station. The most cost effective and technically feasible alternative, as determined by the Director of Public Works (Director), will be included as part of the required subdivision or project improvements.
 2. In the event that the construction of a gravity sewer is not possible because of topographic or jurisdictional constraints, the above study may be limited to provision of sufficient evidence to demonstrate the existence of the constraint and an estimate of the cost of maintaining and operating the proposed pump station. If the decision to build a pump station is predicated upon an economic consideration, then the full study as outlined above will be required.
 3. The Director shall review the above study and if the need for a sewage pump station is not indicated by the results of the study, said sewage pump station and the Tentative Map, Preliminary Map or

other such dependent project shall not be approved subject to applicant appeal to the City Council.

4. Where the review by the Director indicates that connection to a gravity sewer is cost effective and feasible a pump station dependent development or project shall be processed only with advance approval of the City Council of the use of a sewage pump station.
5. In the event that the need for a sewage pump station is discovered after approval of a Tentative Subdivision Map or a Preliminary Parcel Map or after an initial City approval (such as Design Review) of a project not requiring such a map said study shall be performed prior to any further review of applications for approval. Where a Tentative or Preliminary Map is required, such a discovery shall be considered to constitute a significant change in the project and require consideration of a Revised Tentative or Preliminary Map.

In the instance of a project not requiring a Final Map or a Parcel Map said study shall be required prior to the issuance of any building permit.

Salt Creek Basin

Development located within the Salt Creek Basin will be required to pay the Salt Creek Sewer Basin Fee. The fee is \$284 per EDU and is payable at building permit issuance. Information regarding this basin and fee is contained in the Salt Creek Basin Gravity Sewer Analysis prepared by Wilson Engineering.

| Land Use | Amount | Fee | Cost |
|---------------------------|---------------|-----------------|------------------|
| Single Family Residential | 1,143 units | \$284/unit | \$324,612 |
| CPF | 4.6 acres | \$2,840/acre | 13,064 |
| Elementary School | 343 students | \$17.04/student | 5,845 |
| Parks | 51.5 acres | \$568/acre | 29,252 |
| | | Total | \$372,773 |

| Phase | SFR UNITS | CPF ACRES | SCHOOL STUDENTS | PARK ACRES | FEES |
|--------------|--------------|--------------|--------------------|---------------|------------------|
| 1 | 626 | 0 | 187.8 | 26.2 | \$195,866 |
| 2 | 517 | 4.6 | 155.1 | 21.3 | 174,633 |
| 3 | 0 | 0 | | 4.0 | 2,272 |
| Total | 1,143 | 4.6 | 343 | 51.5 | \$372,771 |

II.5.4.8.8 Threshold Compliance and Recommendations

Facilities to accommodate sewer flows have been identified. The City will generally not allow the design capacity of trunk sewers to be exceeded. If flows large enough to surpass the design capacity of receiving sewers are anticipated as the result of new development, the City could require the construction of relief lines. In certain cases, the City will allow design capacity but not hydraulic capacity of sewer lines to be exceeded at peak flow before relief facilities are required. For example, in the Telegraph Canyon Basin Plan 15-inch lines were allowed to have 85% flows instead of the 75% design capacity.

The construction of new sewer trunk lines must be phased with the construction of streets. As such, the facilities identified in this plan shall be required of the developer either as constructed facilities, through the payment of fees, or a letter of credit for the fee amount provided at the time of final map. This option is provided because the pumped flow facilities may not need to be built if downstream gravity facilities in the Salt Creek Basin can be provided prior to the time that segments of the Telegraph Canyon sewer reaches capacity.

Pay fees in accordance with the City of Chula Vista ordinance or provide trunk sewer improvements to the Telegraph Canyon trunk sewers as indicated in the report entitled *Telegraph Canyon Sewer Basin Improvements and Financing Plan Incorporating Pumped Flows*.

Pay fees for improvements within the Salt Creek Basin in accordance with the City of Chula Vista Ordinance as indicated in the report entitled *Salt Creek Basin Gravity Sewer Analysis* prepared by Wilson Engineering

II.5.4.9 DRAINAGE

II.5.4.9 DRAINAGE

II.5.4.9.1 Threshold Standard

1. Storm water flows and volumes shall not exceed City Engineering Standards.
2. The GMOC shall annually review the performance of the City's storm drain system to determine its ability to meet the City's goals and objectives.

II.5.4.9.2 Service Analysis

The City of Chula Vista, through its Public Works Department, is responsible for ensuring that safe and efficient storm water drainage systems are provided concurrent with development in order to protect the residents and property within the city. City staff shall review individual projects to ensure that improvements are provided which are consistent with the drainage master plan(s) and that the project complies with all City engineering drainage standards.

Drainage facilities are planned for in the *City of Chula Vista Public Facilities Plan Flood Control Summary Report*, dated March 1989 (Phase II).

EastLake Trails drainage improvements are identified in the *Preliminary Drainage Study for EastLake Trails* prepared by P&D/CTE Engineers, Inc. dated March 19, 1998 and revised May 21, 1998. Additional information is contained in the *Detention Study for Salt Creek at Olympic Parkway* prepared by Rick Engineering Company dated March 19, 1998, as amended by March 26 and April 27, 1998 addendums.

II.5.4.9.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Identify phased demands.
2. Identify locations of facilities for onsite and offsite improvements.
3. Provide cost estimates.
4. Identify financing methods.

II.5.4.9.4 Existing Conditions

The *City of Chula Vista Public Facilities Plan, Flood Control Summary Report*, March, 1989, shows fifteen major drainage basins in Chula Vista. These drainage basin boundaries were determined by existing topography, drainage conditions and land uses. Four of these are essentially developed and not expected to have

significant changes in runoff. Eleven drainage basins are east of Interstate 805 with one of the basins, Long Canyon, is mostly developed to the predicted densities in Scenario 4 of the general plan. Only the remaining ten basins will experience major development and the subsequent changes in drainage conditions.

The City's Drainage Master Plan analyzed current and future requirements for drainage facilities. The report details three alternative solutions for drainage in each basin. Because drainage facilities are directly related to the type and location of future development, it is not possible to determine which specific improvements will be required until the development project is presented and reviewed by staff.

II.5.4.9.5 Proposed Facilities

The entire EastLake Trails project area, including a portion of EastLake Greens, drains into the proposed Salt Creek park area. These flows proceed downstream to an existing detention basin located north of proposed Olympic Parkway. A separate report entitled *Detention Study for Salt Creek at Olympic Parkway* dated March 19, 1998 (as amended March 26 and April 27, 1998 addendums) was prepared by Rick Engineering Company.

The City requires that the increased runoff caused by urbanization be detained to levels at or below natural conditions for the 10-, 50- and 100-year frequency storms. Required detention basins within Salt Creek have been designed to meet this criteria and will also over-drain runoff to accommodate flows diverted away from the Otay Reservoirs. By the detention process, these basins will also attempt to maintain current flows within Salt Creek.

Due to phasing of future development within the Salt Creek watershed, two post-development conditions were analyzed by the Rick Engineering studies. These two conditions are the interim and ultimate development conditions.

The ultimate condition requires two detention basins within Salt Creek. Basin 2 is located north of Olympic Parkway. Basin 1 will be located north of Otay Lakes Road and will help reduce the development peak discharge for the watershed upstream of Otay Lakes Road and minimize erosion within Salt Creek. This basin will detain the increased runoff from Salt Creek Ranch and the EastLake Woods developments. These two basins will not only reduce flood peaks for the Salt Creek watershed exclusively, but will also provide detention for the areas developed by EastLake and the Olympic Training Center which are diverted away from the Otay Reservoir.

The interim condition requires one detention basin (Basin 2) located adjacent to, and immediately north, of Olympic Parkway within Salt Creek. The existing dam is located within the limits of Detention Basin 2. Assuming the area north of Otay Lakes Road remains in its current undeveloped condition, Detention Basin 2 will

detain increased flows from the proposed developments which lie south of Otay Lakes Road and north of Olympic Parkway back to current levels.

Detention Basin 2 incorporates both the natural detention upstream of the existing dam with the area created by the construction of Olympic Parkway. The proposed outlet works for the existing dam upstream of Olympic Parkway includes a concrete spillway and riprap pad at the bottom end.

A 10 foot by 12 foot reinforced concrete box culvert is proposed under Olympic Parkway with a rip-rap pad below the outlet.

The existing hydraulic slope within Salt Creek is steep and erosive. Drop structures are proposed downstream of Otay Lakes Road in order to reduce erosive velocities. Below the outlet of the 12' X 12' Otay Lakes Road reinforced concrete box culvert, the channel bends and rip-rap is proposed to protect this area of the channel from erosion. In another channel section, a pond is proposed adjacent to the private park. Final design will determine the location and size of the pond, drop structures, riprap, and channel geometry.

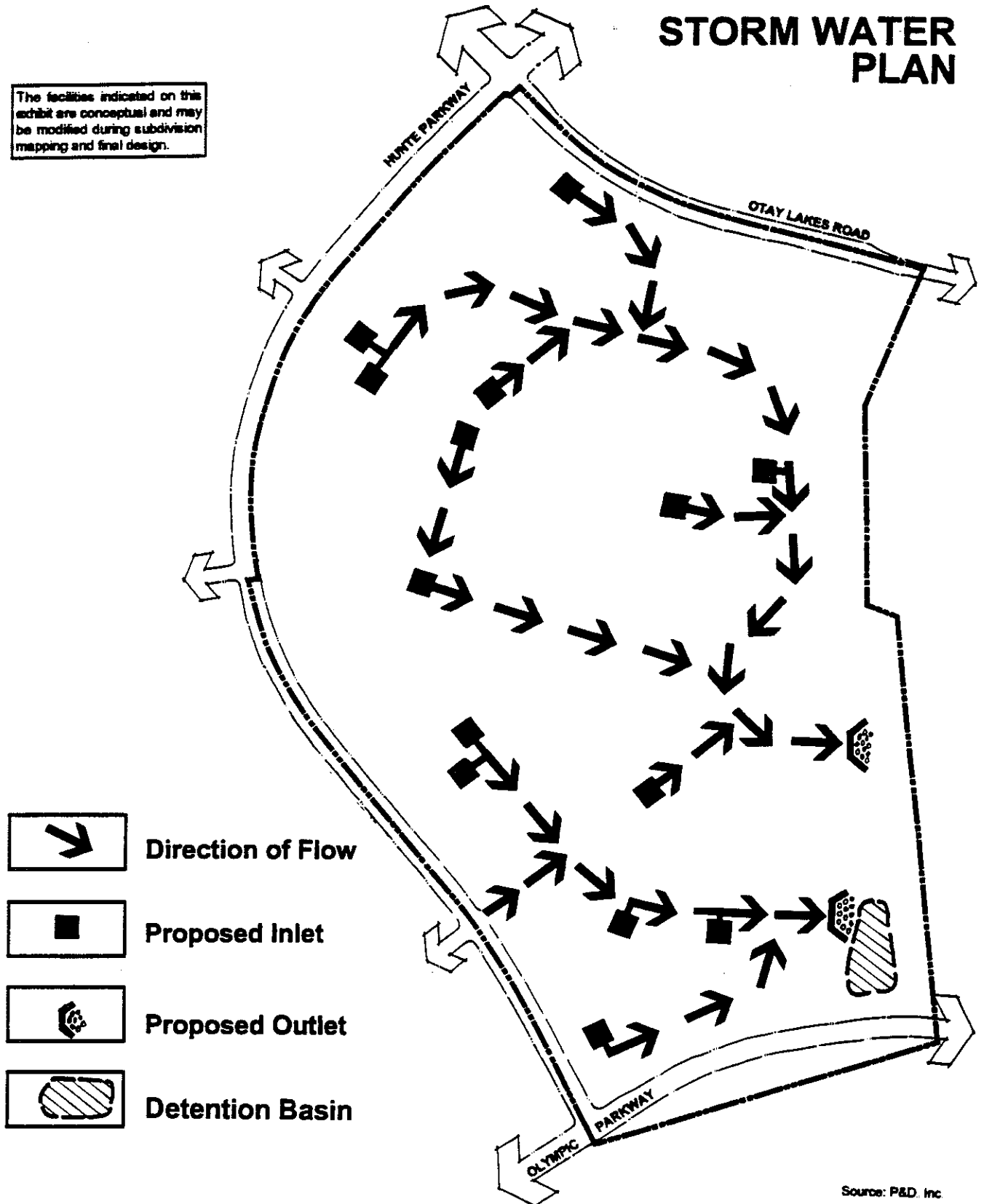
Onsite runoff from the EastLake Trails project will be concentrated in proposed storm drain systems (i.e. pipes and/or brow ditches) primarily located in the proposed public streets. The size and location of the proposed storm drain mains will be based on City of Chula Vista standards. The exact size and locations of the proposed storm drain system(s) will be determined in the future during final engineering phase(s) of the project. The proposed storm drain systems will outlet into the proposed Salt Creek Park area in three locations. The three project drainage basins are approximately 100 acres and are classified as "Lateral Drainage Channels or Systems" according to City of Chula Vista standards.





Urban Runoff Facilities

The Upper and Lower Otay Lakes are operated by the City of San Diego as domestic water reservoirs. These reservoirs must be protected from urban runoff to maintain water quality for domestic use. The EastLake Trails project does not drain into the watersheds of these reservoirs. Salt Creek is a USGS blueline stream, which makes it a water resource of the United States under the County Water Authority. All development in excess of five acres must incorporate urban runoff planning, which will be detailed at the Tentative Tract Map level.

STORM WATER PLAN

The facilities indicated on this exhibit are conceptual and may be modified during subdivision mapping and final design.



-  Direction of Flow
-  Proposed Inlet
-  Proposed Outlet
-  Detention Basin

Source: P&D, Inc

EASTLAKE TRAILS
A PLANNED COMMUNITY by THE EASTLAKE COMPANY



Figure 13

II.5.4.9.6 Financing Drainage Facilities

Onsite Facilities

City policy requires that all master planned developments provide for the conveyance of storm waters throughout the project to City engineering standards. As such, EastLake Trails will be required to construct those facilities identified in Section II 5.4.9.5 through the subdivision exaction process.

Offsite Facilities

There are no offsite drainage facilities required of EastLake Trails.

II.5.4.9.7 Threshold Compliance and Recommendations

EastLake Trails shall be responsible for the conveyance of storm water flows in accordance with City Engineering Standards. The City Engineering Division shall review all plans to ensure compliance with City Engineering Standards.

EastLake Trails shall incorporate urban runoff planning in the Tentative Tract Map.

II.5.4.10 AIR QUALITY

II.5.4.10 AIR QUALITY

II.5.4.10.1 Threshold Standard

The City shall annually provide the San Diego Air Pollution Control District (APCD) with a 12-18 month development forecast and request an evaluation of its impact on current and future air quality management programs, along with recent air quality data. The growth forecast and APCD response letters shall be provided to the GMOC for inclusion in its annual review.

II.5.4.10.2 Service Analysis

Air Quality Improvement Plan

An Air Quality Improvement Plan is required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDU's of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects which are not processed through a Planned Community Zone.

The Air Pollution Control District is responsible for the Air Quality Maintenance Program in compliance with the California Clean Air Act. There is no local Master Plan for Air Quality.

The *Air Quality Improvement Plan - EastLake Trails SPA* dated September 1998, was prepared by KSA Land Planning.

II.5.4.10.3 Threshold Compliance and Recommendations

The City continues to provide a development forecast to the APCD in conformance with the threshold standard. A separate Air Quality Improvement Plan is provided as part of the SPA document.

II.5.4.11 CIVIC CENTER

II.5.4.11 CIVIC CENTER

II.5.4.11.1 Threshold Standard

There is no adopted threshold standard for this facility. The facility information is being provided in this report to aid the City in establishing operational benchmarks which will determine construction phasing of the Civic Center.

II.5.4.11.2 Service Analysis

Although the existing Civic Center successfully accommodated city administration offices prior to the mid-1980's population growth, increase in City staff to meet new demands of growth has caused increasing congestion problems. Most staff in the Public Services Building experience space shortages, lack of privacy and storage, and frequent noise distractions. This was reported in a survey which is included in the Civic Center Master Plan dated May 8, 1989. Site Alternative Three "The Suburban Scheme" was selected from the master plan at a City Council conference on June 22, 1989.

II.5.4.11.3 Existing Conditions

Civic Facilities Inventory

Existing Facilities

| | |
|---|----------------------------|
| Civic Center | 111,940 square feet |
| Previous County Health Center | 3,120 square feet |
| Future Public Works Inspection Division (off-site) | 1,200 square feet |
| TOTAL | 116,260 square feet |
| Parking Lots | 333 spaces |

| <u>Future Facilities Cost</u> | <u>Size</u> | <u>Estimated</u> |
|-------------------------------------|-------------------------|---------------------|
| 1. City Hall | 25,765 sf ¹¹ | 2,203,300 |
| 2. Public Services Facility | 40,615 sf ¹¹ | 3,023,500 |
| 3. New City Hall Annex | 28,925 sf ¹¹ | 3,023,600 |
| 4. Legislative Offices | 6,000 sf ¹¹ | 1,330,000 |
| 5. Subterranean Parking | 126 spaces | 1,008,000 |
| 6. Parking Structure | 359 spaces | 2,872,000 |
| 7. Demolition | 5,920 sf | 83,600 |
| 8. Surface Parking | 45,425 sf | 227,100 |
| 9. Misc. Site Improvements | 15,000 sf | 180,000 |
| 10. Landscaping | 55,000 sf | 698,500 |
| 11. Land Acquisition (459 F Street) | --- | --- |
| 12. Master Plan | --- | 65,250 |
| TOTAL (1989 Dollars) | | \$15,459,300 |

II.5.4.11.4 Adequacy Analysis

The Master Plan for the Chula Vista Civic Center shows 126,990 square feet of Civic Center facilities are needed to serve the population in 1988. This identifies an existing space deficiency of 15,050 square feet. Since the writing of the Master Plan, the City has acquired the 3,120 square foot County Health building and a 1,200 square foot Public Works office. They are both listed under Existing Facilities. Because of this increase in square footage, the deficiency is reduced to 10,730 square feet.

The need for the Civic Center can not be easily related to population figures or acres of commercial and industrial land which will be developed in the future. The facilities, according to the master plan, are currently inadequate because of the lack of space. This inadequacy will worsen as employee numbers and their workloads increase in response to demands for services, which are generated by new development.

The City is moving ahead to implement Phase #1 of the Civic Center Master Plan by acquiring additional land to the west of the existing Civic Center for the proposed parking garage.

II.5.4.11.5 Financing Civic Center Facilities

In January, 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support future development within

¹¹ Some of the size figures represent a combination of remodeled existing square footage and newly constructed square footage. The completed civic facilities will total 149,120 square feet with 625 parking spaces.

the City. The current fee adopted in accordance with Government Code Section 66000 is \$2,150 per equivalent dwelling unit.

The EastLake Trails project is within the boundaries of the public facilities DIF program and, therefore, the project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current Civic Center fee rate of \$527 per dwelling unit. The EastLake Trails obligation at buildout is \$609,634.

| Development Phase | EDU's | Civic Ctr. Fee @ \$527/EDU |
|-------------------|----------------|----------------------------|
| 1 | 626.0 | \$329,902 |
| 2 | 530.8 | 279,732 |
| 3 | 0.0 | 0 |
| Total | 1,156.8 | \$609,634 |

II.5.4.11.6 Threshold Compliance and Recommendations

Civic Center facilities will be funded through the collection of the public facilities fees at the rate in effect at the time building permits are issued.

