

Otay Ranch Village Eleven

II.1 Record of SPA & GDP Amendments

This section is reserved for the addition of SPA and GDP Amendments that may occur in the future.

RESOLUTION NO. 2003-230

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
CHULA VISTA APPROVING AN AMENDMENT TO THE
OTAY RANCH VILLAGE 11 SECTIONAL PLANNING AREA
(SPA) PLAN TO AMEND THE SITE UTILIZATION PLAN

WHEREAS, the property which is the subject matter of this resolution is identified as Exhibit "A" attached hereto and described on Chula Vista Tract 01-11A, and is commonly known as Village 11 ("Property"); and

WHEREAS, a duly verified application to amend the Otay Ranch Village 11 SPA Plan was filed with the City of Chula Vista Planning and Building Department on July 29, 2002 by Brookfield Shea Otay LLC, ("Applicant"); and

WHEREAS, the development of the Property has been the subject matter of a Sectional Planning Area Plan ("SPA Plan") previously approved by the City Council on October 23, 2001 by Resolution No. 2001-363, wherein the City Council, in the environmental evaluation of said Village 11 SPA Plan relied in part on the original Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, Final Environmental Impact Report ("FEIR 01-02"); and

WHEREAS, the City's Environmental Review Coordinator has reviewed the proposed project for compliance with the California Environmental Quality Act and has determined that the proposed project was adequately covered in previously adopted Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan FEIR 01-02. Thus, no further environmental review or documentation is necessary; and

WHEREAS, the Planning Commission set the time and place for a hearing on said Otay Ranch Sectional Planning Area (SPA) One Plan amendment (PCM-03-06) and notice of said hearing, together with its purpose, was given by its publication in a newspaper of general circulation in the City and its mailing to property owners within 500 feet of the exterior boundaries of the project site at least ten days prior to the hearing; and

WHEREAS, the hearing was held at the time and place as advertised, namely 6:00 p.m. on May 14, 2003, in the Council Chambers, 276 Fourth Avenue, before the Planning Commission and said hearing was thereafter closed.

WHEREAS, by a vote of 4-0-0-2, the Planning Commission recommended approval of the project; and

WHEREAS, a public hearing was scheduled before the City Council of the City of Chula Vista on the Otay Ranch Village 11 SPA Amendment to amend the Village 11 SPA Plan, Site Utilization Plan by transferring one dwelling unit from Neighborhood R-1 to Neighborhood R-2.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Chula Vista does hereby find, determine, resolve and order as follows:

I. PLANNING COMMISSION RECORD

The proceedings and all evidence introduced before the Planning Commission at the FEIR public hearing held on May 14, 2003, and the minutes and resolutions resulting therefrom,

are hereby incorporated into the record of this proceeding. These documents, along with any documents submitted to the decision makers, shall comprise the entire record of the proceedings for any California Environmental Quality Act (CEQA) claims.

II. ACTION

The City Council hereby amends the Village 11 SPA Plan, Site Utilization Plan by transferring one dwelling unit from Neighborhood R-1 to Neighborhood R-2 as set forth on Exhibit "B", attached hereto, finding it is consistent with the City of Chula Vista General Plan, the Otay Ranch General Development Plan (GDP), and all other applicable plans, and that the public necessity, convenience, general welfare and good planning and zoning practice support the FEIR approval and implementation.

III. CERTIFICATION OF COMPLIANCE WITH CEQA

The City Council hereby finds that the project, as described and analyzed in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, would have no new effects that were not examined in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, [Guideline 15168 (c)(2)].

IV. CEQA FINDING REGARDING PROJECT WITHIN SCOPE OF PRIOR FEIR

The City Council hereby finds that: (1) there were no substantial changes in the project which would require revisions of said report; (2) no substantial changes have occurred with respect to the circumstances under which the project is undertaken since certification of FEIR 01-02; (3) and no new information of substantial importance to the project has become available since the issuance and approval of FEIR 01-02; and that, therefore, no new effects could occur or no new mitigation measures will be required in addition to those already in existence and made a condition for project implementation. Therefore, the City Council approves the project as an activity that is within the scope of the project covered by the FEIR 01-02 [Guideline 15168 (c)(2) and 15162 (a)].

V. INDEPENDENT JUDGMENT OF CITY COUNCIL

The City Council hereby finds that the proposed project was adequately covered in previously adopted Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02. Thus, no further environmental review or documentation is necessary.

VI. INCORPORATION OF ALL CONDITIONS, MITIGATION MEASURES AND ALTERNATIVES

The City Council does hereby re-adopt and incorporate herein as conditions for this approval all applicable conditions, mitigation measures and alternatives, as set forth in the findings adopted in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, and Village 11 SPA Plan document.

VII. NOTICE WITH LATER ACTIVITIES

The City Council gave notice, to the extent required by law, that this project was fully described and analyzed and is within the scope of the Otay Ranch GDP Amendment/ Village 11 Sectional Planning Area Plan, FEIR 01-02, adequately describes and analyzes this project for the purposes of CEQA [Guideline 15168 (e)].

VIII. SECTIONAL PLANNING AREA (SPA) PLAN FINDINGS

The proposed project is consistent with the Otay Ranch Village 11 Sectional Planning Area Plan for the following reasons:

A. THE PROPOSED SECTIONAL PLANNING AREA PLAN IS IN CONFORMITY WITH THE GENERAL DEVELOPMENT PLAN OF THE P-C ZONE, ANY ADOPTED SPECIFIC PLANS, AND THE CITY OF CHULA VISTA GENERAL PLAN AND ITS SEVERAL ELEMENTS.

The request to amend the Village 11 SPA Plan, Site Utilization Plan by transferring one dwelling unit from Neighborhood R-1 to Neighborhood R-2 reflects the land uses, circulation system, open space and recreational uses, and public facility uses consistent with the Otay Ranch General Development Plan and Chula Vista General Plan.

B. THE PROPOSED SETIONAL PLANNING AREA PLAN WOULD PROMOTE THE ORDERLY, SEQUENTIALIZED DEVELOPMENT OF THE INVOLVED SECTIONAL PLANNING AREA.

The Otay Ranch Village 11 SPA Plan amendment contains provisions and requirements to ensure the orderly, phased development of the project. The amendment does not modify any phased development of the project and must comply with all development phase thresholds identified in the Otay Ranch Village 11 SPA Plan.


C. THE PROPOSED SETIONAL PLANNING AREA PLAN WOULD NOT ADVERSELY AFFECT ADJACENT LAND USE, RESIDENTIAL ENJOYMENT, CIRCULATION OR ENVIRONMENTAL QUALITY.

The land uses within Otay Ranch are designed to promote pedestrian-oriented neighborhoods. The amendment does not modify any surrounding land uses and is consistent with the residential land use policies as required by the General Plan and Otay Ranch General Development Plan. A comprehensive street network serves the project and provides for access to off-site adjacent properties. The proposed plan will be required to implement all mitigation measures specified in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02. These mitigation measures will minimize or reduce any identified impacts to land use, circulation and environmental quality.

Presented by

Approved as to form by


Robert A. Leiter
Planning and Building Director



Ann Moore
City Attorney

PASSED, APPROVED, and ADOPTED by the City Council of the City of Chula Vista, California, this 27th day of May, 2003, by the following vote:

AYES: Councilmembers: Davis, McCann, Rindone, Salas and Padilla

NAYS: Councilmembers: None

ABSENT: Councilmembers: None


Stephen Padilla, Mayor

ATTEST:

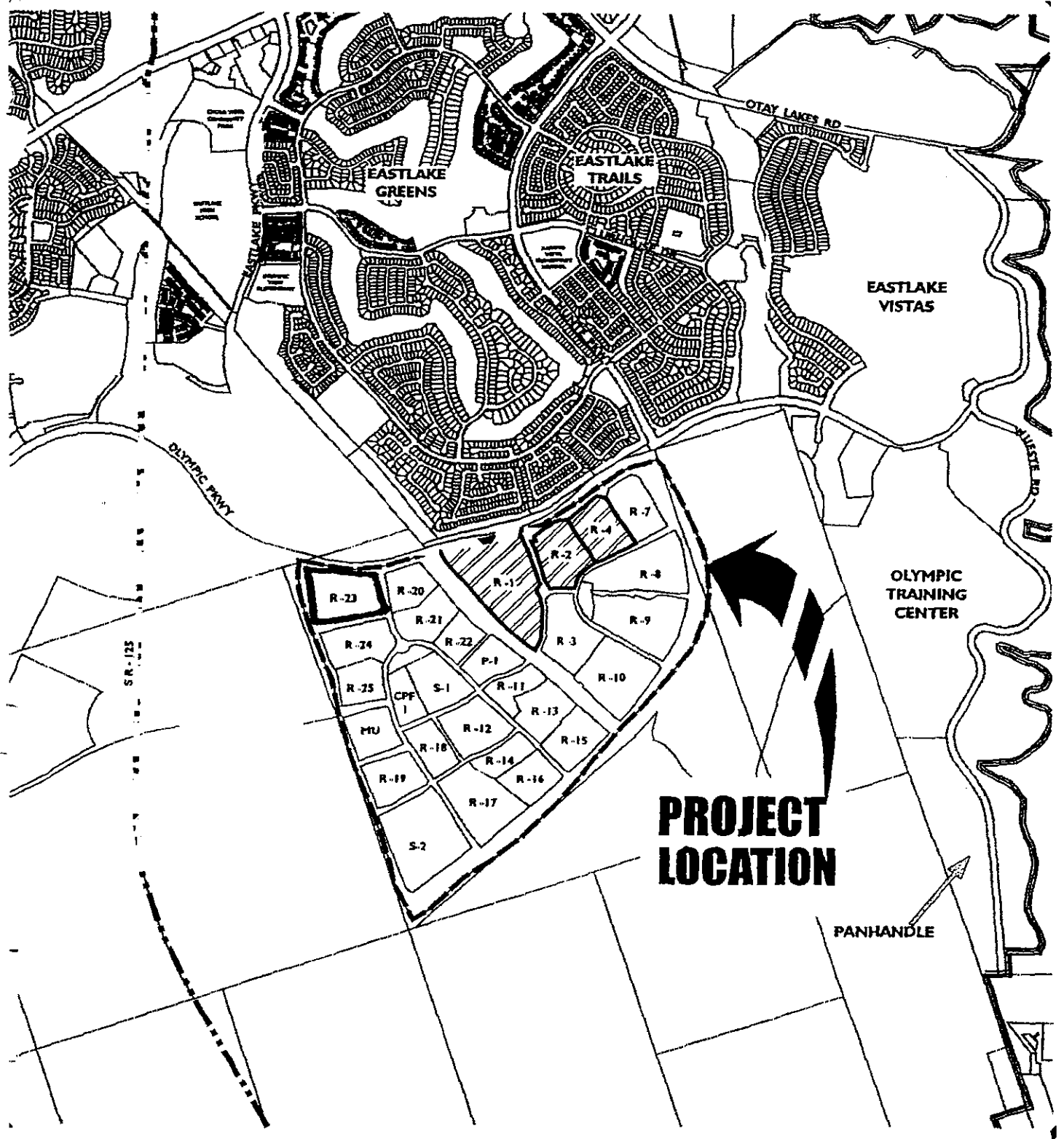

Susan Bigelow, City Clerk

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO)
CITY OF CHULA VISTA)

I, Susan Bigelow, City Clerk of Chula Vista, California, do hereby certify that the foregoing Resolution No. 2003-230 was duly passed, approved, and adopted by the City Council at a regular meeting of the Chula Vista City Council held on the 27th day of May, 2003.

Executed this 27th day of May, 2003.


Susan Bigelow, City Clerk



CHULA VISTA PLANNING AND BUILDING DEPARTMENT

LOCATOR



NORTH

PROJECT APPLICANT: BROOKFIELD SHEA OTAY, LLC.

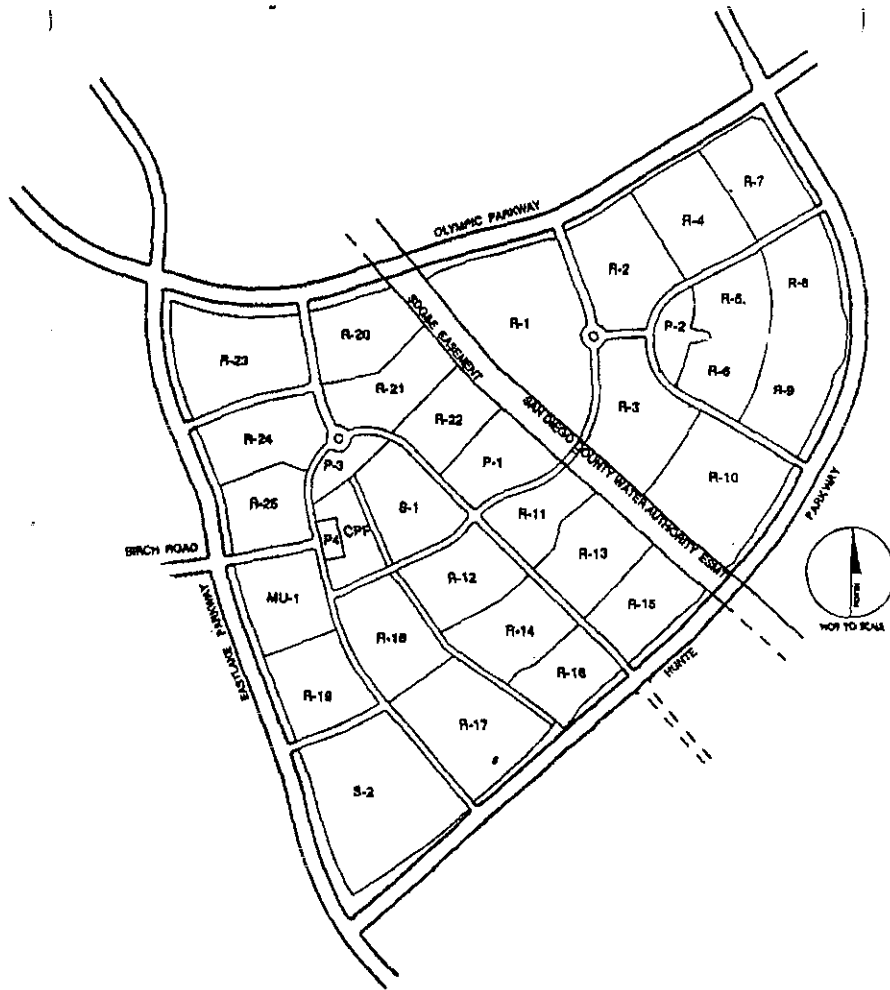
PROJECT ADDRESS: OTAY RANCH GDP, VILLAGE 11 OF OR VALLEY

SCALE: No Scale

FILE NUMBER: PCM-03-06

PROJECT DESCRIPTION: MISCELLANEOUS

Request: Village 11 Tentative Map revision to increase R1, R4 and maintenance of R2 at 47 units as shown on approved TM. R1 and R4 increases are within number of units approved in the SPA. TM revision includes grading improvements to lessen transport of cut and fill materials between areas to the east and west of the SDG&E/SDCWA easement.



NEIGHBORHOOD AREA	LAND USE	APPROX. GROSS ACREAGE	TARGET DU'S/AC	DWELLING UNITS
R-1	SF	28.7	8.1	163
R-2	SF	14.2	3.3	47
R-3	SF	15.3	3.0	46
R-4	SF	12.4	4.4	55
R-5	SF	7.5	5.0	37
R-6	SF	7.5	4.7	35
R-7	SF	11.4	6.1	70
R-8	SF	11.2	5.7	64
R-9	SF	11.6	5.2	60
R-10	SF	16.0	4.8	86
R-11	SF	7.7	4.7	36
R-12	SF	11.1	6.2	66
R-13	SF	11.4	4.6	63
R-14	SF	11.0	8.1	58
R-15	SF	10.3	6.6	68
R-16	SF	8.6	7.3	62
SUBTOTAL	SF	196.8	6.1	996
R-17	MF	16.6	6.0	118
R-18	MF	12.5	12.5	125
R-19	MF	11.6	18.0	167
R-20	MF	10.8	8.0	78
R-21	MF	10.5	12.5	112
R-22	MF	8.4	15.0	105
R-23	MF	16.8	8.0	119
R-24	MF	10.2	16.0	160
R-25	MF	10.0	25.0	200
SUBTOTAL	MF	109.1	10.8	1,193
MU	MU	10.0	11.5	115
SUBTOTAL	RES.	314.9		2,304
MU-1	COMM.	10.0		
SUBTOTAL	COMM.	10.0		
CPF	CPF	5.5		
SUBTOTAL	CPF	6.6		
P-1	PARK	8.9		
P-2	PARK	3.8		
P-3	PARK	3.0		
P-4	PARK	1.0		
SUBTOTAL	PARK	16.7		
S-1 / K-8	SCHOOL	11.0		
S-2 / Jr. HS	SCHOOL	25.8		
SUBTOTAL	SCHOOL	36.8		
Hunte Parkway	ROAD	24.2		
Olympic Parkway	ROAD	9.3		
Eastlake Parkway	ROAD	7.2		
W Circulation St	ROAD	17.4		
E Circulation St	ROAD	8.1		
SUBTOTAL	ROAD	66.2		
Green Buffer	O.S.	27.6		
Eastmt thru Property	O.S.	18.6		
Pasco Area in West	O.S.	1.5		
Pasco Area in East	O.S.	1.3		
SUBTOTAL	O.S.	49.2		
TOTAL		489		

2,304

Exhibit II.2.2-3
Village Eleven SPA Site Utilization Plan

May 27, 2003

EXHIBIT "B"

RESOLUTION NO. 2003-231

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHULA VISTA APPROVING A REVISED TENTATIVE SUBDIVISION MAP FOR OTAY RANCH VILLAGE ELEVEN TO SUBDIVIDE NEIGHBORHOOD R-23 AND UTILIZE UNUSED VILLAGE ELEVEN SPA DWELLING UNITS IN NEIGHBORHOODS R-1 AND R-4 (CHULA VISTA TRACT 01-11A)

WHEREAS, the property which is the subject matter of this resolution is identified as Exhibit "A" attached hereto and described on Chula Vista Tract 01-11A, and is commonly known as Village 11 ("Property"); and

WHEREAS, a duly verified application for the Otay Ranch Village 11 Revised Tentative Subdivision Map (C.V.T. 01-11A) was filed with the City of Chula Vista Planning and Building Department on July 29, 2002 by Brookfield Shea Otay LLC, ("Applicant"); and

WHEREAS, the application requested the approval for the subdivision of approximately 42.7 acres located on the south side of Olympic Parkway, east of the future extension of Hunte Parkway, west of future extension of Eastlake Parkway and north of future University site in Phase One of the Village 11 SPA area; and

WHEREAS, the development of the Property has been the subject matter of a Tentative Subdivision Map ("C.V.T. 01-11") previously approved with Tentative Map conditions by the City Council on October 23, 2001 by Resolution No. 2001-364, wherein the City Council, in the environmental evaluation of said Village 11 SPA Plan relied in part on the original Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, Environmental Impact ("FEIR 01-02"); and

WHEREAS, the City's Environmental Review Coordinator has reviewed the proposed project for compliance with the California Environmental Quality Act and has determined that the proposed project was adequately covered in previously adopted Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan FEIR 01-02. Thus, no further environmental review or documentation is necessary; and

WHEREAS, the Planning Commission set the time and place for a hearing on said Otay Ranch Village 11 Revised Tentative Subdivision Map (PCS-03-02) and notice of said hearing, together with its purpose, was given by its publication in a newspaper of general circulation in the city and its mailing to property owners within 500 feet of the exterior boundaries of the Project site at least ten days prior to the hearing; and

WHEREAS, the hearing was held at the time and place as advertised, namely 6:00 p.m. on May 14, 2003, in the Council Chambers, 276 Fourth Avenue, before the Planning Commission and said hearing was thereafter closed.

WHEREAS, by a vote of 4-0-2, the Planning Commission recommended approval of the project; and

WHEREAS, a public hearing was scheduled for May 27, 2003 before the City Council of the City of Chula Vista on said Otay Ranch Village 11 Revised Tentative Subdivision Map (PCS-03-02).

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Chula Vista does hereby find, determine, resolve and order as follows:

I. PLANNING COMMISSION RECORD

The proceedings and all evidence introduced before the Planning Commission at the public hearing held on May 14, 2003, and the minutes and resolutions resulting therefrom, are hereby incorporated into the record of this proceeding. These documents, along with any documents submitted to the decision makers, shall comprise the entire record of the proceedings for any California Environmental Quality Act (CEQA) claims.

II. ACTION

The City Council hereby adopts said Otay Ranch Village 11 Revised Tentative Subdivision Map (PCS-03-02), which will remain subject to the Tentative Map conditions approved by the City Council on October 23, 2001 pursuant to Resolution No. 2001-364, to subdivide Neighborhood R-23 and utilize unused Village 11 SPA dwelling units in Neighborhoods R-1 and R-4 finding it is consistent with the City of Chula Vista General Plan, the Otay Ranch General Development Plan, and amended Otay Ranch Village 11 SPA Plan (PCM-03-06) and all other applicable plans, and that the public necessity, convenience, general welfare and good planning and zoning practice support the approval and implementation.

III. CERTIFICATION OF COMPLIANCE WITH CEQA

The City Council hereby finds that the Project, as described and analyzed in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, would have no new effects that were not examined in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, [Guideline 15168 (c)(2)].

IV. CEQA FINDING REGARDING PROJECT WITHIN SCOPE OF PRIOR FEIR

The City Council hereby finds that: (1) there were no substantial changes in the Project which would require revisions of said report; (2) no substantial changes have occurred with respect to the circumstances under which the Project is undertaken since certification of FEIR 01-02; (3) and no new information of substantial importance to the Project has become available since the issuance and approval of FEIR 01-02; and that, therefore, no new effects could occur or no new mitigation measures will be required in addition to those already in existence and made a condition for Project implementation. Therefore, the City Council approves the Project as an activity that is within the scope of the project covered by FEIR 01-02 [Guideline 15168 (c)(2) and 15162 (a)].

INDEPENDENT JUDGMENT OF CITY COUNCIL

The City Council hereby finds that the proposed project was adequately covered in previously adopted Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02. Thus, no further environmental review or documentation is necessary.

VI. INCORPORATION OF ALL CONDITIONS, MITIGATION MEASURES AND ALTERNATIVES

The City Council hereby re-adopts and incorporates herein as conditions for this approval all applicable conditions, mitigation measures and alternatives, as set forth in the findings adopted in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, and Village 11 SPA Plan document.

VII. NOTICE WITH LATER ACTIVITIES

The City Council gave notice, to the extent required by law, that this Project was fully described and analyzed and is within the scope of the Otay Ranch GDP Amendment/ Village 11 Sectional Planning Area Plan, FEIR 01-02, adequately describes and analyzes this project for the purposes of CEQA [Guideline 15168 (e)].

VIII. TENTATIVE SUBDIVISION MAP FINDINGS

Pursuant to Government Code Section 66473.5 of the Subdivision Map Act, the City Council finds that the Otay Ranch Village 11 Revised Tentative Subdivision Map (C.V.T. 01-11A) herein for Applicant, is in conformance with all the various elements of the City's General Plan, the Otay Ranch General Development Plan and the amended Village 11 Sectional Planning Area (SPA) Plan, based on the following:

1. Land Use

The Project is in a planned community that provides single-family residential uses, parkland uses, school uses, and open space. The Project is also consistent with General Plan, Otay Ranch GDP, and amended Otay Ranch Village 11 Sectional Planning Area (SPA) Plan policies related to grading and landforms.

2. Circulation

All of the on-site and off-site public and private improvements required to serve the subdivision are part of the project description or are conditioned consistent with the Otay Ranch General Development Plan, and the amended Village 11 SPA Plan. The Applicant shall construct those facilities in accordance with City and Village 11 Sectional Planning Area (SPA) Plan standards.

3. Housing

An affordable housing agreement between the City and the Otay Ranch Company (Master Developer) has been executed and is applicable to subject Project providing for low and moderate-income households.

4. Parks, Recreation and Open Space

Parks, recreation and open space obligations are conditioned under previously adopted and still applicable Tentative Map conditions. Construction of Park and open space and programmable recreation facilities are the responsibility of the Applicant.

5. Conservation

The preceding Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, addressed the goals and policies of the Conservation Element of the General Plan and found development of this site to be consistent with these goals and policies. The Otay Ranch Phase Two Resource Management Plan requires conveyance of 1.188 acres of land to the Otay Ranch Preserve for every one-acre of developed land prior to approval of any Final Map.

6. Seismic Safety

The proposed subdivision is in conformance with the goals and policies of the Seismic Element of the General Plan for this site. No seismic faults have been identified in the vicinity of the Project according to the Otay Ranch SPA One Geotechnical Reconnaissance Report.

7. Public Safety

All public and private facilities are expected to be reachable within the threshold response times for fire and police services.

8. Public Facilities

The Applicant will provide all on-site and off-site streets, sewers and water facilities necessary to serve this Project. The developer will also contribute to the Otay Water District's improvement requirements to provide terminal water storage for this Project as well as other major projects in the eastern territories.

9. Noise

The Project will include noise attenuation walls pursuant to an approved Acoustical Noise Study for the project. In addition, all units are required to meet the standards of the Uniform Building Code with regard to acceptable interior noise levels.

10. Scenic Highway

The roadway design provides wide landscaped buffers along Olympic Parkway the only General Plan, GDP/SRP scenic highways adjacent to the Project.

11. Bicycle Routes

The Project is required to provide on-site bicycle routes as indicated in the regional circulation system of the General Plan and the Otay Ranch GDP.

12. Public Buildings

Public buildings are not proposed on the Project site as part of the community purpose facility locations. The Project is subject to appropriate residential fees prior to issuance of building permits.

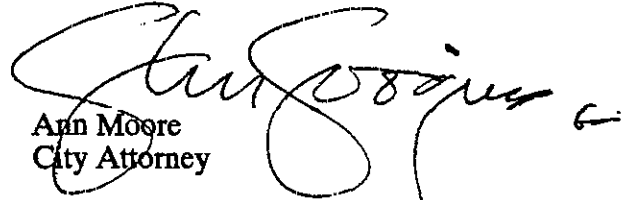
The conditions herein imposed on the grant of permit or other entitlement herein contained is approximately proportional both in nature and extent to the impact created by the proposed development.

Presented by

Approved as to form by



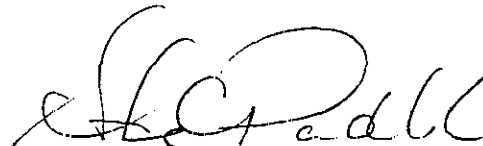
Robert A. Leiter
Planning and Building Director



Ann Moore
City Attorney

PASSED, APPROVED, and ADOPTED by the City Council of the City of Chula Vista, California, this 27th day of May, 2003, by the following vote:

AYES:	Councilmembers:	Davis, McCann, Rindone, Salas and Padilla
NAYS:	Councilmembers:	None
ABSENT:	Councilmembers:	None


Stephen Padilla, Mayor

ATTEST:

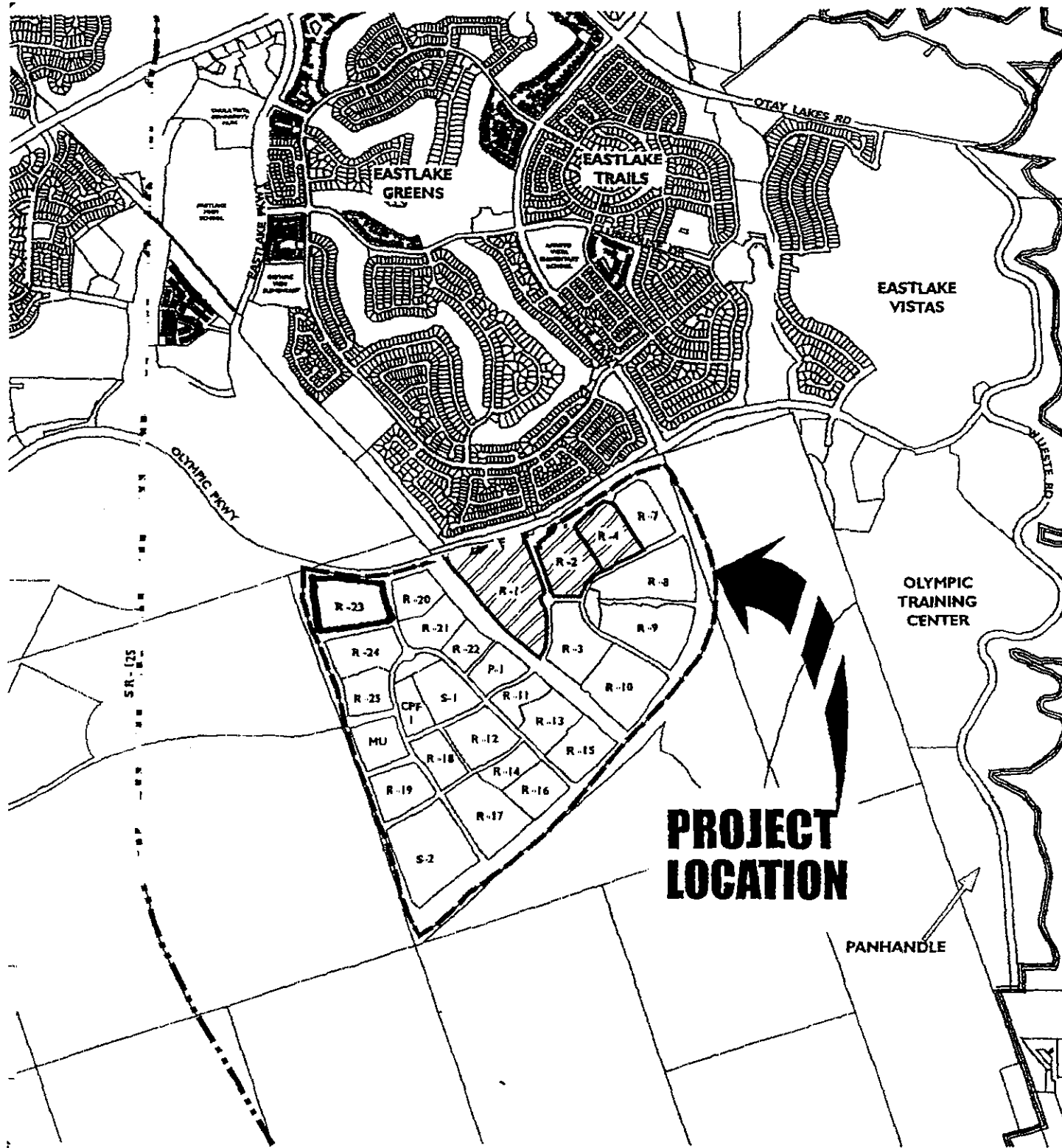

Susan Bigelow, City Clerk

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO)
CITY OF CHULA VISTA)

I, Susan Bigelow, City Clerk of Chula Vista, California, do hereby certify that the foregoing Resolution No. 2003-231 was duly passed, approved, and adopted by the City Council at a regular meeting of the Chula Vista City Council held on the 27th day of May, 2003.

Executed this 27th day of May, 2003.


Susan Bigelow, City Clerk



CHULA VISTA PLANNING AND BUILDING DEPARTMENT

LOCATOR



NORTH

PROJECT APPLICANT: **BROOKFIELD SHEA OTAY, LLC.**

PROJECT ADDRESS: **OTAY RANCH GDR, VILLAGE 11 OF OR VALLEY**

SCALE: **No Scale**

FILE NUMBER: **PCM-03-06**

PROJECT DESCRIPTION:

MISCELLANEOUS

Request: Village 11 Tentative Map revision to increase R1, R4 and maintenance of R2 at 47 units as shown on approved TM. R1 and R4 increases are within number of units approved in the SPA. TM revision includes grading improvements to lessen transport of cut and fill materials between areas to the east and west of the SDG&E/SDCWA easement.

ORDINANCE NO. 2917

**ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
CHULA VISTA APPROVING AN AMENDMENT TO THE
OTAY RANCH VILLAGE ELEVEN SECTIONAL PLANNING
AREA PLAN TO ADD LANGUAGE TO THE PLANNED
COMMUNITY DISTRICT REGULATIONS**

WHEREAS, the property which is the subject matter of this ordinance is identified as Exhibit "A" attached hereto and described on Chula Vista Tract 01-11A, and is commonly known as Village 11 ("Property"); and

WHEREAS, a duly verified application to amend the Otay Ranch Village 11 SPA Plan Planned Community District Regulations was filed with the City of Chula Vista Planning and Building Department on July 29, 2002 by Brookfield Shea Otay LLC, ("Applicant"); and

WHEREAS, the amendment to the Otay Ranch SPA One Planned Community District Regulations is intended to ensure that the Otay Ranch SPA One Plan is prepared in accordance with the Otay Ranch General Development Plan (GDP), to implement the City of Chula Vista General Plan for eastern Chula Vista, to promote the orderly planning and long term phased development of the Otay Ranch GDP and to establish conditions which will enable the amended Otay Ranch Village 11 SPA Plan area to exist in harmony within the community ("Project"); and

WHEREAS, the amended Otay Ranch SPA One Planned Community District Regulations and Zoning District Map is established pursuant to Title 19 of the Chula Vista Municipal Code, specifically Chapter 19.48 (PC) Planned Community Zone, and are applicable to the Otay Ranch Village 11 Site Utilization Plan of the amended Village 11 SPA Plan; and

WHEREAS, the amended Otay Ranch SPA One Planned Community District Regulations enhances the pedestrian-oriented neighborhood design in the village by adding footnotes to the Planned Community (PC) District Regulations, Table II.3.3-2, "Residential Property Development Standards", to allow reduced minimum lot widths and reduced front yard setbacks for a "z-lot" and "zero lot-line" single-family design concept. The applicant proposes to apply for implementation of the z-lot configuration in Neighborhood R-1. The reduced lot widths and front yard setbacks provide design flexibility and implement several Otay Ranch goals and principles; and

WHEREAS, the development of the Property has been the subject matter of a Sectional Planning Area Plan ("SPA Plan") previously approved by the City Council on October 23, 2001 by Resolution No. 2001-363, wherein the City Council, in the environmental evaluation of said Village 11 SPA Plan, relied in part on the original Otay Ranch General Development Plan (GDP) Amendment/Village 11 Sectional Planning Area Plan, Final Environmental Impact Report ("FEIR 01-02"); and

WHEREAS, the City's Environmental Review Coordinator has reviewed the proposed project for compliance with the California Environmental Quality Act and has determined that the proposed project was adequately covered in previously adopted Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan FEIR 01-02. Thus, no further environmental review or documentation is necessary; and

WHEREAS, the Planning Commission set the time and place for a hearing on said Otay Ranch Sectional Planning Area (SPA) One Plan amendment (PCM-03-06) and notice of said hearing, together with its purpose, was given by its publication in a newspaper of general circulation in the City and its mailing to property owners within 500 feet of the exterior boundaries of the Project site at least 10 days prior to the hearing; and

WHEREAS, the hearing was held at the time and place as advertised, namely 6:00 p.m. May 14, 2003, in the Council Chambers, 276 Fourth Avenue, before the Planning Commission and said hearing was thereafter closed.

WHEREAS, by a vote of 4-0-0-2, the Planning Commission recommended approval of the project; and

WHEREAS, a public hearing was scheduled for May 27, 2003, before the City Council of the City of Chula Vista on the Otay Ranch Village 11 SPA Amendment to add language (footnotes) to the PC District Regulations to allow reduced setbacks for "z-lot" single-family residential lot configurations.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Chula Vista does hereby find, determine, resolve and order as follows:

I. PLANNING COMMISSION RECORD

The proceedings and all evidence introduced before the Planning Commission at the FEIR public hearing on the amended Village 11 SPA Plan held on May 14, 2003 and the minutes and resolutions therefrom, are hereby incorporated into the record of this proceeding. These documents, along with any documents submitted to the decision makers, shall comprise the entire record of the proceedings for any California Environmental Quality Act (CEQA) claims.

II. ACTION

The City Council hereby approves an amendment to the Village 11 SPA Planned Community District Regulations adding footnotes to the Planned Community (PC) District Regulations, Table II.3.3-2, "Residential Property Development Standards", to allow reduced minimum lot widths and reduced front yard setbacks for a "z-lot" and "zero lot-line" single-family design concept, which implements several Otay Ranch goals and principles finding that they are consistent with the City of Chula Vista General Plan, the Otay Ranch General Development Plan, Otay Ranch Village 11 SPA Plan, and all other applicable Plans, and that the public necessity, convenience, general welfare and good planning and zoning practice support the FEIR approval and implementation.

III. CERTIFICATION OF COMPLIANCE WITH CEQA

The City Council hereby finds that the Project, as described and analyzed in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, would have no new effects that were not examined in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02, [Guideline 15168 (c)(2)].

IV. CEQA FINDING REGARDING PROJECT WITHIN SCOPE OF PRIOR FEIR

The City Council hereby finds that: (1) there were no substantial changes in the Project from FEIR 01-02, which would require revisions of said report; (2) no substantial changes have

occurred with respect to the circumstances under which the Project is undertaken since certification of FEIR 01-02; (3) and no new information of substantial importance to the Project has become available since the issuance and approval of FEIR 01-02; and that, therefore, no new effects could occur or no new mitigation measures will be required in addition to those already in existence and made a condition for Project implementation. Therefore, the City Council approves the Project as an activity that is within the scope of the project covered by FEIR 01-02 [Guideline 15168(c)(2) and 15162(a)].

V. INDEPENDENT JUDGMENT OF CITY COUNCIL

The City Council hereby finds that the proposed project was adequately covered in previously adopted Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02. Thus, no further environmental review or documentation is necessary.

VI. INCORPORATION OF ALL CONDITIONS, MITIGATION MEASURES AND ALTERNATIVES

The City Council does hereby re-adopt and incorporate herein as conditions for this approval all applicable mitigation measures and alternatives, as set forth in the findings adopted in the Mitigation Monitoring Program for FEIR 01-02.

VII. NOTICE WITH LATER ACTIVITIES

The City Council does hereby give notice, to the extent required by law, that this Project was fully described and analyzed and is within the scope of the FEIR 01-02 adequately describes and analyzes this project for the purposes of CEQA [Guideline 15168(e)].

VIII. SECTIONAL PLANNING AREA (SPA) PLAN FINDINGS

The proposed Project is consistent with the Otay Ranch Village 11 Sectional Planning Area Plan for the following reasons:

A. THE PROPOSED SECTIONAL PLANNING AREA PLAN IS IN CONFORMITY WITH THE GENERAL DEVELOPMENT PLAN OF THE P-C ZONE, ANY ADOPTED SPECIFIC PLANS, AND THE CITY OF CHULA VISTA GENERAL PLAN AND ITS SEVERAL ELEMENTS.

The request to amend the Otay Ranch Village 11 SPA Plan to add language (footnotes) to the PC District Regulations to allow reduced setbacks for "z-lot" single-family residential lot configurations, reflects the land uses, circulation system, open space and recreational uses, and public facility uses consistent with the Otay Ranch General Development Plan and Chula Vista General Plan.

B. THE PROPOSED SECTIONAL PLANNING AREA PLAN WOULD PROMOTE THE ORDERLY, SEQUENTIALIZED DEVELOPMENT OF THE INVOLVED SECTIONAL PLANNING AREA.

The Otay Ranch Village 11 SPA Plan amendment contains provisions and requirements to ensure the orderly, phased development of the project. The amendment does not modify any phased development of the project and must comply with all development phase thresholds identified in the Otay Ranch Village 11 SPA Plan.

C. THE PROPOSED SECTIONAL PLANNING AREA PLAN WOULD NOT ADVERSELY AFFECT ADJACENT LAND USE, RESIDENTIAL ENJOYMENT, CIRCULATION OR ENVIRONMENTAL QUALITY.

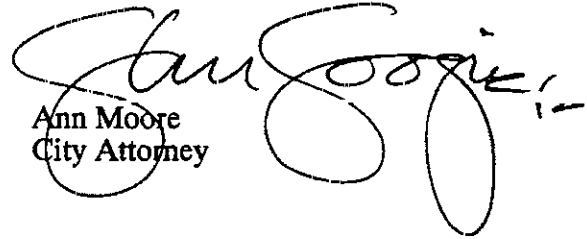
The land uses within Otay Ranch are designed to promote pedestrian-oriented neighborhoods. The amendment does not modify any surrounding land uses and is consistent with the residential land use policies as required by the General Plan and Otay Ranch General Development Plan. A comprehensive street network serves the project and provides for access to off-site adjacent properties. The proposed plan will be required to implement all mitigation measures specified in the Otay Ranch GDP Amendment/Village 11 Sectional Planning Area Plan, FEIR 01-02. These mitigation measures will minimize or reduce any identified impacts to land use, circulation and environmental quality.

Presented by

Approved as to form by



Robert Leiter
Planning and Building Director



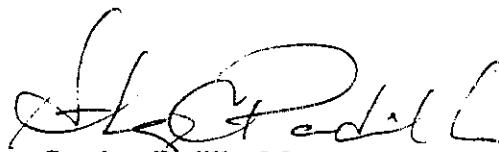
Ann Moore
City Attorney

PASSED, APPROVED, and ADOPTED by the City Council of the City of Chula Vista, California, this 3rd day of June, 2003, by the following vote:

AYES: Councilmembers: McCann, Rindone, Salas and Padilla

NAYS: Councilmembers: None

ABSENT: Councilmembers: Davis



Stephen Padilla, Mayor

ATTEST:



Susan Bigelow, City Clerk

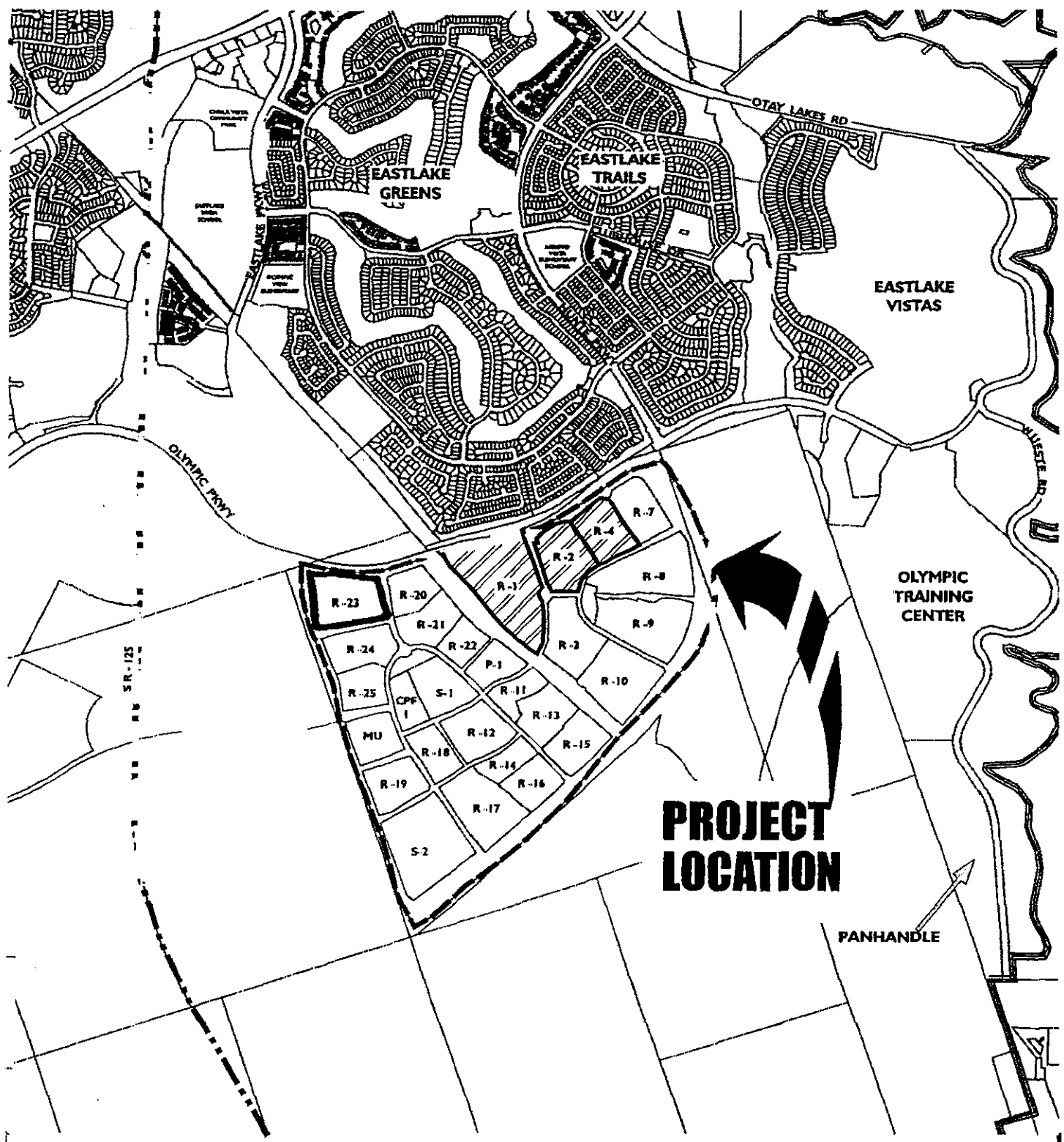
STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO)
CITY OF CHULA VISTA)

I, Susan Bigelow, City Clerk of Chula Vista, California, do hereby certify that the foregoing Ordinance No. 2917 had its first reading at a regular meeting held on the 27th day of May, 2003 and its second reading and adoption at a regular meeting of said City Council held on the 3rd day of June, 2003.

Executed this 3rd day of June, 2003.



Susan Bigelow, City Clerk



CHULA VISTA PLANNING AND BUILDING DEPARTMENT

LOCATOR



NORTH

PROJECT APPLICANT: **BROOKFIELD SHEA OTAY, LLC.**

PROJECT ADDRESS: **OTAY RANCH GDP, VILLAGE 11 OF OR VALLEY**

SCALE: **No Scale**

FILE NUMBER: **PCM-03-06**

PROJECT DESCRIPTION: **MISCELLANEOUS**

Request: Village 11 Tentative Map revision to increase R1, R4 and maintenance of R2 at 47 units as shown on approved TM. R1 and R4 increases are within number of units approved in the SPA. TM revision includes grading improvements to lessen transport of cut and fill materials between areas to the east and west of the SDG&E/SDCWA easement.

Otay Ranch Village Eleven

II.2 Sectional Planning Area (SPA) Plan

October 23, 2001

Brookfield Shea Otay, LLC.

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Del Mar, California 92014-3859
(858) 481-8500
Contact: John Norman**

Project Applicant:

Brookfield Shea Otay, LLC.
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Prepared By:

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SECTION II.2 SECTIONAL PLANNING AREA (SPA) PLAN

TABLE OF CONTENTS

II.2.1 Introduction		
II.2.1.1	Background, Scope and Purpose of the Plan	1-1
II.2.1.2	Document Organization	1-3
II.2.1.3	Location and Regional Setting	1-7
II.2.1.4	Community Structure	1-10
II.2.1.5	Legal Significance/ EIR	1-10
II.2.1.6	SPA Plan Consistency with Approved GDP and PC Zone District	1-10
II.2.1.7	Related Documents	1-16
II.2.2 Development Concept		
II.2.2.1	Design Influences	2-1
II.2.2.2	Land Use Pattern	2-4
II.2.2.3	Mapping Refinements and Density Transfer	2-9
II.2.2.4	Housing Programs	2-10
II.2.3 Circulation		
II.2.3.1	Introduction	3-1
II.2.3.2	Regional Circulation Network	3-2
II.2.3.3	Project Circulation Network	3-2
II.2.3.4	Street Standards	3-5
II.2.3.5	Phasing of Road Improvements	3-25
II.2.3.6	Transit Planning Principles	3-25
II.2.3.7	Bicycle Routes and Pedestrian Trails	3-27
II.2.4 Grading		
II.2.4.1	Introduction	4-1
II.2.4.2	Grading Requirements	4-1
II.2.4.3	Grading Concept	4-4
II.2.5 Parks, Recreation, Open Space and Trails		
II.2.5.1	Introduction	5-1
II.2.5.2	Park Land and Improvements	5-1
II.2.5.3	Park and Open Space Implementation	5-3
II.2.5.4	Open Space and Trails	5-4
II.2.5.5	Habitat Enhancement	5-5

II.2.6	Development Phasing	
II.2.6.1	Introduction	6-1
II.2.6.2	Phase 1	6-3
II.2.6.3	Phase 2	6-4
II.2.6.4	Phase 3	6-5
II.2.6.5	Phasing Summary	6-6
II.2.7	Public Facilities	
II.2.7.1	Introduction	7-1
II.2.7.2	Water Supply and Master Plan	7-1
II.2.7.3	Potable Water Demand	7-2
II.2.7.4	Recycled Water Supply and Master Plan	7-2
II.2.7.5	Sewer Service	7-3
II.2.7.6	Storm and Drainage System	7-4
II.2.7.7	Urban Runoff	7-5
II.2.7.8	Roads	7-5
II.2.7.9	Schools	7-5
II.2.7.10	Child Care Facilities	7-6
II.2.7.11	Police, Fire and Emergency Services	7-8
II.2.7.12	Library Services	7-9
II.2.7.13	Park, Recreation, Open Space and Trails Facilities	7-9
II.2.7.14	Civic Facilities	7-11
II.2.7.15	Animal Control Facilities	7-11
II.2.7.16	Regional Facilities	7-11
	Integrated Solid Waste Management	
	Arts and Cultural	
	Health and Medical	
	Community and Regional Purpose Facilities	
	Social and Senior Services	
	Correctional	
	Transit	
II.2.8	GDP Compliance	
II.2.8.1	Land Use	8-1
II.2.8.2	Mobility	8-5
II.2.8.3	Housing	8-6
II.2.8.4	Parks, Recreation, Open Space	8-7
II.2.8.5	Capital Facilities	8-8
II.2.8.6	Air Quality	8-18
II.2.8.7	Noise	8-21
II.2.8.8	Safety	8-22
II.2.8.9	Growth Management	8-24
II.2.8.10	Resource Protection, Conservation & Management	8-24

LIST OF EXHIBITS

<u>Exhibit</u>		<u>Page</u>
Exhibit II.2.1.-1	Regional Location Map	1-8
Exhibit II.2.1.-2	Vicinity Map	1-9
Exhibit II.2.1.-3	Otay Ranch Amended GDP Land Use Plan	1-11
Exhibit II.2.1.-4	Otay Ranch GDP Village Eleven Land Use Plan	1-12
Exhibit II.2.2.-1	Regional Context Map	2-3
Exhibit II.2.2.-2	Village Eleven SPA Land Use Plan	2-6
Exhibit II.2.2.-3	Village Eleven SPA Site Utilization Plan	2-7
Exhibit II.2.2.-4	Village Core Concept	2-8
Exhibit II.2.3.-1	Circulation Plan	3-4
Exhibit II.2.3.-2	Olympic Parkway – 6 Lane Prime Arterial	3-6
Exhibit II.2.3.-3	Eastlake Parkway – 6 Lane Major Arterial	3-7
Exhibit II.2.3.-4	Hunte Parkway – 6 Lane Prime Arterial	3-8
Exhibit II.2.3.-5	Birch Road Village Entry Street – Commercial Condition	3-10
Exhibit II.2.3.-6	Olympic Parkway Village Entry Street	3-11
Exhibit II.2.3.-7	Secondary Village Entry Streets with Medians	3-12
Exhibit II.2.3.-8	Residential Promenade Streets	3-13
Exhibit II.2.3.-9	Village Core Promenade Streets	3-14
Exhibit II.2.3.-10	Village Core Promenade Streets – Commercial Condition	3-15
Exhibit II.2.3.-11	Village Core Streets	3-16
Exhibit II.2.3.-12	Residential Streets	3-18
Exhibit II.2.3.-13	Private Residential Streets	3-19
Exhibit II.2.3.-14	Alleys	3-20
Exhibit II.2.3.-15	Roundabouts	3-21
Exhibit II.2.3.-16	Traffic Circles	3-23
Exhibit II.2.3.-17	Neckdowns	3-24
Exhibit II.2.3.-18	Public Transportation Plan	3-26
Exhibit II.2.3.-19	Trails Plan	3-29
Exhibit II.2.2.-20	Trail Cross Section	3-30
Exhibit II.2.4.-1	Steep Slopes	4-6
Exhibit II.2.4.-2	Conceptual Grading Plan	4-7
Exhibit II.2.4.-3	Cut and Fill Plan	4-8
Exhibit II.2.4.-4	Oblique View of Existing Topography	4-9
Exhibit II.2.4.-5	Oblique View of Proposed Grading Plan	4-10

Exhibit II.2.5.-1	Parks, Recreation, Open Space and Trails Plan	5-6
Exhibit II.2.5.-2	Public Neighborhood Park (P-1) Concept Plan	5-7
Exhibit II.2.5.-3	Town Square (P-4) Concept Plan	5-8
Exhibit II.2.5.-4	Village Core Private Recreational Facility (P-3) Concept Plan	5-9
Exhibit II.2.5.-5	Eastern Village Private Recreational Facility (P-2) Concept Plan	5-10
Exhibit II.2.6.-1	Conceptual Phasing Plan	6-2
Exhibit II.2.7.-1	Potable Water Plan	7-14
Exhibit II.2.7.-2	Recycled Water Plan	7-15
Exhibit II.2.7.-3	Sewer Plan	7-16
Exhibit II.2.7.-4	Drainage Plan	7-17

LIST OF TABLES

<u>Table</u>		<u>Page</u>
Table II.2.1-1	Village Eleven GDP/SPA Land Use Comparison	1-14
Table II.2.6-1	Phase 1	6-3
Table II.2.6-2	Phase 2	6-4
Table II.2.6-3	Phase 3	6-5
Table II.2.6-4	Phasing Plan Summary	6-6

II.2.1 INTRODUCTION**II.2.1.1 Background, Scope, and Purpose of the Plan****Background**

The Otay Ranch General Development Plan/Subregional Plan (GDP) was adopted by the Chula Vista City Council and the San Diego County Board of Supervisors on October 28, 1993, following an extensive planning process spanning more than five years. The plan governs the 23,000+ acre Otay Ranch properties. The Otay Ranch GDP is based upon, and directly implements the City of Chula Vista General Plan. The Otay Ranch GDP includes plans for nine urban villages, a golf course community, a resort village, the Eastern Urban Center, two industrial areas, two rural estate planning areas, and a university. The university site has two urban villages as secondary land uses. The Otay Ranch open space system, consisting of 13,000+ acres, facilitates completion of the Chula Vista Greenbelt System and the Chula Vista Multi-Species Habitat Conservation Plan (MSCP) Subarea Plan.

Scope and Purpose

The Otay Ranch GDP permits urban levels of development for Village Eleven implemented through the Otay Ranch "Village" planning concept. The village concept was developed with input from the City of Chula Vista (City), County of San Diego (County), the San Diego Association of Governments (SANDAG) and the Metropolitan Transit Development Board (MTDB). These agencies have also participated in ongoing planning for subsequent "Village" SPA Plans in Otay Ranch. In general, the concept provides for urban villages that are approximately one mile square, with distinct features that are defined by an open space system and major arterial streets. The village planning concept is intended to promote pedestrian-oriented villages and reduce reliance on automobile travel. The concept provides for essential facilities and services: elementary schools, shops, civic facilities, child care centers, and local parks to be located in a village core. The highest density residential is located in the core and residential densities decrease towards the village perimeter.

This Sectional Planning Area (SPA) Plan for Village Eleven in Otay Ranch refines and implements the land use goals, objectives and policies of the Otay Ranch General Development Plan (GDP)/County of San Diego Sub-Regional Plan (SRP) adopted in 1993 and the City of Chula Vista General Plan as amended in 2001. This plan is provided as required by the Otay Ranch GDP and pursuant to Title 19, Zoning, of the Chula Vista Municipal Code.

The SPA Plan defines in more detail the development parameters for Village Eleven, including the land uses, design criteria, primary transportation pattern, open space and recreation concept, and infrastructure requirements. Additionally, the character and form of the project will be implemented through a series of guidelines and development standards prescribed in the Village Eleven Planned Community (PC) District Regulations, Village Eleven Design Plan and other associated SPA supporting documents. The objectives of the Village Eleven SPA are to:

- Establish a pedestrian-oriented village with an intense urban core to reduce reliance on the automobile and promote walking and the use of bicycles, buses and regional transit.
- Promote synergistic uses between Village Eleven, the neighborhoods of Eastlake and adjacent Otay Ranch Villages to balance activities, services, and facilities.
- Implement the goals, objectives and policies of the Chula Vista General Plan, particularly the Otay Ranch General Development Plan, the Otay Ranch Phase 1 and Phase 2 Resource Management Plan, the Otay Ranch Facility Implementation Plan, the Otay Ranch Village Phasing Plan and the Otay Ranch Service/Revenue Plan.
- Implement the City of Chula Vista's Growth Management Program to ensure that public facilities are provided in a timely manner and financed by the parties creating the demand for, and benefiting from, the improvements

- Foster development patterns that promote orderly growth and prevent urban sprawl.
- Develop, maintain and enhance a sense of community identity.
- Accentuate the relationship of the land use plan with its natural setting and the physical character of the region, and promote effective management of natural resources by concentrating development into less sensitive areas while preserving large contiguous open space areas with sensitive resources.
- Add to the creation of a unique Otay Ranch image and identity which differentiates Otay Ranch from other communities.
- Wisely manage limited natural resources.
- Establish a land use and facility plan that assures the viability of Village Eleven in consideration of existing and anticipated economic conditions.

This SPA Plan and supporting PC District Regulations serve as a supplement to other City regulations and function as the zoning ordinance for Village Eleven. Where in conflict, the SPA Plan shall apply; and where a topic is not addressed by this SPA Plan, appropriate City regulations shall apply. The Village Eleven SPA Plan is the implementation tool of the Otay Ranch General Development Plan for Village Eleven. It establishes design criteria for the site and defines the type and maximum amount of development permitted. It establishes the City's standards for that development including open space provisions and major improvements to be constructed by the developer.

II.2.1.2 Document Organization

The Village Eleven SPA Plan is divided into documents or components: the SPA Plan; Planned Community District Regulations; Village Eleven Design Plan; Public Facilities Finance Plan; Affordable Housing Program; Air Quality Improvement Plan; Water Conservation Plan; Non-Renewable Energy Conservation Plan; Parks, Recreation, Open Space and Trails Plan; and supporting Technical Studies and Plans. The purposes of these documents are as follows:

SPA Plan

The purpose of the SPA Plan is to define, in more detail than the City's General Plan and Otay Ranch General Development Plan, the development parameters for Village Eleven, including the land uses, urban design criteria, circulation pattern, open space and recreation concept, and infrastructure requirements to support the community.