II.5.4.12 CORPORATION YARD

II.5.4.12 CORPORATION YARD

II.5.4.12.1 Threshold Standard

There is no adopted threshold standard for this facility. The facility information is being provided in this report to aid the City in establishing operational benchmarks which will determine construction phasing of the corporation yard.

II.5.4.12.2 Service Analysis

The corporation yard is currently operating beyond capacity. New development, with its resultant increase in required maintenance services, creates a need for a larger corporation yard. The new yard may be located east of Interstate 805 because of the availability of centrally located large parcels. A City staff memo dated November 11, 1987 states that 15 acres are needed to accommodate 85,010 square feet of office and storage and 228,000 square feet of parking.

II.5.4.12.3 Existing Conditions

Existing Facilities

Location

Corporation Yard

707 "F" Street

Future Facilities

Cost Estimate

| | | |
|----|--|----------------------|
| 1. | Buildings | \$ 4,699,491 |
| 2. | Outside Storage | 1,031,362 |
| 3. | Parking | 543,598 |
| 4. | Site preparation and grading | 4,000,000 |
| 5. | Site development, utilities, and landscaping | 1,181,260 |
| 6. | Site acquisition | <u>1,995,000</u> |
| | TOTAL (1988 Dollars) | \$ 13,450,711 |

II.5.4.12.4 Adequacy Analysis

The growth in population, increase in street miles and the expansion of developed areas in Chula Vista, requires more equipment for maintenance as well as more space for storage and the administration of increased numbers of employees. The need for a larger Corporation Yard can be specifically related to new development and its effect on all of these subjects.

The existing corporation yard located at "F" Street and Woodlawn Avenue no longer accommodates present demands. A site within the Otay Rio Business Park adjacent

to the MCA Amphitheater is being considered because it provides a central location as the City grows to buildout and because this large parcel of land is available east of Interstate 805 which is suitable for a corporation yard.

II.5.4.12.5 Financing Corporation Yard Facilities

In January, 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The current fee is \$2,150 per equivalent dwelling unit.

The EastLake Trails project is within the boundaries of the public facilities DIF program and, therefore, the project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the EastLake Trails obligation at buildout is \$595,752.

| Development Phase | EDU's | Corp. Yard Fee @ \$515/EDU |
|-------------------|----------------|----------------------------|
| 1 | 626.0 | \$322,390 |
| 2 | 530.8 | 273,362 |
| 3 | 0.0 | 0 |
| Total | 1,156.8 | \$595,752 |

II.5.4.12.6 Threshold Compliance and Recommendations

Corporation Yard facilities will be funded through the collection of public facility fees at the rate in effect at the time building permits are issued.

II.5.4.13 OTHER PUBLIC FACILITIES

II.5.4.13 OTHER PUBLIC FACILITIES

II.5.4.13.1 Threshold Standard

There is no adopted threshold standard for these facilities which are part of the Public Facilities Development Impact Fee Program and include GIS, Mainframe Computer, Telephone System Upgrade, and Records Management. The information regarding these capital items is being provided in this section of the PFFP to aid the City and the developer in calculating the PFDIF fees to be paid by the EastLake Trails project.

II.5.4.13.2 Service Analysis

The public facilities identified in Section 3.15.1, above, are described in the report entitled *Development Impact Fee for Public Facilities* dated April 20, 1993, known as document number C093-075.

II.5.4.13.3 Existing Conditions

The City continues to collect funds from building permit issuances in the Eastern Territories for deposit to the accounts associated with these facilities.

II.5.4.13.4 Financing Other Public Facilities

This information is being provided to aid the City and the developer in calculating the level of funds to be received from the payment of fees associated with this "Other Public Facilities" category.

In January, 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The current fee is \$2,150 per equivalent dwelling unit. The component of the fee attributable to "Other Public Facilities" as described above is \$113.16 per EDU which includes \$4.16 per EDU for PFDIF administration at 2%.

The EastLake Trails project is within the boundaries of the public facilities DIF program and, therefore, the project will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the EastLake Trails obligation at buildout is \$126,091 as shown on the following table.

| Development Phase | EDU's | Other Public Facilities Fee @ \$109/EDU |
|--------------------------|----------------|--|
| 1 | 626.0 | \$68,234 |
| 2 | 530.8 | 57,857 |
| 3 | 0.0 | 0 |
| Total | 1,156.8 | \$126,091 |

II.5.4.13.5 Threshold Compliance and Recommendations

Other Public Facilities will be funded through the collection of public facility fees at the rate in effect at the time building permits are issued.

II.5.4.14 FISCAL ANALYSIS

II.5.4.14 FISCAL ANALYSIS

II.5.4.14.1 Threshold Standard

1. The GMOC shall be provided with an annual fiscal impact report which provides an evaluation of the impacts of growth on the City, both in terms of operations and capital improvements. This report should evaluate actual growth over the previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.
2. The GMOC shall be provided with an annual "economic monitoring report" which provides an analysis of economic development activity and indicators over the next previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.

II.5.4.14.2 Facility Master Plan

There is no existing Master Plan for fiscal issues. However, an economic base study and a long range fiscal impact study was prepared by P&D Technologies as part of the Chula Vista General Plan.

II.5.4.14.3 Project Processing Requirements

Sectional Planning Area Plan/Public Facilities Finance Plans

1. Prepare a phased fiscal/economic report dealing with revenue vs expenditures including maintenance and operations.

II.5.4.14.4 Fiscal Analysis of Project

II.5.4.14.4.1 Introduction

This analysis identifies the estimated fiscal impact that EastLake Trails will have on the operation and maintenance budgets of the City of Chula Vista (general fund). CIC Research, Inc prepared this fiscal impact. Information pertaining to the scope of development was derived from The EastLake Company.

Two basic methodologies were utilized in estimating public agency revenues and expenditures; the case study and per unit/acre multiplier methods. The case study method was used to estimate secured property tax. The case study method is based on specific characteristics of the project from which revenues can be estimated. Appropriate City officials were contacted to

identify actual tax rates and fees, also Mr. Dan Beintema of the Chula Vista Fire Department was contacted for costs associated with fire protection. Mr. David Palmer of the Chula Vista library and Mr. Jerry Foncerrada of the Parks Department were contacted. The per unit/acre multiplier method, which represents a more general approach was utilized to estimate unsecured property tax, sales tax, TOT, property transfer tax, utility tax, license fees, fines, other revenues and fees and all expenditures. The City of Chula Vista's FISCAL YEAR 1997-1998 Budget was utilized to estimate per unit/acre multipliers.

Future revenues and expenditures are presented in current (1998) dollars. Also, revenues and expenditures are depicted annually, reflecting a conservatively projected development absorption schedule. This approach identifies annual project fiscal surpluses and deficits and represents a more realistic approach when compared to assuming instant build-out.

II.5.4.14.4.2 Project Description

EastLake Trails is proposed to contain 1,143 housing units and 74.6 acres of parks, recreational uses, a school and open space. The project will be developed in three phases.

Presented in Table 36 is a description of the product types and projected absorption schedule, both provided by The EastLake Company. This schedule includes a 12-year development schedule. For the purpose of this analysis, absorption represents new units being sold (or rented) and occupied.

Estimated housing market values were developed by The EastLake Company. These values are utilized in identifying property taxes and are presented in Table 36.

II.5.4.14.4.3 Project Demographics and Land Uses

In developing per unit/acre multipliers, CIC utilized demographic and land use information related to the City of Chula Vista as a whole and, more specifically, the subject EastLake parcels. Included in Table 37 are population characteristics, housing statistics and the amount of developed acreage by land-use.

**Table 36
DEVELOPMENT DESCRIPTION AND ABSORPTION SCHEDULE BY LAND USE
Cumulative Developed and Occupied Units/Net Acres**

| Land Use | Per Unit/ Net Acre Value (000's) | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
|--|--|-----------|------------|------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| EASTLAKE TRAILS Single Family Residential | | | | | | | | | | | | |
| R-1 | \$285.0 | 5 | 26 | 31 | 31 | 31 | 31 | 31 | 31 | 31 | 31 | 31 |
| R-2 | \$285.0 | 0 | 0 | 15 | 30 | 30 | 30 | 30 | 30 | 30 | 30 | 30 |
| R-3 | \$255.0 | 20 | 120 | 220 | 300 | 363 | 363 | 363 | 363 | 363 | 363 | 363 |
| R-4 | \$255.0 | 50 | 250 | 450 | 533 | 533 | 533 | 533 | 533 | 533 | 533 | 533 |
| R-5 | \$180.0 | 10 | 75 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 |
| R-6 | \$180.0 | 0 | 0 | 30 | 94 | 94 | 94 | 94 | 94 | 94 | 94 | 94 |
| Total SF | | 85 | 471 | 838 | 1080 | 1143 | 1143 | 1143 | 1143 | 1143 | 1143 | 1143 |

**Table 37
EASTLAKE FISCAL IMPACT
GENERAL ASSUMPTIONS**

| | |
|-----------------------------|-----------|
| Chula Vista | |
| Population | 156,100 |
| Occupied Housing Units | 53,016 |
| Persons Per Household | 2.94 |
| Street Miles | 321 |
| Estimated Avg. HH Income | \$53,464 |
| Median Housing Price | \$160,000 |
| Land Uses (Developed Acres) | |
| Commercial | 1,093.46 |
| Industrial | 724.62 |
| Residential | 6,876.98 |
| Park | 339.85 |
| EastLake Trails | |
| Estimated population | 3,360 |
| Housing Units | 1,143 |
| Commercial Acres | 0 |
| Industrial Acres | 0 |
| Park Acres | 31.1 |
| Street Miles | 8.5 |
| Estimated Avg. HH Income | \$75,000 |
| Median Housing Price | \$225,000 |

Source: California Department of Finance, 1998
City of Chula Vista
EastLake Company
DataQuick Information Services

II.5.4.14.4.4 Revenues

Operating revenues for the City of Chula Vista resulting from the proposed EastLake Trails are estimated in this section. The major revenue sources which are expected to be generated from the subject developments and detailed in this chapter include property tax (secured and unsecured), property transfer tax, sales tax, franchise fees, TOT, utility tax, license revenue, miscellaneous fines, homeowner's property tax relief, motor vehicle license fees, gas tax and charges for various current services. The City of Chula Vista's Budget (FISCAL YEAR 1997/1998) for these revenue items is

detailed in Table 38 along with allocation rates. The following sections detail each of the revenue sources and the methodology employed to estimate the revenue from the subject developments. For each identified revenue source, a detailed table reflected the revenue flow over the project build-out (1998 to 2009) is presented in the back of this section (Tables A-1 to A-11). All dollar figures are presented in 1998 dollars (no inflation rates were used).

Table 38
FISCAL IMPACT
REVENUE GENERATION ASSUMPTIONS

| <u>Revenues</u> | <u>City of Chula Vista FY97/98 Revenues</u> | <u>Allocation Assumption</u> |
|-------------------------------------|---|--|
| Property Taxes | | |
| Secured | \$7,740,000 | Based on 14% of 1% of TAV |
| Unsecured | 411,000 | NA |
| Other Taxes | | |
| Property Transfer Tax | \$250,000 | Annual Avg. \$12-\$23 per housing unit |
| Sales & Use Tax | 13,200,000 | \$264 per housing unit |
| Franchise Fees | 2,500,000 | \$17 per housing unit |
| IOI | 1,425,000 | \$2 per housing unit |
| Utility Tax | 2,807,000 | \$19.60 per housing unit |
| Licenses | | |
| Business License | \$740,000 | NA |
| Animal License | 55,000 | \$1 per housing unit |
| Bicycle License | 900 | \$.02 per housing unit |
| Fines | | |
| Library Fines | \$175,200 | \$3 per housing unit |
| Parking Citations | 144,400 | \$3 per housing unit |
| Revenues from other Agencies | | |
| State Homeowners Prop Tax Relief | \$175,000 | \$3 per housing unit |
| Motor Vehicle Licenses | 6,100,000 | \$115 per housing unit |
| Gas Tax | 2,100,000 | \$40 per housing unit |
| Charges for Current Service | | |
| Swimming Pools | \$132,800 | \$3 per housing unit |
| Recreation Programs | 16,500 | \$.30 per housing unit |
| Park Reservation Fees | 43,000 | \$.81 per housing unit |
| Other Park & Recreation Fees | 47,184 | \$.89 per housing unit |
| Other Revenue | \$12,084,966 | N/A |

Sales Tax

The City's share of sales tax generated by the study properties is based on \$264 per household per year, which is based on 75 percent of the total sales tax collection in the City of Chula Vista, divided by the number of housing units. The estimated sales tax multipliers were adjusted to reflect the assumed higher household income in EastLake Trails versus the overall City average. Household incomes were estimated for the study projects using the City's ratio of income to housing value. Based on an analysis conducted by the City of San Diego's finance department and given the study site location and land-use mix, CIC utilized the following tax allocations, 75% for residential, 10% for retail/office and 15% for manufacturing. These ratios are applied to EastLake Trails.

Estimated total annual sales tax generated by EastLake Trails is \$301,800 at build-out (refer to Table A-6).

Franchise Taxes

The City of Chula Vista receives a franchise tax fee from sales of natural gas, electricity, cable television and trash collection. Using the sale of gas and electricity as a guideline and based on a study prepared by San Diego Gas and Electric (SDG&E), 37 percent of the franchise taxes are attributed to residential and 36.5 percent are attributed to retail/office uses. Using these guidelines, the City budget, area demographics and land use information results in an estimated \$17.45 in annual franchise tax per housing unit. Utilizing these ratios, results in a total franchise tax of \$19,900 for EastLake Trails (see Table A-7).

Transient Occupancy Tax

Transient occupancy tax (TOT) is a tax added to the price charged for the use of a hotel or motel room. The majority of the tax is associated with new hotel developments. The San Diego Convention and Visitors Bureau estimates that of all visitors who stay in hotels and motels, eight percent are visiting friends and an additional nine percent are in San Diego on non-convention business. Utilizing the City's 1997/98 budget for TOT of \$1,425,000 and assuming eight percent is generated by residential land uses, results in multiplier ratios of \$2.15 per housing unit. Using this ratio, results in a total annual TOT tax of \$2,500 associated with EastLake Trails (refer to Table A-8).

Utility Users' Tax

The City of Chula Vista's budget for utility taxes is \$2,807,000. These taxes are paid by the residents on gas, electric and telephone services. CIC utilized the same methodology for utility taxes and franchise taxes. Using the land use allocation of 37 percent residential and 36.5 percent attributed to retail/office uses, results in an estimated \$19.60 in annual utility tax per housing unit. This ratio results in a total utility tax for EastLake Trails of \$22,400 at build-out (refer to Table A-9).

Business License Fees

Business license fees are attributed based on a survey reported by the City of San Diego's Financial Management Department, which indicated that 78 percent of the fees were generated by commercial uses and 22 percent were generated by industrial uses. No business uses are included in EastLake Trails (refer to Table A-10).

Miscellaneous Revenues

CIC grouped numerous revenues into the category of miscellaneous. These revenues include: animal licenses, bicycle licenses, motor vehicle licenses, State homeowners property tax relief, gas tax, library fines, parking citations, swimming pool fees, recreation programs and park reservation fees. With the exception of gas tax and parking citations, all the revenues are assumed to be allocated entirely to residential uses. For these revenues, multipliers were developed by dividing the total revenues by the total number of citywide occupied housing units (See Table A-11).

The allocation of gas tax and parking citations was calculated as follows:

Gasoline Tax

Gasoline tax revenue accrues on the basis of a complicated formula utilizing county to state and incorporated to unincorporated portion of population. According to the City of San Diego's "Fiscal Impact of New Development" and the Department of Motor Vehicle's auto registration records, an estimated 50 percent is attributed to residential uses and the remaining 50 percent is allocated based on vehicle registration (76% residential, 19% commercial, and 6% industrial).

Parking Citations

Parking violation revenues were allocated by vehicle registration classification as estimated by the Department of Motor Vehicles (residential 76%, Commercial 19%).

II.5.4.14.4.5 Operating Expenditures

Operating expenditures for the City of Chula Vista resulting from development of EastLake Trails are outlined in this chapter. The expenditures categories expected to be impacted by the subject developments include administration overhead, planning, police, fire, library, public works and parks and recreation. The City of Chula Vista's operating expenditure budgets for fiscal year 1997/98 and allocation assumptions are presented in Table 39. These expenses are utilized in estimating per unit/acre expenditures for the project. The methodologies used to estimate project expenses are discussed in more detail in the following sections. Similar to the revenue analysis, all figures shown are in current (1998) dollars. The projection of costs in this analysis assumes no significant or predictable changes in the service standards of the City of Chula Vista. Detailed tables reflecting the annual expenditure cash flows are presented in the back of this section (Tables A-12 to A-18) to this report.

**Table 39
EASTLAKE FISCAL IMPACT
COST ALLOCATION ASSUMPTIONS**

| <u>Expenditures</u> | City of Chula Vista FY97/98 <u>Expenditures</u> | <u>Allocation Assumptions</u> |
|---------------------------|--|-------------------------------|
| OVERHEAD FUNCTIONS | | |
| Administration Overhead | \$8,985,994 | |
| City Council | 407,652 | |
| Boards and Commission | 48,583 | |
| Community Promotions | 234,487 | |
| City Attorney | 893,623 | |
| City Clerk | 232,538 | |
| Admin | 891,035 | |
| Management | 758,743 | |
| Human Resources | 834,145 | |
| Finance | 1,496,765 | |
| Insurance | 810,946 | |
| Non-Dept | 2,377,477 | |

| <u>Expenditures</u> | City of Chula Vista FY97/98 <u>Expenditures</u> | <u>Allocation Assumptions</u> |
|---|--|--|
| Public Works | \$1,505,048 | |
| Building Maintenance | 740,533 | |
| Custodial Maintenance | 764,515 | |
| TOTAL OVERHEAD | \$10,491,042 | Based on 20.1% Line of Operations |
| LINE OPERATIONS | | |
| Planning (non current) | \$959,764 | \$14 per housing unit |
| Community Development | 2,202,577 | N/A |
| Police | 20,517,477 | \$283 per housing unit |
| Fire | 7,636,620 | \$121 per housing unit |
| Building and Housing | 939,598 | N/A |
| Library | 3,894,344 | \$73 per housing unit |
| Public Works | \$9,884,070 | |
| Admin/Planning (1) | 613,039 | \$9 per housing unit |
| Traffic Signal Maint | 1,024,546 | \$3,192 per mile |
| Traffic Operations | 500,816 | \$1,560 per mile |
| Street Maint | 987,265 | \$3,076 per mile |
| Street Sweeping | 189,264 | \$590 per mile |
| Street Tree Maint | 450,845 | \$1,405 per mile |
| Sanitary Sewer Maint | 1,654,948 | Self supporting |
| Wastewater Maint | 313,436 | Self supporting |
| Parks | \$5,352,282 | \$46 per housing unit |
| Admin-Parks | 387,072 | \$7 per housing unit |
| Admin-Open Space | 306,582 | Provided by lighting/landscape district |
| Maintenance | 2,303,640 | |
| General | 2,066,320 | \$39 per housing unit |
| Marina Park | 237,320 | N/A |
| Recreation | \$2,341,271 | \$44 per housing unit |
| Athletics | 273,272 | \$5 per housing unit |
| Aquatics | 490,842 | \$9 per housing unit |
| Senior Citizens | 275,935 | \$5 per housing unit |
| General | 914,150 | \$17 per housing unit |
| Administration | 387,072 | \$7 per housing unit |
| TOTAL LINE OPERATIONS | \$52,186,994 | |
| TOTAL EXPENDITURES | \$62,678,036 | |
| Allocation includes Public works Operations Administration (\$462,908) and Communications (\$150,131) | | |

Government Administration

The total costs for City administration services projected in the 1997/98 fiscal year are \$10,491,042, as shown in Table 39. In order to allocate these overhead expenses to the project, CIC assumed the City costs for the subject development would incur an overhead rate (20.1%) similar to the City of Chula Vista. Table A-12 shows an annual overhead expenditure for EastLake Trails (\$152,700) at build-out.