Planned Community District Regulations

The Planned Community (PC) District Regulations are adopted by Ordinance pursuant to Title 19 of the Chula Vista Zoning Code. The Village Eleven PC District Regulations are the applicable zoning regulation for the village. The regulations are intended to implement the goals and policies of the Chula Vista General Plan, Otay Ranch General Development Plan, and the Village Eleven SPA by establishing land use districts and standards to classify, regulate, restrict and separate the uses of land, buildings and structures, and regulate and limit the type, height and bulk of buildings and structures in the various land use districts. These standards are established to protect the public health, safety and general welfare of the citizens of Chula Vista; to safeguard and enhance the appearance and quality of development of Village Eleven, and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources. The regulations provide the basis by which the City will review and evaluate the preliminary and final drawings for subsequent development applications, and provide guidance at the design review level. In the event of conflict, these regulations supersede other City regulations.

Village Eleven Design Plan

This document guides the site, building and landscape design within Village Eleven to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The Design Plan identifies a theme for the village and delineates that identity through streetscape and landscape design, signage programs and architectural and lighting guidelines. The Design Plan also identifies the village core design concepts that will implement Otay Ranch's planned pedestrian orientation. General concepts, as anticipated by the GDP, are more precisely defined to address Village Eleven. In addition to the Village Eleven Design Plan, a subsequent Master Precise Plan will be prepared for the Village Core. The Master Precise Plan serves as a link between the approved SPA/Village Design Plan and future development. The primary purpose of the Master Precise Plan is to establish guidelines by which future "Individual Precise Plans" for each village core land use will be evaluated.

Public Facilities Finance Plan

The Public Facilities Finance Plan (PFFP) implements the City of Chula Vista Growth Management Program and Ordinance. The intent of the document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the Otay Ranch General Development Plan. The PFFP ensures that development of the project will not adversely impact the City's Quality of Life Standards. The PFFP also contains a fiscal analysis identifying capital budget impacts on the City as well as maintenance and operation costs for each proposed phase of development.

The PFFP components include an analysis of infrastructure facilities, such as water and sewer, and the provision of community services and facilities including fire protection and emergency services, law enforcement, libraries, schools, parks and animal control facilities. The analysis and provisions of the PFFP fulfill the GDP requirements for SPA-level Master Facility Plans for most facilities associated with the development of Village Eleven. Where additional project-specific study and planning is needed, separate technical studies and plans for Village Eleven have been prepared and included as a component of the SPA Plan or the Village Eleven Environmental Impact Report (EIR).

Affordable Housing Program

The City of Chula Vista Housing Element requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households. Of these units, one-half (5% of the total project) are to be designated available to low income households and the remaining five percent (5%) to moderate income households. In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program ("AHP"), consistent with the Housing Element of the Chula Vista General Plan, be prepared by the Developer. The Affordable Housing Program is implemented through an Affordable Housing Agreement between the City and the Developer.

Air Quality Improvement Plan

The purpose of the Air Quality Improvement Plan for the Village Eleven SPA is to respond to the Growth Management policies of the City of Chula Vista and those policies and regulations established at the broadest geographic level (State and Federal) in order to minimize air quality impacts during and after construction of projects within Village Eleven. The Plan also demonstrates compliance with the air quality standards and policies of the San Diego County Air Pollution Control District (APCD).

Water Conservation Plan

The purpose of this to respond to the Growth Management policies of the City of Chula Vista, which are intended to address the long term need to conserve water in new developments, to address short term emergency measures, and to establish standards for water conservation.

Non-Renewable Energy Conservation Plan

The Otay Ranch GDP requires that all SPA Plans prepare a Non-Renewable Energy Conservation Plan. This Plan identifies measures to reduce the use of non-renewable energy resources through, but not limited to: transportation; building design and use; lighting; recycling and alternative energy sources.

Park, Recreation, Open Space and Trails Plan

The Otay Ranch GDP requires that all SPA Plans prepare a Parks, Recreation, Open Space and Trails Plan. This Plan identifies locations, potential facilities, ownership, maintenance and phasing of park, recreation and trails facilities to be provided in the village.

Technical Studies and Plans

The Otay Ranch GDP identified Project-wide Implementation Tasks that included preparation of an Overall Design Plan, Master Facility Plans and Phase II of the Resource Management Plan for Otay Ranch. These project-wide implementation tasks have been completed and serve as the basis for subsequent SPA Planning. The GDP also identified SPA Implementation Tasks that included preparation of SPA Plans, PFFPs, Regional Facilities Reports, Master Facilities Plans, and others. The full list of GDP and SPA Implementation tasks are located in Part III, Implementation, of the 1993 GDP (pages 403-412).

In the preparation of SPA One, a number of Master Facility Plans were prepared to address the provision of certain facilities on a Ranch-wide basis. For this reason, subsequent SPA Plans are required only to prepare Technical Studies and Master Facility Plans specific to their development. The studies and plans for Village Eleven have been prepared as part of the Environmental Impact Report (EIR) for the development of Village Eleven, the PFFP, or as part of this SPA Plan. These plans and studies, in conjunction with mitigation measures identified by the Village Eleven EIR, fulfill the Otay Ranch GDP requirements for individual Village SPA Plan implementation. The Village Eleven Technical Studies and Plans include:

- Biological Resources Report, California Gnatcatcher Survey and 45-Day Report for the Quino Checkerspot Butterfly Flight Survey
- Evaluation of Cultural Resources for the Otay Ranch Village Eleven Project
- Geologic/Geotechnical Feasibility Study
- Traffic Study
- Master Drainage Plan
- Master Sewer Plan
- Master Water Plan

II.2.1.3 Location and Regional Setting

The 489-acre Village Eleven SPA project area is located at the eastern edge of the Otay Valley Parcel of Otay Ranch. Exhibit II.2.1.-1 illustrates the regional location of Village Eleven and its proximity to existing development. The location of Village Eleven within the overall Otay Ranch development is depicted in the vicinity map, Exhibit II.2.1.-2.

The Village Eleven Plan Area is defined by three major circulation routes: Olympic Parkway on the north, Hunte Parkway on the south and east and Eastlake Parkway on the west. The existing residential neighborhood of Eastlake Greens is located to the north. Otay Ranch Planning Area Twelve, comprised of the proposed Eastern Urban Center (EUC) and Freeway Commercial (FC) developments, is located on the west side of Eastlake Parkway. Future phases of the Otay Ranch community, in particular a university site, are planned for the adjacent vacant property to the south. The vacant land to the east is the Salt Creek open space to be incorporated in the regional open space preserve.

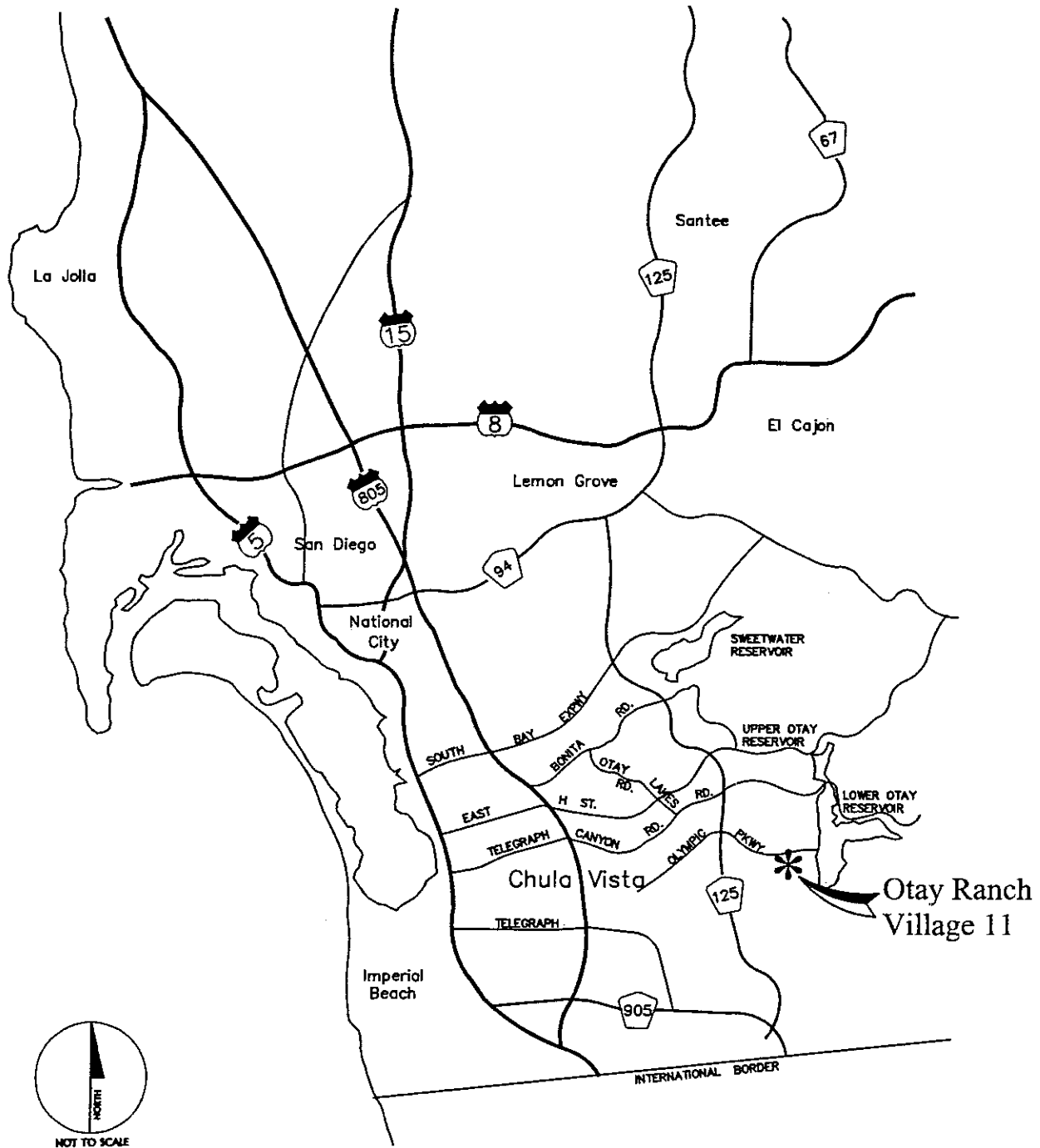
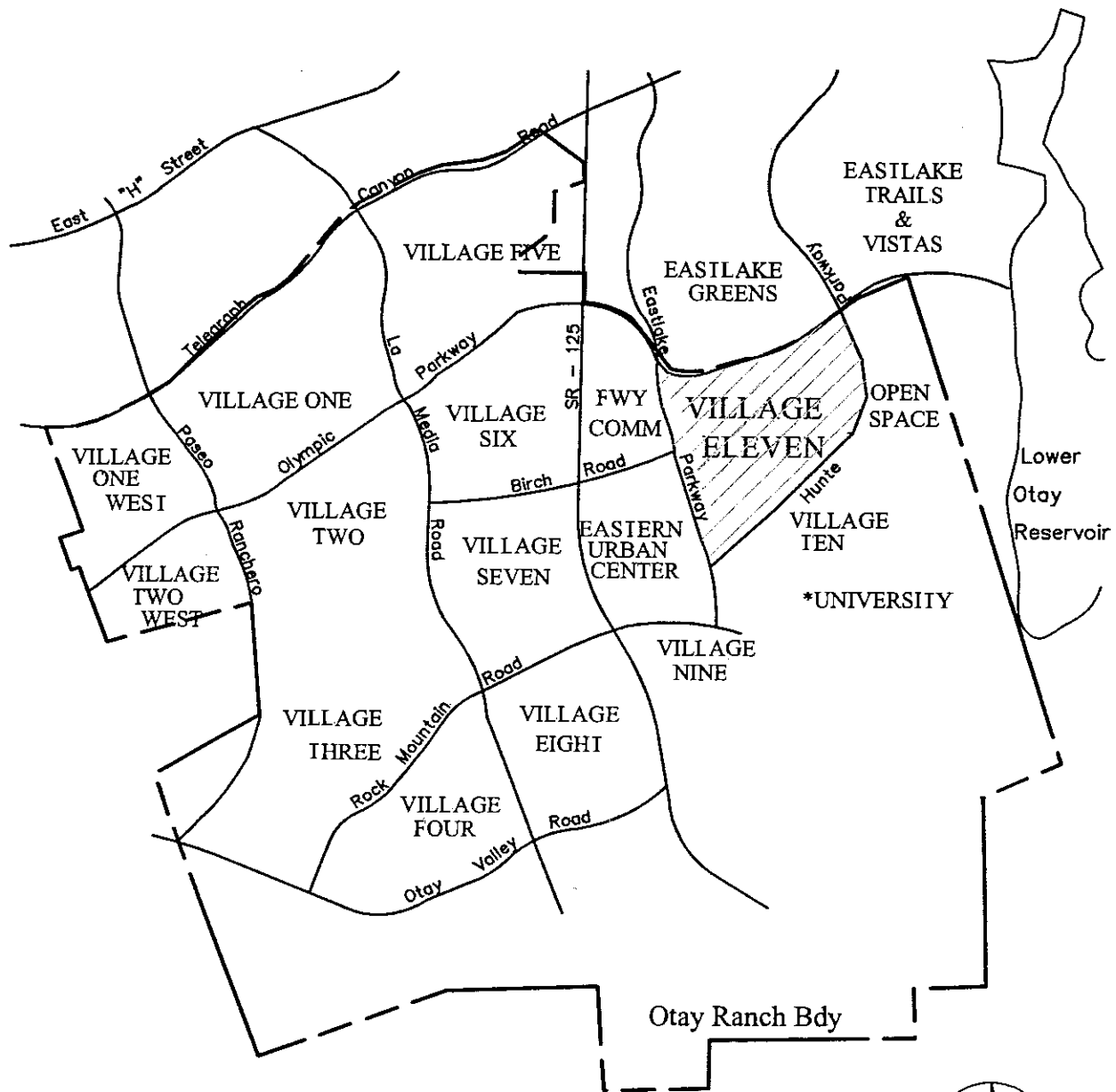


Exhibit II.2.1-I
Regional Location Map



*Primary land use is University and secondary land uses are Villages Nine and Ten.

**Exhibit II.2.1-2
Vicinity Map**

II.2.1.4 Community Structure

Village Eleven is designed as a unique village within Otay Ranch. The design will adhere to the goals of the Otay Ranch GDP to create a distinct, residential community surrounding a village core. A community will be created by attracting village residents to the core for social, public service, shopping, recreation and commuting activities. A variety of residential neighborhoods will surround the village core and be connected by a circulation system that emphasizes pedestrian comfort and safety.

The Village design also relates to the surrounding land uses: the Freeway Commercial (FC) and EUC to the west, residential neighborhoods to the north, a university to the south and open space preserve to the east. Village land uses are proposed to be compatible with the surrounding land uses, with more intense uses located in the western portion of the village and less intensive uses located to the east.

II.2.1.5 Legal Significance/EIR

The project is subject to the requirements of the California Environmental Quality Act (CEQA). The provisions of CEQA will be implemented by the City as part of the approval process for this SPA Plan. All mitigation measures and monitoring activities identified and incorporated into the project as a part of the CEQA process shall be implemented through this SPA Plan or other appropriate components of the SPA Plan. All future discretionary permits will need to be consistent with the Village Eleven SPA Plan.

II.2.1.6 SPA Plan Consistency with Approved Otay Ranch GDP and PC Zone District

The Village Eleven SPA plan is designed in conformance with the Otay Ranch GDP Land Use Plan and the GDP Village Eleven Land Use Plan, as amended in 2001, illustrated in Exhibits II.2.1.-3 and II.2.1.-4.

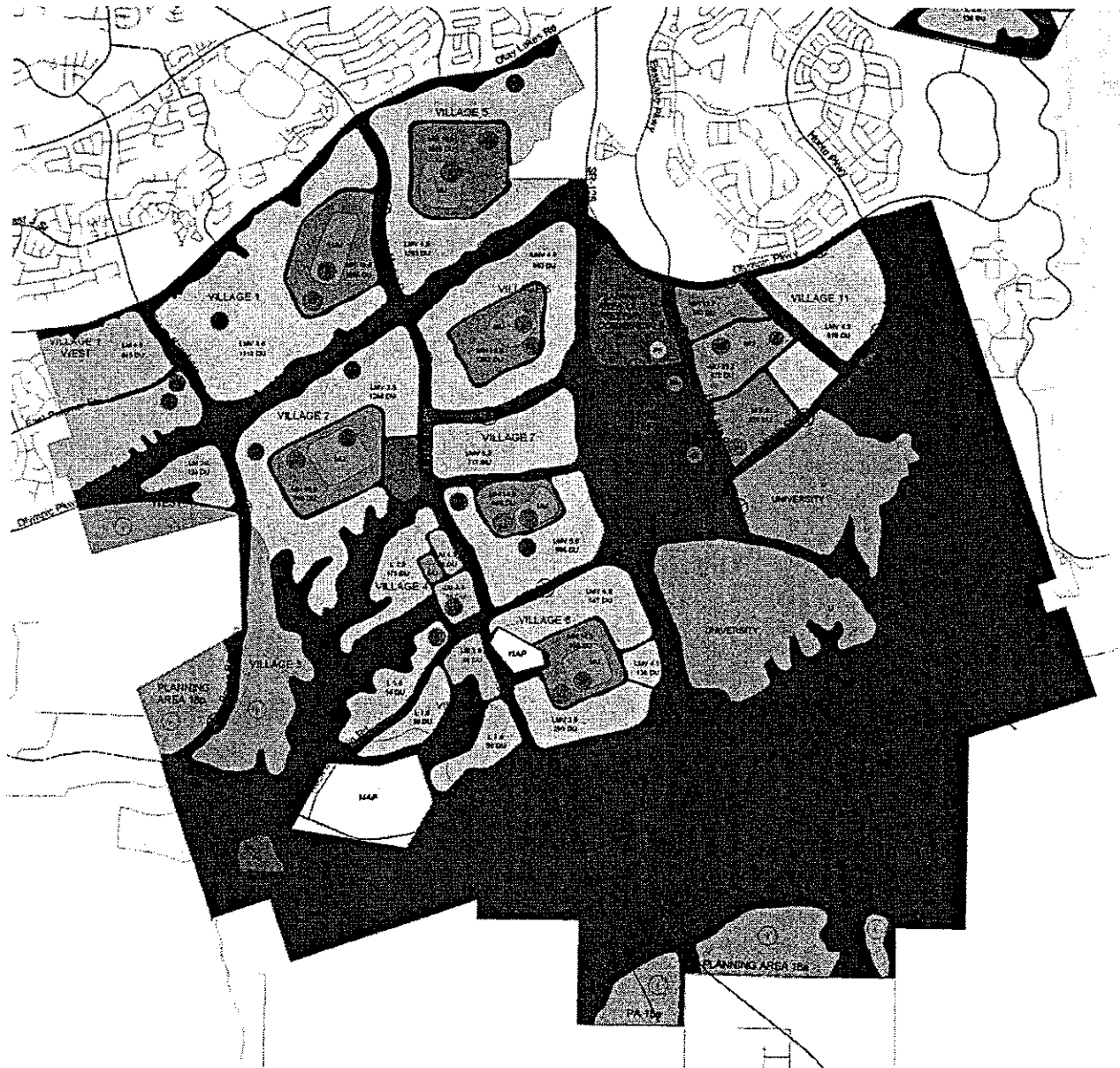
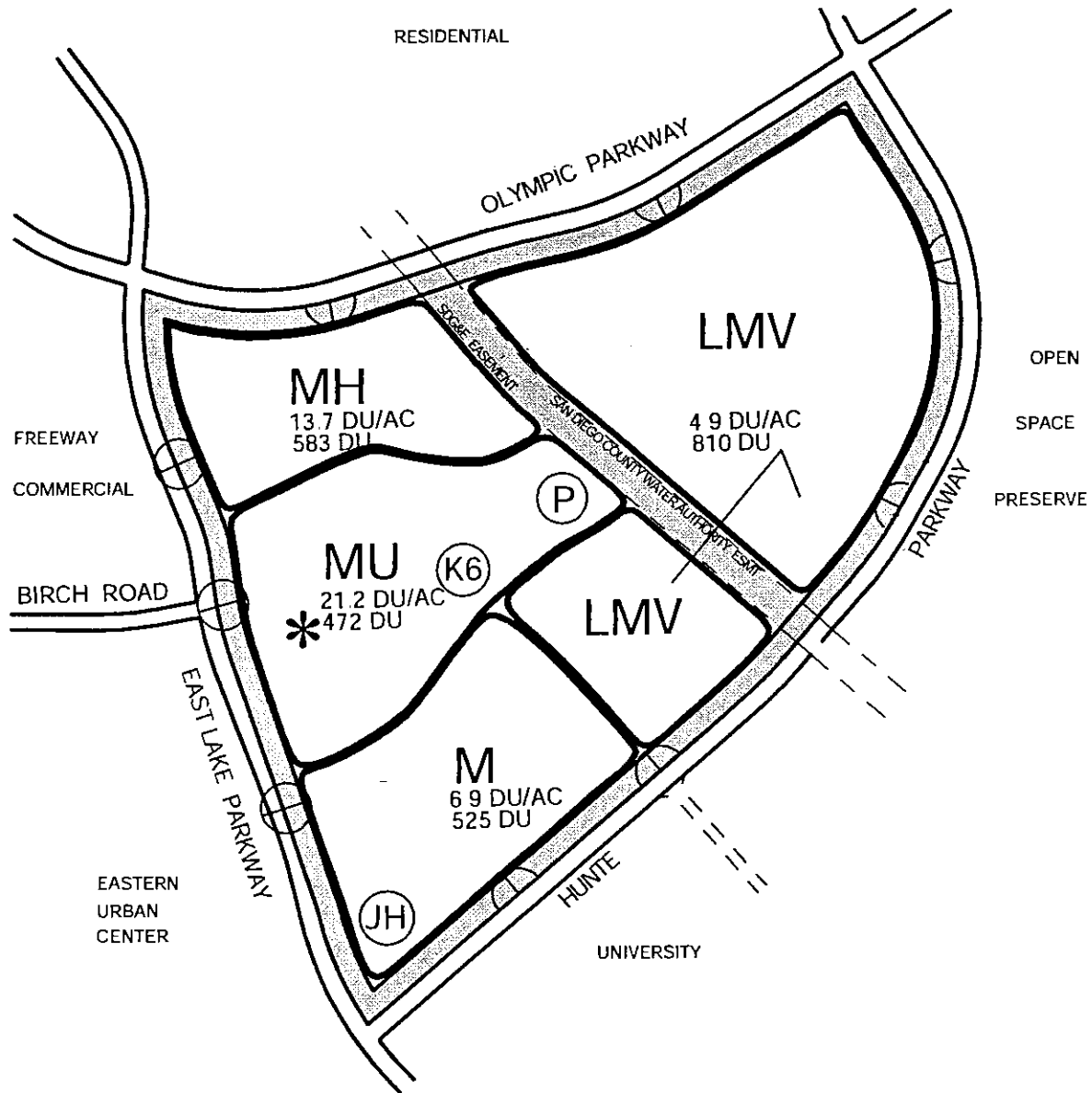


Exhibit II.2.1.-3
Otay Ranch GDP Amended Land Use Plan
Otay Valley Parcel



LEGEND

- LMV Low Medium Village Density Residential
- M Medium Density Residential
- MH Medium High Density Residential
- MU Mixed Use
- K6 Kindergarten-Grade 6 Elementary
- JH Junior High School
- P Park
- Open Space
- * Village Core



Exhibit II.2.1-4
Otay Ranch GDP Village Eleven Land Use Plan

Land Use Consistency

This SPA plan contains all the requisite land uses comprising a village as described by the GDP: a variety of single and multi-family residential housing densities, mixed-use development, community purpose facility, elementary school, junior high school and parks and open space. Table II.2.1-1 compares the adopted GDP and Village Eleven SPA plan allocated acreages for each land use and the number and type of residential units.

Table II.2.1.-1 Village Eleven GDP/SPA Land Use Comparison

	Use	SF Units	MF Units	Total Units	Res. Ac.	Den. (ave)	Park Ac. ¹	CPF Ac. ²	Sch. Ac.	C'ml. Ac.	OS. Ac.	Art. Ac.	Total Ac.	Aprx Pop. ⁴
GDP	LMV	810	0	810	166.0	4.9	0.0						166.0	2,438
SPA	LMV	810	0	810	166.0	4.9	3.8 ³						169.8	2,438
GDP	M	195	330	525	75.7	6.9			25.0				100.7	1,580
SPA	M	186	315	501	72.4	6.9			25.0				97.4	1,508
GDP	MH	0	583	583	42.7	13.7	0.0						42.7	1,755
SPA	MH	0	678	678	46.6	14.5	3.0 ³						49.6	2,041
GDP	MU	0	472	472	22.3	21.2	10.0	5.5	10.0	10.0			22.3	1,420
SPA	MU	0	315	315	13.0	24.2	8.0 ⁵	5.5	10.0	10.0			13.0	948
GDP	Other										54.3	66.5		
SPA	Other										59.2	66.5		
GDP	Total	1,005	1,385	2,390	306.7	7.8	10.0	5.5	35.0	10.0	54.3	66.5	486.0	7,194
SPA	Total	996	1,308	2,304	298.0	7.7	14.8 ³	5.5	35.0	10.0	59.2	66.5	489.0	6,935

1 – The GDP requirement for Village Eleven is based on the Quimby Act. Consistent with the GDP (pgs. 106 and 171), neighborhood park acreage is provided in Village Eleven, and the balance of the park acreage requirement will be provided by a contribution to community parks elsewhere in Otay Ranch Chapter 17.10 of the Chula Vista Municipal Code, Parklands and Public Facilities, establishes the method by which required park acreage is to be calculated based on actual dwelling units. In accordance with Chapter 17.10, each single family dwelling unit generates a need for 423 square feet of developed parkland. Each attached, cluster housing, or planned unit development (either condominium or subdivided ownership) generates a need for 366 square feet of developed parkland. Each multi-family dwelling unit generates a need for 288 square feet of developed parkland. Based on 996 single family, 824 attached, condominium, etc., and 484 multi-family units, the Code requirement is approximately 19.3 acres of parkland. Actual acreage will be based on units approved on the Final Map.

2 – The GDP requires 1.39 acres of net usable land per 1,000 persons for CPF uses. The GDP also allows for a reduction in the total acreage requirement at the SPA level if adequate facilities are provided (GDP pgs. 118 and 298-301). Based on the approximate population of 6,935, the CPF land acreage requirement for Village Eleven is 9.6 acres. The CPF requirement is met through the provision of a 5.5-acre CPF site located in the village core and additional CPF facilities located elsewhere in Village Eleven per City policy.

3 – The plan provides for a 7-acre City-owned and operated neighborhood park and a one-acre privately owned and maintained town square for public use. The 3.8 and 3.0-acre private recreation facilities are proposed to be credited for CPF and common open space for multi-family residential development.

4 – The population is based on 3.01 persons per residential unit.

5 – The GDP provides for actual park size to be determined by the Parks Master Plan at the SPA level. It has been determined that 8 acres of public park is appropriate for Village Eleven.

Parks and Open Space Consistency

The Otay Ranch GDP requires designation of park land based on the Quimby Act standard. In compliance with the GDP, the SPA Plan park obligations are met through the provision of parks within the village, and a contribution to community parks elsewhere in Otay Ranch.

The City of Chula Vista Municipal Code, Chapter 17.10, Parklands and Public Facilities (12/94), establishes the method by which actual required park acreage is to be calculated, based on the number and type of residential units determined at the Final Map level. In accordance with Chapter 17.10, each single family dwelling unit generates a need for 423 square feet of developed parkland. Each attached, cluster housing, or planned unit development (either condominium or subdivided ownership) generates a need for 366 square feet of developed parkland. Each multi-family dwelling unit generates a need for 288 square feet of developed parkland. Based on 996 single family, 824 attached, and 484 multi-family units, the Code requires a parkland obligation of approximately 19.3 acres for Village Eleven.

The Village Eleven plan provides a one-acre Town Square and 7-acre Neighborhood Park, for a total of 8 acres of credited parks and an additional 6.8 acres of private recreational facilities within the village. The 6.8 acres of private recreational facilities are proposed to be credited towards CPF and multi-family common open space requirements. The remaining 11.3 acres of park obligation will be fulfilled through a contribution to community parks elsewhere in Otay Ranch. Park acreage requirements will be based on the actual number of residential units (and projected population) approved on the subsequent Final Map for Village Eleven. Section II.2.5, Parks, Recreation, Open Space and Trails, provides additional information on park allocations in the village.

Community Purpose and Public Facilities Consistency

The Otay Ranch General Development Plan requires designation of Community Purpose Facility (CPF) land area at a ratio of 1.39 acres per 1000 residents. The proposed 2,304 units in Village Eleven generate a population of approximately 6,935 persons, requiring an estimated 9.6 acres of CPF land in Village Eleven. The Otay Ranch GDP provides options for meeting the CPF obligation, such as providing building square footage instead of land. The Village Eleven obligation is met through provision of both land and facilities. This obligation will be partially met through the provision of a 5.5-acre CPF site located in the village core. This site is appropriately sized to accommodate a church or similar CPF use. The private recreation facilities in Village Eleven contain community buildings and facilities that will be made available to public and private organizations for CPF use. Building square footage within the mixed use/commercial site also provides opportunities for additional CPF uses, if required. The added value of usable facilities combined with land acreage complete the CPF obligation for the village.

Other public facilities needed to serve the project are identified and evaluated in the Village Eleven Public Facilities Finance Plan (PFFP).

Housing Element Consistency

The Otay Ranch General Development Plan is required to provide 5% low income housing and 5% moderate income housing consistent with the Chula Vista General Plan and HUD Guidelines based on size and family incomes. The GDP lays out a plan for satisfying this requirement in the Ranch-wide Affordable Housing Program. The Village Eleven Affordable Housing Program, a component of this SPA Plan, and a subsequent agreement between the City and the developer of Village Eleven will guarantee the construction of the required low and moderate income units consistent with the phasing schedule for development of the Village Eleven SPA Plan.