Planning (Non-Current)

Non-current planning costs are allocated based on the City of Chula Vista's land use allocation (79% residential and 13 % commercial/office) and the number of housing units in the City and developed commercial acreage. Utilizing these proportions results in multipliers of \$14.30 per housing unit. These ratios translate into impacts of \$16,300 for EastLake Trails (refer to table A-13).

Police

The Chula Vista Police Department will provide police protection for the project. CIC contacted representatives of the local police department to obtain information on service calls and beat activity attributable to residential, business and industrial land uses. No information was available regarding the nature of local calls and regular beat activity. As a result, CIC utilized City of San Diego's cost allocation by land use from the City of San Diego's "Fiscal Impact Model of New Development".

The San Diego Police Department estimates that calls for service account for roughly 50 percent of their expenditures. They are distributed as follows: 66.6% in or around residential structures and 32.3% in or around commercial structures. The other 50 percent of expenditures is attributed to normal "beat" activity, and is allocated in proportion to land use acreage. Using land use allocation for the City of Chula Vista, the percentages are as follows: 79% to residential land use and 13% to commercial land use. Averaging the percentages for both service-call activity and "beat" activity yields the following per unit allocations for police service in Chula Vista.

| Land Use | Combined Percent of Budget Allocation | Estimated Per Unit Expenditures |
|--------------------|--|--|
| Residential | 73% | \$283 |

The above estimates are based upon a fiscal year 1997/98 proposed police budget of \$20,517,477 and results in police costs of \$323,500 for EastLake Trails (refer to Table A-14).

Fire Protection

Mr. Dan Beintema of the Chula Vista Fire Department provided CIC a breakdown of calls for fire department service in 1997; residential uses 84.2% and commercial uses 14.3%. Based on these allocations for fire service, the following per unit costs were developed for the projects, which results in annual fire costs of \$138,600 for EastLake Trails (refer to Table A-15)

| Land Use | Per Unit Cost For Fire Service |
|--------------------|---|
| Residential | \$121.3 per housing unit |

Paramedic Services

The City contracts privately with American Medical Response Group to provide paramedic services. Services are charged on a fee for service basis, at no resulting cost to the City. Therefore, the project will not incur paramedic expenses and no expense category is shown in the expenditure cash flow analysis for this service.

Library Services

CIC Research contacted the Chula Vista Library's Director, Mr. David Palmer regarding allocations by land use for new development's impact on library services. He was able to provide CIC with a breakdown of resident versus nonresident patronage. In fiscal year 1996/1997, 37 percent of local library use (three branches) was by nonresidents of the community. Alternatively, 63 percent of use was by residents. Since the library is primarily a local resource used by residents as opposed to businesses, the entire budget is allocated to residential uses.

In the 1997/98 proposed budget, total library costs are estimated at \$3,894,344, which calculates to a multiplier of \$73 per housing unit. Total annual library costs associated with EastLake Trails is \$84,000 (refer to Table A-16).

Public Works

The Public Works Department has a proposed 1997/98 budget of \$9,884,344 (this figure excludes some overhead costs, which were included in overhead functions). The basis for allocating the cost of Public Works Administration included only Operations Administration (\$462,908) and Communication (\$150,131) These costs were allocated by City land use proportions (79%

residential and 13% commercial) and by housing units and acreage, resulting in cost allocations of \$9.13 per housing unit. The remaining public works operations are related to street and traffic issues and are allocated based on the total miles of public streets in Chula Vista (321) and the miles of public streets in EastLake Trails (8.5 miles). Street maintenance is not expected to occur until year seven of the project. This methodology results in total per mile costs of \$9,823. Sanitary sewer and wastewater maintenance are assumed to be self-supporting. Using the above ratios results in a total annual public works cost of \$93,900 for EastLake Trails at build-out (refer to table A-17).

**City of Chula Vista
Public Works Cost Per Unit/Acre/Mile**

| <u>Expenditures</u> | | <u>Cost Allocation per Unit/Acre</u> |
|---------------------------------|-------------|--------------------------------------|
| 1997/98 Budget for Public Works | \$9,884,070 | |
| Administration/Planning | \$613,039 | \$9.13 per unit |
| Traffic Signal Maintenance | \$1,024,546 | \$3,192 per mile |
| Traffic Operations | \$500,816 | \$1,560 per mile |
| Street Maintenance | \$987,265 | \$3,076 per mile |
| Street Sweeping | \$189,264 | \$590 per mile |
| Street Tree Maintenance | \$450,845 | \$1,405 per mile |
| Sanitary Sewer Maintenance | \$1,654,948 | Self-Supporting |
| Wastewater Maintenance | \$313,436 | Self-Supporting |

Parks and Recreation Services

The City of Chula Vista's total 1997/98 proposed park and recreation budget is \$5,352,282. CIC Research contacted Mr. Jerry Foncerrada with the Chula Vista Parks and Recreation Department. He indicated that close to 100 percent of the department's expenditures go towards the local residential community. CIC allocated the park and recreation costs on a per housing unit basis.

Excluding the Women's Club, which is assumed to be self supporting, per housing unit costs for park and recreation services total \$90 per housing unit. Using this multiplier, results in costs of \$103,400 for EastLake Trails (refer to Table A-18). The following table details the cost allocation for Parks and Recreation.

| | <u>97/98 Budget</u> | <u>Cost Allocation Unit/Acre</u> |
|----------------------------|---------------------|---|
| Parks and Recreation Total | \$5,352,282 | \$90 per housing unit |
| Parks | \$2,997,294 | \$46 per housing unit |
| Administration-Parks | 387,072 | \$7 per housing unit |
| Administration-Open Space | 306,582 | Provided by lighting & landscape district |
| Maintenance | \$2,303,640 | |
| General | 2,066,320 | \$39 per housing unit |
| Marina Park | 237,320 | Not applicable |
| Recreation | \$2,341,271 | \$44 per housing unit |
| Athletics | 273,272 | \$5 per housing unit |
| Aquatics | 490,842 | \$9 per housing unit |
| Senior Citizens | 275,935 | \$5 per housing unit |
| General | 914,150 | \$17 per housing unit |
| Administration-Recreation | 387,072 | \$7 per housing unit |

II.5.4.14.4.6 Net Fiscal Impact

Utilizing the previously mentioned methodologies, an estimated net fiscal impact is presented in Table 40 (EastLake Trails). As previously mentioned, all values are in 1998 dollars. No annual adjustments to revenues or costs were utilized. The estimated costs and revenue annual flows are primarily related to the estimated absorption schedule, with the exception of street maintenance, which is expected to occur after the seventh year of development.

Table 40 also summarizes the revenue and expenditure flows for EastLake Trails. As noted in the table, revenues range from \$71,300 in the first year of development to \$953,400 at full build-out. Associated expenditures range from \$64,500 at the beginning of the project to \$912,400 at project build-out. The net annual fiscal impact ranges from a positive of \$6,800 in year one to a positive of \$41,000 at build-out. The project is estimated to generate the maximum income in year six, because street maintenance costs began in year seven.

II.5.4.14.5 Threshold Compliance and Recommendations

The results of the analysis will be included in the next annual fiscal and economic report prepared for the City's Growth Management Oversight Commission.

NET FISCAL IMPACT OF THE EASTLAKE TRAILS
ON THE CITY OF CHULA VISTA

Revenue Sources

| | Revenues (In Thousands) | | | | | | | | | | |
|------------------------|-------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Secured Property Tax | \$29.5 | \$161.4 | \$288.3 | \$368.6 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 |
| Unsecured Property Tax | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Property Transfer Tax | \$1.7 | \$9.1 | \$16.2 | \$20.7 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 |
| Sales & Use Tax | \$22.4 | \$124.3 | \$221.2 | \$285.1 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 |
| Franchise Tax | \$1.5 | \$8.2 | \$14.6 | \$18.8 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 |
| TOT Tax | \$0.2 | \$1.0 | \$1.8 | \$2.3 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 |
| Business License | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Utility Tax | \$1.7 | \$9.2 | \$16.4 | \$21.2 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 |
| Miscellaneous Revenues | \$14.4 | \$79.9 | \$142.1 | \$183.1 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 |
| TOTAL REVENUES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |

Expenditure Sources

| | Expenditures (In Thousands) | | | | | | | | | | |
|---------------------------|-----------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Government Admin. | \$10.8 | \$57.4 | \$101.7 | \$131.2 | \$139.6 | \$139.6 | \$152.7 | \$152.7 | \$152.7 | \$152.7 | \$152.7 |
| Planning | \$1.2 | \$6.7 | \$12.0 | \$15.4 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 |
| Police | \$24.1 | \$133.3 | \$237.2 | \$305.6 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 |
| Fire | \$10.3 | \$57.1 | \$101.6 | \$131.0 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 |
| Library | \$6.2 | \$34.6 | \$61.6 | \$79.3 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 |
| Public Works | \$4.2 | \$11.2 | \$18.0 | \$23.6 | \$28.7 | \$28.7 | \$93.9 | \$93.9 | \$93.9 | \$93.9 | \$93.9 |
| Park and Recreation | \$7.7 | \$42.6 | \$75.8 | \$97.7 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 |
| TOTAL EXPENDITURES | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |

| | | | | | | | | | | | |
|---------------------------|---------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| TOTAL REVENUES | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| TOTAL EXPENDITURES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |
| NET FISCAL IMPACT | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |
| | \$6.8 | \$50.2 | \$92.8 | \$116.0 | \$119.3 | \$119.3 | \$41.0 | \$41.0 | \$41.0 | \$41.0 | \$41.0 |

Source: CIC Research, Inc. 1998

Table A-1
ABSORPTION SCHEDULE BY LAND USE

| Land Use | Per Unit/ Net Acre Value (000's) | Cumulative Developed and Occupied Units/Net Acres | | | | | | | | | | |
|---------------------------|--|---|------------|------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| | | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| EASTLAKE TRAILS | | | | | | | | | | | | |
| Single Family Residential | | | | | | | | | | | | |
| R-1 | \$285.0 | 5 | 26 | 31 | 31 | 31 | 31 | 31 | 31 | 31 | 31 | 31 |
| R-2 | \$285.0 | 0 | 0 | 15 | 30 | 30 | 30 | 30 | 30 | 30 | 30 | 31 |
| R-3 | \$255.0 | 20 | 120 | 220 | 300 | 363 | 363 | 363 | 363 | 363 | 363 | 363 |
| R-4 | \$255.0 | 50 | 250 | 450 | 533 | 533 | 533 | 533 | 533 | 533 | 533 | 533 |
| R-5 | \$180.0 | 10 | 75 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 |
| R-6 | \$180.0 | 0 | 0 | 30 | 94 | 94 | 94 | 94 | 94 | 94 | 94 | 94 |
| TOTAL SF | | 85 | 471 | 838 | 1080 | 1143 | 1143 | 1143 | 1143 | 1143 | 1143 | 1143 |

Table A-2
ASSESSED VALUE
(000s)

| Land Use | Per Unit/ Net Acre Value (000's) | Cumulative Assessed Value | | | | | | | | | | |
|------------------------------|--|---------------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| | | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| EASTLAKE TRAILS | | | | | | | | | | | | |
| Single Family Residential | | | | | | | | | | | | |
| R-1 | \$285.0 | \$ 1,425 | \$ 7,410 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 |
| R-2 | \$285.0 | \$ - | \$ - | \$ 4,275 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 |
| R-3 | \$255.0 | \$ 5,100 | \$ 30,600 | \$ 56,100 | \$ 76,500 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 |
| R-4 | \$255.0 | \$ 12,750 | \$ 63,750 | \$ 114,750 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 |
| R-5 | \$180.0 | \$ 1,800 | \$ 13,500 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 |
| R-6 | \$180.0 | \$ - | \$ - | \$ 5,400 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 |
| TOTAL EASTLAKE TRAILS | | \$ 21,075 | \$ 115,260 | \$ 205,920 | \$ 263,280 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 |

Table A-3
Secured Property Tax Revenue (000s)

| SECURED PROPERTY TAX REVENUES | Secured Property Tax Revenue (000s) | | | | | | | | | | |
|-------------------------------|-------------------------------------|------------|------------|------------|------------|------------|------------|------------|------------|------------|------------|
| TOTAL EASTLAKE TRAILS | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Total Assessed Values | \$ 21,075 | \$ 115,260 | \$ 205,920 | \$ 263,280 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 |
| Tax Rate | 1.00% | \$211 | \$1,153 | \$2,059 | \$2,633 | \$2,793 | \$2,793 | \$2,793 | \$2,793 | \$2,793 | \$2,793 |
| City of Chula Vista Share* | 14.00% | \$29.5 | \$161.4 | \$288.3 | \$368.6 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 |

Table A-4
Unsecured Property Tax Revenue (In Thousands)

| UNSECURED PROPERTY TAX | Tax Per Acre | Unsecured Property Tax Revenue (In Thousands) | | | | | | | | | | |
|------------------------|--------------|---|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| TOTAL EASTLAKE TRAILS | | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| | | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |

* Derived from discussions with the County Assessors Office (TRA 001000 to 001999)

NET FISCAL IMPACT OF THE EASTLAKE TRAILS
ON THE CITY OF CHULA VISTA

Revenue Sources

| | Revenues (In Thousands) | | | | | | | | | | |
|------------------------|-------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Secured Property Tax | \$29.5 | \$161.4 | \$288.3 | \$368.6 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 |
| Unsecured Property Tax | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Property Transfer Tax | \$1.7 | \$9.1 | \$16.2 | \$20.7 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 |
| Sales & Use Tax | \$22.4 | \$124.3 | \$221.2 | \$285.1 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 |
| Franchise Tax | \$1.5 | \$8.2 | \$14.6 | \$18.8 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 |
| TOT Tax | \$0.2 | \$1.0 | \$1.8 | \$2.3 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 |
| Business License | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Utility Tax | \$1.7 | \$9.2 | \$16.4 | \$21.2 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 |
| Miscellaneous Revenues | \$14.4 | \$79.9 | \$142.1 | \$183.1 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 |
| TOTAL REVENUES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |

Expenditure Sources

| | Expenditures (In Thousands) | | | | | | | | | | |
|---------------------------|-----------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Government Admin. | \$10.8 | \$57.4 | \$101.7 | \$131.2 | \$139.6 | \$139.6 | \$152.7 | \$152.7 | \$152.7 | \$152.7 | \$152.7 |
| Planning | \$1.2 | \$6.7 | \$12.0 | \$15.4 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 |
| Police | \$24.1 | \$133.3 | \$237.2 | \$305.6 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 |
| Fire | \$10.3 | \$57.1 | \$101.6 | \$131.0 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 |
| Library | \$6.2 | \$34.6 | \$61.6 | \$79.3 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 |
| Public Works | \$4.2 | \$11.2 | \$18.0 | \$23.6 | \$28.7 | \$28.7 | \$93.9 | \$93.9 | \$93.9 | \$93.9 | \$93.9 |
| Park and Recreation | \$7.7 | \$42.6 | \$75.8 | \$97.7 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 |
| TOTAL EXPENDITURES | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |

| | | | | | | | | | | | |
|---------------------------|---------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| TOTAL REVENUES | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| TOTAL EXPENDITURES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |
| NET FISCAL IMPACT | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |
| | \$6.8 | \$50.2 | \$92.8 | \$116.0 | \$119.3 | \$119.3 | \$41.0 | \$41.0 | \$41.0 | \$41.0 | \$41.0 |

Source: CIC Research, Inc. 1998

NET FISCAL IMPACT OF THE EASTLAKE TRAILS
ON THE CITY OF CHULA VISTA

Revenue Sources

| | Revenues (In Thousands) | | | | | | | | | | |
|------------------------|-------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Secured Property Tax | \$29.5 | \$161.4 | \$288.3 | \$368.6 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 |
| Unsecured Property Tax | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Property Transfer Tax | \$1.7 | \$9.1 | \$16.2 | \$20.7 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 |
| Sales & Use Tax | \$22.4 | \$124.3 | \$221.2 | \$285.1 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 |
| Franchise Tax | \$1.5 | \$8.2 | \$14.6 | \$18.8 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 |
| TOT Tax | \$0.2 | \$1.0 | \$1.8 | \$2.3 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 |
| Business License | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Utility Tax | \$1.7 | \$9.2 | \$16.4 | \$21.2 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 |
| Miscellaneous Revenues | \$14.4 | \$79.9 | \$142.1 | \$183.1 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 |
| TOTAL REVENUES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |

Expenditure Sources

| | Expenditures (In Thousands) | | | | | | | | | | |
|---------------------------|-----------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Government Admin. | \$10.8 | \$57.4 | \$101.7 | \$131.2 | \$139.6 | \$139.6 | \$152.7 | \$152.7 | \$152.7 | \$152.7 | \$152.7 |
| Planning | \$1.2 | \$6.7 | \$12.0 | \$15.4 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 |
| Police | \$24.1 | \$133.3 | \$237.2 | \$305.6 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 |
| Fire | \$10.3 | \$57.1 | \$101.6 | \$131.0 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 |
| Library | \$6.2 | \$34.6 | \$61.6 | \$79.3 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 |
| Public Works | \$4.2 | \$11.2 | \$18.0 | \$23.6 | \$28.7 | \$28.7 | \$93.9 | \$93.9 | \$93.9 | \$93.9 | \$93.9 |
| Park and Recreation | \$7.7 | \$42.6 | \$75.8 | \$97.7 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 |
| TOTAL EXPENDITURES | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |

| | | | | | | | | | | | |
|---------------------------|---------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| TOTAL REVENUES | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| TOTAL EXPENDITURES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |
| NET FISCAL IMPACT | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |
| | \$6.8 | \$50.2 | \$92.8 | \$116.0 | \$119.3 | \$119.3 | \$41.0 | \$41.0 | \$41.0 | \$41.0 | \$41.0 |

Source: CIC Research, Inc. 1998

Table A-1
ABSORPTION SCHEDULE BY LAND USE

| Land Use | Per Unit/ Net Acre Value (000's) | Cumulative Developed and Occupied Units/Net Acres | | | | | | | | | | |
|---------------------------|--|---|------------|------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| | | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| EASTLAKE TRAILS | | | | | | | | | | | | |
| Single Family Residential | | | | | | | | | | | | |
| R-1 | \$285.0 | 5 | 26 | 31 | 31 | 31 | 31 | 31 | 31 | 31 | 31 | 31 |
| R-2 | \$285.0 | 0 | 0 | 15 | 30 | 30 | 30 | 30 | 30 | 30 | 30 | 31 |
| R-3 | \$255.0 | 20 | 120 | 220 | 300 | 363 | 363 | 363 | 363 | 363 | 363 | 363 |
| R-4 | \$255.0 | 50 | 250 | 450 | 533 | 533 | 533 | 533 | 533 | 533 | 533 | 533 |
| R-5 | \$180.0 | 10 | 75 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 |
| R-6 | \$180.0 | 0 | 0 | 30 | 94 | 94 | 94 | 94 | 94 | 94 | 94 | 94 |
| TOTAL SF | | 85 | 471 | 838 | 1080 | 1143 | 1143 | 1143 | 1143 | 1143 | 1143 | 1143 |

Table A-2
ASSESSED VALUE
(000s)

| Land Use | Per Unit/ Net Acre Value (000's) | Cumulative Assessed Value | | | | | | | | | | |
|------------------------------|--|---------------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| | | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| EASTLAKE TRAILS | | | | | | | | | | | | |
| Single Family Residential | | | | | | | | | | | | |
| R-1 | \$285.0 | \$ 1,425 | \$ 7,410 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 | \$ 8,835 |
| R-2 | \$285.0 | \$ - | \$ - | \$ 4,275 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 | \$ 8,550 |
| R-3 | \$255.0 | \$ 5,100 | \$ 30,600 | \$ 56,100 | \$ 76,500 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 | \$ 92,565 |
| R-4 | \$255.0 | \$ 12,750 | \$ 63,750 | \$ 114,750 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 | \$ 135,915 |
| R-5 | \$180.0 | \$ 1,800 | \$ 13,500 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 | \$ 16,560 |
| R-6 | \$180.0 | \$ - | \$ - | \$ 5,400 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 | \$ 16,920 |
| TOTAL EASTLAKE TRAILS | | \$ 21,075 | \$ 115,260 | \$ 205,920 | \$ 263,280 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 |

Table A-3
Secured Property Tax Revenue (000s)

| SECURED PROPERTY TAX REVENUES | Secured Property Tax Revenue (000s) | | | | | | | | | | |
|-------------------------------|-------------------------------------|------------|------------|------------|------------|------------|------------|------------|------------|------------|------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| TOTAL EASTLAKE TRAILS | | | | | | | | | | | |
| Total Assessed Values | \$ 21,075 | \$ 115,260 | \$ 205,920 | \$ 263,280 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 | \$ 279,345 |
| Tax Rate | 1.00% | \$211 | \$1,153 | \$2,059 | \$2,633 | \$2,793 | \$2,793 | \$2,793 | \$2,793 | \$2,793 | \$2,793 |
| City of Chula Vista Share* | 14.00% | \$29.5 | \$161.4 | \$288.3 | \$368.6 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 |

Table A-4
Unsecured Property Tax Revenue (In Thousands)

| UNSECURED PROPERTY TAX | Tax Per Acre | Unsecured Property Tax Revenue (In Thousands) | | | | | | | | | |
|------------------------|-----------------|---|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| | | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 |
| TOTAL EASTLAKE TRAILS | | | | | | | | | | | |
| | | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |

* Derived from discussions with the County Assessors Office (TRA 001000 to 001999)

NET FISCAL IMPACT OF THE EASTLAKE TRAILS
ON THE CITY OF CHULA VISTA

Revenue Sources

| | Revenues (In Thousands) | | | | | | | | | | |
|------------------------|-------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Secured Property Tax | \$29.5 | \$161.4 | \$288.3 | \$368.6 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 | \$391.1 |
| Unsecured Property Tax | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Property Transfer Tax | \$1.7 | \$9.1 | \$16.2 | \$20.7 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 | \$21.9 |
| Sales & Use Tax | \$22.4 | \$124.3 | \$221.2 | \$285.1 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 | \$301.8 |
| Franchise Tax | \$1.5 | \$8.2 | \$14.6 | \$18.8 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 | \$19.9 |
| TOT Tax | \$0.2 | \$1.0 | \$1.8 | \$2.3 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 | \$2.5 |
| Business License | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 | \$0.0 |
| Utility Tax | \$1.7 | \$9.2 | \$16.4 | \$21.2 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 | \$22.4 |
| Miscellaneous Revenues | \$14.4 | \$79.9 | \$142.1 | \$183.1 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 | \$193.8 |
| TOTAL REVENUES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |

Expenditure Sources

| | Expenditures (In Thousands) | | | | | | | | | | |
|---------------------------|-----------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| Government Admin. | \$10.8 | \$57.4 | \$101.7 | \$131.2 | \$139.6 | \$139.6 | \$152.7 | \$152.7 | \$152.7 | \$152.7 | \$152.7 |
| Planning | \$1.2 | \$6.7 | \$12.0 | \$15.4 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 | \$16.3 |
| Police | \$24.1 | \$133.3 | \$237.2 | \$305.6 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 | \$323.5 |
| Fire | \$10.3 | \$57.1 | \$101.6 | \$131.0 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 | \$138.6 |
| Library | \$6.2 | \$34.6 | \$61.6 | \$79.3 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 | \$84.0 |
| Public Works | \$4.2 | \$11.2 | \$18.0 | \$23.6 | \$28.7 | \$28.7 | \$93.9 | \$93.9 | \$93.9 | \$93.9 | \$93.9 |
| Park and Recreation | \$7.7 | \$42.6 | \$75.8 | \$97.7 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 | \$103.4 |
| TOTAL EXPENDITURES | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |

| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
|--------------------------|--------------|---------------|---------------|----------------|----------------|----------------|---------------|---------------|---------------|---------------|---------------|
| TOTAL REVENUES | \$71.3 | \$393.1 | \$700.6 | \$899.9 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 | \$953.4 |
| TOTAL EXPENDITURES | \$64.5 | \$342.9 | \$607.8 | \$783.9 | \$834.1 | \$834.1 | \$912.4 | \$912.4 | \$912.4 | \$912.4 | \$912.4 |
| NET FISCAL IMPACT | \$6.8 | \$50.2 | \$92.8 | \$116.0 | \$119.3 | \$119.3 | \$41.0 | \$41.0 | \$41.0 | \$41.0 | \$41.0 |

Source: CIC Research, Inc. 1998

Table A-11
ESTIMATED MISCELLANEOUS REVENUES BY LAND USE

| 1997/1998 Budget | Total | Allocation of Budget | | Per | Per |
|------------------------------|--------------------|----------------------|------------------|-----------------|-----------------|
| | Budget | Residential | Commercial | House Unit | Comm. Acre |
| Animal License | \$55,000 | \$55,000 | | \$ 1.04 | |
| Bicycle License | \$900 | \$900 | | \$ 0.02 | |
| Motor Vehicle Licenses | \$6,100,000 | \$6,100,000 | | \$ 115.06 | |
| State HOPTR | \$175,000 | \$175,000 | | \$ 3.30 | |
| Gas Tax | \$2,400,000 | \$2,100,000 | \$228,000 | \$ 39.61 | \$208.6 |
| Library Fines | \$175,220 | \$175,200 | | \$ 3.30 | |
| Parking Citations | \$190,000 | \$144,400 | \$36,100 | \$ 2.72 | \$33.0 |
| Charges for Current Services | | | | \$ - | |
| Swimming Pools | \$132,800 | \$132,800 | | \$ 2.50 | |
| Recreation Program | \$16,500 | \$16,500 | | \$ 0.31 | |
| Park Reservation Fees | \$43,000 | \$43,000 | | \$ 0.81 | |
| Other Park & Recr. Fees | \$47,184 | \$47,184 | | \$ 0.89 | |
| Total Misc. Revenue | \$9,335,604 | \$8,989,984 | \$264,100 | \$169.57 | \$241.63 |

| Land Use | Miscellaneous Revenue (In Thousands) | | | | | | | | | | |
|---------------------------|--------------------------------------|----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| EASTLAKE TRAILS | | | | | | | | | | | |
| Single Family Residential | | | | | | | | | | | |
| R-1 | \$0.8 | \$4.4 | \$5.3 | \$5.3 | \$5.3 | \$5.3 | \$5.3 | \$5.3 | \$5.3 | \$5.3 | \$5.3 |
| R-2 | \$0.0 | \$0.0 | \$2.5 | \$5.1 | \$5.1 | \$5.1 | \$5.1 | \$5.1 | \$5.1 | \$5.1 | \$5.1 |
| R-3 | \$3.4 | \$20.3 | \$37.3 | \$50.9 | \$61.6 | \$61.6 | \$61.6 | \$61.6 | \$61.6 | \$61.6 | \$61.6 |
| R-4 | \$8.5 | \$42.4 | \$76.3 | \$90.4 | \$90.4 | \$90.4 | \$90.4 | \$90.4 | \$90.4 | \$90.4 | \$90.4 |
| R-5 | \$1.7 | \$12.7 | \$15.6 | \$15.6 | \$15.6 | \$15.6 | \$15.6 | \$15.6 | \$15.6 | \$15.6 | \$15.6 |
| R-6 | \$0.0 | \$0.0 | \$5.1 | \$15.9 | \$15.9 | \$15.9 | \$15.9 | \$15.9 | \$15.9 | \$15.9 | \$15.9 |
| TOTAL SF | \$ 14.4 | \$ 79.9 | \$ 142.1 | \$ 183.1 | \$ 193.8 | \$ 193.8 | \$ 193.8 | \$ 193.8 | \$ 193.8 | \$ 193.8 | \$ 193.8 |

Table A-12
ESTIMATED EXPENDITURES FOR GOVERNMENT ADMINISTRATION

1997/1998 Budget For
Government Expenditures \$10,491,042

| Land Use | Allocated Cost |
|-------------------------|--------------------------------|
| Residential | 20.1% of total line operations |
| Professional & Admin. | 20.1% of total line operations |
| Thoroughfare Commercial | 20.1% of total line operations |

| Land Use | Government Administration (In Thousands) | | | | | | | | | | |
|------------------------------|--|---------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | 98/99 | 99/00 | 00/01 | 01/02 | 02/03 | 03/04 | 04/05 | 05/06 | 06/07 | 07/08 | 08/09 |
| TOTAL EASTLAKE TRAILS | \$10.8 | \$57.4 | \$101.7 | \$131.2 | \$139.6 | \$139.6 | \$152.7 | \$152.7 | \$152.7 | \$152.7 | \$152.7 |

SECTION II.6

EASTLAKE COMPREHENSIVE AFFORDABLE HOUSING PROGRAM.

**A COMPREHENSIVE PLAN
FOR
THE PROVISION OF
AFFORDABLE HOUSING**

**EASTLAKE TRAILS,
WOODS, VISTAS
AND
"LAND SWAP" PARCELS**

Approved by the Chula Vista City Council
Resolution No. 19275
November 24, 1998

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I.6.1 INTRODUCTION

The City of Chula Vista ("City"), along with all other cities in California, is required by state law to have a Housing Element as a component of its General Plan. The Housing Element describes the housing needs of the community and the responses necessary to fulfill them.

The City of Chula Vista Housing Element of 1991 contains numerous objectives, policies and related action programs to accomplish these objectives. Key among these policies is the affordable housing policy which requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households, one-half of these units (5% of the total project) being designated to low income and the remaining five percent (5%) to moderate income households.

In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program ("AHP") and agreement be consistent with the Housing Element of the Chula Vista General Plan and be prepared and signed by the Developer. This Affordable Housing Program is intended to delineate how, when and where the units would be provided, intended subsidies, income rent restrictions and methods to verify compliance. The program may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements which may impose additional terms and conditions consistent herewith.

The EastLake Comprehensive Affordable Housing Program, as used herein, applies to the following future neighborhoods identified in the EastLake II & EastLake III General Development Plans.

- EastLake Trails (EastLake II GDP)
- EastLake Vistas (EastLake III GDP)
- EastLake Woods (EastLake III GDP)
- EastLake Land Swap Parcels (EastLake II GDP)

The EastLake Comprehensive Affordable Housing Program is consistent with the City's affordable housing policies and is expected to be completed in three phases. Construction of 61 low income and 61 moderate income housing units in the Initial Phase is scheduled to begin before the issuance of the 1201st building permit. The second phase is scheduled to start before the issuance of the 2401st building permit. The third phase is scheduled to start before the issuance of the 3,201st building permit (see the section entitled "Implementation Schedule" in this program). EastLake II & III are planned to include a total of 3,660 housing units.

The low income housing units (183) shall be located at three sites in the different neighborhoods as shown on Exhibit 1, Low Income Housing Sites. The moderate income housing units (183) are expected to be distributed throughout the project in Residential - Medium Density, Residential - Medium-High Density, and Residential - High Density.

II.6.2 DEFINITIONS

Affirmative Marketing Plan:

An outline that details actions the developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, familiar status, color, religion, national origin, ancestry, handicap, age, or any other category which may be defined by law now or in the future.

Affordable Rental Rate:

The rent to be charged to a low income household shall not exceed the Fair Market Rents ("FMR's") set by HUD on an annual basis based on the number of bedrooms within the unit. It includes shelter rent and the cost of utilities, except telephones. Currently HUD sets the FMR's at the 40th percentile distribution of standard quality rental housing units. The 40th percentile rent is drawn from the distribution of rents of units which are occupied by recent movers (renter households who moved into their units within the past 15 months). Usage of FMR's assures each household pays equal proportionate share of rent. There are no minimum rent requirements. The Fiscal Year 1998 FMR's are as follows:

| | | | | | | |
|------------------|-------|-------|-------|-------|---------|--|
| Metropolitan | | | | | | |
| Statistical Area | EFF | 1-bd | 2-bd | 3-bd | 4-bd | |
| San Diego, CA | \$483 | \$552 | \$691 | \$960 | \$1,133 | |

Low Income Household:

A household of persons who claim primary residency at the same unit with combined incomes that do not exceed 80% of the Area Median Income for the San Diego area (adjusted annually) based on household size. Household size is calculated by the number of persons residing at the same unit as their primary residency. For the purpose of calculating income, the guidelines contained in HUD regulation 24CFR 813.106, as they may be amended from time to time, shall be used.

Moderate Income Household:

A household of persons who claim primary residency at the same unit with combined incomes between 80% to 120% of the Area Median Income for the San Diego area (adjusted annually) based on household size. Household size is calculated by the number of persons residing at the same unit as their primary residency. For the purpose of calculating income, the guidelines contained in HUD regulation 24CFR 813.106, as they may be amended from time to time, shall be used.

Qualified Term:

The length of time the rental unit must remain affordable to low income households. In the event Developer obtains subsidized financing, the Qualified Term shall be dictated by the selected funding source. If the selected funding has no qualified term, it shall be fifty-five (55) years. In the event that no subsidized financing is obtained, the Qualified Term shall be twenty (20) years from the date of the completion of the final inspection for each structure.

San Diego Area Median Income:

The San Diego County area median income level as determined from time to time by the Department of Housing and Urban Development, United States Government, based on household size.

Subsidized Financing:

Any financing provided by any public agency specifically for the development and construction of low or moderate income housing units.

II.6.3. CITY OF CHULA VISTA INCLUSIONARY HOUSING NEEDS

As the State Regional Needs Assessment indicates, housing for large families is the single greatest need in our community. A recent survey of Chula Vista showed that within a three mile radius of Cordova in Rancho del Rey, (an affordable housing development on the east side of Chula Vista) there are 1,334 market rate rentals of which 110 are three bedrooms and zero are four bedrooms. Only 8.2% of the market rate rentals are three bedrooms. Given that 14% of the households in Chula Vista (according to the 1990 Census) are large families (of five or more persons), and assuming the desire for equal distribution of these families throughout the City, the private market is not producing adequate housing for large families (three or more bedroom units) on the east side. Thus, should the City of Chula Vista choose to participate in financing affordable housing to families of low income, the City would prefer to invest in affordable developments with large units.

Another City of Chula Vista objective through its housing policy is to broaden the availability of housing types and increase home ownership opportunities for low income households. As the State Regional Needs Assessment indicates, due to the high cost of buying a home in Southern California, home ownership is rarely affordable to families with low incomes. The 1980 Census data shows that among homeowners in Chula Vista, the lower the household income the higher the percentage of respective household incomes goes to the mortgage payments. Making home ownership affordable to families with low income is the key to this objective. Should the City of Chula Vista choose to participate in financing affordable housing, the City would prefer to invest in home ownership opportunities for families of low income.

II.6.4 EASTLAKE II & III AFFORDABLE HOUSING PROGRAM

II.6.4.1 LOW INCOME HOUSING

Requirements

The EastLake Trails, "Land Swap" parcels, and EastLake III Developments are required to provide a minimum of 10% of the number of permitted dwelling units as affordable housing, of which one-half shall be provided as low income housing and half will be provided as moderate income housing

Based on the total number of permitted dwelling units, a total of 366 low and moderate-income housing units are required to be provided within the project, of which 183 will be provided for low-income households, and 183 will be provided for moderate-income households...

Site Selection Criteria

The low income housing sites were selected using the following selection criteria which is prescribed in the City of Chula Vista General Plan:

- a. Such units are located near proposed public transit facilities, including bus routes along arterial highways;
- b. Such units are located within walking distance of future retail, commercial and support services, public park facilities and schools.
- c. Every effort has been made to make targeted sites for the low and moderate income housing units compatible with adjacent residential units (i.e., densities, design, etc.)

Low Income Housing Sites

Three sites have been selected for low income housing units within EastLake II & III (See Exhibit 1).

Site 1. This site is located within the Vistas neighborhood, south of Olympic Parkway in close proximity to the Olympic Training Center. The site is designated Medium High (11-18 du/ac). The low income units at this site will supplement the on site dorms at the Olympic Training Center.

Site 2. This site is located near the northwest quadrant of the intersection of Otay Lakes Road and Hunte Parkway. The site is designated Low Medium (3-6 du/ac) and will require a future plan amendment to redesignate the site to Medium High (11-18 du/ac). The site is in close proximity to the EastLake Business Center.

Site 3. This site is located in the "Land Swap" Parcel (R-9) which is designated Medium High (11-18 du/ac) with a density range of 15-25 du/ac and a target of 750 dwelling units. The low income housing units will be integrated into the development of Parcel R-9, which is located on EastLake Parkway, adjacent to the EastLake Activity Corridor.

Phasing

The low income housing units would be completed in three phases. The Initial Phase consists of 61 units and the Remaining Phases consists of 62 and 60 units for a total of 183 units. Every effort will be made by the Developer to produce additional low income units at the first and second phases if the opportunity to produce such units becomes feasible.