Planned Community Zone District Consistency

The General Development Plan is implemented through the Planned Community Zone District (PC Zone). The purpose of the PC Zone is to:

- Provide for the orderly pre-planning and long-term development of large tracts of land which may contain a variety of land uses, but are under unified ownership or development control so that the entire tract will provide an environment of stable and desirable character;
- Give the developer reasonable assurances that sectional development plans prepared in accordance with an approved general development plan will be acceptable to the City. Sectional development plans may include subdivision plans and/or planned unit development plans;
- Enable the City to adopt measures providing for the development of the surrounding area compatible with the Planned Community Zone.

II.2.1.7 Related Documents

The Chula Vista General Plan and Otay Ranch General Development Plan establish the broad policy level standards and requirements for planning the Village Eleven SPA. The GDP also quantifies the development intended within the SPA and establishes the PC Zoning implementation process.

All of the other documents that are components of the SPA Plan package (Village Design Plan, Public Facility Finance Plan, etc.) are prepared concurrently and based on this SPA Plan.

Subsequent to the approval of all the SPA level documents, subdivision maps and improvement plans will be prepared. These will provide the necessary details to actually construct the project described by the SPA level documents. These plans, the construction process and ultimate uses/activities within the SPA are required to be consistent with the applicable provisions of this SPA Plan and related documents. Other related documents that are being processed concurrently, but not as part of this SPA are the Otay Ranch General Development Plan Amendment, Multi-Species Conservation Plan (MSCP) Subarea Plan and the City of Chula Vista Parks and Recreation, Open Space and Trails Master Plan.

II.2.2 DEVELOPMENT CONCEPT

II.2.2.1 Design Influences

A number of factors influence the design of the Otay Ranch Village Eleven SPA Plan. The primary design influences are the planning documents (Chula Vista General Plan, the Otay Ranch General Development Plan, Overall Design Plan, and other SPA plans for Otay Ranch), existing and proposed adjacent development and the natural landform characteristics of the site. The pedestrian-oriented village concept described in the Otay Ranch General Development Plan provides additional focus. The pedestrian-oriented village concept reduces automotive dependency, consolidates open space, promotes social interaction, and creates a strong sense of community and identity within Otay Ranch. Other design influences reflect on-site conditions and characteristics, such as landforms, aesthetics, land use relationships and circulation patterns.

Chula Vista General Plan policies governing adjoining undeveloped land also influence the design of Village Eleven, including the regional open space system, off-site circulation, public facility connections and the planned land uses for adjacent properties. While Village Eleven design influences are described below, design features and development requirements are addressed in the Village Eleven Design Plan, one of the documents that comprise this SPA Plan.

Site Characteristics and Visual Context

The landform in Village Eleven generally slopes from the northwest to the southeast. The highest elevation is 677.2 feet in the northeast and the lowest elevation is 440 feet along the southern boundary. This topography provides views from the site towards the mountains to the northeast, east and south, and Salt Creek canyon to the east. The undulating topography consists of a series of ridges and valleys extending from the northwest to the southeast. The flattest areas of the site are the mesas in the north and some ridgetops. The majority of the site is sloped with gradients of 10 to 20 percent. The site has been farmed historically and is devoid of natural vegetation in the development area. A dominant feature of the site is an existing 120-foot wide San Diego Gas and Electric (SDG&E) power line easement and an adjacent 120-foot wide San Diego County Water Authority (SDCWA) aqueduct easement. This 240-foot wide linear easement occupies approximately 19 acres and extends northwest to southeast through the center of the site.

Surrounding Land Uses

The southeastern region of the City of Chula Vista is planned for the development of new communities. Village Eleven is located at the eastern limit of the Otay Valley Parcel portion of the Otay Ranch. The planned communities surrounding Otay Valley and Village Eleven are depicted on Exhibit II.2.2.-1, Regional Concept Map.

Immediately surrounding Village Eleven are existing and planned development areas and an open space preserve. The residential community of Eastlake Greens is located to the north. The existing land uses in the portion of Eastlake abutting Village Eleven are residential. Olympic Parkway will be located between Eastlake Greens and Village Eleven. Olympic Parkway is planned as a six-lane prime arterial street and is designated a Scenic Corridor. A 75-foot (average) landscaped buffer will be located on each side of the street and a regional trail will be located on the north side. The northern portion of Village Eleven is designed for residential development that is compatible with the adjacent residential land uses to the north.

The area south of the project site is agricultural land and natural open space. The proposed primary land use is a university campus site. In the event that a university is not developed on the site, the GDP policies provide for the development of secondary uses, Villages Nine and Ten. These villages would include village core, residential, community facility, school and park development. The boundary between Village Eleven and the university site is Hunte Parkway, a prime arterial and designated Scenic Corridor. The southwest portion of Village Eleven is designed for a junior high school and residential development that is compatible with the proposed adjacent land uses to the south.

Salt Creek is located to the east of the project site. The Salt Creek hillsides, valley and watercourse are designated as open space preserve areas within the Otay Ranch Resource Management Plan ("RMP"), the South County Multi-Species Conservation Program (MSCP) and the City of Chula Vista MSCP Subarea Plan. Hunte Parkway will provide separation between the Salt Creek preserve area and development in the project site. The 75-foot average landscape area on the village side of Hunte Parkway will provide additional buffer between the preserve and development. The lowest intensity development, single-family residential, will be located in this area as the most compatible development adjacent to the preserve.



Exhibit II.2.2.-1
Regional Context Map

The area west of the project site is agricultural land proposed for development as Otay Ranch Planning Area Twelve. The northern portion of Planning Area Twelve is designated as Freeway Commercial (FC) development and the southern portion is designated as the Eastern Urban Center (EUC). The Freeway Commercial site will accommodate large-scale retail businesses. The EUC is envisioned as a high-intensity urban development comprised primarily of commercial, office and high-density residential land uses. The proposed regional transit-way will run in a north-south direction through the center of these developments and transit stations are proposed in each planning area. Eastlake Parkway is designed as a six-lane major street located between Planning Area Twelve and Village Eleven.

II.2.2.2 Land Use Pattern

The Otay Ranch General Development Plan designates Village Eleven as an Urban Village. Urban Villages are adjacent to existing urban development and are planned for transit-oriented development with higher densities and mixed uses in the town centers or village cores. The land use pattern required by the Otay Ranch GDP emphasizes balanced and diverse land uses, environmentally sensitive development, and transit and pedestrian orientation, creating a “sense of place” for Village Eleven residents. The development pattern strives to maintain compatibility with surrounding land uses. The most intensive development occurs in the west, adjacent to the Freeway Commercial and EUC. The development intensity decreases towards the east to transition to the Salt Creek open space preserve. This land use pattern also responds to the physical characteristics of the site. The site can be graded to create a relatively flat village core area in the northeast of the property. The remaining steeper areas of the property can be graded into terraces to create distinctive residential neighborhoods.

The Village Eleven SPA Land Use Plan is provided in Exhibit II.2.2.-2. The land use plan strives to create an Urban Village, as described by the GDP. The focal point of the village is located in the center of the western, high-intensity development area. The village core includes a town square, neighborhood park, elementary school, community purpose facility, and a mixed-use area, (MU-1), composed of commercial/retail and multi-family housing. The residential component of the mixed-use area could serve as affordable housing, such as a senior/assisted living development.

The Village Eleven Site Utilization Plan and Table are provided in Exhibit II.2.2.-3. The illustration and table show the locations and acreages of the land uses and the residential densities.

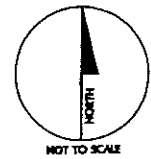
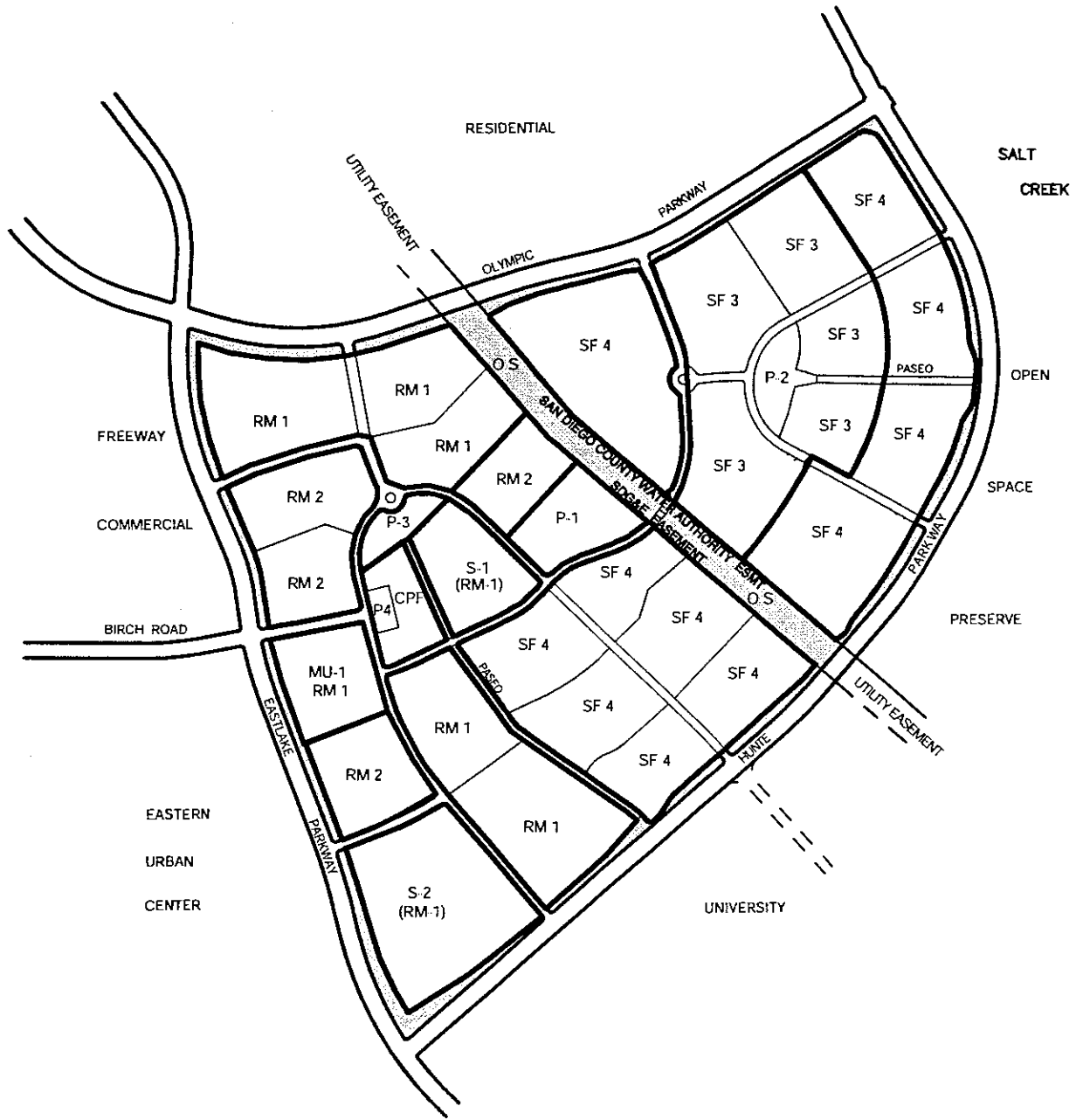
Medium, and medium-high residential uses surround the village core. These residential neighborhoods will consist of condominiums, townhouses and small-lot single-family housing. The highest residential densities, consisting of condominiums and apartments, occur in the village core and densities decrease in neighborhoods to the south and east. Residential neighborhoods throughout the village will include a mix of lot sizes and designs. The plan proposes 195.8 acres for 996 single-family residences and 109.1 acres for 1,308 multi-family residences, including “small lot” single-family homes.

The village core is designed to include 10 acres of mixed use/commercial development that may include high density residential units. Approximately 115 residential units are envisioned in upper levels above ground floor retail or residential units may be in located in separate buildings within the site. The mixed-use site is designed to accommodate neighborhood-serving commercial development which may include uses such as a grocery store, drug store, shops and restaurants. A 5.5-acre community purpose facility is also provided in the village core.

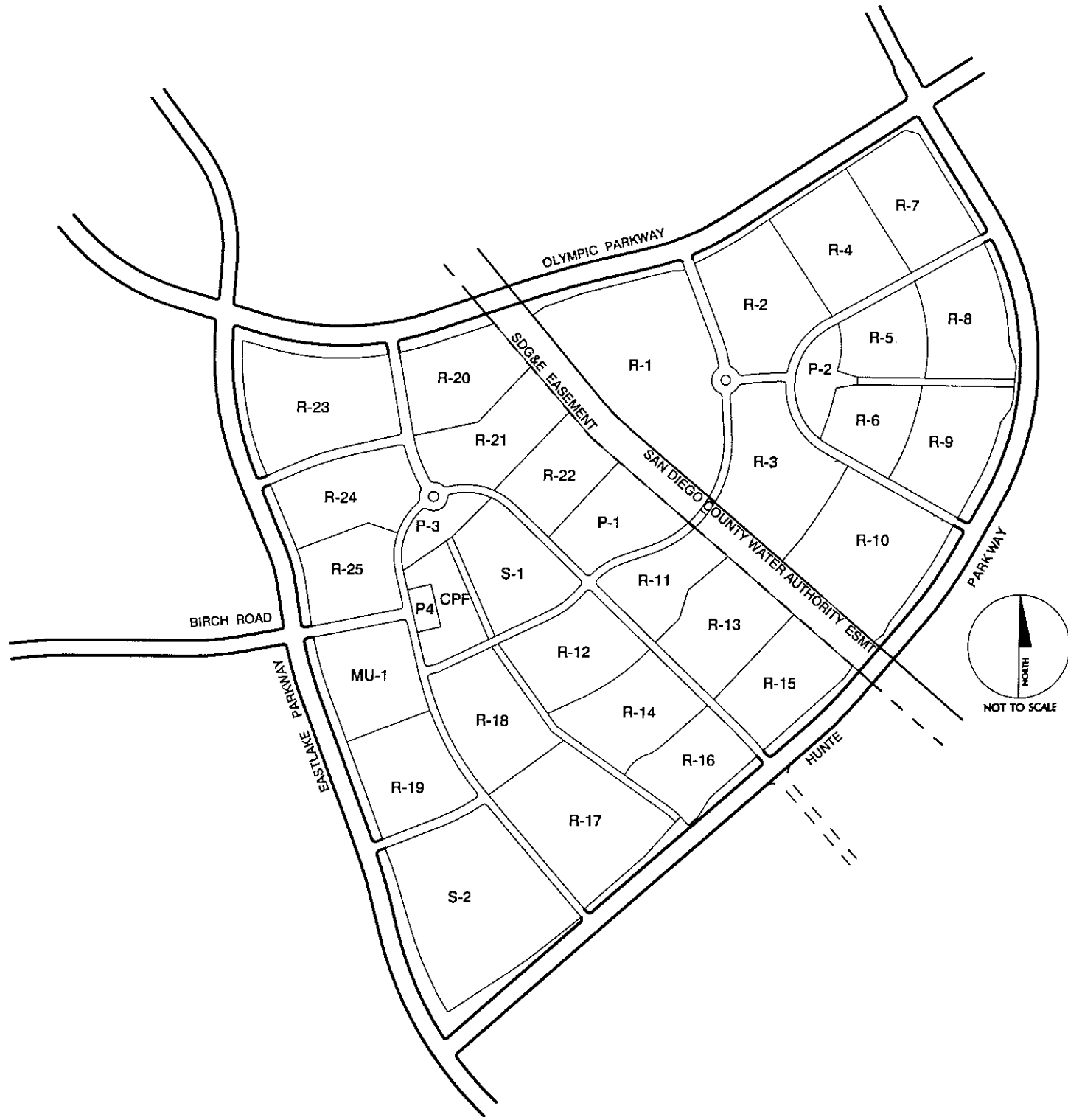
Two school sites are provided: a net 10-acre elementary school and a net 25-acre junior high school. The elementary school site is located in the village core in conformance with the GDP. A junior high school site is provided in the village as requested by the Sweetwater High School District. The junior high school is located in the southwest corner of the village so it can be readily accessed from surrounding major streets and public transportation.

Parks within the village consist of a net 7-acre public neighborhood park and a privately owned and maintained 1-acre town square. A 3-acre private recreation facility in the village core and 3.8-acre private recreation facility in the eastern portion of the village are also provided. Open spaces within the village include school play fields, the SDG&E/SDCWA utility easement, paseos, parkways adjacent to streets and graded slopes between neighborhoods. Open spaces within the village provide opportunities for views and for the location of off-street pedestrian and bicycle paths to connect neighborhoods to the village core.

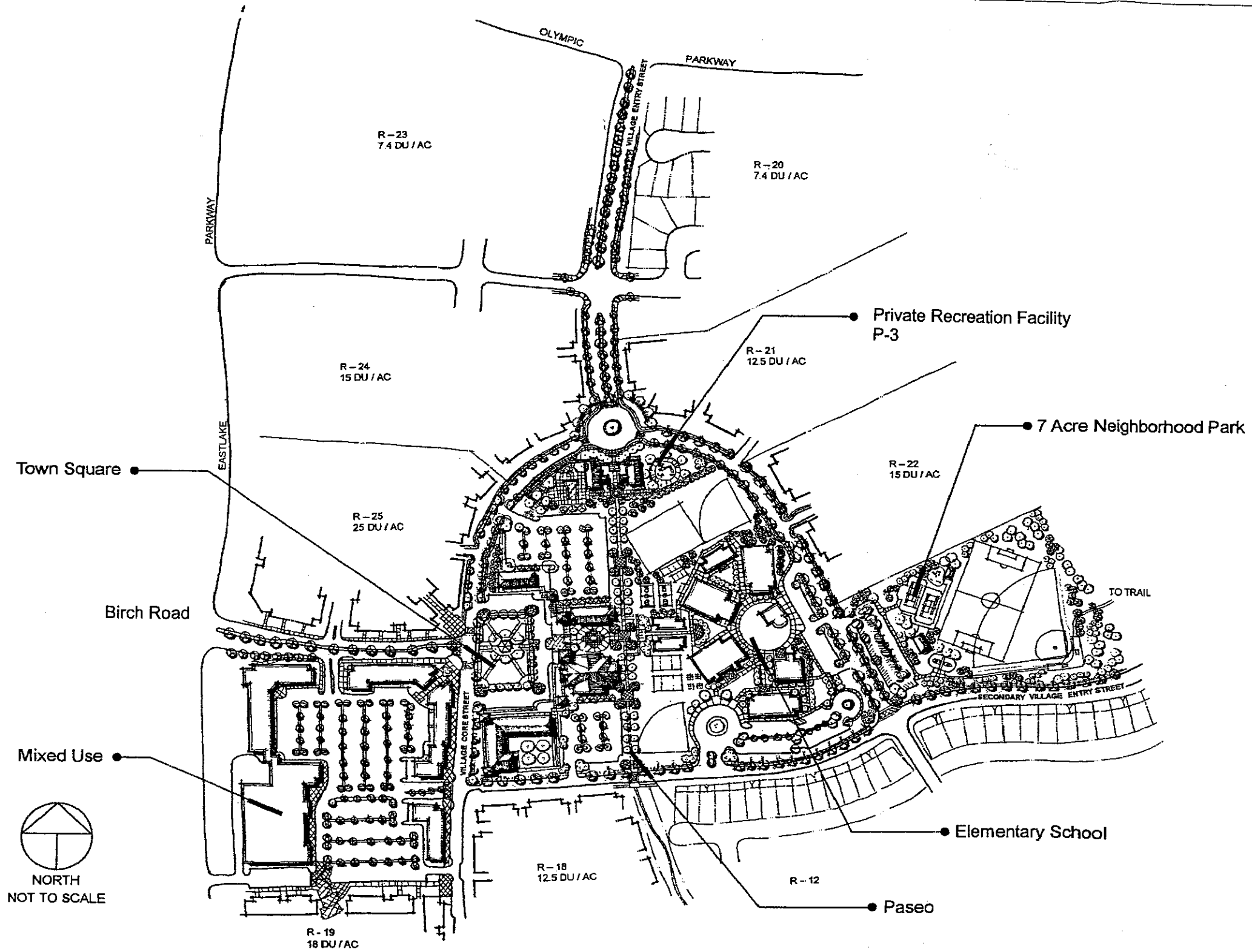
The organization of land uses is an important component in creating the Otay Ranch village concept. The village core design is particularly significant since it must combine a variety of land uses. Exhibit II.2.2.-4, Village Core Concept Plan, illustrates the vision for the Village Eleven core. The Village Eleven Design Plan more fully discusses the village and neighborhood identity and character by defining architectural style, landscape theme, and design and detailing of site improvements such as walls, fences, lights, and signage. A subsequent Village Core Master Precise Plan will be prepared to provide additional guidance in the design of each land use site within the village core.



**Exhibit II.2.2-2
Village Eleven Land Use Plan**



NEIGHBORHOOD AREA	LAND USE	APPROX. GROSS ACREAGE	TARGET DU'S/AC	DWELLING UNITS
R-1	SF	26.7	6.1	163
R-2	SF	14.2	3.3	47
R-3	SF	15.3	3.0	46
R-4	SF	12.4	4.4	55
R-5	SF	7.5	5.0	37
R-6	SF	7.5	4.7	35
R-7	SF	11.4	6.1	70
R-8	SF	11.2	5.7	64
R-9	SF	11.6	5.2	60
R-10	SF	18.0	4.8	86
R-11	SF	7.7	4.7	36
R-12	SF	11.1	5.2	58
R-13	SF	11.4	4.6	53
R-14	SF	11.0	5.1	56
R-15	SF	10.3	6.6	68
R-16	SF	8.5	7.3	62
SUBTOTAL	SF	195.8	5.1	996
R-17	MF	18.5	8.0	118
R-18	MF	12.5	12.5	125
R-19	MF	11.6	18.0	167
R-20	MF	10.6	8.0	78
R-21	MF	10.5	12.5	112
R-22	MF	8.4	15.0	105
R-23	MF	16.8	8.0	119
R-24	MF	10.2	15.0	169
R-25	MF	10.0	25.0	200
SUBTOTAL	MF	109.1	10.9	1,193
MU	MU	10.0	11.5	115
SUBTOTAL	RES.	314.9		2,304
MU-1	COMM.	10.0		
SUBTOTAL	COMM.	10.0		
CPF	CPF	5.5		
SUBTOTAL	CPF	5.5		
P-1	PARK	8.9		
P-2	PARK	3.8		
P-3	PARK	3.0		
P-4	PARK	1.0		
SUBTOTAL	PARK	16.7		
S-1 / K-6	SCHOOL	11.0		
S-2 / Jr. HS	SCHOOL	25.6		
SUBTOTAL	SCHOOL	36.6		
Hunte Parkway	ROAD	24.2		
Olympic Parkway	ROAD	9.3		
Eastlake Parkway	ROAD	7.2		
W ⁿ Circulation Sts	ROAD	17.4		
E ⁿ Circulation Sts	ROAD	8.1		
SUBTOTAL	ROAD	66.2		
Green Buffer	O.S.	27.6		
Easemt thru Property	O.S.	18.8		
Paseo Area in West	O.S.	1.5		
Paseo Area in East	O.S.	1.3		
SUBTOTAL	O.S.	49.2		
TOTAL		489		2,304



NOTE: Village Core Concept Plan is an illustrative example only. The design of the village core will be developed through the Village Eleven Design Plan, Village Core Master Precise Plan and Individual Precise Plans for each site.

Figure II.2.2-4
Village Core Concept Plan

II.2.2.3 Mapping Refinements and Density Transfers

The Village Eleven SPA Plan provides guidance for future development at the subdivision and improvement plan level, and is the basic reference for determining permitted land uses, densities, total unit and required public facilities. The SPA Plan is not intended to be used in a manner that predetermines the development solution for each and every parcel. It is intended to reflect the City's intent for determining the intensity, design and desired character of use for the property.

The development pattern and interior circulation arrangement indicated on the Site Utilization Plan is based on preliminary design concepts developed at large scale (1" = 200') and measured to the nearest one-tenth acre based on planimeter readings. Later design refinements will be accomplished at 100-scale (1" = 100'). Modifications resulting from technical refinements such as land surveys performed during the development permit and subdivision process will not require an amendment to this document, provided the overall intent of the SPA plan is maintained. Mapping refinements to the SPA Plan exhibits and text which are needed to reflect adjustments based on an approved Tentative Map will not require a formal SPA Plan amendment. Mapping refinements may result in changes to the number of dwelling units permitted within various districts as shown on the Land Use Plan and Land Use Summary, provided that the total number of dwelling units in Village Eleven does not exceed 2,304.

In order to promote density flexibility and residential diversity, the transfer of dwelling units from one Neighborhood Area to another Neighborhood Area as defined by the Village Eleven SPA Land Use Plan may be approved as part of this SPA approval or subsequent Tentative Map approval. Future density transfers which do not require amendment to this Village Eleven SPA Plan must meet the following criteria:

- The total number of units within the village may not exceed 2,304.
- The maximum density for the particular zoning category must not be exceeded.
- The planned identity of the village must be preserved, including the creation of a pedestrian friendly and transit oriented environment.
- An increase in the number of dwelling units in one Residential Neighborhood Area must be accompanied by a corresponding decrease in dwellings within another area.

All such transfers are permitted subject to the approval of the Director of Planning and Building through an administrative approval. Proposed changes outside the scope of these provisions may be allowed, subject to a SPA Plan amendment. An exhibit showing the locations of the density changes shall accompany such requests as the Director of Planning and Building might deem necessary.

The school sites have been designated for planning purposes, however, if a school district determines that a site will not be used for school purposes, the developer may initiate SPA Plan amendment proceeding for other appropriate land uses. The underlying land use of the school sites is residential, as depicted in the GDP.

II.2.2.4 Housing Programs

The predominant land use in the Otay Ranch Village Eleven SPA Plan is residential, intended to provide housing in response to local market demands. This SPA Plan permits a variety of housing types in response to these demands, ranging from apartments to single family housing on lots over 6,000 square feet. The Village Eleven SPA Plan establishes the housing mix in four residential categories: Low-Medium Village; Medium; Medium-High and High.

The City of Chula Vista, along with all other cities in California, is required by state law to have a Housing Element as a component of its General Plan. The Housing Element describes the housing needs of the community and the responses necessary to fulfill them.

The Chula Vista Housing Element contains numerous objectives, policies and related action programs to accomplish these objectives. Key among these policies is the affordable housing policy which requires that residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households, one-half of these units (5% of the total project) being designated to low income and the remaining five percent (5%) to moderate income households.

In order to guarantee the provision of Affordable Housing opportunities, the City requires that a specific Affordable Housing Program ("AHP") and agreement, consistent with the Housing Element, be prepared and signed by the Developer and the City. The AHP delineates how, when and where affordable housing units are to be provided, intended subsidies, income and/or rent restrictions, and methods to verify compliance. These programs and policies shall be applied to the Otay Ranch Village Eleven SPA development, as detailed in the Village Eleven Affordable Housing Program included as a component of this SPA Plan. The Tentative Tract Map for Village Eleven will be conditioned upon implementation of the Affordable Housing Program, by requiring that an Affordable Housing Agreement be entered into between the applicant and the City prior to Final Map recordation. The Affordable Housing Agreement will be executed at the time of approval of the first Final Map.

II.2.3 CIRCULATION

II.2.3.1 Introduction

The Village Eleven circulation plan provides for a system that extends existing transportation routes and constructs planned facilities. The circulation plan incorporates vehicular and non-vehicular modes of transportation.

The plan arranges roads into a hierarchy, organized by function, to facilitate access within and around the village. These facilities are designed to create an integrated system of roads, cart paths, bike lanes, trails and pedestrian walkways. The circulation plan implements access to the community as established by the Otay Ranch General Development Plan (GDP) and in accordance with the City of Chula Vista General Plan. Road classifications within the village have been refined to reflect the specific opportunities and constraints of the Village Eleven SPA area. Village Eleven street design standards will be established at the Tentative Map level. The plan also considers non-vehicular transportation systems by making provisions to connect to local and regional trails systems that provide access between the village core, neighborhood park, open space areas and residential areas.

The Village Eleven SPA Plan Public Facilities Finance Plan (PFFP) establishes a circulation phasing plan which identifies the timing of specific improvements necessary to maintain the levels of service established in the City's Threshold Standards in the Growth Management Element of the Chula Vista General Plan. The PFFP also describes the obligations of Village Eleven for the construction, or contributions toward construction, for specific street segments that provide access to the village.

Village Eleven is designated by the Otay Ranch GDP as an urban village to be served by public transit. In order to make mass transit viable, higher density residential development is concentrated within the village core, generally within a 2000-foot radius of a transit stop in the village core. A regional transit-way is proposed to be located in the EUC and the Freeway Commercial with stations located approximately 1/2 mile from the core of Village Eleven. Bus lines will also serve Village Eleven and bus stops can be located within proximity to all neighborhoods within the village. Specific project access points, and internal circulation, including bicycle, pedestrian, and road crossings will be determined by the City Engineer, Director of Planning and Building, and Park and Recreation Director during the Tentative Tract Map process. Variations to these concepts may occur where safety or efficiency can be enhanced.

II.2.3.2 Regional Circulation Network

Regional access to Village Eleven is currently provided by I-805, which is located approximately five miles west of the project site. Future construction of State Route 125 will provide additional north-south access for the traffic generated with buildout of the Eastern Territories. Secondary north-south access is available on I-5, along the Bayfront, eight miles west of the SPA project area. State Route 54 provides regional east-west circulation northwest of the project area, approximately 5 miles from the project site.