Implementation Schedule

| Low Income Housing EastLake Comprehensive Affordable Housing Program PHASE I | |
|---|---|
| Timing | Items to be Completed |
| Prior to approval of the 401st building permit | Submit a SPA application for EastLake III identifying specific low income housing sites consistent with the Affordable Housing Program and provide proof of control of sites for all phases in the form of a trust deed or an option agreement. |
| Prior to issuance of the 501st building permit | Identify intended subsidies, incentives, and financing mechanisms for all phases to the satisfaction of the Director of Community Development. |
| Prior to issuance of the 601st building permit | Submit and obtain approval for a marketing plan from the Community Development Department |
| Prior to issuance of the 701st building permit | Submit a design development plan to the Planning Department for the construction of Phase I low income housing units (61 units) |
| Prior to issuance of the 901st building permit | Obtain Design Review approval for the construction of the Phase I low income housing units |
| Prior to issuance of the 1,201st building permit for EastLake Trails | Obtain building permits for the construction of the Phase I low income units and identify specific location of low income units within project. |
| Prior to the issuance of the 1,501st building permit or one year from the date of the issuance of the first low income building permit issuance, whichever occurs first | Obtain City's final inspection and utilities release for low income units or obtain Director of Community Development approval of up to a maximum of six month extension based upon market pre-sales rate of low income units |
| Total Low Income Housing Units, Phase I | 61 |

**Low Income Housing
EastLake Comprehensive Affordable Housing Program
PHASE II**

| Timing | Items to be Completed |
|--|---|
| Prior to approval of the 1,501st building permit | Confirm location of low income housing site for Phase II. |
| Prior to issuance of the 1,601st building permit | Confirm intended subsidies, incentives, and financing mechanisms for all phases. |
| Prior to issuance of the 1,701st building permit | Submit and obtain approval for a marketing plan from the Community Development Department. |
| Prior to issuance of the 1,901st building permit | Submit a design development plan to the Planning Department for the construction of Phase II low income housing units (62 units). |
| Prior to issuance of the 2,101st building permit | Obtain Design Review approval for the construction of the Phase II low income housing units. |
| Prior to issuance of the 2,401st building | Obtain building permits for the construction of the Phase II low and moderate income units and identify specific location of low and moderate income units within project(s). |
| Prior to the issuance of the 2,701st building permit or one year from the date of the building permit issuance, whichever occurs first | Obtain City's final inspection and utilities release for low income units or obtain Director of Community Development approval of up to a maximum of six month extension based upon pre-sales rate of low income units. |
| Total Low Income, Phase II | 62 |

**Low Income Housing
EastLake Comprehensive Affordable Housing Program
PHASE III**

| Timing | Items to be Completed |
|---|--|
| Prior to approval of the 2,401st building permit | Confirm location of low income housing site for Phase III. |
| Prior to issuance of the 2,501st building permit | Confirm intended subsidies, incentives, and financing mechanisms for all phases |
| Prior to issuance of the 2,601st building permit | Submit and obtain approval for a marketing plan from the Community Development Department |
| Prior to issuance of the 2,701st building permit | Submit a design development plan to the Planning Department for the construction of Phase II low income housing units (60 units) |
| Prior to issuance of the 3,001st building permit | Obtain Design Review approval for the construction of the Phase II low income housing units (60 units) |
| Prior to issuance of the 3,201st building | Obtain building permits for the construction of the Phase III low income units and identify specific location of low income units within project. |
| Prior to the issuance of the 3,501st building permit or one year from the date of the building permit issuance, whichever occurs first. | Obtain City's final inspection and utilities release for low income units or obtain Director of Community Development approval of up to a maximum of six month extension based upon pre-sales rate of low income units |
| Total Low Income, Phase III | 60 |

Contingency Plan

Developer shall diligently pursue completion of the construction of the low-income housing units as per the above implementation schedule. However, if the performance obligations are not achieved as per the implementation schedule, in addition to any and all other rights and remedies the City may have to enforce Developer's affordable housing obligations, the City shall have the right to require that the EastLake Greens surplus low-income units be automatically used to satisfy the low-income housing obligation of EastLake II and III.

II.6.4.2 MODERATE INCOME HOUSING

Moderate Income Housing Requirements

EastLake II & III includes 3,660 housing units of which five percent (5%), or one hundred eighty-three (183), must be moderate income housing units. These moderate income housing units shall consist of for-sale housing.

Moderate Income Housing Sites

The residential densities of Medium, Medium-High and High have been selected as the sites for moderate income housing units within the EastLake II & III project. The location of these parcels are distributed throughout the project (refer to General Development Plans).

Phasing

The moderate income housing would be completed in three phases. The Initial Phase consists of 61 units and the Remaining Phases consists of 62 and 60 units.

Implementation Schedule

| Moderate Income Housing EastLake Comprehensive Affordable Housing Program PHASE I | |
|--|---|
| Timing | Items to be Completed |
| Prior to issuance of the 1,201st building permit | Provide proof to the satisfaction of the Community Development Director that 30 Moderate Income housing units have been delivered to Moderate Income family households. |
| Prior to the issuance of the 1,501st building permit | Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to moderate income households |
| Total Moderate Income, Phase I | 61 |

| Moderate Income Housing EastLake Comprehensive Affordable Housing Program PHASE II | |
|---|---|
| Timing | Items to be Completed |
| Prior to issuance of the 2,401st building | Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to Moderate Income family households. |
| Prior to the issuance of the 2,701st building permit | Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to moderate income households |
| Total Moderate Income, Phase II | 62 |

| Moderate Income Housing EastLake Comprehensive Affordable Housing Program PHASE III | |
|--|--|
| Timing | Items to be Completed |
| Prior to issuance of the 3,201st building | Provide proof to the satisfaction of the Community Development Director that 30 Moderate Income housing units have been delivered to Moderate Income family households |
| Prior to the issuance of the 3,501st building permit or one year from the date of the building permit issuance, whichever occurs first | Provide proof to the satisfaction of the Community Development Director that 31 Moderate Income housing units have been delivered to moderate income households |
| Total Moderate Income, Phase III | 60 |

II.6.4.3 SUBSIDIES, INCENTIVES AND FINANCING MECHANISMS

In the event Developer obtains subsidized financing, the Qualified Term shall be dictated by the selected funding source. If the selected funding has no qualified term, it shall be fifty-five (55) years. In the event that no subsidized financing is obtained, the Qualified Term shall be twenty (20) years from the date of the completion of the final inspection for each structure.

Below is a list of some of the potential funding mechanisms that the Developer may use for affordable housing.

- Low Income Housing Tax Credits (LIHTC)-statewide Competition
- Housing Bonds - State
- Density Bonus - City
- Mortgage Credit Certificates - City
- Local Initiative Support Corporation (LISC)-Source for Nonprofit Only
- Redevelopment Low and Moderate Income Fund - City
- HOME - City, County, and State
- Other Public Financing - State and Federal

City agrees to the extent it deems reasonable to use good faith and reasonable best efforts to assist Developer in pursuing the benefit of certain financing and other mechanisms which will reduce the cost of providing affordable housing in EastLake II & III, some of which require approvals from, or allocations by, state agencies, including, but not limited to, local, state and federal subsidies and City bonuses, planning, and design and development techniques and standards which reduce the cost of providing affordable housing (collectively, the "Cost Reducing Mechanisms"). The parties acknowledge that City is not hereby committing and cannot guarantee the availability of any Cost Reducing Mechanisms to Developer for EastLake II & III. City reserves the right to approve or disapprove, in its sole discretion, any developer request for substantial financing.

II.6.4.4 COMPLIANCE REPORTING

All Compliance Reports shall be submitted to the City of Chula Vista Community Development Department and an independent trustee hired by the Developer to monitor the Developer's compliance. The requirements imposed by providers of subsidized financing or other Cost Reducing mechanisms may replace the terms described below if City so approves.

Rental Units' Compliance Packet and Audit

- a. Should a Developer seek approval by the City to credit a tenant toward its low income housing obligation, the Developer must give the City, at a

minimum, a compliance packet including the following:

- Supplemental Rental Application - Exhibit 2
- Semi-Annual Report - Exhibit 3-A, 3-B, 3-C
- Authorization to Release Information by Purchaser
- Acknowledgement that the Information is for City's Reporting and Administration Use Only

Developer shall not be required to perform any extraordinary investigation or verification regarding such information other than Developer's usual and customary means of income verification. Developer shall retain the Supplemental Rental Application and any supporting documents for a period of at least two (2) years after the applicant ceases to occupy a low income housing unit.

- b. A household occupying a designated low income unit whose annual income increases subsequent to occupying said unit (referred to as "over income household") and thus exceeds the 80% of area median income, need not vacate the apartment. However, at the Developer's discretion, this over income household's monthly rent (including utilities) may be increased to the market rate. Regardless of a rent increase, the Developer can no longer credit this over income household toward its 5% low income requirement and is obligated to replace this unit by renting the next comparable unit to a low income household as per the paragraph below. Thus, the Developer shall ensure appropriate language is included in the lease requiring tenant to provide income information biannually and acknowledge that should its income increase, the household may be subject to a higher rent. Adjusted monthly incomes can be calculated using rules according to the HUD Handbook 4350/3 Occupancy Requirements for HUD Subsidized Multifamily Housing.

The location of the designated units may change over time (to be referred to as "floating units") as long as the total number of affordable units remains constant and that substituted units are comparable in terms of size, features, and the number of bedrooms, as determined by the Director of the Community Development Department. If the over income household does not vacate the unit, the Developer must assure that when the next comparable apartment becomes vacant, the newly available unit must be rented to a low income household, as a floating unit, to replace the previously designated unit no longer housing a low income household. If the over income household chooses to leave, the vacated unit retains its low income unit designation.

If a residential apartment complex is designated as 100% low income, the over income household will not be required to vacate, if it pays the increased rent, and the unit will not be replaced with a "floating unit". When the over income household vacates the unit, the unit retains its low income unit designation.

- c. If the city determines that an outside audit is necessary to verify the accuracy of the submitted rent roll, then on a basis no more frequently than once a year, it may require such an audit at the expense of Developer. In such event, within ten (10) days after delivery of the City's written request for such outside audit, Developer shall deliver to the City the names of three (3) certified public accountants doing business in the Metropolitan San Diego area. City will promptly deliver to Developer notice of approval by the City of one or more of said names.

The audit shall be completed by an approved certified public accountant, at Developer's sole cost and expense, within sixty (60) days after the delivery to Developer of City's approval. The certified public accountant shall promptly deliver a copy of the written audit to the City. Such audit shall be an audit of Developer's records, including the information supplied to Developer by the low income tenants. The auditor shall not be required to verify the accuracy of the information provided by the low income tenants.

Home Ownership Units' Compliance Packet

Should Developer seek approval by the City to credit a home purchase toward its low and/or moderate income housing obligation, the Developer must give the City at a minimum a compliance packet including the following:

- Copy of Settlement Sheet
- Homebuyer's Qualifying Form - Exhibit 4
- Authorization to Release Information by Purchaser
- Acknowledgement that the Information is for City's Reporting and Administration Use Only

Developer shall not be required to perform any extraordinary investigation or verification regarding such information other than Developer's usual and customary means of income verification.

Developer may contact the City's Community Development Housing Division's Housing Coordinator to confirm the City's acceptance of the applicant as credit toward Developer's low and/or moderate income housing

unit obligation. Developer may contact the City prior to the sale of the unit for consultation purposes if desired; however, approval will be given in writing only after required documents are reviewed and accepted by the City.

II.6.4.5. AFFIRMATIVE MARKETING PLAN

Developer shall provide a marketing plan acceptable to the City, in the City's reasonable discretion, for proactively marketing the low and moderate income housing units to low and moderate income tenants and purchasers, respectively, at the time specified in the Implementation Schedules in Sections A5 and B4 above. Developer shall use good faith and reasonable best efforts to market the low and moderate income housing units to low and moderate income tenants and purchasers according to the affirmative marketing plan. See Exhibit 5, attached hereto, which sets forth the plan requirements.

The City will in its discretion use good faith and reasonable best efforts to assist Developer in marketing low and moderate income housing units to low and moderate income tenants and purchasers, obtaining the services of a third-party organization in connection with such marketing efforts, processing the applications of prospective tenants and purchasers of low and moderate income housing units, and complying with the reporting requirements as required herein.

II.6.4.6 IMPLEMENTING AGREEMENTS AND CONDITIONS

This AHP may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements which may impose additional terms and conditions consistent herewith.

EXHIBIT 2A

SUPPLEMENTAL RENTAL APPLICATION

The rental unit for which you are applying has received governmental assistance under programs to encourage more affordable housing. As a result, the unit carries a rent level restriction and is restricted to occupancy by low and moderate income households.

The information required on this form is necessary to determine your income eligibility to occupy the unit. You must report all household income. Information provided will be confidential and not subject to public disclosure pursuant to State Government Code Section 6254(n).

6.15.1 Rental Unit Address _____

6.15.2 Applicant Name _____

6.15.3 Other Household Members _____

6.15.4 Total Current Annual Household Income from all Sources Including Asset:

TOTAL \$ _____

Detail:

| <u>Household Member</u> | <u>Income</u> | <u>Source</u> |
|-------------------------|---------------|---------------|
|-------------------------|---------------|---------------|

6.15.5 Total Gross Annual Household Income shown on most recent Federal Tax Return from Previous Calendar Year (Attach copies of most recent Federal Tax returns from previous calendar year for all household members receiving income. Include other verification of income not appearing on tax forms.)

\$ _____

6.15.6 Monthly Rental Rate \$ _____

6.15.7 Number of Bedrooms _____

EXHIBIT 2B

APPLICANT'S STATEMENT

I certify under penalty of perjury that the following information is true and correct to the best of my knowledge. I understand that any misrepresentation of the information contained herein may be cause for eviction.

Signature _____ Date _____

OWNER'S STATEMENT

Based on the foregoing information, I certify under penalty of perjury that the applicant is eligible to occupy this restricted low and moderate income housing unit. Eligibility is based on finding that the applicant's household's current annual income is \$_____ and does not exceed current maximum household income of \$_____ allowed under the terms of a Development Agreement with the City of Chula Vista regarding this residential rental development.

Name: _____

Title: _____

Signature: _____ Date: _____

EXHIBIT 3-A

SEMI-ANNUAL REPORT

OWNER'S CERTIFICATION

I am the owner or owner's representative for an affordable housing development in the City of Chula Vista which is bound by a Housing Agreement with the City.

I certify under penalty or perjury that the attached rent roll for affordable units at my project is true and correct to the best of my knowledge and complies with the terms and conditions stipulated in the Affordable Housing Agreement, or any agreement that implements the same, with the City of Chula Vista.

Name _____

Title _____

Signature _____ Date _____

EXHIBIT 3-C

SEMI-ANNUAL REPORT

(insert memo from City)

EXHIBIT 4

HOMEBUYER'S QUALIFYING FORM

Buyer's Name _____

Current Address _____

Tract _____

Lot # _____

Lot Address _____

Purchase Price¹ _____

Monthly PITI
Payment _____

% of Income _____

Bedrooms _____

Household Size _____

Year of Purchase _____

Median San Diego
Household Income _____

% of Median _____

Current Income
Signature Authorizing
Release to City _____

Sales Representative _____

Submitted to City on _____

NOTE: This information is for the City's Reporting and Administrative Use Only.

¹ The sale price of any unit being sold in partial satisfaction of Developer's obligation to provide low income housing shall not exceed three times the household's annual income as required by and as may be revised from time to time by the San Diego Association of Governments (SANDAG).

EXHIBIT 5

City of Chula Vista Equal Housing Opportunity Requirements For The Low/Moderate Income Housing Affirmative Marketing Plan

Every Developer complying with the City of Chula Vista's Housing Element's "Affordable Housing Plan" shall submit to the City an Affirmative Marketing Plan for City Review and Approval which details actions the Developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, family status, color, religion, national origin, ancestry, or handicap, age or any other category which may be defined by law now or in the future.

- I. The City of Chula Vista Affirmative Marketing Requirements are as follows. Please note, however, the Plan is not limited to these Requirements.
- (i) Detail methods for informing the public, buyers and potential tenants about Federal fair housing laws and the City of Chula Vista's affirmative marketing policy;
 - (ii) Publicize to minority persons the availability of housing opportunities through the type of media customarily utilized by the applicant, including minority outlets which are available in the housing market area;
 - (iii) Identify by language and by number any significant number of persons in a community within the housing market area who have limited fluency in the English language:
 - (iv) Where there is a significant number of person in a community within the housing market area who have limited fluency in the English language, the Plan shall:
 - (a) Identify the media most likely to reach such persons.
 - (b) Advertise for the housing development in the native language of such persons, in addition to the English language, and
 - (c) Describe the provisions which the housing sponsor will make for handling inquiries by and negotiations with such persons for the rental or sale of units in the development.
 - (v) Detail procedures to be used by the Developer and/or property manager to inform and solicit applications from persons in the housing market area who are not likely to apply for the housing without special outreach (e.g., use of community organizations, places of worship, employment centers, fair housing groups, or housing counseling agencies).

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- II. Records must be kept describing actions taken by the Developer and/or property managers to affirmatively market units and records to assess the results of these actions:
- (i) The records shall include a copy or transcript of the advertisement copy, the identity of the media in which it was disseminated, and the date(s) of each appearance. The housing sponsor shall also keep a record of the dates and places of any meetings or communications between the housing sponsor and any individual or group referred to the housing sponsor by the agency or organizations representing any of the groups within the community acting on behalf of any classification of minority persons described above. Such records shall be retained for a period of five years;
 - (ii) A description of how the Developer and/or property managers will annually assess the success of affirmative marketing actions and what corrective actions will be taken where affirmative marketing requirements are not met; and
 - (iii) The Developer/property manager shall furnish all information and reports required hereunder and will permit access to its books, records and accounts by the City of Chula Vista, HUD or its agent, or other authorized Federal and State officials for purposes of investigation to ascertain compliance with the rules, regulations and provisions stated herein.
- III. The City of Chula Vista may from time to time review the Plan and the Developer's and property manager's activities pursuant to the Plan and may require amendments to the Plan if it does not fully comply with the requirements of this section
- IV. An affirmative marketing program shall be in effect for the duration of the Qualified Term defined in the Affordable Housing Agreement.
- V. If a source of funding used in a low/moderate income housing development, such as federal or state funds, has affirmative marketing requirements more restrictive than the City of Chula Vista's affirmative marketing requirements, then the more restrictive applies.

(A:\ELK-AHP doc)

AIR QUALITY IMPROVEMENT PLAN

EASTLAKE TRAILS SPA

Approved by City Council Resolution No. 19275

November 24, 1998

Prepared for:
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SECTION II.7 AIR QUALITY IMPROVEMENT PLAN

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II.7.1 EXECUTIVE SUMMARY

The purpose of this Air Quality Improvement Plan for the EastLake Trails Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the City of Chula Vista. The most significant air quality improvement measures are those policies and regulations established at the broadest geographic level, *i.e.*, State and Federal. However, there are measures that can be applied on a City or project level which can have a positive impact. This report presents an overview of these issues, and identifies mitigation/improvement measures in the following general categories which can be implemented at the local level.

1. Pedestrian and Bicycle Paths: The EastLake General Development Plan, and subsequent SPA Plans, adopted by the City have emphasized the use of an extensive trail system, connecting activity centers, to enable non-vehicular travel. The project is designed with multiple routes, including pedestrian/bicycle "short cuts," connecting the EastLake Trails residential areas and neighborhood/community destinations. The clustering of "activity uses" (high school, community park, and retail) at a central location within the community encourages the use of non-vehicular modes of travel to these destinations.
2. Land Use Mix: The EastLake General Development Plan, adopted by the City, includes job opportunities, recreation, education, retail and service commercial, and public facilities within the community. Full implementation of the community plan would minimize the length and number of automobile trips because of the range of opportunities and services available within the community, thereby minimizing vehicular emissions.
3. Access To Regional Systems: The LOS requirements applied to development within the EastLake Trails SPA will encourage free-flow travel, which reduces air emissions. Connections to regional vehicular circulation, public transit and pedestrian/bicycle trail systems are integrated into the project.
4. Transit Access: The project circulation plan includes provisions for public transit facilities. Transit stops are anticipated along arterials at key intersections, where desired by the transit provider. The clustering of transit destinations (*e.g.*, schools, shopping and employment) encourages the use of public transit and simplifies routing and scheduling.
5. Site Design/Planning Guidance: This plan identifies the desirability and importance of considering transit, pedestrian/bicycle and building orientation in subsequent implementing steps such as tentative map approval, site planning and design review. Inclusion of these design factors will support and enhance the alternative circulation systems provided at the neighborhood and community levels.

6. Park-and-Ride Facilities: The provision of a Park-and-Ride facility in proximity to the project is anticipated. Construction of such a facility is required in the EastLake Village Center, located approximately 1.5 miles northwest of the project site. Such a Park-and-Ride facility could also provide a staging area for carpools, vanpools, and transit vehicles. This facility should be incorporated into a city-wide system of similar facilities coordinated with public transit routes, including future light rail corridors.
7. Telecommuting: New homes in the project are expected to include provisions for home office areas as this is a growing desire of new home buyers. The Master Developer is also working with the cable TV provider to include high speed electronic communications connections through the cable TV system. The Master Developer is committed to ensuring that new homes are not "technologically obsolete" but including pre-wiring and necessary in-home connections to take advantage of anticipated electronic communication improvements.
8. Construction Mitigation: The dust emissions generated during project grading will be mitigated by a series of specific mitigation measures identified in this plan and the project EIR. The mitigation measures are expected to reduce project construction emissions to a less than significant level.
9. Implementation/Monitoring: In addition, this development will be subject to the ongoing monitoring programs inherent in the City's Transportation Phasing Plan and Growth Management Program. These programs will continue to be addressed during subsequent implementing actions associated with the project.

These local mitigation measures may have a small impact on Air Quality in quantifiable terms, but their enhancement of future transit options, alternative transportation modes within the neighborhood and community, and public awareness should have a greater long term public benefit.

II.7.2 INTRODUCTION

II.7.2.1 Background

The City of Chula Vista has recognized that preserving good air quality is an essential component to maintaining a high quality of life for its residents and visitors. Although air quality is almost entirely a regional issue, the City has established policies to evaluate and mitigate, where feasible, large development proposals within its jurisdiction. Title 19 (Sec. 19.09.0508) of the Chula Vista Municipal Code requires that a SPA (Sectional Planning Area) submittal for any planned community contain an Air Quality Improvement Plan (AQIP), per the Growth Management policies of the City. The AQIP is to include an assessment of how the project has been designed to reduce emissions as well as identify mitigation measures which will minimize air quality impacts.

II.7.2.2 Purpose and Goals

The purpose of this Air Quality Improvement Plan (AQIP) is to respond to the Growth Management Policies of the City of Chula Vista. The Growth Management Program implements the Growth Management Element of the General Plan and establishes an orderly process to carry out the development policies of the City. The primary area of focus of the Growth Management Program is east of I-805 where most of the remaining vacant land is located, including the project site.

The following are goals of the EastLake Trails SPA Air Quality Improvement Plan:

- a. To minimize air quality impacts during and after construction of projects within EastLake Trails SPA.
- b. To comply with the air quality standards and policies of the City of Chula Vista and San Diego County Air Pollution Control District (APCD)
- c. To create a framework for the design and implementation of air quality mitigation measures in this residential development project.
- d. To be economically efficient and cost effective.

II.7.2.3 Uses of the Plan

This AQIP is prepared and approved concurrently with the EastLake Trails SPA Plan. It expands upon the policy provisions and project features contained in the SPA Plan, as well as the applicable Air Quality section of the Subsequent Environmental Impact Report (SEIR) prepared for the project. This plan bridges both documents and provides a more detailed description of the context and responses of the proposed project, with respect to air quality issues. In the future, it can serve as a guideline in the evaluation of subsequent implementing

actions (*e.g.*, tentative map approval, site plan and design review, *etc.*) to assure that features, policy provisions and mitigation measures are included/maintained as the project develops.

II.7.2.4 Approach

The planning context for this air quality plan ranges from state-wide and regional considerations to local planning requirements. The California Clean Air Act (CCAA) forms the basis for most air quality management efforts. It is the driving mechanism to the current revision to the San Diego Air Basin Air Quality Management Plan by the regional Air Pollution Control District (APCD).

At the local level, cities must carry out their fair-share responsibilities within a day-to-day decision making framework to ensure attainment of the regional standards and objectives. Although specific local policies have not been adopted, Chula Vista is actively participating, through the growth management program and other efforts, in the regional endeavor to establish effective long term regional strategies to implement the air quality standards and objectives.

The approach to air quality mitigation outlined in this plan is focused on the strategies and measures available to residential development projects. As will be described in the following sections, few transportation/air quality improvements measures in the State and regional plans target these projects. The majority address transportation system efficiency, alternative transportation modes, heavy vehicle restrictions, and increased vehicle occupancy. None of these directly influence or affect residential development. Several measures are available however, and these are described and incorporated into the project as appropriate. These include the integration of residential, commercial, employment and recreation land uses in the overall EastLake community, inclusion of facilities to support public transportation, and the provision of pedestrian/bicycle routes and neighborhood design features which encourage their use as alternatives to the automobile. Efforts to educate and increase awareness of the need to minimize air quality impacts and the opportunities to do so, will be directed toward future residents.

II.7.3 REGULATORY FRAMEWORK

Federal, state and local agencies share responsibilities for developing and implementing air quality regulations and improvement plans. The federal and state agencies have established air quality standards and requirements for compliance. The local agencies focus on adopting strategies and regulations to achieve compliance with the state and federal mandates.

Ozone is the principal pollutant of concern in San Diego County. The principal focus of the regional air quality effort is directed toward reducing reactive organic gases and oxides of nitrogen, which are ozone precursors. This focus and the nature of the San Diego Air Basin has led to primarily transportation related air quality improvement strategies.

II.7.3.1 Federal Regulations

The Federal Clean Air Act was enacted in 1970 and amended in 1977 and 1990 to protect and enhance the quality of the nation's air resources to benefit public health, welfare, and productivity. In 1971, the Environmental Protection Agency (EPA) developed primary and secondary national ambient air quality standards (NAAQS). Six pollutants of primary concern were designated: ozone, carbon monoxide, sulfur dioxide, nitrogen dioxide, lead, and suspended particulates (PM-10).

According to the Clean Air Act, the NAAQS must "...allowing an adequate margin of safety ... protect the public health" and the secondary standards must "protect the public welfare from any known or anticipated adverse effects" (1990 Clean Air Act, Section 109). "Public welfare" includes tangible and intangible things such as aesthetics, agriculture and architecture. The primary standards were established with a margin of safety, considering long-term exposures for the most sensitive groups in the general population (*i.e.*, children, senior citizens and people with breathing difficulties).

The EPA also allows the states the option to develop different (stricter) standards, which California has adopted. Table 1 lists the Federal and California state standards.

Table 1
Ambient Air Quality Standards

| Pollutant | Averaging Time | California Standard | National Standard |
|--|------------------|---|-----------------------|
| Ozone (O ₃) | 1 hour | 0.09 ppm | 0.12 ppm |
| Carbon Monoxide (CO) | 8 hour | 9.0 ppm | 9.0 ppm |
| | 1 hour | 20 ppm | 35 ppm |
| Nitrogen Dioxide (NO ₂) | Annually | -- | 100 µg/m ³ |
| | 1 hour | 0.25 ppm | -- |
| Sulfur Dioxide (SO ₂) | Annually | -- | 80 µg/m ³ |
| | 24 hour | 0.05 ppm | 0.14 ppm |
| | 1 hour | 0.25 ppm | -- |
| Suspended Particulate Matter (PM ₁₀) | Annual Mean | 30 µg/m ³ | 50 µg/m ³ |
| | 24 hour | 50 µg/m ³ | 150 µg/m ³ |
| Sulfates | 24 hour | 25 µg/m ³ | -- |
| Lead (Pb) | 30 days | 1.5 µg/m ³ | -- |
| | Calendar Quarter | -- | 1.5 µg/m ³ |
| Hydrogen Sulfide | 1 hour | 0.03 ppm | -- |
| Vinyl Chloride (chloroethene) | 24 hour | 0.010 ppm | -- |
| Visibility Reducing Particulates | 1 Observation | Visibility of 10 miles when humidity is <70%. | -- |

ppm = parts per million

II.7.3.2 State Regulations

California law, effective on January 1, 1989, requires that regional air quality districts implement regulations to reduce emissions from mobile sources through the adoption and enforcement of transportation control measures. As a state serious ozone non-attainment area, San Diego is subject to various requirements including:

- Five percent annual reduction in hydrocarbons and oxides of nitrogen emissions from 1987 until standards are attained. If this five-percent reduction cannot be obtained, every feasible measure must be implemented.
- Transportation control measures (TCMs) to achieve an average of 1.4 persons per passenger vehicle during weekday commute hours by 1999 or programs providing equivalent emission reductions not otherwise required.

The State Implementation Plan (SIP) is the document that sets forth the state's strategies for achieving air quality standards. The San Diego Air Pollution Control District (APCD) is responsible for preparing and implementing the portion of the SIP applicable to the San Diego Air Basin (SDAB). The San Diego APCD adopts rules, regulations, and programs to attain state and federal air quality standards.

In addition, Section 15125(b) of the CEQA Guidelines contains specific reference to the need to evaluate any inconsistencies between the proposed project and applicable general plans and regional plans. Regional plans include the applicable air quality management plan, which is the Regional Air Quality Strategy (RAQS) in the San Diego Air Basin (SDAB).

Section 4.8.6 of the Draft SEIR for the project describes anticipated project impacts prior to mitigation. With respect to construction-related impacts it states: "The proposed project would generate sufficient emissions and dust during construction-related activities to result in a short-term significant, but mitigable, impact to air quality." With respect to long term impacts, the SEIR describes the project as consistent with the regional air quality plan but that because the air basin is non-attainment for ozone and PM-10 "... the incremental increase in air pollutants generated from the project combined with air quality impacts from surrounding projects will result in a cumulatively significant impact to the air quality in the San Diego Basin." After implementation of mitigation measures, the construction-related impacts would be less than significant but long-term, because of the non-attainment situation, "... the contribution made by the proposed project represents a small, but significant cumulative air quality impact after mitigation."

II.7.3.3 Regional Plans and Policies

As noted above, the San Diego Air Pollution Control District (APCD) is the agency that regulates air quality in the SDAB. The APCD prepared the 1991/1992 RAQS in response to the requirements of state law. The draft was adopted, with amendments, on June 30, 1992.

Attached as part of the RAQS are the transportation control measures (TCMs) for the air quality plan prepared by the San Diego Association of Governments (SANDAG). The required triennial update of the RAQS and corresponding TCMs were adopted on December 12, 1995. The RAQS and TCM Plan set forth the steps needed to accomplish attainment of state and federal ambient air quality standards.

The APCD has also established a set of Rules and Regulations initially adopted on January 1, 1969, and periodically reviewed and updated. The Rules and Regulations define requirements regarding stationary sources of air pollutants and fugitive dust.

The California Air Resources Board (ARB) has classified the San Diego region as having a severe air pollution problem. According to the San Diego Air Pollution Control District (APCD), the major sources of air pollutants in the region are motor vehicles and pollution blown in from Los Angeles. Given this situation, local air quality improvement efforts are focused on transportation issues. To address air quality problems related to transportation, level of service standards for arterials, highways and transit are being developed, as are goals for reducing solo auto trips.

The San Diego County Congestion Management Plan (CMP) was approved in June of 1990 and is intended to directly link land use, transportation and air quality through level of service performance. Local agencies are required to conform to the CMP by statute.

One of the elements of the CMP is an enhanced CEQA review process which applies to all discretionary projects which contribute more than a specific number of vehicles to the system. This project contribution is considered to be a significant impact requiring mitigation if the contribution results in the degradation of level of service below CMP standards. The limits of review for CMP facilities is I-805 from I-8 to SR-905, SR-54 from I-805 to SR-125, and SR-125 from SR-54 to SR-94. However, only I-805 and SR-125 are forecast to experience volume levels in excess of the CMP thresholds by 2010.

The enhanced CEQA review process is intended to identify and mitigate regional transportation impacts of large projects such as EastLake Trails SPA prior to discretionary approval. The CMP includes a deficiency plan process directed towards improving travel service on a specific portion of the CMP system forecasted to operate below CMP traffic LOS standards. The CMT level of service standards are LOS "E" for CMP arterials and freeways, or LOS "F" for freeways, if that is the existing level of service.

A local jurisdiction must develop Deficiency Plans for any state highways or CMP roadways within its jurisdiction prior to its next annual self-certification of CMP conformance after the deficiency actually occurs. Although a CMP roadway deficiency does not occur until the existing level of service actually falls below CMP standards, the purpose of the deficiency plan process is to identify deficiencies before they occur. This allows early development of the deficiency plan to prevent the deficiency from occurring. The enhanced CEQA review process documented in this transportation analysis can assist affected jurisdictions in the

identification of the need and timing of future deficiency plans. Deficiency plans are prepared for a segment of the CMP system and not specifically related to any large project. The CMP Deficiency Plan must include:

- The cause of the deficiency;
- A list of improvements needed to meet the CMP traffic LOS standards;
- An alternative list of improvements to measurably improve system LOS and air quality; and,
- An action plan for implementing the improvements.

When preparing deficiency plans addressing state freeway deficiencies, a multi-agency study team approach is utilized which involves SANDAG, Caltrans, the Air Pollution Control District (APCD), the Metropolitan Transit Development Board (MTDB) and the affected jurisdictions, in this case the city of Chula Vista, the county of San Diego, and the city of San Diego. SANDAG and Caltrans would take the lead on much of the initial deficiency plan analysis. After the freeway deficiency plan is complete, the study team will forward it to the affected jurisdictions for approval. A deficiency plan developed by a local jurisdiction must be adopted at a noticed public hearing and then forwarded to SANDAG as the CMA. Within 60 days, SANDAG will hold a public hearing to determine the adequacy of the plan and either accept or reject the plan.

The EastLake Trails SPA will contribute to the cumulative daily traffic volume growth in the Southbay region. The early development of a Deficiency Plan will assist in the identification of project only fair-share contributions for improvements and mitigation. The project traffic study and the associated Transportation Phasing Plan complies with the CMT requirements for freeway segments and the county arterial system, and provides a commitment to participate in CMP deficiency planning in the effort to improve system-wide traffic operations and air quality.

Another regional effort is focused on Transportation Demand Management. The purpose of Transportation Demand Management (TDM) is to alleviate traffic problems by managing vehicle trip demand rather than through the construction of additional transportation facilities. SANDAG developed a Model Regional TDM Program in January 1991 with the goal of increasing the Average Vehicle Occupancy Rate (AVR) to 1.41 in 1998.

The key measures used in TDM are travel management and work hours management. Travel management measures include reducing the number of single occupancy vehicle trips by implementing carpool and vanpool programs, restricting or pricing parking supply, subsidizing transit fares and encouraging alternate modes of travel by providing additional amenities and facilities. Work hours management measures attempt to shift vehicle trip

demand on freeway and road facilities from peak periods to less congested periods by implementing flexible or staggered work hours and telecommuting.

Local Transportation Management Associations (TMA) are involved in encouraging and assisting major employers and their Employee Transportation Coordinators (ETC) in implementing and planning TDM programs aimed at reducing the number of single occupant vehicle trips to the work place.

Freeway ramp meters are another regional program designed to maximize freeway capacity, reduce traffic congestion and reduce delays during the commute period. This is accomplished by limiting the number of vehicles entering the freeway, and thus maintaining mainline traffic flow at reasonable speeds. If excess demand exists at freeway off-ramps, delays and considerable queue lengths could result on ramps and adjacent arterials. The *1994 Regional Transportation Plan* indicates that ramps meters are planned for all on-ramps along I-805 and future SR-54 in the Southbay by 1999.

II.7.3.4 Local Plans and Policies

At the local level, within Chula Vista, there is no local air quality plan. However, the City has included a Growth Management Element (GME) in its General Plan and has commissioned the preparation of a CO₂ Reduction Plan. One of the stated objectives of the GME is to have active planning to meet federal and state air quality standards. This objective is incorporated into the GME's action program. Although adopted in 1989, the GME has remained current by not only requiring air pollution reduction measures identified in 1989 but also "measures developed in the future."

To implement the GME, the City Council has adopted the Growth Management Program (GMP) which requires Air Quality Improvement Plans (AQIPs) for major development projects (50 residential units or commercial/industrial projects with equivalent air quality impacts). The purpose of the GMP is to assist the City in assessing the environmental, fiscal and operational impacts of proposed land development.

The Traffic Element of the GMP initially specified threshold standards for acceptable levels of service at signalized intersections only. It was revised in 1991 to conform to the *1985 Highway Capacity Manual* (HCM) to include arterial LOS based on average travel speed. This revised Traffic Element forms the basis for the annual City Traffic Monitoring Program (TMP).

The City-wide threshold standard is to maintain LOS "C" or better based on observed average travel speed on all signalized arterial segments with the exception that during peak hours, LOS "D" can occur for no more than any two hours of the day.

The 1992 TMP found that GMP threshold standards were satisfied on all arterial segments as no segments operated at less than LOS "C." Similarly, with the exception of two arterials

segments, the majority of segments were found to operate at acceptable levels of service in the 1993 TMP. Level of service deteriorated from LOS "C" to LOS "D" during the PM peak period in one direction of travel for one EastLake Project Study Area segment as a result of increased delay at one signalized intersection:

- Otay Lakes Road (northbound traffic) from Telegraph Canyon to East "H" Street as a result of increased delay at the Otay Lakes Road/East "H" Street intersection

The 1994 TMP found that all arterial segments operated at LOS "C" or better with the exception of the Otay Lakes Road segment identified above in the 1993 TMP study. However, the average travel speed on this segment was found to have increased slightly. An improvement project has been completed which improves the Otay Lakes Road/East "H" Street intersection through the provision of dual left turn lanes for northbound and southbound traffic on Otay Lakes Road.

Public transit is also a locally controlled factor affecting air quality. Chula Vista Transit (CVT) Routes 709 and 711 provide bus service to the EastLake Community. The routes have an average combined ridership of 2,200 persons per day. Downtown commuters can make their daily trip via a 20 minute bus ride to the "H" Street Trolley Station on Route 709 and continue to downtown San Diego via the Trolley. Route 711 passengers may transfer to four other CVT routes at the Southwestern College Transit Center, all of which connect to the Trolley at either the "H" or "E" Street Stations. Route 711 terminates at Plaza Bonita Shopping Center in National City, where transfers may be made to National City Transit routes which continue on to the 24th Street Trolley Station.

Until such time as the South Bay Light Rail Service is initiated, Chula Vista Transit will be the only mass transit service to EastLake. The City does not currently have a planned transit expansion program for developing areas in the eastern territories. Transit officials use the MTDB South Bay Public Transportation Plan as a guide in phasing and expanding service to the area. The current expansion policy, while not written, attempts to provide bus service where sufficient ridership is available. Funding for the Chula Vista Transit service is provided by fare box revenues (45%) and the ¼% State sales tax proceeds.