The Otay Ranch GDP provides for the expansion of the regional transit-way system into Otay Ranch. A north-south transit line is planned to be located west of Village Eleven in the Freeway Commercial and EUC developments. Each of those development areas would have a transit station approximately one-half mile from the Village Eleven core. The easternmost residential areas of Village Eleven would be approximately one mile from the transit stations. Bus lines would also provide public transit service to the village.

II.2.3.3 Project Circulation Network

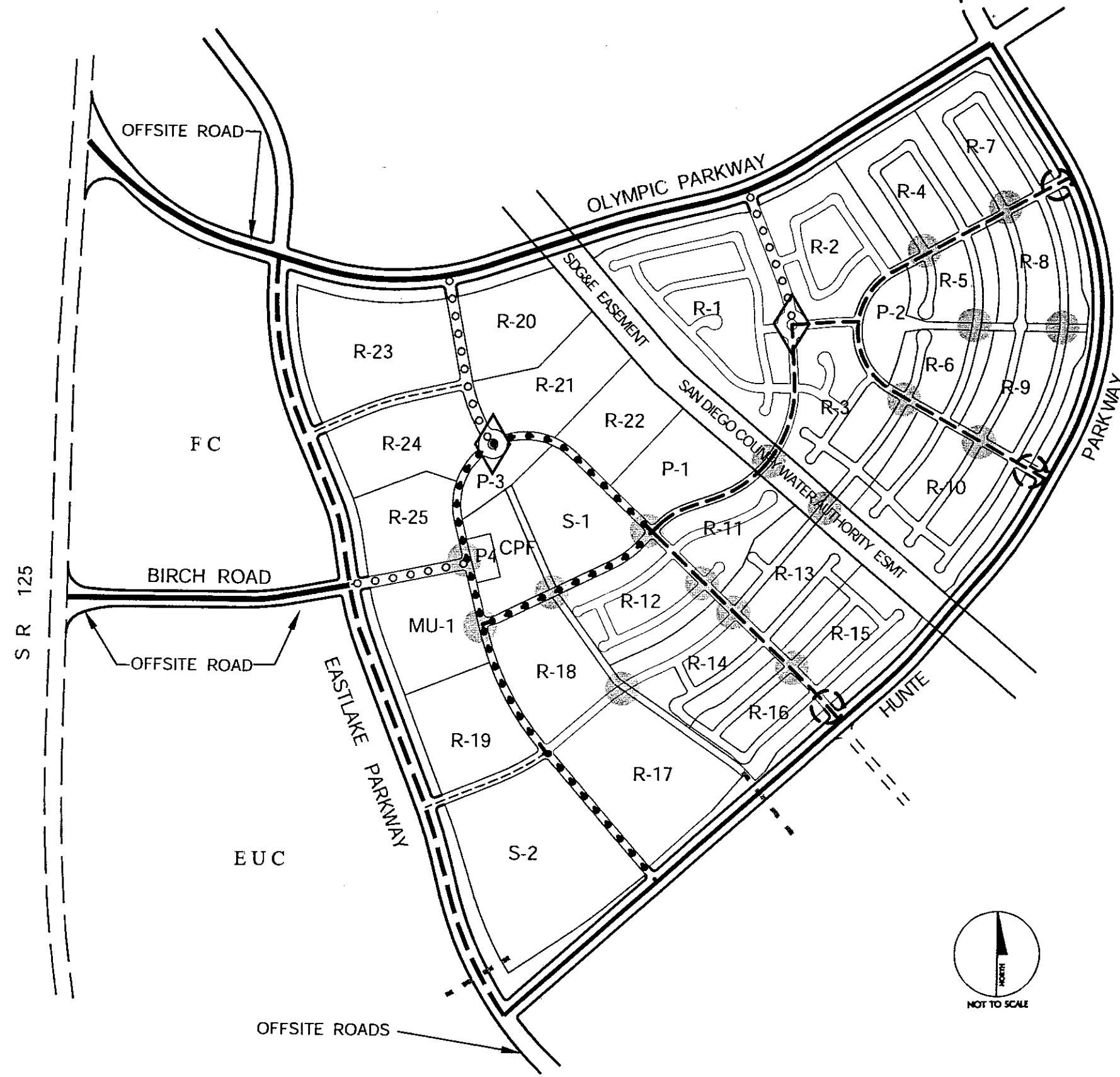
Primary access to Village Eleven from the west will be provided by Olympic Parkway and Birch Road which are six-lane Prime Arterials. Each of these streets connects to future interchanges with SR-125 to the west. The primary north-south access will be provided by Eastlake Parkway, a six-lane Major Street. A secondary access street from the north to Village Eleven is Hunte Parkway, a four-lane Major Street that widens to a six lane Prime Arterial at Olympic Parkway and continues south and west to a future interchange at SR-125.

Access streets into Village Eleven from Olympic, Eastlake and Hunte Parkways are located approximately ¼ mile apart, to allow for signalized intersections. Primary village entries will be full-movement and secondary entries may be full-movement or right-turn movements only, as determined by the City Engineer. The plan provides for two primary Village Entry Streets from Olympic Parkway and one primary Village Entry Street from Eastlake Parkway, aligned to Birch Road. Secondary access from Eastlake Parkway is provided by two Village Core Streets located to the north and south of Birch Road. Four Secondary Village Entry Streets are located at regular intervals along Hunte Parkway. These secondary entries will provide access with calmer traffic flows through residential neighborhoods.

The internal circulation concept is to provide adequate vehicular access throughout the village, encourage access to the village core, provide alternate routes through the village to disperse traffic, and avoid "through" routes that increase traffic speeds. The internal circulation streets include Village Entry Streets, Secondary Village Entry Streets with medians, Village Core Promenade Streets, Village Core Streets, Residential Promenade Streets, and Residential Streets for both public and private use. Traffic roundabouts are proposed as focal points at the terminuses of both the east and west village entry streets.

Traffic calming features, such as traffic circles and curb extensions may also be located in the circulation system at appropriate locations. Traffic roundabouts and traffic calming features shall be approved by the City Engineer and Director of Planning and Building prior to approval of the Tentative Map.

All streets within Village Eleven are proposed for a maximum travel speed of 25 miles per hour. This reduced speed will allow bicycles and carts to travel on village streets without designated travel lanes. The circulation network is conceptually shown in Exhibit II.2.3.-1.



LEGEND

- SR125
- 6 LANE PRIME ARTERIAL
- 6 LANE MAJOR STREET
- VILLAGE ENTRY STREET
- ROUNDABOUT LOCATION
- SECONDARY VILLAGE ENTRY STREET W/ MEDIANS
- PROPOSED NECKDOWN LOCATION
- RESIDENTIAL PROMENADE STREET
- VILLAGE CORE PROMENADE STREET
- VILLAGE CORE STREET
- PROPOSED PEDESTRIAN BRIDGE
- RESIDENTIAL STREET

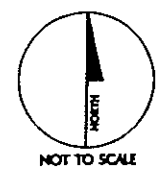


Exhibit II.2.3-1
Circulation Plan

II.2.3.4 Street Standards

Street standards for the arterial roads at the periphery of the SPA have been established in the Mobility Chapter of the GDP and previous project development approvals. Internal streets will be constructed to meet City engineering standards and to conform to the policies of the GDP. The Mobility chapter of the GDP also allows modifications of standard street designs to be specific to each village. Final improvement designs will be determined as part of the subdivision approval process. The maximum allowable traffic speed on all village streets is 25 miles per hour.

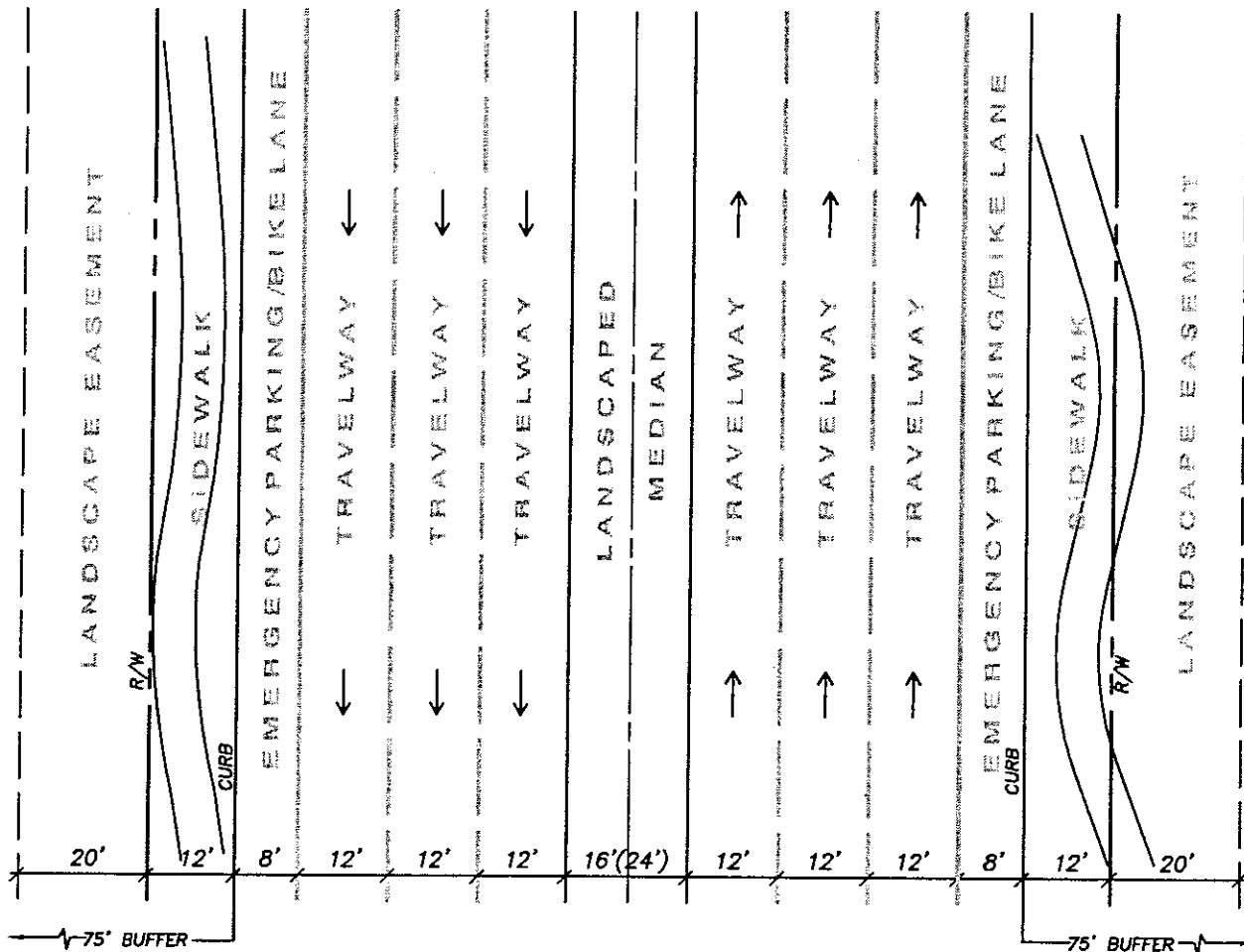
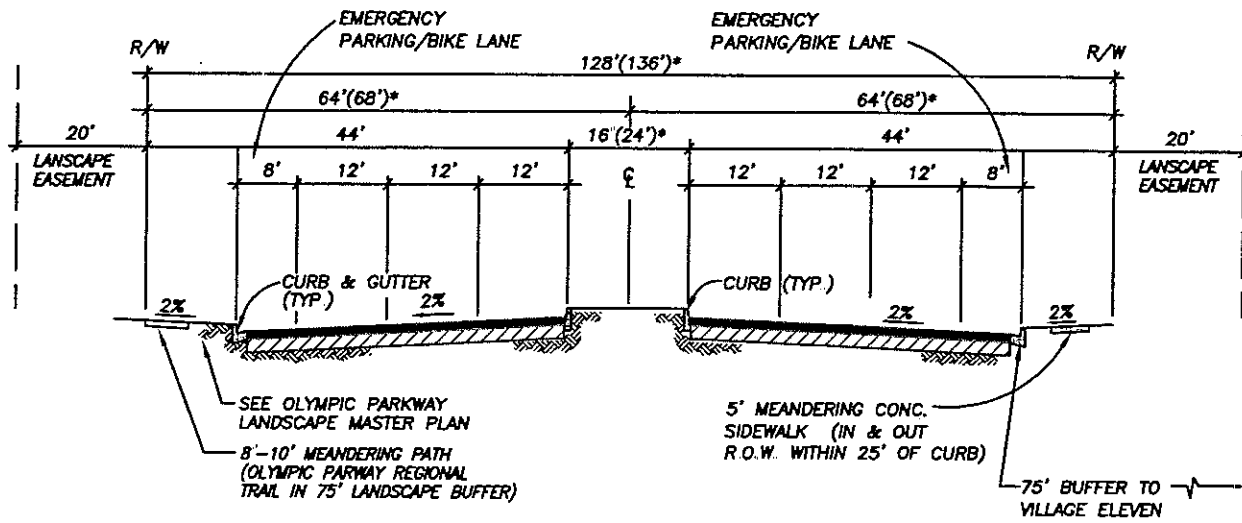
In some moderate density areas, the use of public alleys may be appropriate. Alleys can provide rear entrances for vehicles, decreasing intrusions into fronting residential streets. Any alleys proposed through a site design or subdivision application process must be approved by the City Engineer.

The GDP describes the automobile oriented improvements as only one component of an integrated mobility system, which includes bicycles, carts, trails, pedestrian trails and public transit systems. For this reason, all circulation streets in and around Village Eleven have been designed to minimize steep gradients wherever possible, to accommodate bicycles, carts and pedestrians. All circulation street right-of-way designs provide sidewalks or trails appropriate to the street classification.

Prime Arterials and Major Streets

Prime Arterials and Major Streets provide for the completion of the regional circulation system. They are designed to operate at maximum efficiency and provide for automobile and bus access to regional destinations including freeways. Prime Arterials and Major Roads cross each other at intervals of three-quarter miles or greater. Olympic Parkway and Hunte Parkway are six-lane Prime Arterials and Eastlake Parkway and Birch Road (west of Eastlake Parkway) are six-lane Major Streets. All the surrounding streets are designed with 75-foot (average) landscape buffers as specified in the GDP.

Olympic and Hunte Parkways are also Scenic Corridors. A Scenic Corridor is a major road located within an open space corridor. Treatment of these facilities is an especially important design and aesthetic consideration because they provide the identity for the Otay Ranch property and the Eastern Territories. The landscape treatment and design elements of scenic corridors are addressed more fully in the Village Design Plan. Cross sections of Olympic, Hunte and Eastlake Parkways are illustrated in the following exhibits.



* WIDER RIGHT OF WAY TO ACCOMMODATE WIDER MEDIAN EAST OF SDCWA EASEMENT

Exhibit II.2.3-2
Olympic Parkway - 6 Lane Prime Arterial

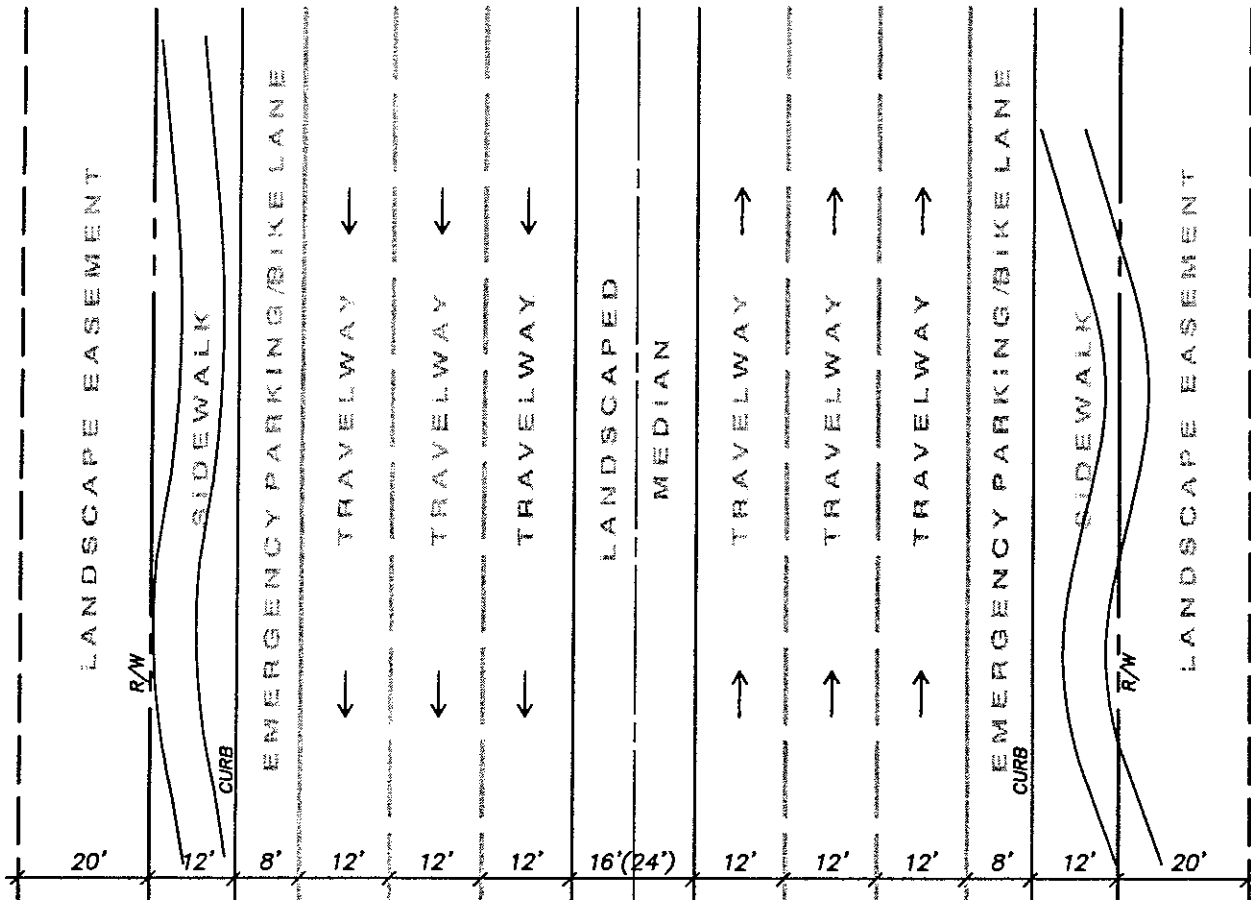
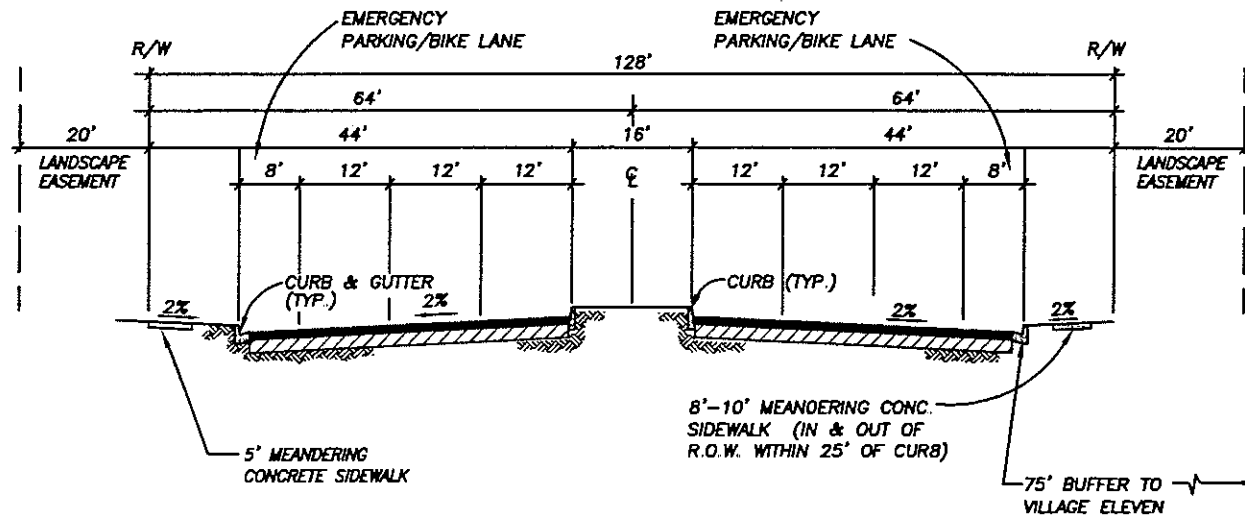


Exhibit II.2.3-3
Eastlake Parkway - 6 Lane Major Street

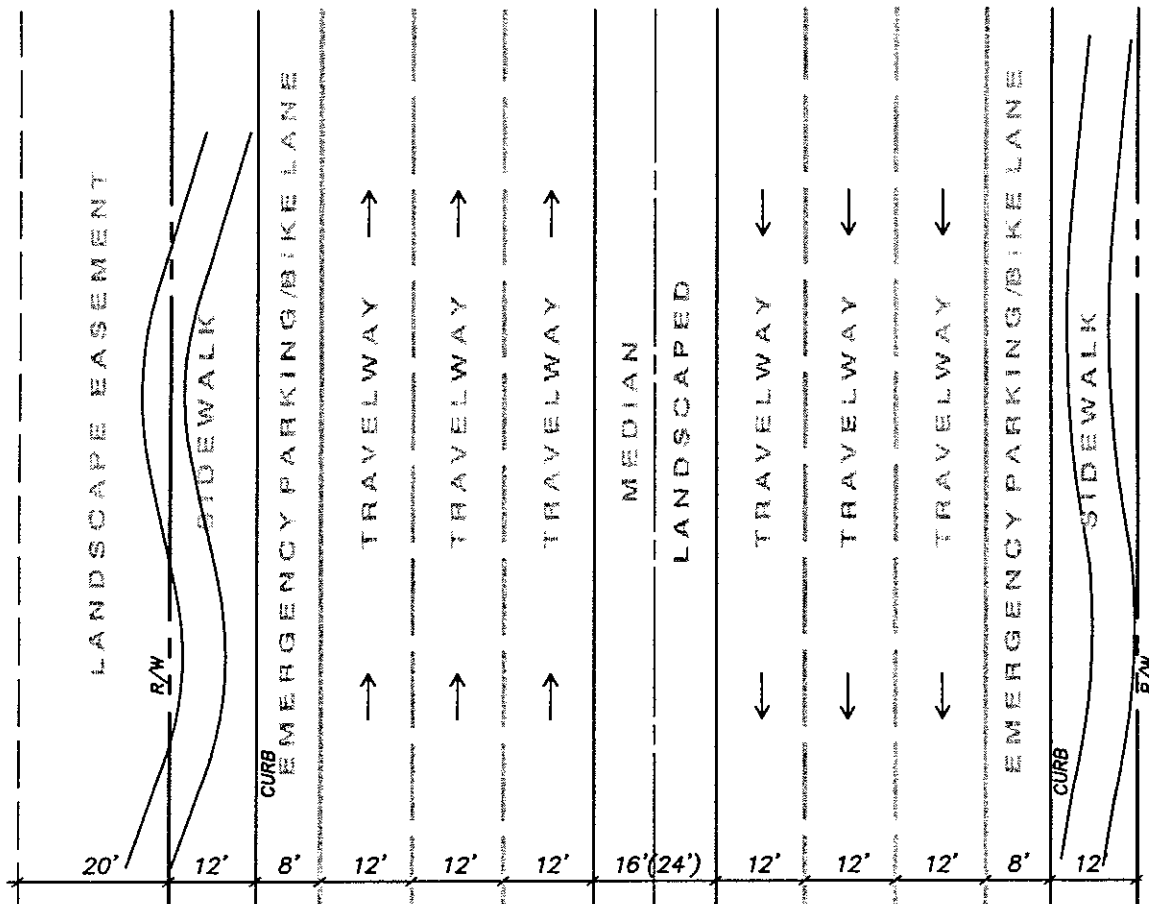
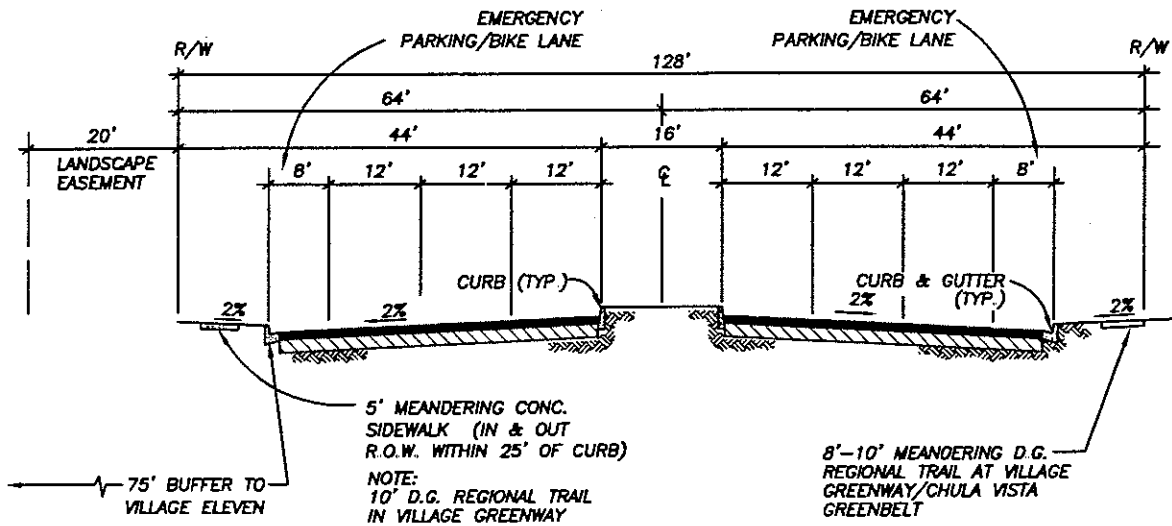


Exhibit II.2.3-4
Hunte Parkway - 6 Lane Prime Arterial

Village Entry Streets

Village Entry Streets provide a formal gateway into a village and introduce the village theme, identity and character. Entry Streets provide a transition from the prime arterials/major streets to the calmer village atmosphere. In Village Eleven, primary Village Entry Streets lead from Olympic and Eastlake Parkways to the village core in the western portion of the village and from Olympic into the heart of the eastern portion of the village. The Village Entry Streets have a unique design specific to the land uses and circulation needs of the village area it serves. Otay Ranch primary Entry Streets typically consist of two lanes each direction divided by a wide landscaped median. Village Eleven primary Entry Streets utilize a similar design, but the low traffic volumes in the village allow a reduction in the number of travel lanes. Fewer travel lanes slow traffic and make the village more pedestrian-friendly.

The Village Entry Street from Eastlake Parkway (the easterly extension of Birch Road) has the highest traffic volumes due to the mixed-use/commercial site located on the south side of the street. Exhibit II.2.3.-5 illustrates the design of Birch Road. If complete commercial development of the MU site is not viable, the Village Eleven Planned Community District Regulations allow expanded residential development within the MU. Expanded residential development in this site would reduce the traffic volumes considerably, so the street may be designed with one travel lane in each direction, a landscaped median, and parking and turning lanes, if supported by traffic studies.

The Village Entry Streets from Olympic Parkway are proposed for one travel lane in each direction separated by a landscaped median. Widened lanes are provided near the intersections with Olympic to facilitate turn movements. Parking is allowed along the southern segment of the western Olympic Parkway Village Entry Street. The Olympic Parkway Village Entry Streets are illustrated in Exhibit II.2.3.-6.