Looking to the future, in March 1991 SANDAG completed the "South Bay Rail Transit Extension Study". The report evaluated the feasibility of extending light rail (trolley) and commuter rail service in the South Bay. Specifically the light rail service required to serve the eastern territories of Chula Vista and Imperial Beach was evaluated using cost and ridership estimates as a measure of performance and feasibility. Potential land use patterns to support rail transit service were also evaluated.

Three light rail corridors were determined worthy of further study. Alternative "E" which traverses the southwest portion of the EastLake Trails SPA and crosses the proposed alignment of SR-125 at Palomar Road, approximately one-half mile south of Otay Lakes Road, has been identified as having the best performance of all alternatives studied.

The South Bay Rail Transit Extension Study was accepted by the SANDAG Board and a follow-up study being administered by the Metropolitan Transit Development Board (MTDB) has been completed. This study, the "South Bay Public Transportation Plan," has the following components:

- Assemble existing short range public transportation plans for the South Bay.
- Prepare a South Bay seven-year public transportation plan.
- Identify major transit facilities.
- Develop a staging plan.
- Study proposed guide-way transit corridors and station locations.
- Study adequacy of existing land use plans as they relate to supporting mass transit.

No funding source has been identified for the proposed light rail extensions and the currently programmed MTDB extensions are currently under-funded. The State Propositions 108 and 111 which passed in 1990 have provided significant funds for MTDB near term projects, however the rail extension project is very long term in nature.

II.7.4 ROLES and RESPONSIBILITIES

In order for this plan to be effective, it is necessary to clearly assign appropriate roles and responsibilities to all of the participants in the development and occupancy phases of projects within EastLake Trails SPA. There are three primary groups involved: developer/builders, government/service agencies, and future residents/tenants. Each has an important role to play, as described below.

II.7.4.1 Developer/Builders

The master developer, The EastLake Company, is providing the basic planning, design, and management of this program. Community level transportation facilities, vehicular and non-vehicular, will be implemented by the master developer.

Individual builders will construct homes according to the standards set by the master developer (and the City) and will be responsible for energy planning and management within their own project. Builders will also be the primary communicators with home buyers. In this role, they will be responsible for identifying the energy conservation features incorporated in the project, and educating home buyers regarding a continuing conservation effort.

II.7.4.2 Property Owners/Residents/Tenants

The long term success of the air quality mitigation effort rests with residents who choose their own modes of transportation, driving habits and lifestyles. In the aggregate, choices by residents/tenants affect the air quality in the region more than any effort by the City or developer.

Generally, commercial and industrial are the land uses which have significant opportunities to incorporate air quality/transportation mitigation measures because of the concentrated number of automobile trips associated with them. The decision to utilize public transit or non-vehicular transportation will rest with future residents, influenced by the availability and convenience of such facilities provided in the project.

II.7.4.3 Government Service Agencies

The City of Chula Vista will review project plans and monitor this plan. Because of its development approval role, the City can effectively enforce transportation phasing and other standards for new construction. Some local public transportation systems are operated under authority of the City, in cooperation with regional operators. The City can also be a source of on-going education and air quality awareness through citizen communication programs.

The San Diego APCD will adopt regional air quality plans which will implement measures to meet State and Federal standards. Although these plans will focus primarily on

transportation issues, land use and indirect source guidelines will also be included. State law prohibits the intrusion of the APCD on the land use decision authority of the City, so it will be up to the City to implement any such guidelines.

To a certain extent, the local school districts also have a role to play based on the transportation they offer to students. Bussing of students to school facilities, instead of parent auto trips, can have beneficial effects in the same way that using public transit for employment commuting reduces total trips, improving air quality and reducing traffic congestion.

II.7.5 AIR QUALITY IMPACTS

This chapter discusses the Air Quality Impacts associated with the build-out of development within the EastLake Trails SPA. Full development of projects within the EastLake Trails SPA would generate approximately 12,000 daily automobile trips. These trips would result in increased air emissions on new and existing roadways. This includes trips assigned to non-residential uses such as schools, commercial, and recreation facilities. Short-term emissions from construction activities would generate dust and diesel emissions resulting in short-term emissions impacts.

II.7.5.1 Local (Construction) Impacts

Soil disturbance to prepare the project site would generate fugitive dust during the construction phase. Soil dust is typically chemically inert and much of the dust is comprised of large particles that are readily filtered by human breathing passages and also settle out on nearby surfaces. It comprises more of a potential soiling nuisance than an adverse air quality impact.

Construction activities for large development projects are estimated by the U.S. Environmental Protection Agency to add 1.2 tons of fugitive dust per acre of soil per month of activity. If water or other soil stabilizers are used to control dust, the emissions can be reduced by up to 50 percent. However, fugitive dust control using water must be balanced against the need to conserve water resources. The California ARB, in its development of area source emissions calculations of fugitive construction dust, estimates that the net disturbance area for single family homes is one-fourth acre with a six month disturbance duration. Assuming the majority of the EastLake Trails SPA will be graded and the average duration will be six months, a total of 2,106 tons of dust could be generated without application of dust control procedures. Standard dust control utilizing reclaimed water could reduce this by 50% to approximately 1,053 tons. The respirable PM₁₀ fraction of fresh construction dust is estimated to be approximately one-third of TSP. Thus, the project impact is probably about 351 tons over the multi-year build-out period.

In addition to fugitive dust, construction activities would also cause combustion emissions to be released from on-site construction equipment and from off-site vehicles hauling materials. Heavy duty equipment emissions are difficult to quantify because of day-to-day variability in construction activities and equipment used. Typical emission rates for a diesel powered scraper are provided in Table 2, and were obtained from the San Diego Air Quality Management Division Air Quality Handbook (April 1987). A diesel powered scraper is the most common equipment used for grading operations. The emission rates above are provided in grams per 8-hour day [909,091 grams = 1 ton]

Table 2
Emission Rates for Grading Scraper

| <u>POLLUTANT</u> | <u>EMISSION RATE (Grams/8 Hr.)</u> |
|------------------|------------------------------------|
| Carbon monoxide | 5,280 |
| Nitrogen oxides | 22,560 |
| Hydrocarbons | 2,272 |
| Sulfur oxides | 1,680 |
| Particulates | 1,472 |

II.7.5.2 Regional Impacts

a. Stationary

Emissions from residential activity including painting, household cleaning, fumigation, gasoline powered lawn mowers, chemicals associated with swimming pools, wood burning fireplaces and barbecues, while not considered significant, would have a cumulative impact on regional air quality. Similar emissions from the school and park sites including the use of gasoline powered lawn mowers, chemicals associated with maintenance activities and classroom activities are not considered significant on a project level, but could have cumulative impacts on regional air quality. Within the South Coast Air Basin (Los Angeles area), regulations to prohibit or restrict these types of air impacts are being adopted. If similar regulations are adopted in the San Diego region, the APCD (or its designee) will enforce compliance, including the subject project.

The project will also have an incremental impact through stationary impacts from electrical power generating stations which will increase their output to meet the electrical power needs of the proposed project. These impacts will be mitigated through compliance with the air quality plan(s) in effect at the generating station(s) site(s).

b. Mobile

Impacts to air quality result primarily from automobile emissions. The proposed project will result in an increase in air emissions. If the future development has been anticipated in the current air quality plan then air quality impacts are usually considered mitigated by adherence to the measures as outlined in the plan. The proposed project has been considered in this air quality improvement plan. The following ARB criteria can be used for evaluating project impacts:

For long-term emissions, the direct impacts of a project can be measured by the degree to which the project is consistent with regional plans to improve and maintain air quality. The regional plan for San Diego is the 1991/1992 RAQS and attached TCM Plan, as revised by the triennial update adopted on December 12, 1995. The CARB provides criteria for determining whether a project conforms with the RAQS, which include the following:

- 1. Is a regional air quality plan being implemented in the project area?*
- 2. Is the project consistent with the growth assumptions in the regional air quality plan?*
- 3. Does the project incorporate all feasible and available air quality control measures?*

The revised RAQS are being implemented by APCD throughout the air basin. Therefore, the first criteria is fulfilled. Second, the project is consistent with Chula Vista's General Plan and, therefore, considered consistent with the growth assumptions in the RAQS. However, since the San Diego Air Basin is not in conformance with the ozone and PM₁₀ standards, the emissions contribution made by the proposed project represents a small, but significant direct air quality impact. This conclusion is consistent with that of the draft project SEIR (see II.7.3.2 above).

Localized air quality impacts can also result from vehicle emissions. The volume of carbon monoxide released when a large volume of slow moving vehicles are contained in one small area can create air pollution "hot spots". Often such "hot spots" can occur when intersection congestion is LOS E/F. If traffic on Otay Lakes Road deteriorates to these levels, potentially significant "hot spots" could result.

II.7.6 IMPACT REDUCTION MEASURES

II.7.6.1 Design Phase

This section of the AQIP demonstrate how the EastLake Trails SPA addresses key design issues, at the SPA Plan level, which are directed toward reducing air pollution impacts. The design issues addressed below parallel those evaluated in a Draft Design Element Checklist proposed by City staff for project review purposes (see Appendix).

a. Street/Circulation Design with Pedestrian/Bicycle Orientation

The EastLake General Development Plan, and subsequent SPA Plans, adopted by the City have emphasized the use of an extensive trail system, connecting activity centers, to enable non-vehicular travel. The project is designed with a single loop collector connecting the majority of residential development and simplifying internal circulation. The clustering of "activity uses" (high school, community park, and retail in the EastLake Activity Corridor and EastLake Village Center) at a central location within the community encourages the use of non-vehicular modes of travel to these destinations.

b. Housing/Employment Density Near Transit

The project circulation components will improve routes for transit. Transit stops can be incorporated where desired at key intersections. The current plan anticipates transit stops along Hunte Parkway on the western edge of the project area. The designation of transit stops and initiation of service are the responsibility of the City transit service. The clustering of transit destinations (*e g*, schools, shopping and employment) within the EastLake community encourages the use of public transit and simplifies routing and scheduling.

The provision of a Park-and-Ride facility in proximity to the project is anticipated. Construction of such a facility is required in the EastLake Village Center, located northwest of the project site. Such a Park-and-Ride facility could also provide a staging area for carpools, vanpools, and transit vehicles. This facility should be incorporated into a city-wide system of similar facilities coordinated with public transit routes, including future light rail corridors.

c. Land Use Mix/Proximity

The EastLake General Development Plan, adopted by the City, includes job opportunities (EastLake Business Center), recreation (EastLake Activity Corridor and Salt Creek Park), education, retail and service commercial (EastLake Village Center), and public facilities within the community. All of these sites are immediately adjacent or nearby within the community. Full implementation of the community plan would minimize the length and number of automobile trips because of the range of opportunities and services available within the community.

d. Site Design with Pedestrian/Bicycle Orientation

As noted above, the EastLake community as a whole has been designed with an extensive and convenient pedestrian and bicycle trail system (see Trails Plan). In order to improve the walking/biking experience along major streets, meandering walks or non-contiguous sidewalks both with landscaped areas separating the path from traffic are provided on all the major streets in the project (see Street Sections in Chapter III of the SPA Plan). Pedestrian/bicycle "short cuts" have been included in the plan via open cul-de-sacs which provide more direct routes to neighborhood/community destinations and encourage use of alternative modes of transportation.

e. Site Design with Transit Orientation

Placement of buildings and building entrances, particularly larger multi-family and non-residential buildings, can encourage transit or alternative transportation modes. The SPA Plan does not specify building locations. Hence, this issue can be addressed in the Tentative Map and Site Plan/Design Review processes when greater project detail is available.

f. Reduced Commercial Parking

The EastLake Trails SPA does not include any commercial uses. Parking requirements are set forth in the EastLake II Planned Community District Regulations which have been adopted by the City with previous EastLake SPA approvals.

g. Bicycle Route Integration with Transit & Employment

Bike lanes are designated on North and South Greens View Drive and Clubhouse Drive. On other internal streets, bicyclists will be readily able to share the road with motor vehicles due to the low volumes and limited speeds allowed. Project bicycle routes connect to regional systems as indicated in the Circulation Element of the General Plan and provide access to all regional destinations including the park-and-ride facility, and nearby commercial and employment centers.

h. Energy Efficient Landscaping

Shading cars and buildings with the proper landscaping can reduce the amount of energy required for air conditioning which can, in turn, reduce emissions at power generating stations. Landscaping is addressed in a conceptual manner in the Design Guidelines component of the SPA submittal. As with building design discussed under II.7.2.1.5 above, the level of detail provided in Site Plan/Design Review submittals is necessary to evaluate proposed landscaping in terms of its shading potential. In general, such shading is most effective where group parking and larger buildings which are air conditioned all day long are involved (*i.e.*, non-residential uses).

i. Alternative Fuels/Telecenter

Commuting is one of the largest contributors to air pollution. Providing telecommuting space to work at home via computer link, or at nearby center can reduce commute trips, traffic congestion, and driving cost. Because this is becoming a popular working alternative, many new homes now include areas designed for computer or home office use. Builders in EastLake will continue to provide such features as the market dictates.

The Master Developer is also working with the cable TV provider to include high speed electronic communications connections through the cable TV system. This service is currently available in the adjacent EastLake Greens neighborhood and, at a minimum, this service is expected to be provided within the Trails neighborhood. Computer and communication technology is constantly improving and predicting the next breakthrough, much less what will become available over the next few years as the Trails SPA is developed, is impossible. However, the Master Developer is committed to working closely with electronic communication access providers and guest builders to assure new homes are not technologically obsolete when they are built.

Further, outside of the home, telecenters can be part of a multi-purpose activity centers at the neighborhood or community level. Should the City or homeowners determine such a facility was a desirable component of the neighborhood, it could be incorporated in the homeowners facilities in parcel P-3 or city facilities in Parcel P-1, in the Salt Creek Park area. Or, such a facility could be established as a commercial venture in the nearby EastLake Business Center or EastLake Village Center. As with innovations in new home design noted above, market demand will determine when and if such facilities are initiated.

j. Overall Sustainability of Project

In summary, the EastLake Trails SPA implements a pedestrian/bicycle friendly neighborhood design which encourages non-vehicular circulation. The EastLake Planned Community as a whole also implements a land use mix and community trails which encourage reduced dependence on the automobile. The project also will provide home designs and neighborhood infrastructure which support work-at-home/telecommuting options at the both individual residence and community level.

II.7.6.2 Construction Phase

Even though the creation of dust is limited to the construction phase of a project and is thus "temporary," a large development could significantly contribute to adverse air quality impacts. As mitigation for these potential impacts, dust control during grading operations will be regulated in accordance with the rules and regulations of the San Diego APCD. These mitigation measures are also identified in the Draft SEIR for the project and are identified by their SEIR reference number in brackets following each measure, below.

At the time tentative maps are approved for the project, the following measures would be required to reduce fugitive dust impacts and emissions impacts from construction equipment:

a. Clearing/Grading

- All unpaved construction areas shall be sprinkled with water or other acceptable San Diego APCD dust control agents during dust-generating activities to reduce dust emissions. [MM 4.8.7.1]

b. Disturbed Areas

- On-site stockpiles of excavated material shall be covered or watered. [MM 4.8.7.5]
- Disturbed areas shall be hydroseeded, landscaped, or developed as quickly as possible and as directed by the City to reduce dust generation. [MM 4.8.7.6]

c. Track-Out Control

- On dry days, dirt and debris spilled onto paved surfaces shall be swept up immediately to reduce re-suspension of particulate matter caused by vehicle movement. Approach routes to construction sites shall be cleaned daily of construction-related dirt in dry weather. [MM 4.8.7.4]

d. Dirt Hauling

- Trucks hauling dirt and debris shall be properly covered to reduce windblown dust and spills. [MM 4.8.7.2]

e. High Wind Operations

- Additional watering or acceptable APCD dust control agents shall be applied during dry weather or windy days until dust emissions are not visible. [MM 4.8.7.1]

f. Off-Road Equipment

- Enforce a 20 mile-per-hour speed limit on unpaved surfaces. [MM 4.8.7.3]
- Heavy-duty construction equipment with modified combustion/fuel injection systems for emissions control shall be utilized during grading and construction activities. Catalytic reduction for gasoline-powered equipment shall be used. Also, equipment construction equipment with prechamber diesel engines (or equivalent) together with proper maintenance and operation to reduce emissions of nitrogen oxide, to the extent available and feasible. [MM 4.8.7.7]

- Use low pollutant-emitting construction equipment. [MM 4.8.7.8]
- Use electrical construction equipment, to the extent feasible. [MM 4.8.7.9]
- The simultaneous operations of multiple construction equipment units shall be minimized (i.e., phase construction to minimize impacts). [MM 4.8.7.10]

Incorporation of these measures, combined with the fact that construction is a one-time short-term activity, will reduce potentially significant air quality impacts to below a level of significance.

II.7.7 IMPLEMENTATION MEASURES

Most of the above cited Impact Reduction Measures are included in the EastLake Trails SPA Plan and SEIR, and will be implemented through SPA approval or the tentative map process. However, some will be implemented at a later approval phase such as Design Review. These are identified below

**Table 3
Impact Reduction Measure Implementation Stage**

| SPA/Tentative Map Approval | Site Plan/Design Review |
|--|---|
| <ul style="list-style-type: none"> - Street/Circulation Design - Land Use Mix & Housing/Employment (done at GDP level) - Transit Facilities - Site Design/Building Siting (prelim.) - Pedestrian/Bicycle Orientation - Transit-Oriented Building Siting - Bicycle Routes - Grading/Fugitive Dust Control | <ul style="list-style-type: none"> - Site Design w/ Pedestrian/Bicycle - Transit-Oriented Building Siting - Energy Efficient Landscaping - Alternative Fuels/Telecenter (electronic communication capabilities) |

II.7.8 REFERENCES

California Air Resources Board; Answers to Commonly Asked Questions About the California Clean Air Act's Attainment Planning Requirements (CCAA Guidance Paper #1); August 1989.

California Air Resources Board; California Clean Air Act Transportation Requirements Guidance (CCAA Guidance Paper #2); February 1990.

California Air Resources Board; Executive Summary - California Clean Air Act Guidance on the Development of Indirect Source Control Programs; July 1990.

Cinti Land Planning; Draft EastLake Trails SPA; 8/28/98

Giroux & Associates; Air Quality Improvement Plan - Telegraph Canyon SPA; August 6, 1991.

RECON; Draft Subsequent EIR for Eastlake Trails and Land Swap Parcels; February 1998

SANDAG; 1991 Air Quality Plan Development Process (Agenda Report R-74); September 28, 1990.

SANDAG; Transportation Control Measures for the Air Quality Plan; March 1992.

SANDAG; Regional Quality of Life Factors, Standards and Objectives (Agenda Report RB-19); November 16, 1990.

San Diego County Air Pollution Control District; Tools for Reducing Vehicle Trips Through Land Use Design; January 1998.

San Diego County Air Pollution Control District; Memorandum: Transportation Control Measure Criteria; November 21, 1990.

San Diego County Air Pollution Control District; California Clean Air Act - Air Quality Strategy Development Workplan; n/d.

Ventura County Air Pollution Control District; Guidelines for the Preparation of Air Quality Impact Analyses; October 24, 1989.