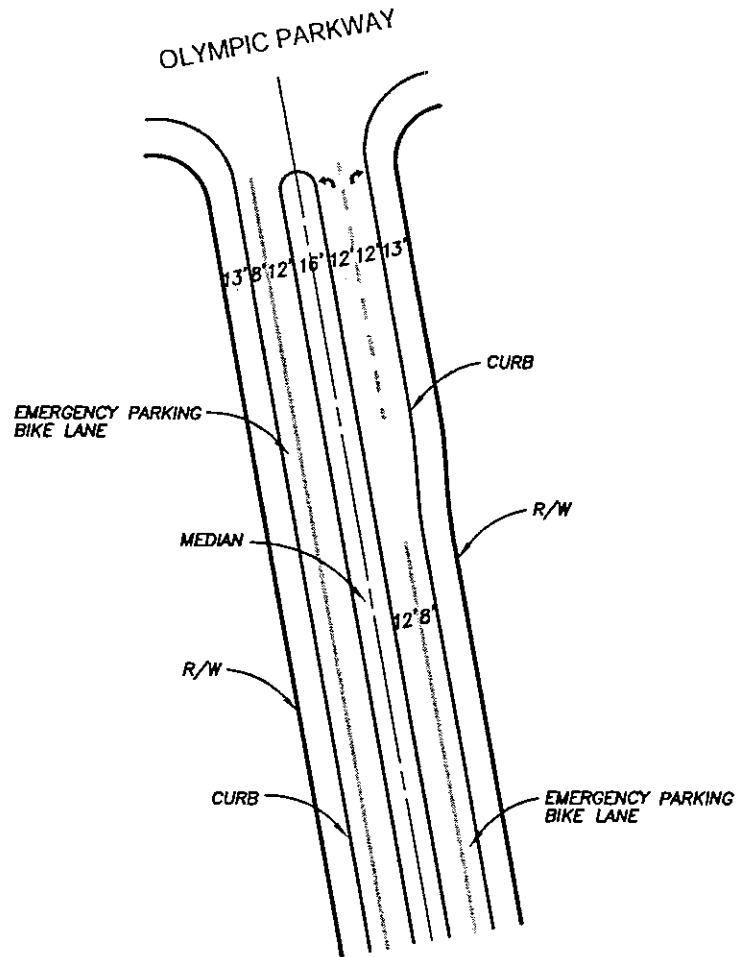
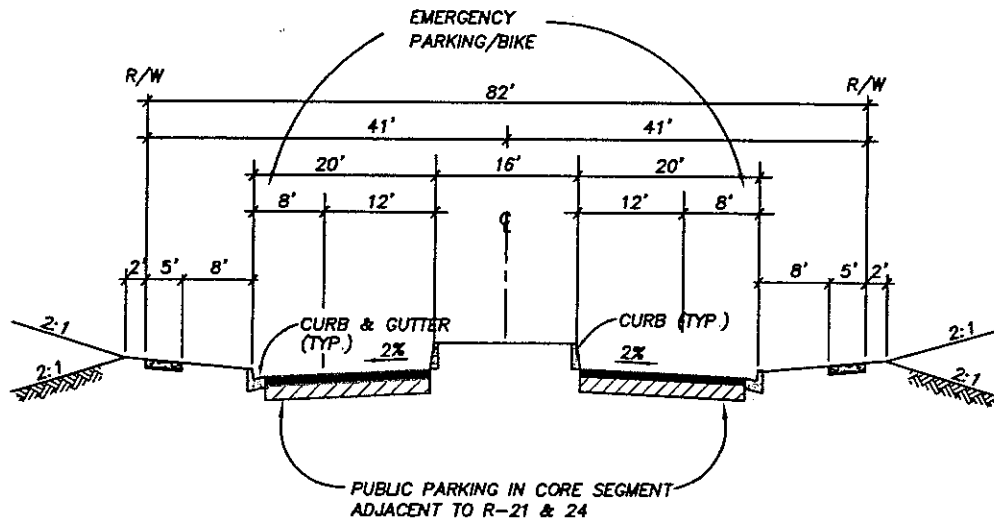


Exhibit II.2.3-6
Olympic Parkway Village Entry Streets

Secondary Village Entry Streets With Medians

In Village Eleven, Secondary Entry Streets are designed as 2-lane formal entries leading into the village. Secondary Village Entry Streets with Medians will be located at the three eastern secondary access points from Hunte parkway. These streets will transition to Village Core Promenade Streets. Exhibit II.2.3-7 illustrate these entries.

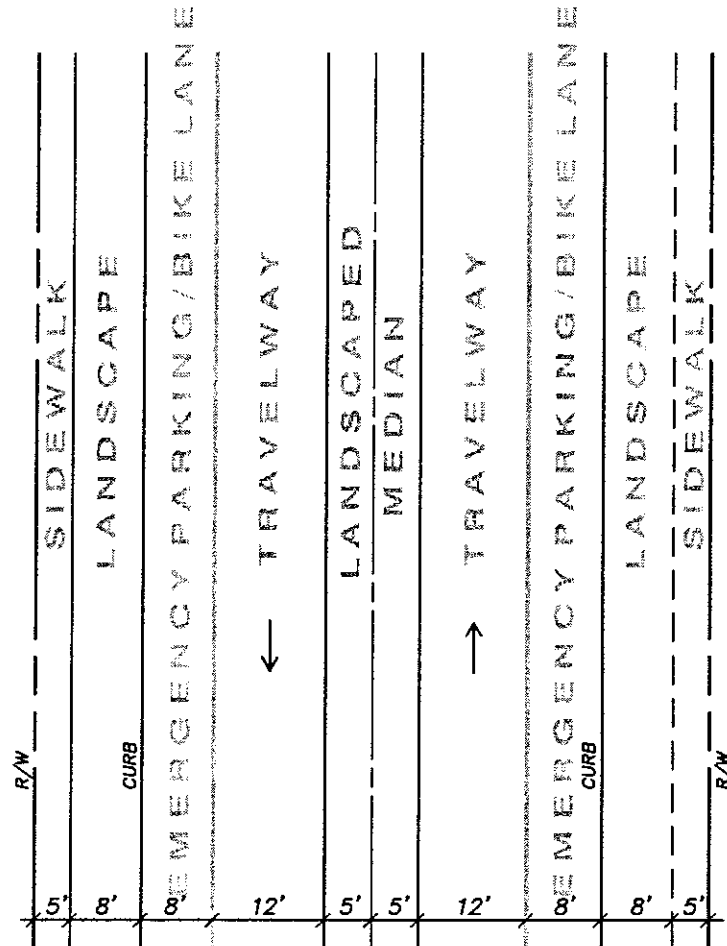
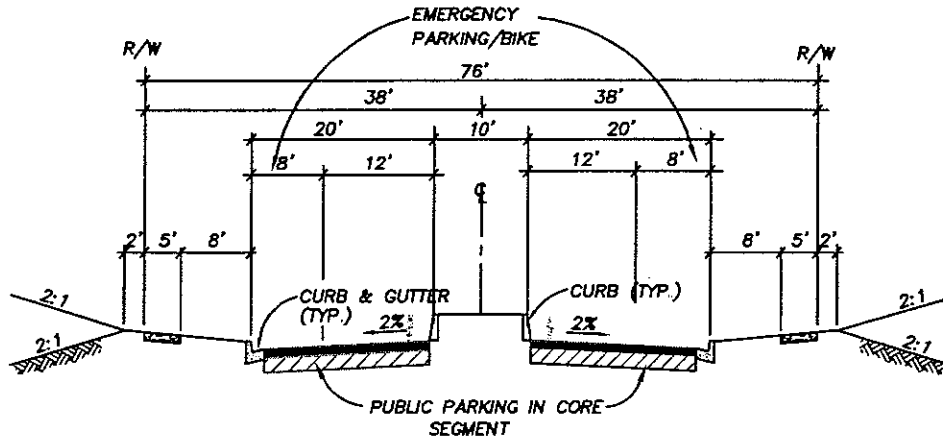
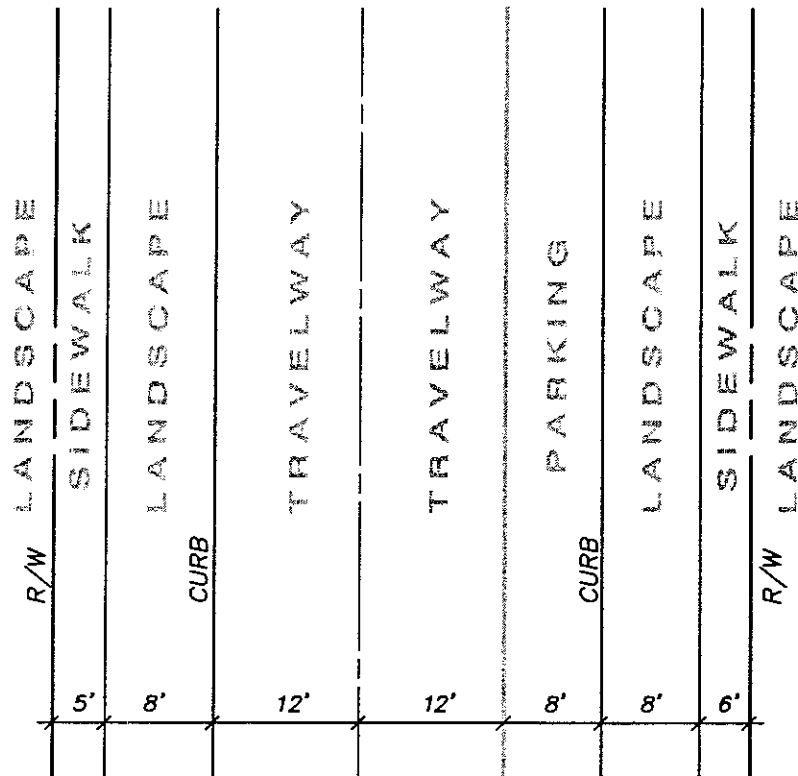
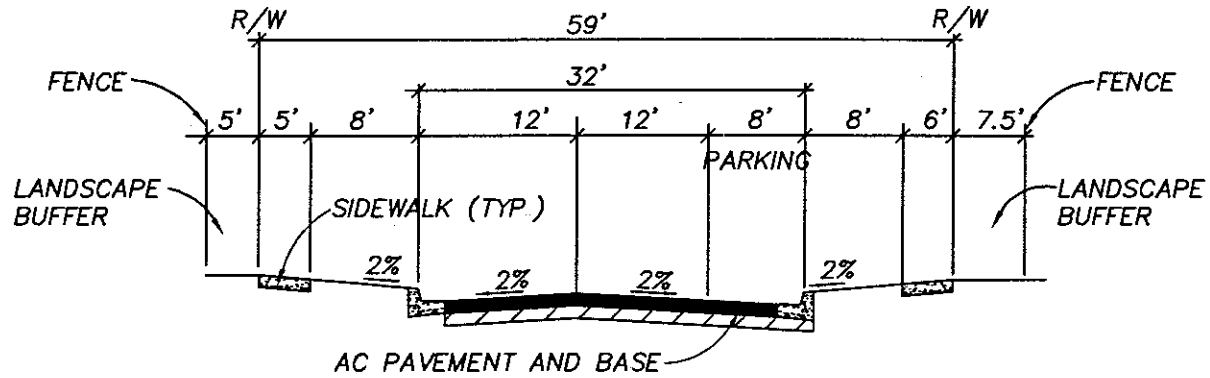


Exhibit II.2.3-7

Secondary Village Entry Streets with Medians

Residential Promenade Streets

The residential Promenade Streets serve as collector streets in the village. These streets provide two travel lanes and parking is allowed on one, "Promenade", side of the street. Promenade Streets are also a primary pedestrian link through the village and will be landscaped with trees on each side of the Promenade sidewalk. Residential Promenade Streets are illustrated in Exhibit II.3-8.



**Exhibit II.2.3-8
Residential Promenade Streets**

Village Core Promenade Streets

Village Core Promenade Streets are located in the heart of the village and are designed to promote an urban village and pedestrian orientation. Parking is permitted on both sides of the street. Village Core Promenade Streets illustrated in Exhibit II.2.3-9, create an urban atmosphere with an active and colorful ambiance. Where restaurants and stores front these streets, the landscape parkway is designed as an "urban promenade", a 16-foot wide curb to building sidewalk are that accommodates window shopping, outdoor dining, opportunities and similar activities as illustrated in Exhibit II.2.3-10.

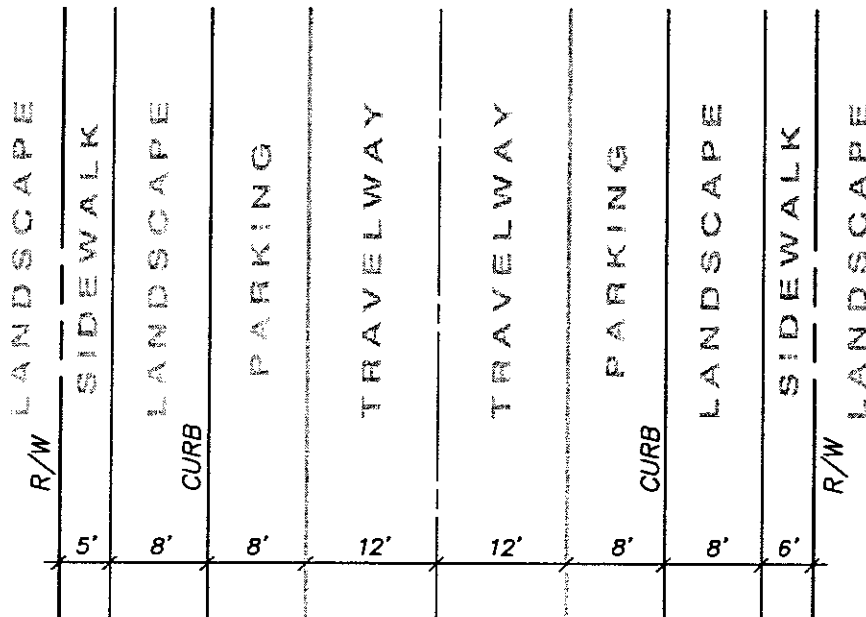
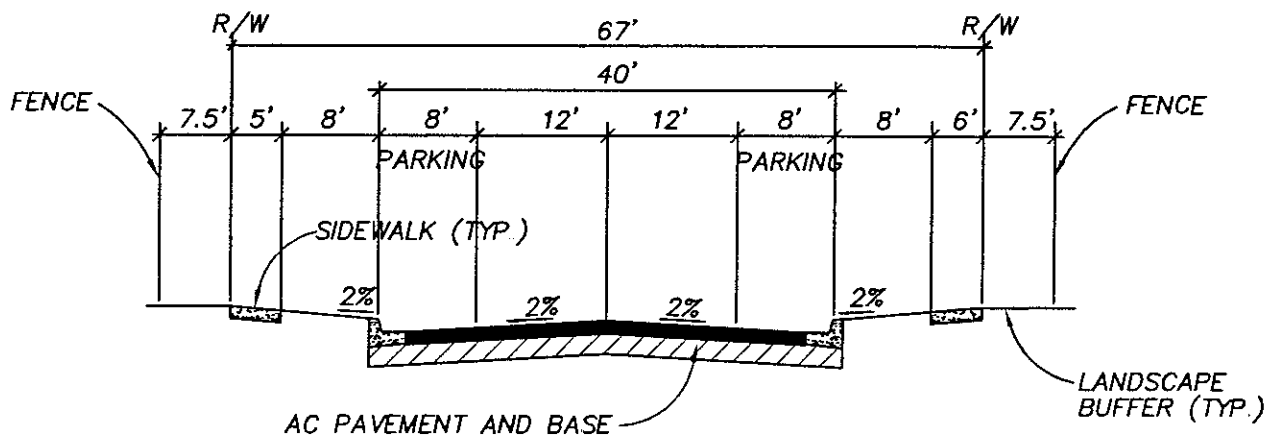


Exhibit II.2.3-9
Village Core Promenade Streets

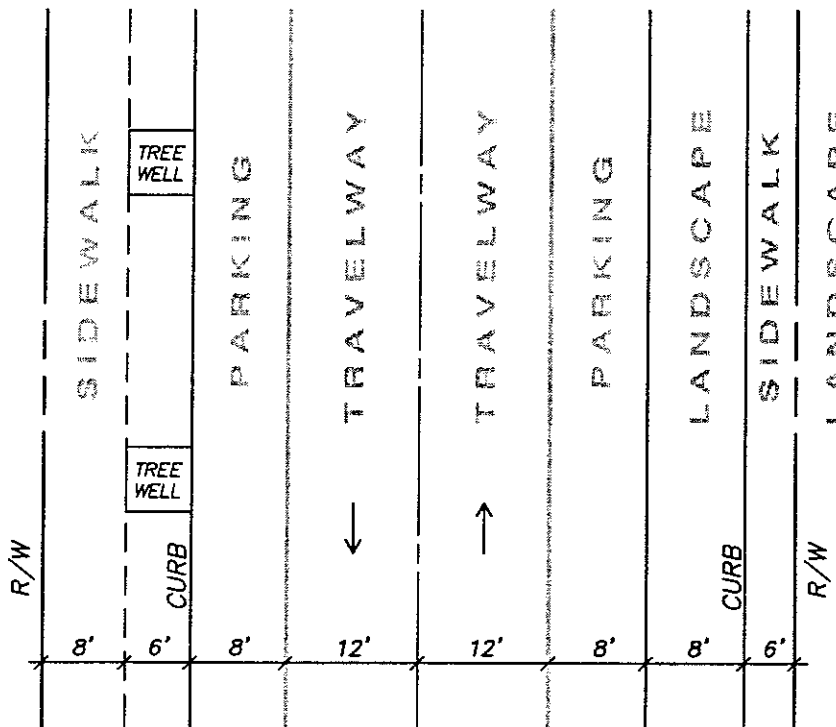
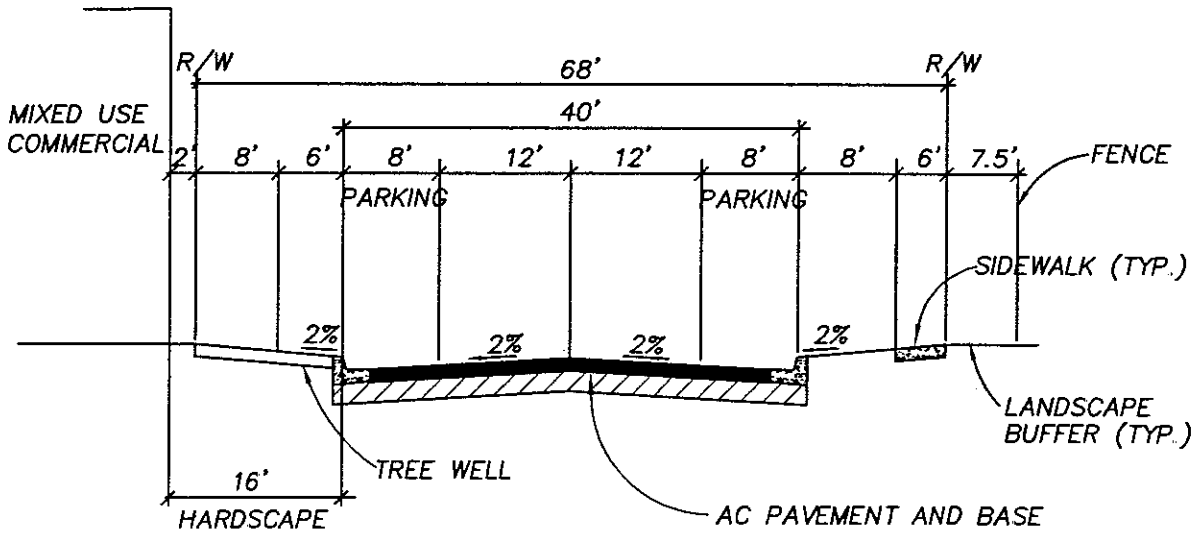


Exhibit II.2.3-10
Village Core Promenade Streets - Commercial Condition

Village Core Streets

Village Core Streets continue the urban street design from Eastlake Parkway into the village core. Because these streets are adjacent to multi-family residential developments and the Junior High School, parking is allowed on both sides of the street. Village Core Streets are illustrated in Exhibit II.2.3-11.

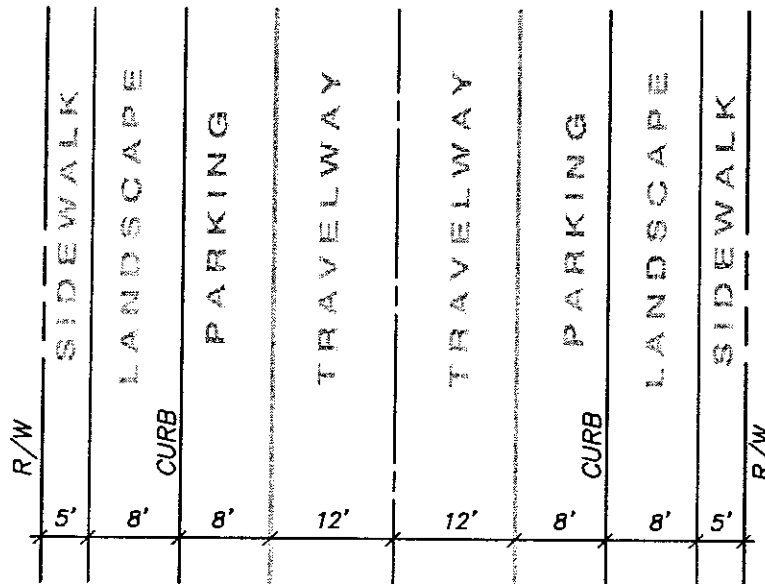
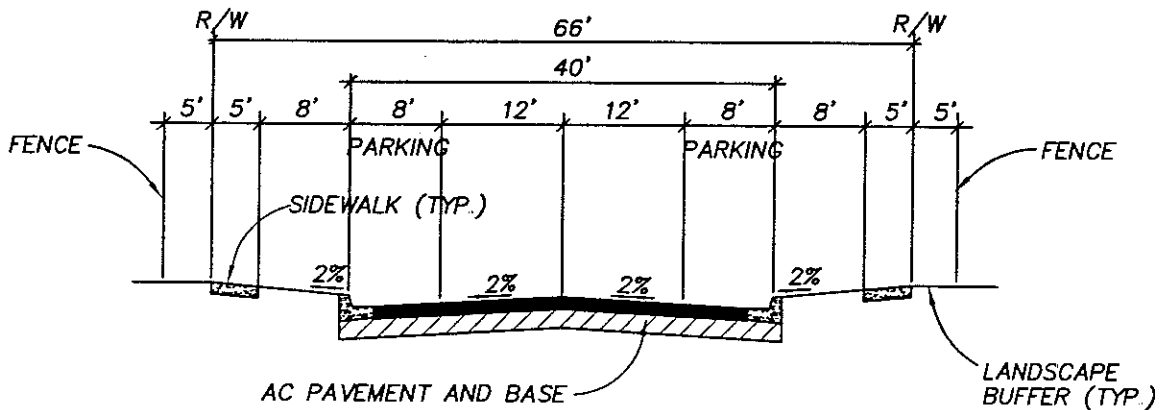


Exhibit II.2.3-11
Village Core Streets

Residential Streets

Residential Streets are narrow, two-lane streets designed to emphasize the pedestrian-orientation of the village. They reflect individual neighborhood character depending upon the nature of the adjacent residential development. Homes may occur on one or both sides of the street and parking is generally provided along both sides.

The Village Eleven SPA contains two types of Residential Streets as illustrated in Exhibit II.2.3 -12. The 'Parkway Residential Street' is the preferred design as it establishes a residential streetscape with a landscaped parkway adjacent to the curb and a sidewalk at the property line. The 'Private Residential Street,' which occurs in multi-family developments, provides a sidewalk adjacent to the street and a parkway at the property line. This design may be used where special conditions occur (i.e., alley and small lot single-family products). One application of this design is at "modified cul-de-sacs," cul-de-sacs of 150 feet length or less.

The Otay Ranch General Development Plan permits cul-de-sacs and open cul-de-sac design is described in the Otay Ranch Village Design Plan. The Village Design Plan states, "The open cul-de-sac can provide direct access to the Promenade Street, paseo, and open space, or merely visual access to an area beyond the street. Which ever way it is used, open cul-de-sacs improve the design and function of the neighborhood both internally and as perceived from the outside through the "windows" created through the open cul-de-sacs. Open cul-de-sacs should be encouraged where non-automobile circulation could be enhanced and at development edges where physical or visual access beyond the project is desirable." In Village Eleven, residential cul-de-sac streets have been provided for pedestrian and bike access to the paseos. The natural site topography requires a terraced grading plan, which lends itself to cul-de-sacs rather than steep connecting streets. The cul-de-sac streets have less traffic so they are quieter and more pedestrian-friendly than through streets.

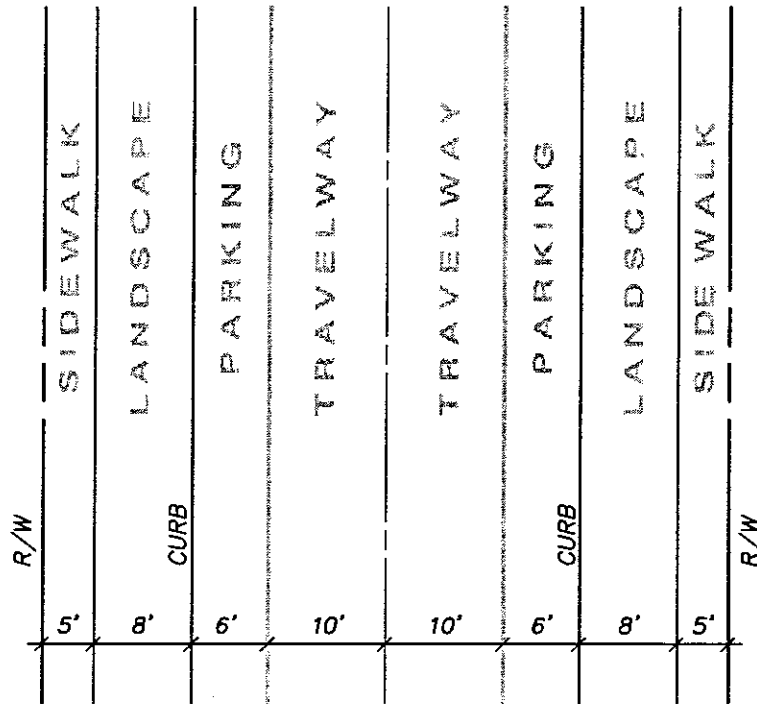
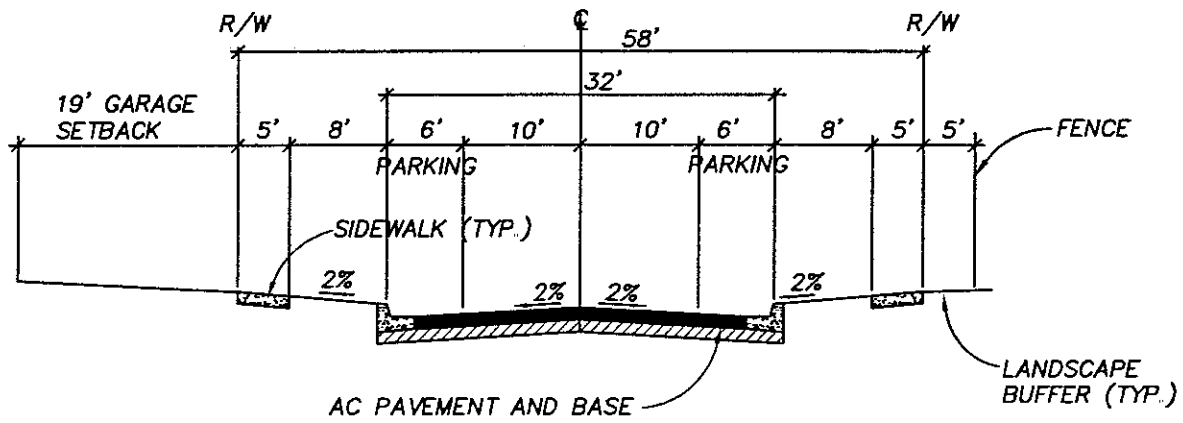


Exhibit II.2.3-12
Residential Streets

Private Residential Streets

Private residential streets may be located within certain residential developments, such as townhouse or condominium neighborhoods. These streets typically have narrower roadways than city streets and may require multiple points of access, grid streets patterns or other measures to assure adequate emergency access, private residential streets are illustrated in Exhibit II.2.3-13

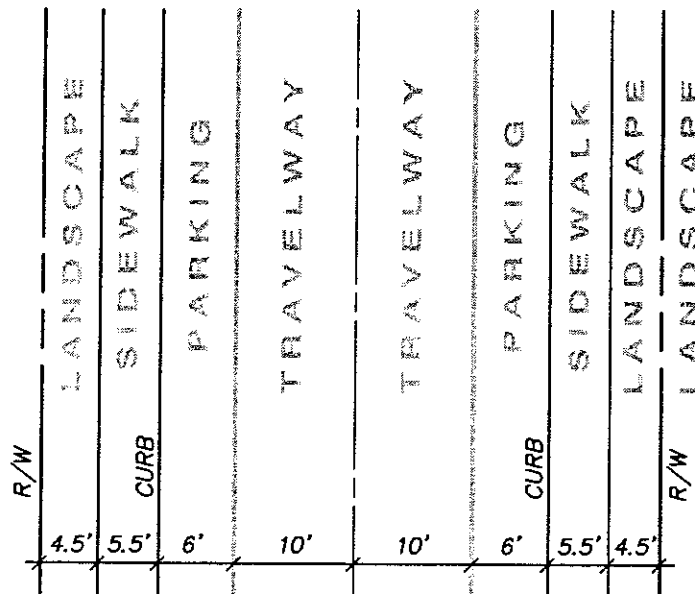
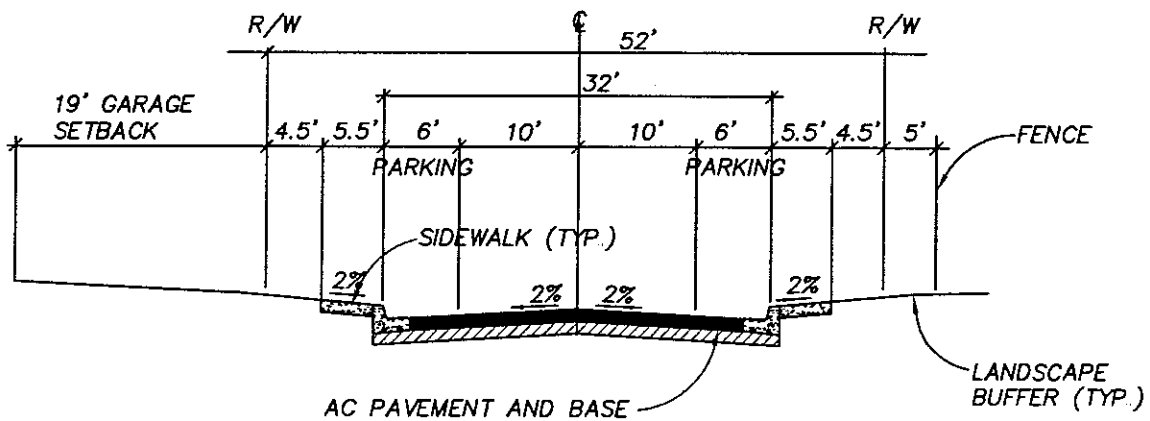


Exhibit II.2.3-13
Private Residential Streets

Alleys

In small lot single-family and mixed-use areas, public alleys may be appropriate. Alleys can provide rear entrances for vehicles, decrease traffic on residential streets, minimize the utilitarian appearance of street-facing garages and enable homes to be more open and inviting to the street, creating a pedestrian-friendly environment. Alleys may also provide an alternative location for utilities. Alleys are illustrated in Exhibit II-2.3-14.