Willdan Associates and Bud Gray; Draft Growth Management Program - City of Chula Vista; August 1990.

APPENDIX

Draft Design Element Checklist

WATER CONSERVATION PLAN

EASTLAKE TRAILS SPA

Approved by City Council Resolution No. 19275

November 24, 1998

Prepared for:
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II.8.1 EXECUTIVE SUMMARY

As detailed in this plan, numerous features have been included in the project and commitments made by the Master Developer to minimize the use of water during the construction and habitation of development within the EastLake Trails SPA. The estimated potable water consumption statistics, with and without conservation measures are outlined in Table 1 below.

Table 1
EastLake Trails SPA
Water Consumption/Conservation Summary

| Land Use Category | Potable Water Consumption | | Percent Savings |
|---------------------------|---------------------------|------------------------|-----------------|
| | w/o Conservation | w/ Conservation | |
| Residential | 0.424 MGD | 0.254 MGD | 40% |
| School/Community Facility | 0.039 MGD | 0.025 MGD ¹ | 36% |
| Park/Landscape/Open Space | 0.096 MGD | 0.000 MGD ¹ | 100% |
| TOTALS | 0.559 MGD | 0.279 MGD | 50% |

¹ Savings based on using recycled water for irrigation.

The water savings summarized above reflect the implementation of several water conservation measures essentially within the EastLake Trails SPA boundary. These measures are summarized in Table 2 on the following page.

Table 2

**EastLake Trails SPA
Water Conservation Measures**

Fixtures/Devices

- Ultra-low Flow Toilet
- Ultra-low Flow Shower Head
- Faucet Aerator
- Hot Water Pipe Insulation
- Pressure Reducing Valves
- Water Efficient Dishwasher
- Water Efficient Clothes Washer (advise/assist)

Outdoors/Landscaping

- Efficient Irrigation for Common Areas and Slopes
- Low Water Use Demonstration Model Home Landscaping
- Installation of Recycled Water Mains
- Water Conserving Practices during Grading/Construction

Public Education/Awareness Program

- Homebuyer Information Packets
- Water Conservation Coordinator
- Public Information Seminars

II.8.2 INTRODUCTION

The purpose of this Water Conservation Plan for development within the EastLake Trails Sectional Planning Area (SPA) is to respond to the Growth Management Policies of the city of Chula Vista. The water conservation measures presented in this plan are intended to respond to the long term need to conserve water in new development; more stringent short-term, emergency measures (*e.g.*, water rationing, new meter moratorium, *etc.*) responding to a drought or water crisis situations are not included. This plan is intended to be implemented over the life of the project and to establish standards which will be acceptable to future project residents regardless of water availability.

The approach to water conservation outlined in this plan is intended to be comprehensive and implemented throughout the life of the development project. Water conservation during construction and after occupancy are addressed, as well as the installation of water conserving landscaping, appliances and fixtures. Efforts to educate and increase awareness of the need to conserve water and the opportunities to do so, will be directed toward future residents.

The following are goals of the EastLake Trails SPA Water Conservation program:

1. To conserve water during and after construction of the projects within the EastLake Trails SPA.
2. To comply with the water conservation standards and policies of the city of Chula Vista and Otay Water District.
3. To create a comprehensive framework for the design, implementation and maintenance of water conserving measures, both indoor and outdoor.
4. To be economically efficient and cost effective.

II.8.3 WATER SERVICES and SUPPLY

Most of the potable water used in San Diego County is imported from the Colorado River and the Sacramento-San Joaquin Delta. A small portion is from local surface water storage reservoirs and groundwater.

The Otay Water District (OWD) provides water service to the EastLake Trails SPA project area. The OWD is a member of the San Diego County Water Authority (CWA) which purchases the imported water from the Metropolitan Water District of Southern California (MWD). The OWD obtains filtered water from CWA's water Pipeline No. 4 of the Second San Diego Aqueduct. Water supplied from this pipeline is treated at the MWD's Skinner Filtration Plant located in Riverside County.

EastLake Trails SPA is located within the OWD's Central Service Area. The project area would receive its water supply from the Otay Water District's Central System. Currently, the water supply for the Central System is taken from the No. 10 and No. 12 connections to Pipeline No. 4. The water supply is conveyed by gravity from Connection No. 10 through a 24-inch transmission main to the 30 million gallon (mg) 624-3 (EastLake Greens) reservoir, and is planned to feed into the 12.4 mg 624-1 (Patzig) reservoir. The water supply from Connection No. 12 is conveyed by gravity through a 36-inch water transmission main to the 8 mg 624-2 reservoir. Water is then delivered from the 624-1, 624-2, and 624-3 reservoirs by gravity to the 624 Zone.

Potable water for EastLake Trails SPA would be supplied by the 711 and 980 pressure zones within the Central System. These zones are supplied by pumping from the 624 Zone. The Central Area Pump Station (711-1) takes water from the 624-1 reservoir and discharges to the 711-1 and 711-2 reservoirs which supply the 711 pressure zone. The total capacity of the two 711 reservoirs is 5.0 mg. The EastLake Pump Station takes water from the 711 distribution piping and discharges to the 980-1 and 980-2 reservoirs which supply the 980 Pressure Zone. The total capacity of the two 980 reservoirs is 10.0 mg.

Existing water transmission mains for the 980 and 711 pressure zones are located in Hunte Parkway, EastLake Parkway, and Otay Lakes Road. The EastLake Trails SPA would connect with the existing 980 and 711 transmission mains in Hunte Parkway and Otay Lakes Road (see Exhibit 1).

The OWD also provides recycled water to the project area. The District owns and operates the Ralph W. Chapman Water Recycling Facility located near the intersection of Singer Lane and Highway 94. This plant produces up to 1.3 million gallons of recycled water for non-potable water uses such as irrigation of golf courses, school playing fields, public parks, and public landscaping. Additional recycled water supply will be available from the City of San Diego's proposed 6 million gallons per day (mgd) capacity South Bay Water Reclamation Plant, which will be located in the Tijuana River Valley at Monument and Dairy Mart Roads near the Mexican border. This plant is scheduled to go on line by 2001.

Recycled water from the OWD plant is delivered to storage ponds located in the District Use Area north of Proctor Valley Road at a maximum elevation of approximately 950 feet. EastLake Trails would receive recycled water from the existing 950 Zone distribution system via existing recycled water mains in Otay Lakes Road and Hunte Parkway. Water from the city of San Diego plant would be pumped up to the proposed 680 Zone Recycled Reservoir to be located in EastLake Greens. The District would have the option of pumping recycled water from the 680 Zone reservoir to supply the 950 Zone demands.

Recycled water requirements for the project will be coordinated by the Otay Water District and the city of Chula Vista. The phased construction of potable and recycled water facilities, based on the District-approved master plans, will be incorporated into the Public Facilities Financing Plan and/or subdivision map conditions for the project to assure timely provision of required facilities.

II.8.4 WATER CONSUMPTION

This section presents information on the anticipated water demand of development within the EastLake Trails SPA. Table 3, below, estimates the resident population within the SPA for water consumption estimating purposes. Table 4, on the following page, shows the projected water use within the SPA, based on average use rates which do not reflect significant conservation measures, categorized according to land use and residential density based on the population estimates of Table 3. The primary unit of measure for water quantity used for comparison in this report is gallons per capita per day (gpcpd). This can be multiplied by the estimated number of persons per dwelling unit (DU) to obtain the gallons per day per dwelling unit. The number of persons per dwelling unit varies with the type of unit (single family detached, attached, apartment, *etc.*), as shown in Table 3.

The total projected average water use, without conservation measures, for projects within the EastLake Trails SPA is 0.559 million gallons per day (MGD). The ability to use recycled water to irrigate large areas within the EastLake Trails SPA is being built into the project, and is addressed separately, as it is not directly a part of the residential development. Approximately 0.110 MGD (20%) of the total water need could be satisfied by using recycled water. The focus of this report is to describe conservation measures for reducing the projected 0.449 MGD potable water use within the residential development.

Table 3

**EastLake Trails SPA
Estimated Population**

| Residential Product Type | Units (DU) | Household Size | Population |
|---------------------------------|-------------------|-----------------------|-------------------|
| Single Family Detached | 957 | 3.0 | 2,871 |
| Attached Medium Density | 186 | 2.5 | 465 |
| TOTALS | 1,143 DU | 2.9 avg. | 3,336 |

Table 4
EastLake Trails SPA
Projected Water Use

| Land Use | Population/Units | Consumption Rate | Water Use (MGD) |
|--|-------------------------|-----------------------------|-----------------|
| Single Family Detached Residential | 2,871 persons | 130 gal/pers/day | 0.373 |
| Attached Medium Density Residential | 465 persons | 110 gal/pers/day | 0.051 |
| Residential Subtotal | 3,336 persons | | 0.424 |
| Elementary School: Potable Irrigation | 800 students 5 acres | 15 gal/std/day 3.0 ft/yr | 0.012 0.014* |
| Community Center/Gym | 5 acres | 2,500 gal/ac/day | 0.013 |
| Ballfields/Improved Parkland | 20 acres | 3.0 ft/yr | 0.050* |
| Drought Tolerant Landscaping | 25 acres | 2.0 ft/yr | 0.046* |
| Total Permanent Potable Use | | | 0.449 |
| Total Potential Recycled Use | | | 0.110 |
| Total Water Use | | | 0.559 |
| Average per capita use: 168 gal/day | | | |

*Areas with potential to be irrigated with recycled water.

II.8.5 WATER CONSERVATION MEASURES

Implementing water conservation measures before a project is constructed provides an opportunity to include measures which might not otherwise be practical. Many of the measures described here could be prohibitively expensive to retro-fit to existing residences, but can be cost effective if included with the initial construction. In addition, moving in to a new home provides a major opportunity to change habits and attitudes while adjusting to the new home/environment.

The potential water savings for each of the conservation measures which have been and will continue to be implemented in development within the EastLake Trails SPA are shown in Table 5 in units of gallons per capita per day (gpcpd), and can be multiplied by the number of people per dwelling unit (DU) to determine the water savings for each household. Water savings are relative to other newer homes without water conservation devices; much higher water savings can be shown if the proposed measures are compared to older residential units.

A. Indoors

Ultra-Low Flow Toilet - The ultra low flow toilet uses 1.6 gallons per flush, compared to the current requirement of 3.5 gal/flush, or the older standard of 5 to 7 gal/flush. Since the toilet is the largest single inside use of water (40%), large savings can be realized by using the ultra-low flow toilets.

Ultra-Low Flow Shower Head - The ultra-low flow shower head reduces the flow from the current standard of 3.5 to 2 gpm. Older shower heads flow from 3 to 5 gpm. The ultra-low flow shower head saves about 5 gpcpd for a minimal extra cost of approximately \$3.00.

Low Flow Faucet & Faucet Aerator - Faucet aerators give the appearance and feel of greater flow, so less water is used. When combined with a low flow faucet, the difference between a water conserving fixture and a stand fixture may not be noticeable. Many new homes already come with aerators, so the actual savings is shown ranging from 0 to 0.5 gpcpd. Although the savings is small, the additional cost is low, so their use is economical. There is also potential savings in energy through reduced use of hot water.

Hot Water Pipe Insulation - By insulating the hot water pipes and separating the hot and cold lines to reduce heat exchange, the time the faucet is allowed to flow while waiting for the water to become hot is reduced. The cost for insulating the pipes exceeds the value of water saved, but the cost is relatively low, and it is simple to do while the unit is under construction. The potential energy savings with insulation can be significant.

Pressure Reducing Valve - A pressure reducing valve at the water hook-up for each residence can reduce the flow rate by reducing the pressure in the lines. Normal pressures for residential use range from 40 to 80 psi; the optimum is a range of 50 to 60 psi allowing

a normal flow of 3 gpm. The amount of potential savings depends on the line pressure available, and ranges from 0 to 3 gpcpd.

Water Efficient Dishwasher - New water efficient dishwashers can save as much as 6 gallons per cycle over older models. Newer models tend to be more efficient, so the actual amount of water saved will depend on the type of dishwasher proposed.

Water Efficient Clothes Washers - The relationship between water efficiency and cost of the appliance for the clothes washer is the same as with the dishwasher. Since the clothes washer uses more water, the potential savings is greater. The major difference with the clothes washer is that it is normally supplied by the owner, and would therefore be difficult to mandate the use of more efficient and costly machines, especially since the cost increase exceeds the value of the water saved. Home builders will advise and assist homeowners in their selection of an efficient machine.

B. Outdoors

Efficient Irrigation System - As much as 50% of total water use is outside the home for a single family detached residence with large turf areas. Most residential landscaping is over-watered, so the potential savings with efficient, timed sprinklers and micro irrigation systems is very large. All builder installed common area/slope irrigation within the EastLake Trails SPA will be water efficient. Drip irrigation systems will be utilized where appropriate. The master developer requires each home builder to provide a low water use landscaping example within each model complex to demonstrate the concept and methods water conservation in landscaping to prospective homebuyers. This is one component of an education program intended to encourage homeowners to install efficient irrigation systems and drought tolerant plant material in their own homes. A Homeowner's Guide to Drought Tolerant Landscape is also distributed to all new home buyers to provide information on irrigation systems and low water use landscaping.

Low Water Use Landscaping - The largest potential for reducing outside water use is to decrease the water demand by using low-water use, drought-tolerant landscaping. Turf areas require large amounts of water, so restricting the area of turf will have a significant impact. As noted above, builders are required to provide examples of front yards which have reduced turf areas and utilize drought-tolerant plant materials. A Homeowner's Guide to Drought Tolerant Landscape will be distributed to all new home buyers to educate and encourage similar homeowner installed landscape design and materials.

General Water Conservation - In addition to the physical measures to reduce water consumption, a general water conservation program will be enforced to reduce waste. Guidelines and educational materials will be distributed to all new homeowners. Water waste, particularly common area over-watering, may be monitored by the homeowners' association(s), where available.

Water Recycling - Water recycling conserves large amounts of potable water used for irrigation. The major opportunities for irrigation with recycled water are the parks, major streetscapes, parks, large open space areas, and the field area of the schools. Recycled water mains have been installed to deliver water to these sites from the water recycling plant operated by the Otay Water District. The decision to utilize recycled water will lie with the respective property owners, the city of Chula Vista and school districts. Recycled water is currently being utilized to irrigate the golf course in EastLake Greens, across Hunte Parkway from the EastLake Trails site. In addition, the amount and timing of irrigation is controlled by a computerized "weather station" which determines the appropriate amount of water based on current climatic conditions. The use of recycled water on all potential sites could result in a 20% reduction in potable water use in the EastLake Trails SPA (see Table 4).

Water Use During Construction - Water conservation measures can also be implemented during the construction/grading process. The three primary uses are: dust abatement; soil compaction; and, street washing. Since the imposition of Stage 2 water conservation requirements by the Otay Water District, water conservation has been incorporated in EastLake construction activities, as appropriate. Water use has been limited to that necessary for proper soil compaction; soiled streets have been swept instead of washed. Recycled water could be used for these grading activities, when it is available.

The use of native/naturalized plant materials on graded slopes in open space will reduce the need for irrigation in the future. Open space slopes within the EastLake Trails SPA are or will be planted with drought tolerant plant materials to reduce the need for irrigation and maintenance.

C. Typical Water Conservation Plan

Table 5 on the following page summarizes the typical conservation measures to be implemented in the EastLake Trails SPA. Items listed in the top portion of the table will be included in the residential projects within the SPA. As noted above, utilization of recycled water for public areas such as parks, school yards, and major street landscaping will be determined by the responsible public agency.

As indicated in Table 5, a total water savings of 0.280 MGD or approximately 50% of the estimated potable water use without conservation is projected with full implementation of the water conservation measures specified in this plan.

Table 5

EastLake Trails SPA
 Typical Water Conservation Measures

| Conservation Measure | Function | Water Savings | | |
|---|---|-------------------------|----------------------|------------------------|
| | | Per capita (gal/day) | For Project (MGD) | Per DU (gal/day/du) |
| <u>Inside</u> Ultra-low flow toilet (1.6 gal/flush) | Reduce flush volume | 10 | 0.033 | 29 |
| Ultra-low flow shower head (2 gpm) | Reduce shower flow rate | 5 | 0.017 | 14 |
| Low flow faucet w/ aer- ator | Appearance & feel of greater flow | 0- <u>0.5</u> | 0.002 | 1 |
| Hot water pipe insula- tion | Reduces warm-up time | 0- <u>2</u> | 0.007 | 6 |
| Water hook-up pressure reducing valve | Reduces pressure & flow rate | 0- <u>3</u> | 0.010 | 9 |
| Water efficient dish- washer | Reduce water re- quirement | 0- <u>1</u> | 0.003 | 3 |
| Water efficient clothes washer | Reduce water re- quirement | 0- <u>1.5</u> | 0.005 | 4 |
| <u>Outside</u> Efficient sprinklers & drip irrigation | Increase irrigation efficiency | 10 | 0.033 | 29 |
| Low water use landscap- ing | Low water demand | 15 | 0.050 | 43 |
| General conservation | Reduce waste | 0- <u>3</u> | 0.010 | 9 |
| Subtotal | | | 0.170 | |
| <i>Water Recycling</i> | <i>Replace Potable Irri- gation Water</i> | -- | <i>0.110</i> | -- |
| PROJECT TOTALS | | 51 | 0.280 | 149 |

D. Implementation/Monitoring

Implementation of the Water Conservation Plan shall be primarily the responsibility of the Master Developer. The Master Developer will establish requirements and guidelines for merchant builders and provide educational materials and guidance to new homeowners. The Master Developer will also install drought tolerant landscaping, approved by the City, in selected streetscapes and open space areas. The Master Developer will also require the inclusion of drought tolerant plant materials and efficient irrigation systems in the majority of builder installed landscaping.

A significant responsibility will also rest with the city of Chula Vista to ensure/enforce the provisions of this plan, specifically the Planning Department. The department will review plan submittals to ensure that water conservation measures are properly included, and approve planting and irrigation plans for public parks and open space.

Mains and laterals for recycled water will be installed with the major road and infrastructure improvements. The provision of recycled water is the responsibility of the Otay Water District, which will also be responsible for enforcing water quality regulations. The determination to use recycled water for irrigation purposes rests with the City for public parks and open space areas, and the Chula Vista Elementary School District, for the elementary school site.

In order to ensure that all provisions of this plan are met, the standard review of landscape and construction documents performed by the City will include an evaluation of compliance with the provisions of this Water Conservation Plan. This approach will allow for a formal determination by the City that each of the required measures are implemented. Future discretionary or administrative actions with regard to development within the EastLake Trails SPA (*e.g.*, tentative map, building or grading permit, *etc.*) may be utilized to address or ensure compliance with the prescribed water conservation measures.

E. References

American Water Works Association; WaterWiser - 1998 Water Use Summary; August 1998.

Cinti Land Planning; Proposed SPA Plan for EastLake Trails; rev. August 1, 1998

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Metropolitan Water District of Southern California; Final Draft Regional Urban Water
Management Plan. July 1990.

RECON; Draft EastLake Trails/Greens Replanning Program Subsequent EIR; July 1998.

Willdan Associates and Bud Gray; Draft Growth Management Program - City of Chula
Vista. August 1990.

F. Appendix

None.