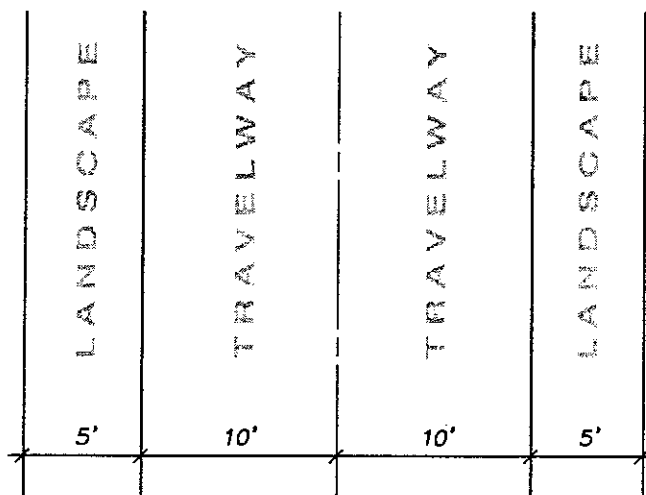
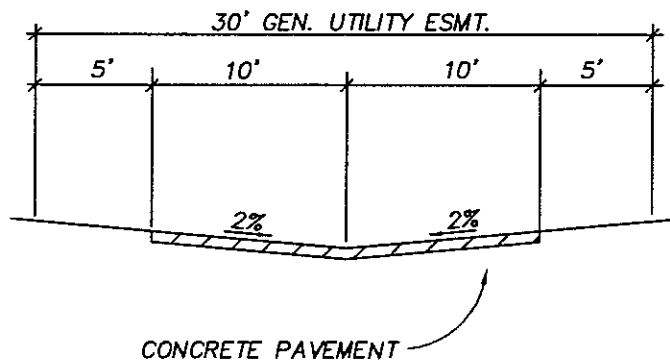
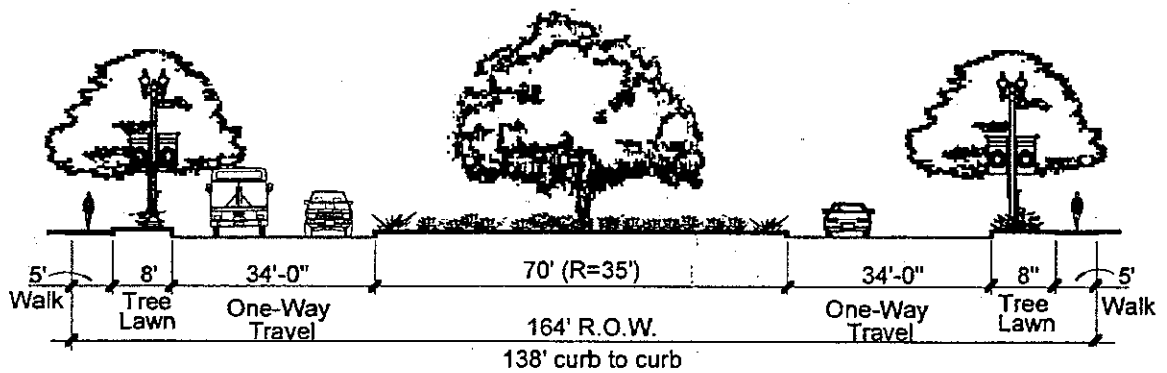
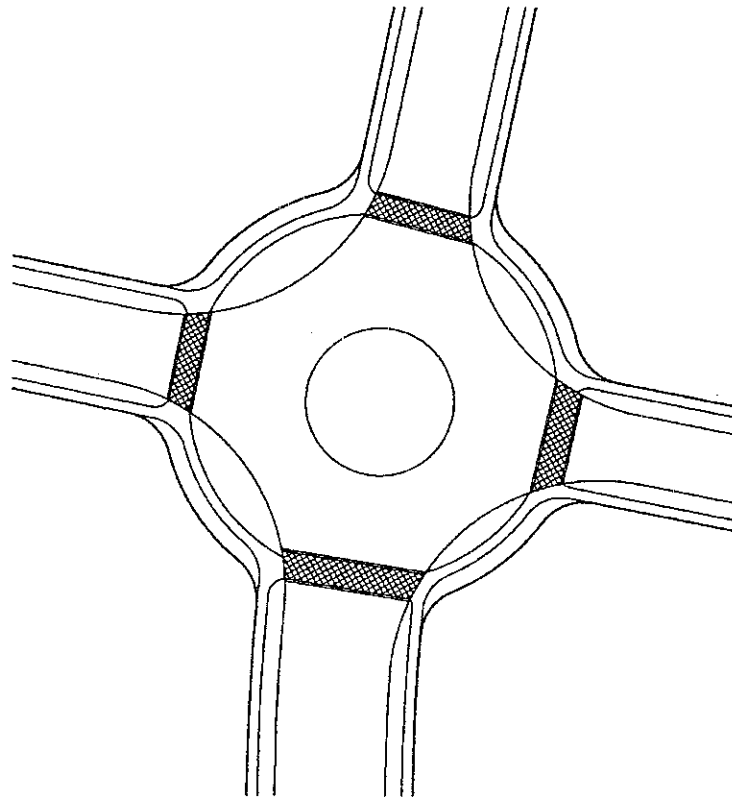


Exhibit II.2.3-14
Alleys

Roundabouts

Roundabouts are proposed to create focal points in the village and allow continuous, calmed traffic flow at primary intersections. The roundabouts will accommodate 1 or 2 travel lanes encompassing a 70-foot diameter landscaped area. Roundabouts are proposed at the terminuses of the primary entry streets in the east and western portions of the village. Roundabouts are illustrated in Exhibit II.2.3.-15.



**Exhibit II.2.3.-15
Roundabouts**

Traffic Calming Elements

Traffic calming elements may be used throughout Village Eleven where appropriate. The primary use of such elements will be to enhance the major pedestrian routes, for example, where the paseos cross village streets.

Traffic calming circles may be used as focal points and traffic calming elements within village residential neighborhoods. These 70-foot wide traffic calming circles will accommodate a single lane of traffic surrounding a 18-foot wide landscaped circle. The locations of the traffic calming circles would be at regularly distanced intersections, creating a rhythm in both traffic flow and neighborhood aesthetics. The traffic calming circles provide sites for creating neighborhood identity through landscaping, trees, seasonal flowering plants, ornamental street lighting, monument signs and public art.

Curb extensions project out to the edge of the travel lane, creating a sense of side friction or roadway narrowing which slows traffic. Curb extensions at intersections provide pedestrians with a safety island and shorten the roadway crossing distance. "Neckdowns" are curb extensions located mid-block that can also be used at pedestrian crossings or simply to slow traffic in long, unobstructed road sections where traffic speed tends to increase. Protected parking is created when curb extensions project to the travel lane. Parking islands are created that not only tend to slow traffic, but also provide opportunities for reducing expanses of pavement and enhancing landscaping. Traffic calming elements are illustrated in Exhibits II.2.3.-16 and 17.

Traffic calming elements require thoughtful design to provide adequate sight distances, and other safety-promoting features. The design and location of traffic calming features require the approval of the City Engineer and the Director of Planning and Building prior to the approval of the tentative map.

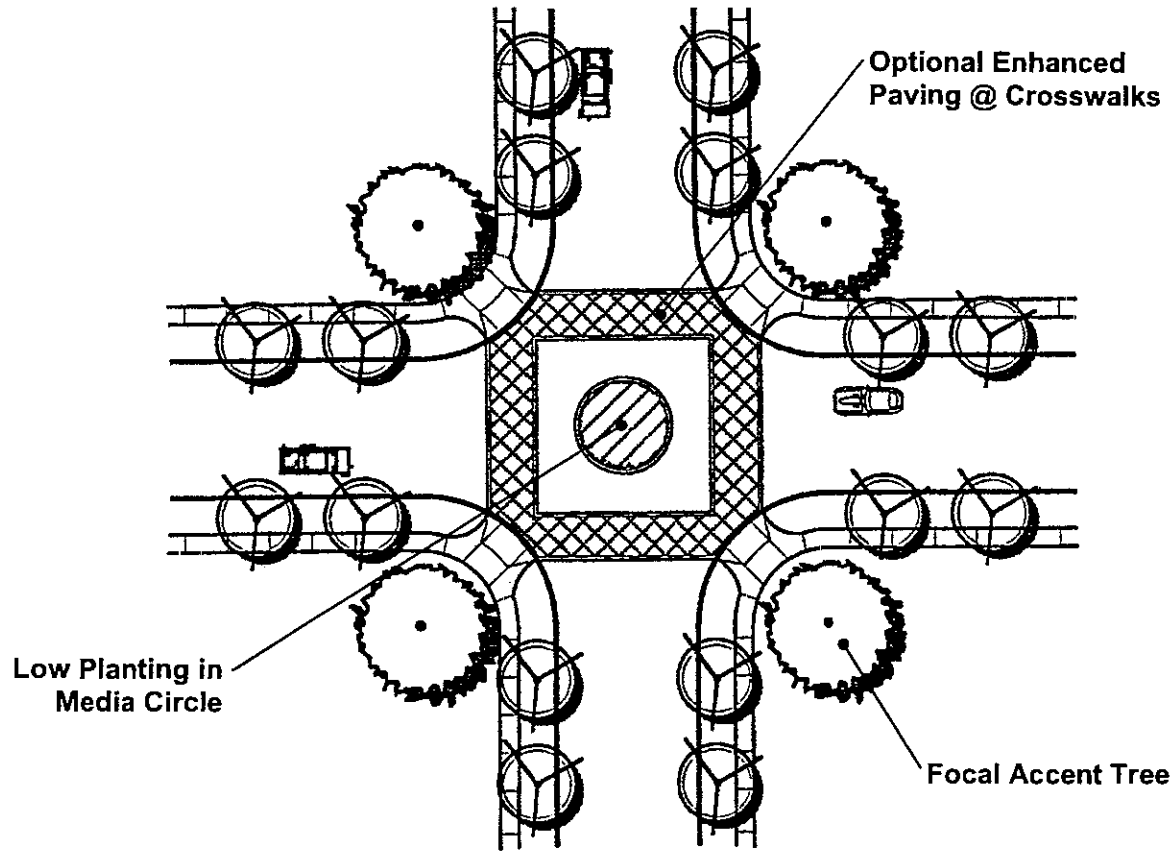


Exhibit II.2.1.-16
Traffic Circles

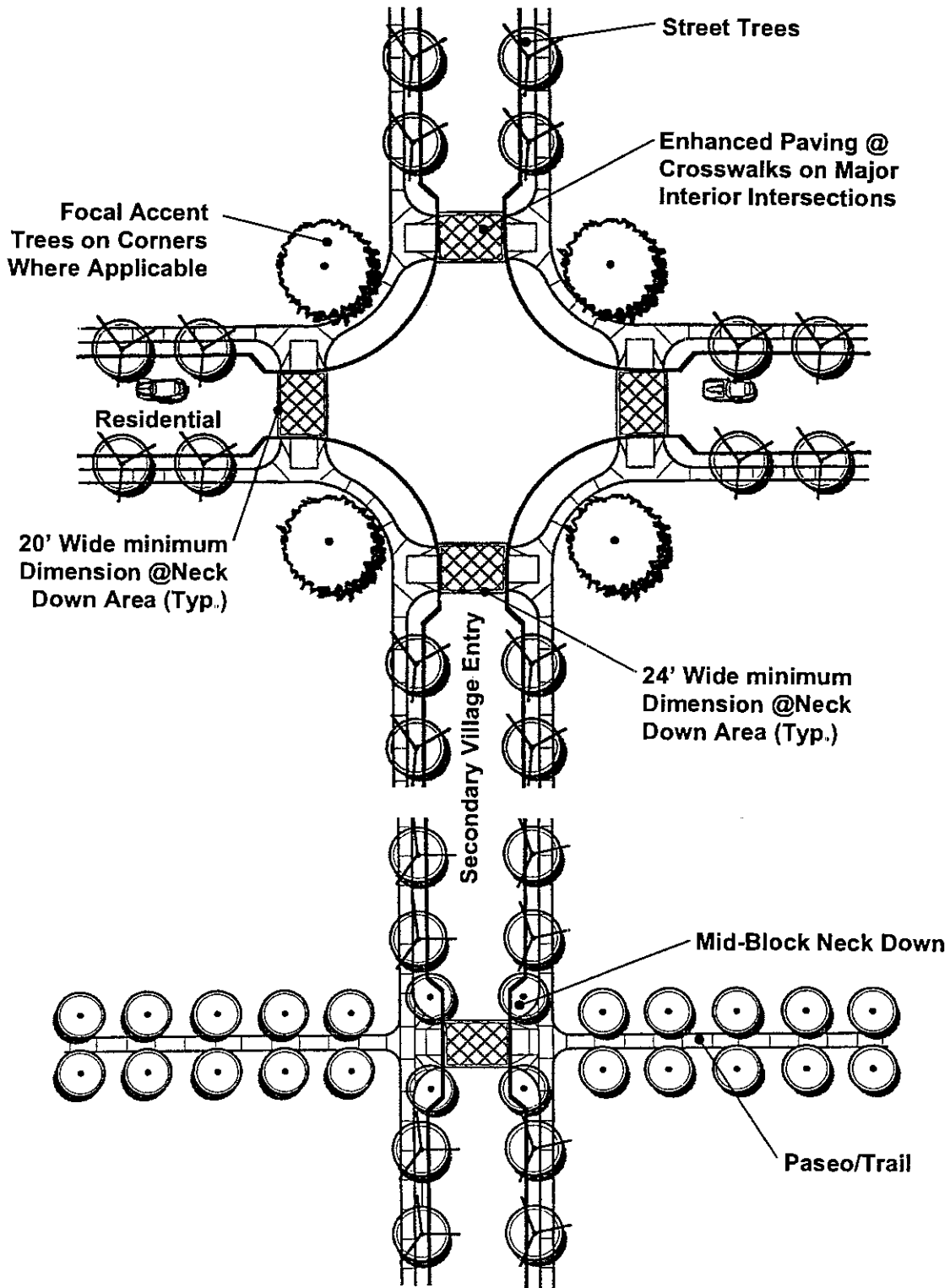


Exhibit II.2.1.-17
Neckdowns

II.2.3.5 Phasing of Road Improvements

The phasing of community development concurrent with the provision of adequate road capacity and access improvements is fully described in the Village Eleven Public Facilities and Finance Plan (PFFP). These improvements have been phased and designed to maintain an adequate level of service in the circulation system serving the Village Eleven SPA throughout the development process. The provision of adequate internal circulation improvements will be controlled via subdivision map conditions.

II.2.3.6 Transit Planning Principles

Bus service for Village Eleven and the other villages of Otay Ranch will be provided by Chula Vista Transit (CVT). Currently, CVT provides bus service through the Eastern Territories, including the Eastlake Business Center and nearby Southwestern College. Expansion of CVT service to the Village Eleven SPA Project Area is shown in Exhibit II.2.3.-18, Public Transportation Concept Plan. This plan shows a conceptual bus route through Village Eleven. Interior stops may be at the center of the eastern village, village core and junior high school. Additional bus routes along major arterials will be determined in conjunction with planning efforts for the FC and EUC uses in Planning Area 12. The locations are based on the following principles, which may be used in determining their final locations:

- Locate transit stops where there are a number of major pedestrian generators.
- Locate transit stops and pedestrian walkways to provide access while respecting the privacy of residential areas.
- At the intersection of two or more transit routes, locate bus stops to minimize walking distance between transfer stations.
- Locate bus turn-outs at the far side of the intersections to avoid conflicts between transit vehicles and automobile traffic, permitting right-turning vehicles to continue turning movements.
- Transit stops should be provided with adequate walkway lighting and well-designed shelters.
- Walkway ramps should be provided at transit stops to ensure accessibility.

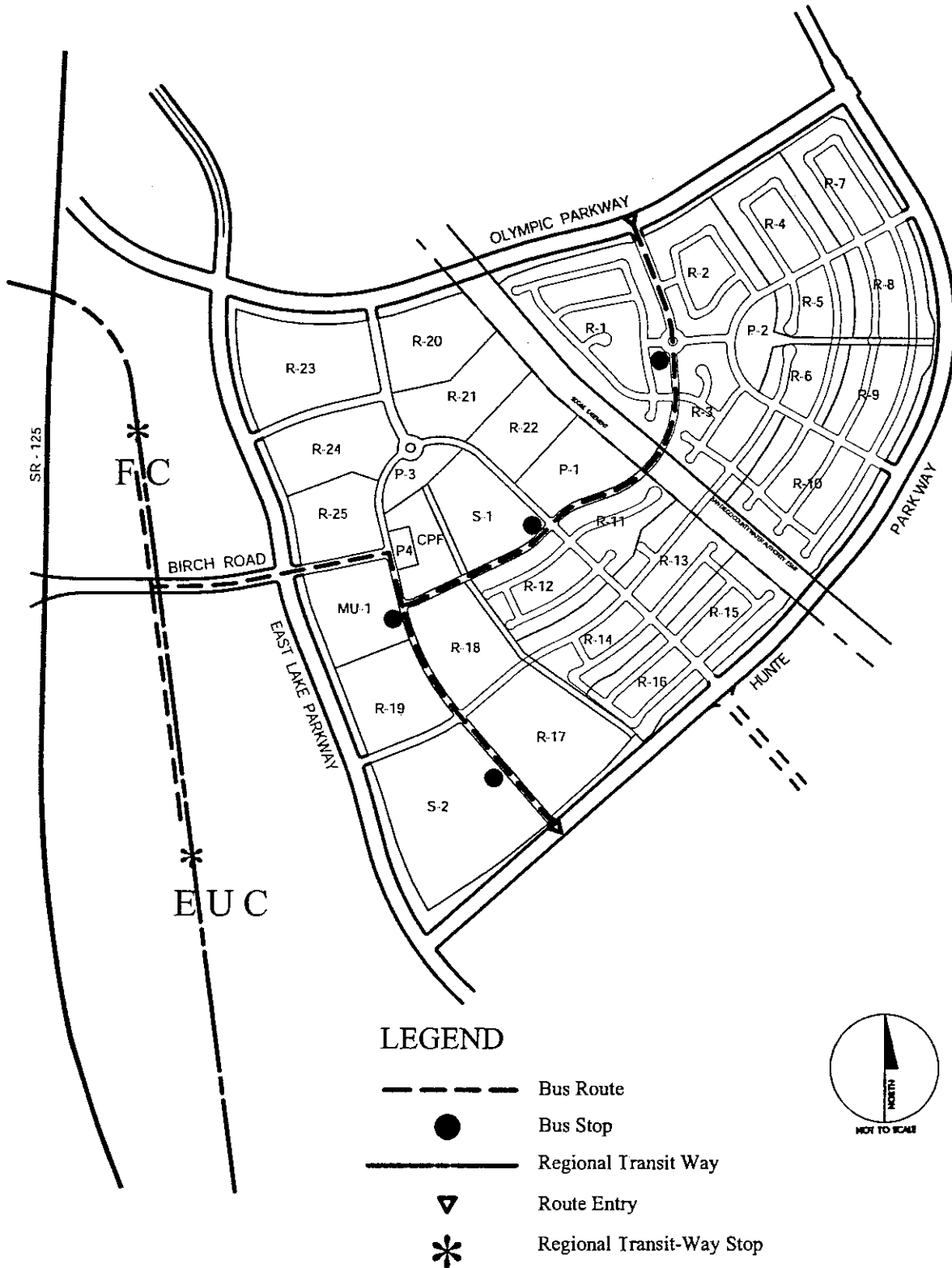


Exhibit II.2.3-18
Public Transportation Plan

II.2.3.7 Bicycle Routes and Pedestrian Trails

Village Eleven has been designed to accommodate the trails program described by the Otay Ranch GDP and Overall Village Design Plan. The plan recognizes that provision of bicycle, cart and pedestrian circulation is fundamental to creating a pedestrian-oriented village. Convenient pedestrian and bicycle circulation within Village Eleven is somewhat constrained by sloping topography and the 240-foot wide SDG&E/SDCWA easement that divides the village. All circulation elements within the village have been located and designed to be as accessible as possible, however, the paseos and off-street trails contain steep topography that may limit bicycle and cart travel. All village streets and sidewalks have been designed at gradients of 8 percent or less to facilitate pedestrian, bicycle and cart travel. The plan proposes 25 mile per hour travel speeds on all village streets to allow bicycles and carts to travel on village streets without designated travel lanes.

The trails program is described below and the Trails Plan is depicted on Exhibit II.2.3.-19. The street cross-sections illustrate regional and village trails and pathways adjacent to streets. Exhibit II.2.3-20 provides cross-sections of paseos and trails. The Village Eleven Design Plan and the Village Eleven SPA Parks, Recreation, Open Space, and Trails Master Plan provide additional detailed discussion of the Village Eleven SPA trail system.

Regional Trails

Two segments of the Chula Vista Regional Trail system occur within and adjacent to Village Eleven. One segment is located along the north side of Olympic Parkway and a second segment is located on the south and east sides of Hunte Parkway. The segment of regional trail adjacent to the Salt Creek habitat preserve (between Olympic Parkway and the SDG&E/SDCWA easement) is also within the Chula Vista Greenbelt, a citywide open space system. The remaining regional trail on Hunte Parkway is within the Village Greenway.

Otay Ranch Village Greenway

The GDP provides for a Village Greenway to be located through Otay Ranch, specifically through Village Eleven to connect the EUC and Salt Creek. In Village Eleven, the Greenway will be located along the southern boundary adjacent to the junior high school and residential neighborhoods. The Village Eleven core will be connected to the Greenway by the Village Pathway.

The Otay Ranch Overall Village Design Plan suggests pedestrian bridges may be used in special circumstances to provide crossings over arterial streets. Pedestrian bridges are a component of the regional, community and village trail system in Otay Ranch. Proposed locations for pedestrian bridges crossing Hunte and Eastlake Parkways are illustrated in the Trails Plan. These locations would connect the EUC, Village Eleven and the future University and link the Village Pathway, Village Greenway and City regional trails.

Village Pathway

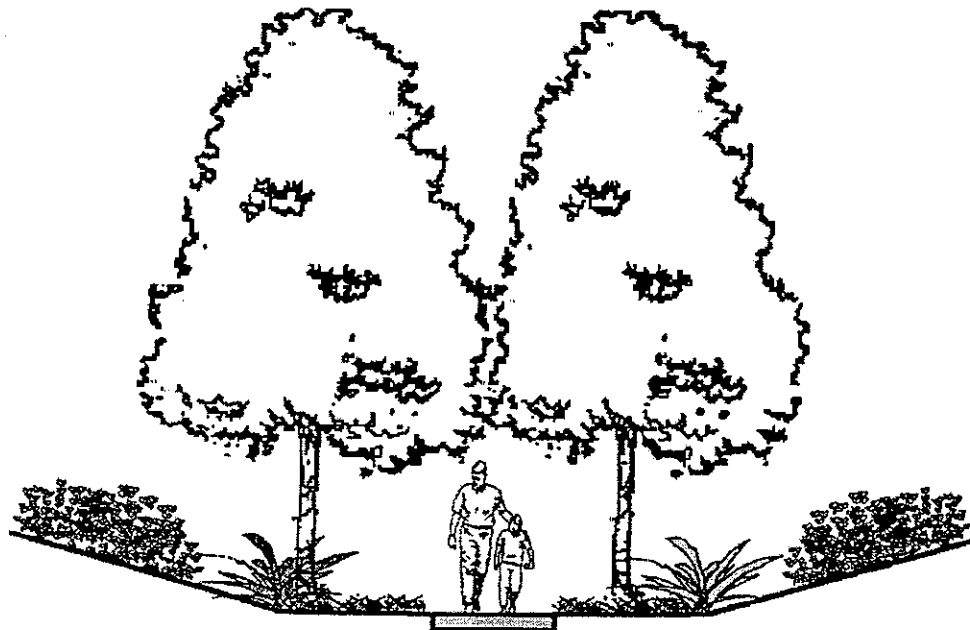
Village pathways are inter-village cart and pedestrian paths that link all of the Otay Valley Parcel villages and particularly provide access to the regional transit-way stations. In Village Eleven, a Village Pathway is proposed to be located from the Eastlake/Birch intersection (equidistant to both the EUC and freeway commercial transit stations), through the village core and as a paseo through residential neighborhoods to the Village Greenway at Hunte Parkway.

Paseos and Trails

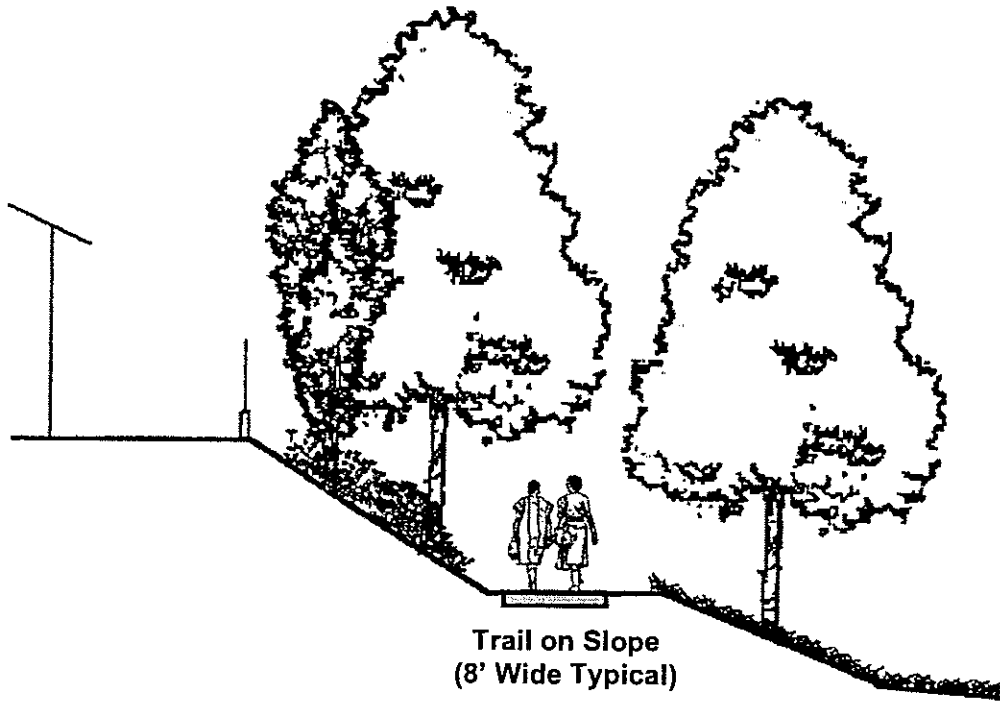
Paseos are unique off-street paths providing alternative circulation routes for pedestrians and bicycles. Centrally located north-south paseos provide linear greenbelts with trails in both the eastern and western portions of the village. East-west trails are proposed to cross the SDG&E/SDCWA easement in the future. Paseos and off-street trails have been designed to be accessible, however, the steep topography necessitates some ramps and stairs may be required where slopes cannot be avoided. The landscape treatment and design elements of Paseos are addressed more fully in the Village Design Plan.

Village Streets

The travel speed of the village streets is 25 mph to allow carts and bicycles to travel throughout the village. Sidewalks are provided on all village streets. The preferred design for all village streets provides for five-foot wide sidewalks separated from the roadway by landscaped parkways. In the village core commercial areas, wider sidewalks are provided to allow for window shopping and amenities such as seating and outdoor dining. The street cross sections illustrate sidewalks and the Village Design Plan will provide more design details.



Meandering Paseo Trail
(8' Wide Typical)



Trail on Slope
(8' Wide Typical)

Note: 10' wide where vehicular access is required.

Exhibit II.2.3.-20
Trail Cross-Sections

II.2.4 GRADING

II.2.4.1 Introduction

The Land Use Element of the Chula Vista General Plan states that the mesas, hilltops, and gently rolling topography in the Chula Vista area offer the best conditions for development. Steeply sloped hills and valleys can serve as resources, linking the developed regions and the important natural features in the area. The goal of the Otay Ranch General Development Plan is to concentrate urban development on the flatter areas and retain the sensitive natural topographic features. Therefore, grading associated with the development of Village Eleven would result in undulating slopes of variable horizontal and vertical gradients, to reflect and enhance the appearance of the surrounding terrain. Development sites within the remainder of Village Eleven will be graded to blend with and create an aesthetically pleasing setting. This chapter of the Village Eleven SPA describes the guiding policies and requirements for grading and their application to the topographic characteristics of the Village Eleven site.

II.2.4.2 Grading Requirements

In order to ensure that subsequent grading plans manifest the intent of the City's policies regarding landform grading and hillside development, final grading design to implement the Village Eleven SPA Plan shall be consistent with the grading design concepts of SPA Conceptual Grading Plan, and shall adhere to the grading standards and policies described below.

City of Chula Vista General Plan

Chula Vista General Plan Land Use Element Section 7.7, Land Development, contains specific criteria to guide landform grading policies within the City:

- Create artificial slopes with curves and varying slope ratios designed to simulate the appearance of surrounding natural terrain.
- Incorporate created ravine and ridge shapes with protective drainage control systems and integrated landscaping design.
- Conventional grading shall mean the standard 2-to-1 slope and other uniform slope faces.
- Conventional grading should be restricted to those cases where adherence to landform grading principles would not produce any significant contribution to the high quality site planning goals established overall by the General Plan.
- Conventional grading is only appropriate where landform grading is demonstrated to be impractical or the location of the slope is in a very low visibility situation.
- The fact that landform grading may not produce the maximum size of building pad or development area is not sufficient justification for determining that landform grading is impractical.

Otay Ranch General Development Plan

The Otay Ranch General Development Plan also contains specific criteria to guide grading in the overall ranch area. Final grading designs implementing the SPA grading concept are required to incorporate the following:

- Grading within Otay Ranch Village Eleven shall be subject to Chapter 15.04 - Excavation, Grading and Fills of the Municipal Code.
- Ranch-wide, there shall be preservation of 83 percent of the existing steep slopes (property that possesses gradients of 25 percent or greater).
- Contour grading shall be required adjacent to Salt Creek.
- Geotechnical investigations shall be provided with each SPA plan.
- Grading within each village is intended to minimize earthmoving distances and to facilitate phased grading.
- Naturalized buffering shall be provided as a transition between development and significant existing landforms.
- Manufactured slope faces over 25 feet shall be varied to avoid excessive "flat planed" surfaces.
- Variable slope ratios not exceeding 2:1 should be utilized when developing grading plans.
- To complement landform grading, land form planting techniques will be utilized. As in a natural setting, major elements of the landscape are concentrated largely in the concave "drainages," while convex portions are planted primarily with ground cover and minor materials.

Otay Ranch Overall Design Plan

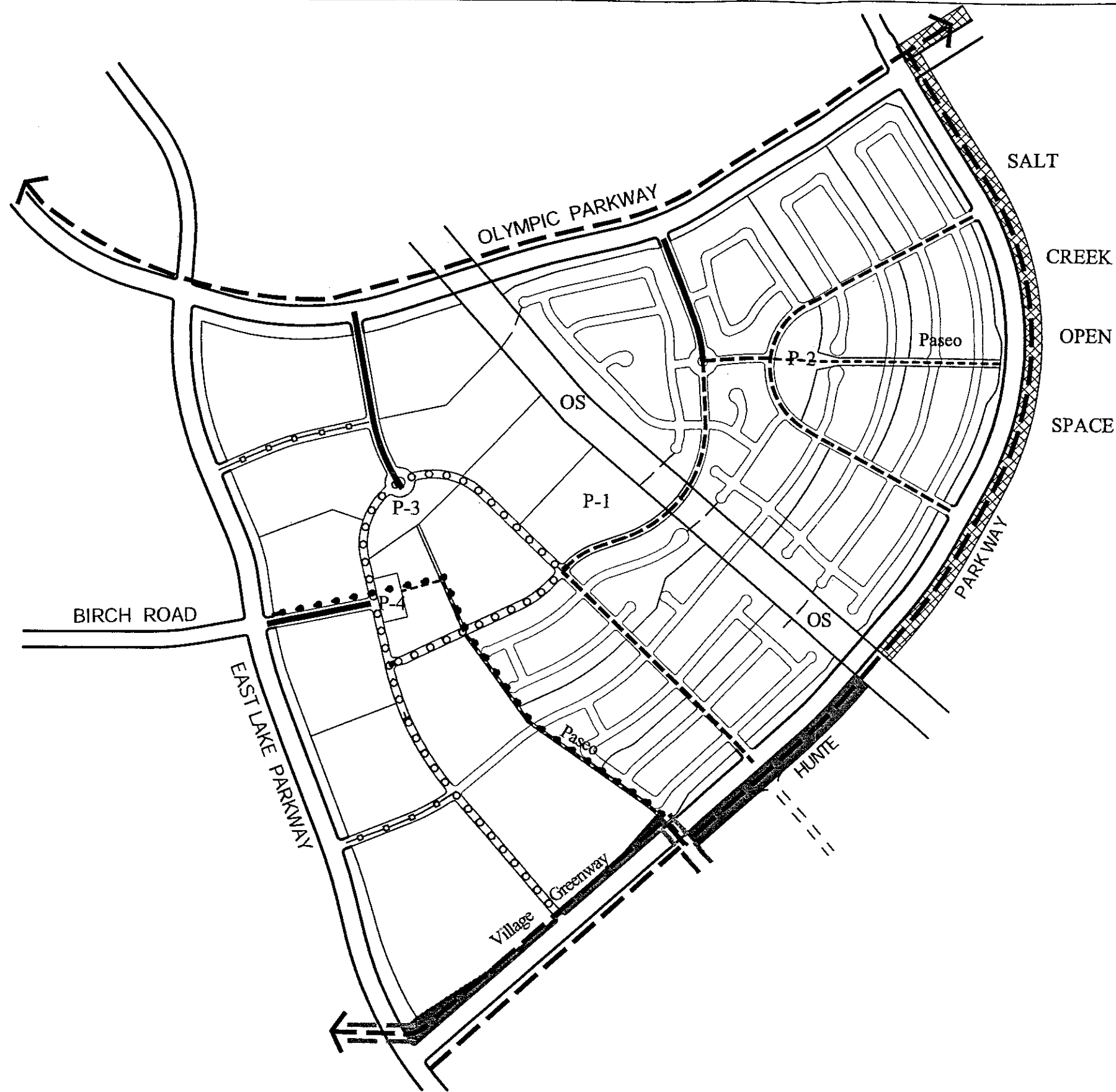
The Otay Ranch Overall Design Plan provides additional guidelines for grading within the project area:

- When grading in any of the defined scenic corridors, contours shall be carefully modulated and softened to blend with existing natural slopes to create a more natural and irregular appearance.
- Excessively long, uniform slopes shall be avoided.
- Contours should be rounded and blended without sharp or unnatural corners where cut or fill slopes intersect a natural canyon or slope.
- Transitions between new cut and fill slopes and natural slopes should be made by rolling the top or bottom of the new slope to integrate the two conditions.
- When grading for development or where roadways intersect a natural slope without cut or fill slopes (daylight condition), a rounded top or bottom of the slope should be retained to blend the natural slope with the building or road pad.
- Create road alignments to meet the natural contours with minimal grading and blending of cut/fill slopes with natural topography is required.
- When feasible, divided roads may be split vertically to soften the impact of grading and to maximize potential scenic views.

- Landscape graded slopes with native and indigenous plant materials to blend with existing planting when adjacent to new landscaping.

The approved Otay Ranch land plan anticipates that approximately 984 acres of steep slopes will be developed within the entire Otay Ranch property. This falls within the 83% standard ranch-wide. The Phase 2 Resource Management Plan (RMP) provides that SPA level analysis of the impacts to steep slopes needs to be completed only when a SPA proposes development outside of the GDP approved development areas. The Otay Ranch Biota Monitoring Program of the Phase II RMP (Appendix F.11) establishes a system to ensure that this standard is achieved ranch-wide. According to the Phase II Resource Management Plan, application of the 83 percent preservation standard for existing steep slopes means that 6,350 acres of steep slopes must be preserved ranch-wide and 1,301 acres of steep slopes may be developed.

There are 18 acres of steep slopes within the Village Eleven project development area, as shown in Exhibit II.2.4.-1, Steep Slopes. These slopes are within the developable areas depicted on the approved GDP land use plan and within the development allowance provided by the RMP. Manufactured internal slopes within Village Eleven are typically 2:1 maximum gradient. If however, at the tentative map stage, slopes of 25 feet in height or greater in highly visible locations are proposed, landform grading techniques may be considered on a case-by-case basis as/and approved by the Directory of Planning and Building. In Village Eleven, the most visible slope locations are along major arterial streets. It is anticipated that landform grading techniques will be used for slopes 25 feet in height or greater where they occur along major arterial streets, provided impacts to adjacent sensitive habitat areas can be avoided.



- LEGEND**
- Regional Trail
 - Village Entry Street
 - Paseos
 - Potential Trails
 - Village Pathway
 - Village Core Promenade Street
 - Village Core Street
 - Residential Promenade Street
 - Village Residential Street
 - Village Greenway
 - Chula Vista Greenbelt
 - P** Park / Recreation facility
 - OS** Open Space
 - Proposed Pedestrian Bridge

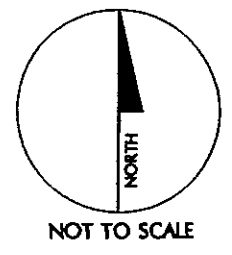


Exhibit II.2.3-19
Trails Plan

II.2.4.3 Village Eleven Grading Concept

The SPA level grading plan for Village Eleven provides a preliminary grading concept identifying major slope locations. The preliminary grading design is as indicated on the Exhibit II.2.4.-2, Conceptual Grading Plan. The Village Eleven grading concept is based on the following objectives:

- Create efficient man-made landforms that visually respond to natural terrain characteristics where practical.
- Create and maintain on- and off-site views.
- When significant land forms are modified for project implementation, round the land form as much as possible to blend into the natural grade.
- With approval of the City Engineer, round the tops and toes of slopes. When slopes cannot be rounded, utilize vegetation to alleviate sharp angular appearances.
- Balance earthwork, utilizing an equal amount of cut for an equal amount of fill.
- Create, where possible, barriers or physical separation from traffic noise sources.
- Utilize elevation changes to separate potential land use conflicts.
- Create a fairly level area for a village core that will accommodate mixed-use, community purpose facility, elementary school, neighborhood park and multi-family residential development.
- Create useable areas that provide for a variety of residential housing types.
- Design grading within the physical constraints created by the SDG&E/SDCWA easement.
- Limit grading in the SDG&E/SDCWA easement to avoid impacts to existing utility lines and structures.
- Minimize, where feasible, impacts to sensitive areas adjacent to Salt Creek resulting from grading for Hunte Parkway.

Preliminary soils and geotechnical reports have been prepared for Village Eleven and have identified the site as being suitable for development. The proposed raw grading quantity for Village Eleven is approximately 10 million cubic yards of balanced cut and fill material. This raw quantity is exclusive of remedial measures that may be required by the soils engineer. Actual quantities will be based on more detailed engineering at the tentative map, grading plan and final map stages. Grading limits extend beyond the boundary of Village Eleven for the construction of roads and infrastructure. Exhibit II 2.4.-3 illustrates the locations of cut and fill.

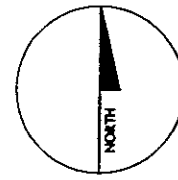
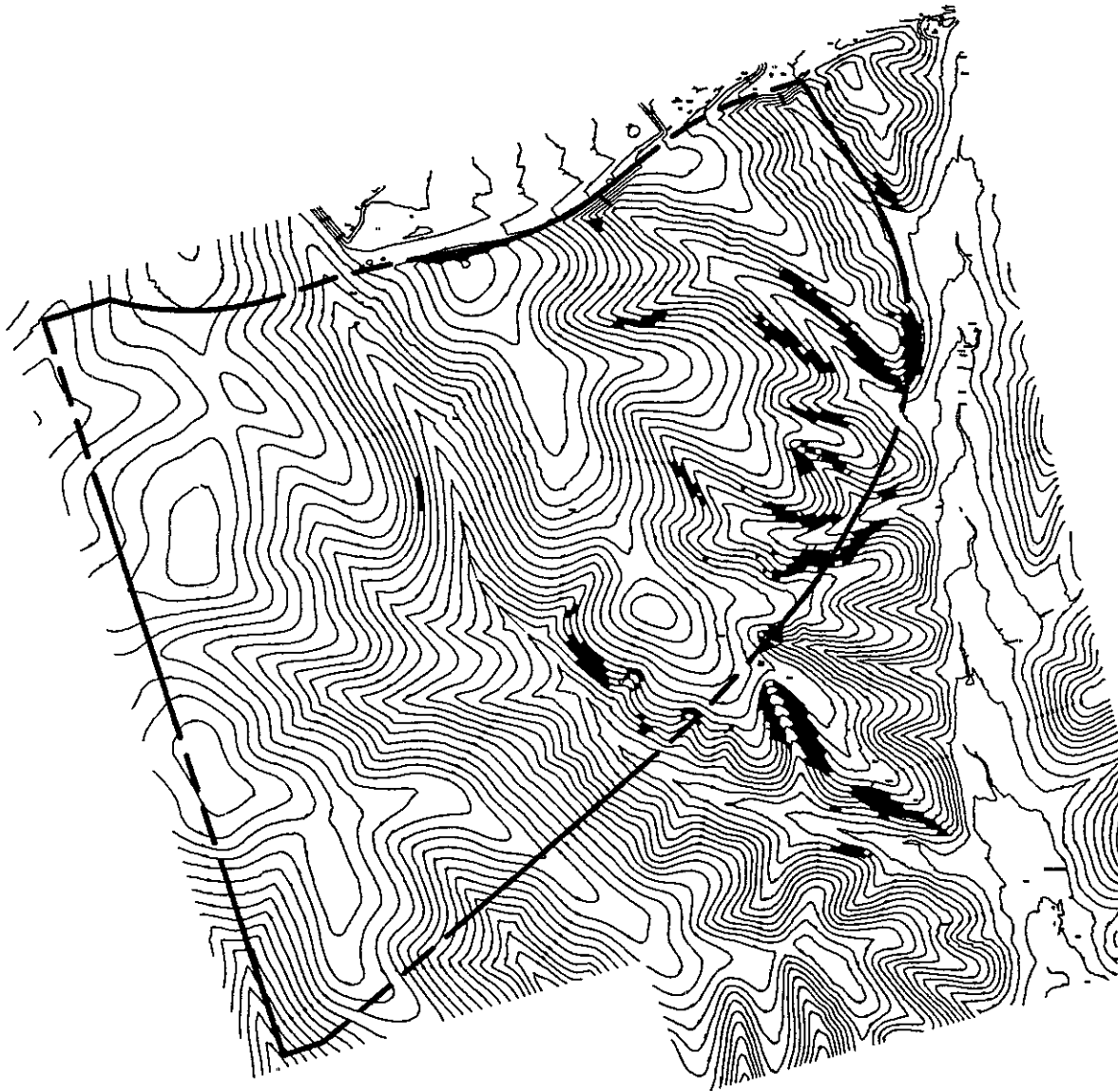
Based on actual field conditions, the erosion potential of slopes will be reduced with control measures such as berms at the tops of all slopes, paved interceptor ditches, and vegetation. Erosion control will be consistent with best management practices.

Project grading permits will provide assurances acceptable to the City Engineer that landscaped slopes will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slopes which exceed ten feet in height will be maintained by a homeowners' or property owners' association or a landscape maintenance Community Facilities District (CFD).

Grading Review

Tentative Maps and grading plans will require conformance to the grading concepts and requirements contained in this SPA, and to all applicable City policies and ordinances.

Prior to grading plan approval by the City Engineer, all grading will be subject to the requirements of the Chula Vista Municipal Code (Grading Ordinance #1797, the City of Chula Vista Subdivision Manual, Design and Construction Standards of the City of Chula Vista, San Diego Area Regional Standard Drawings, and Standard Specifications for Public Works Construction.



NOT TO SCALE

**Exhibit II.2.4-1
Steep Slopes**

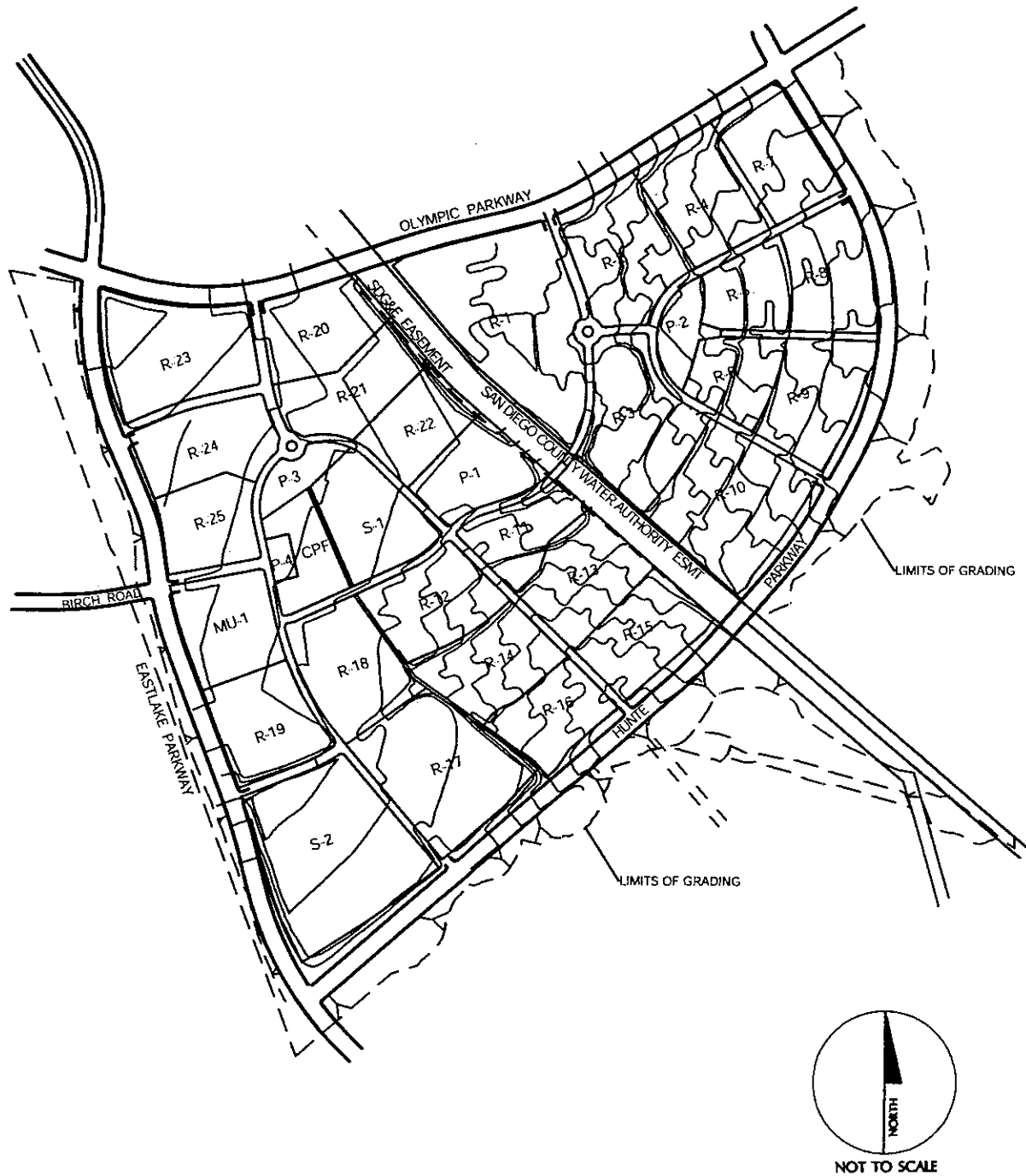


Exhibit II.2.4-2
Conceptual Grading Plan

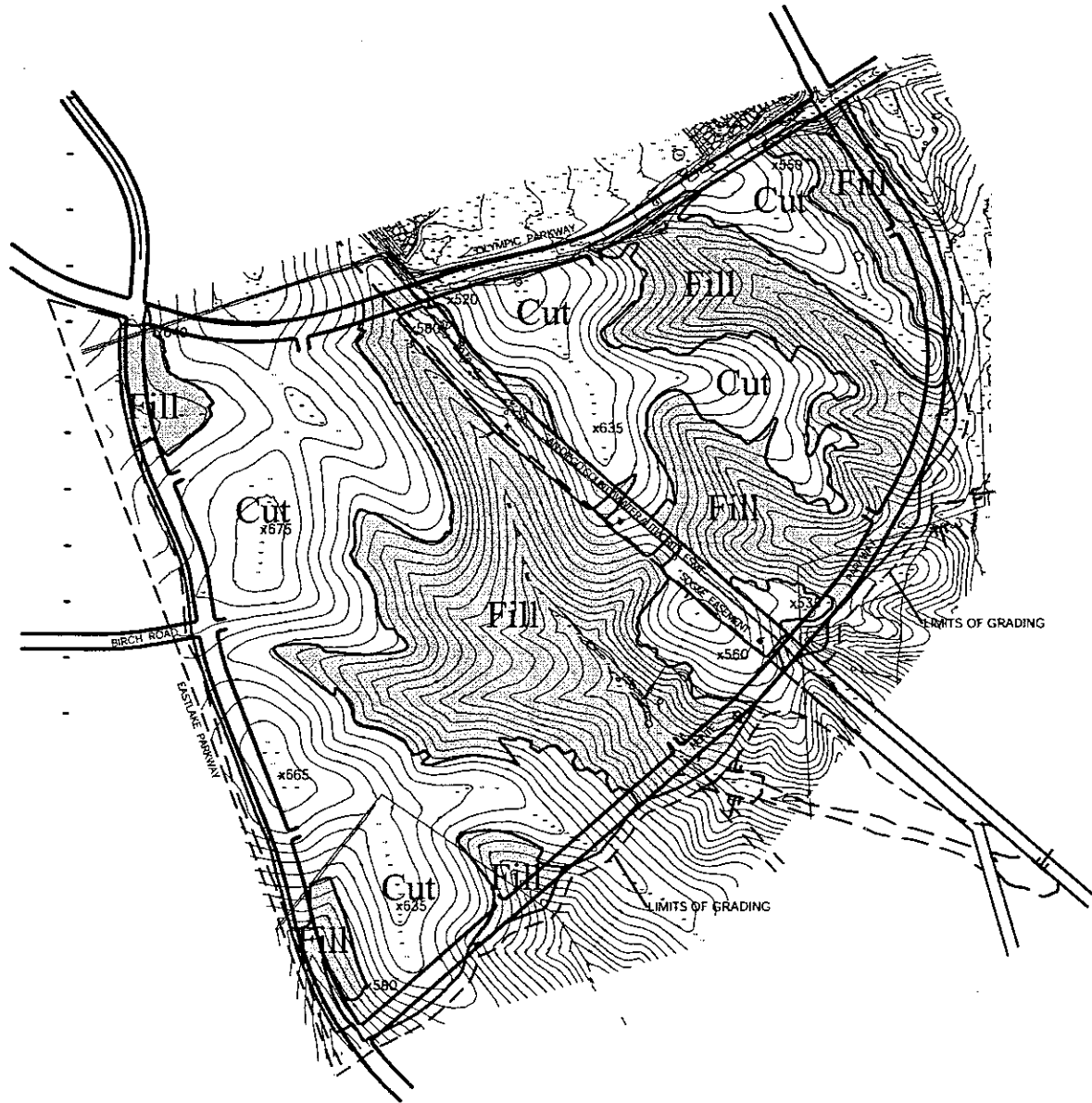


Exhibit II.2.4-3
Cut and Fill Plan

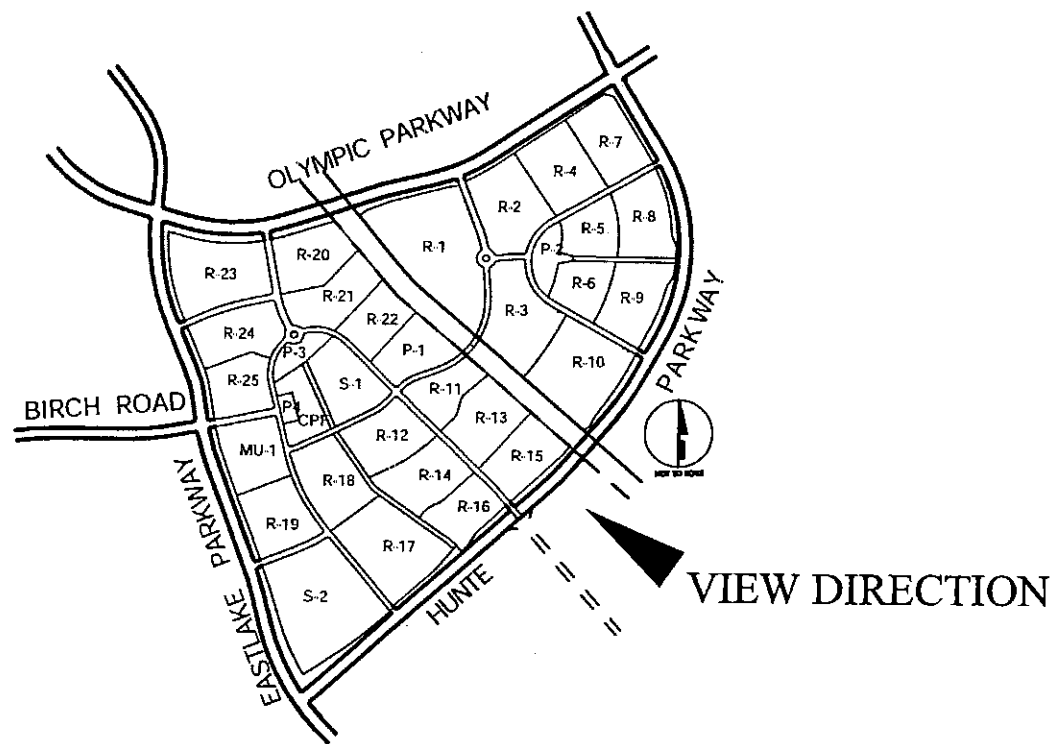
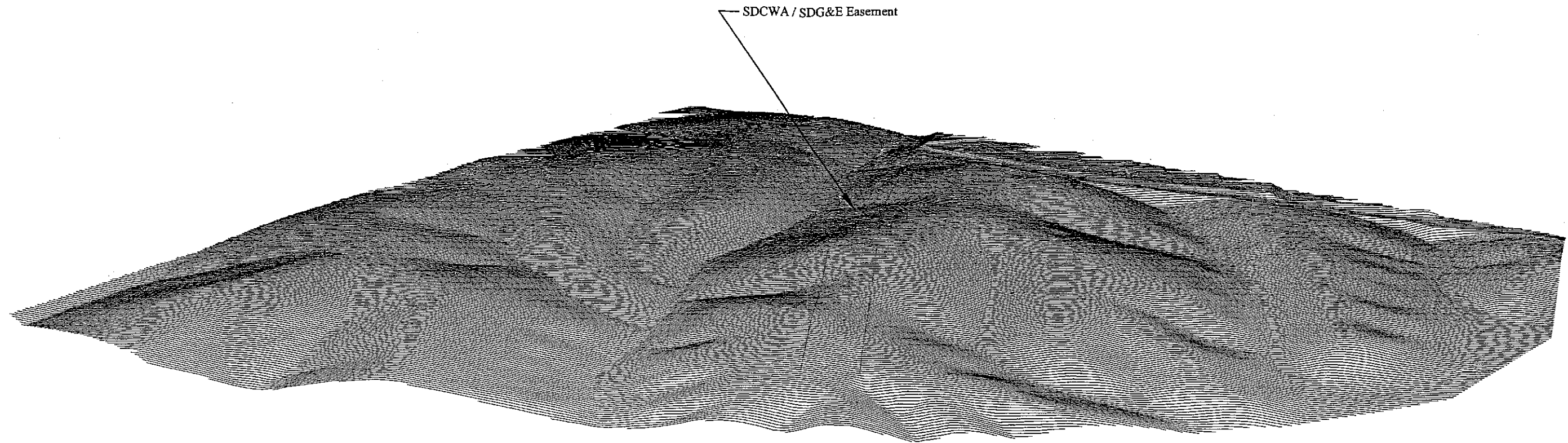


Exhibit II.2.4-4
Oblique View of Existing Topography

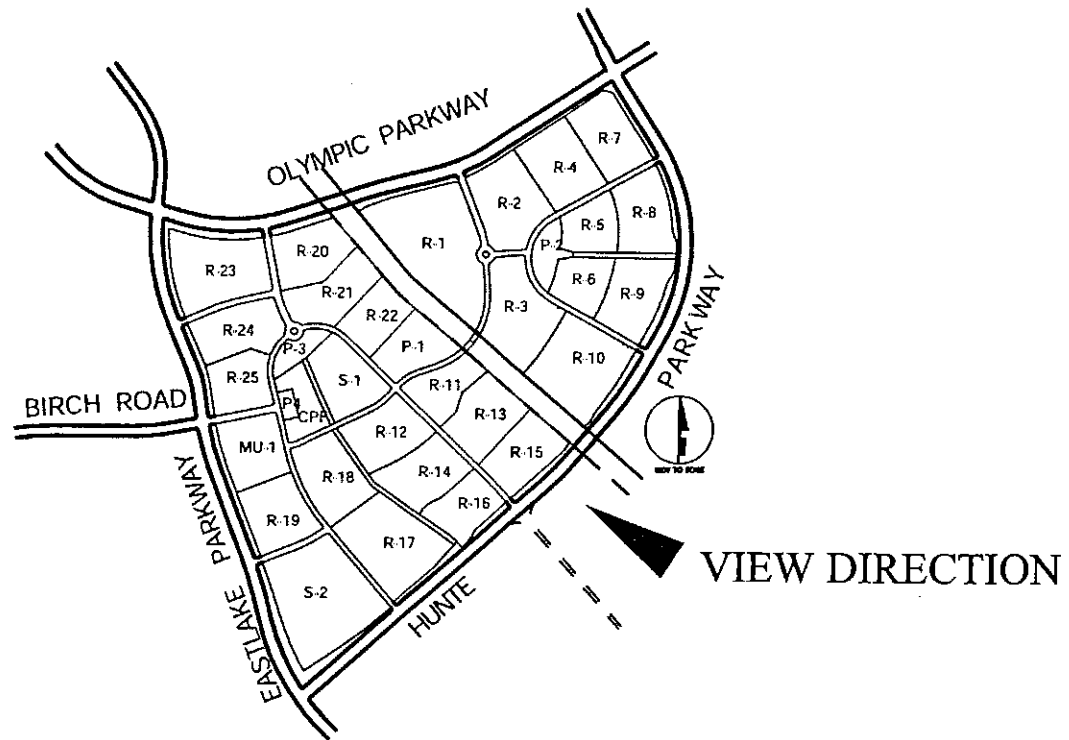
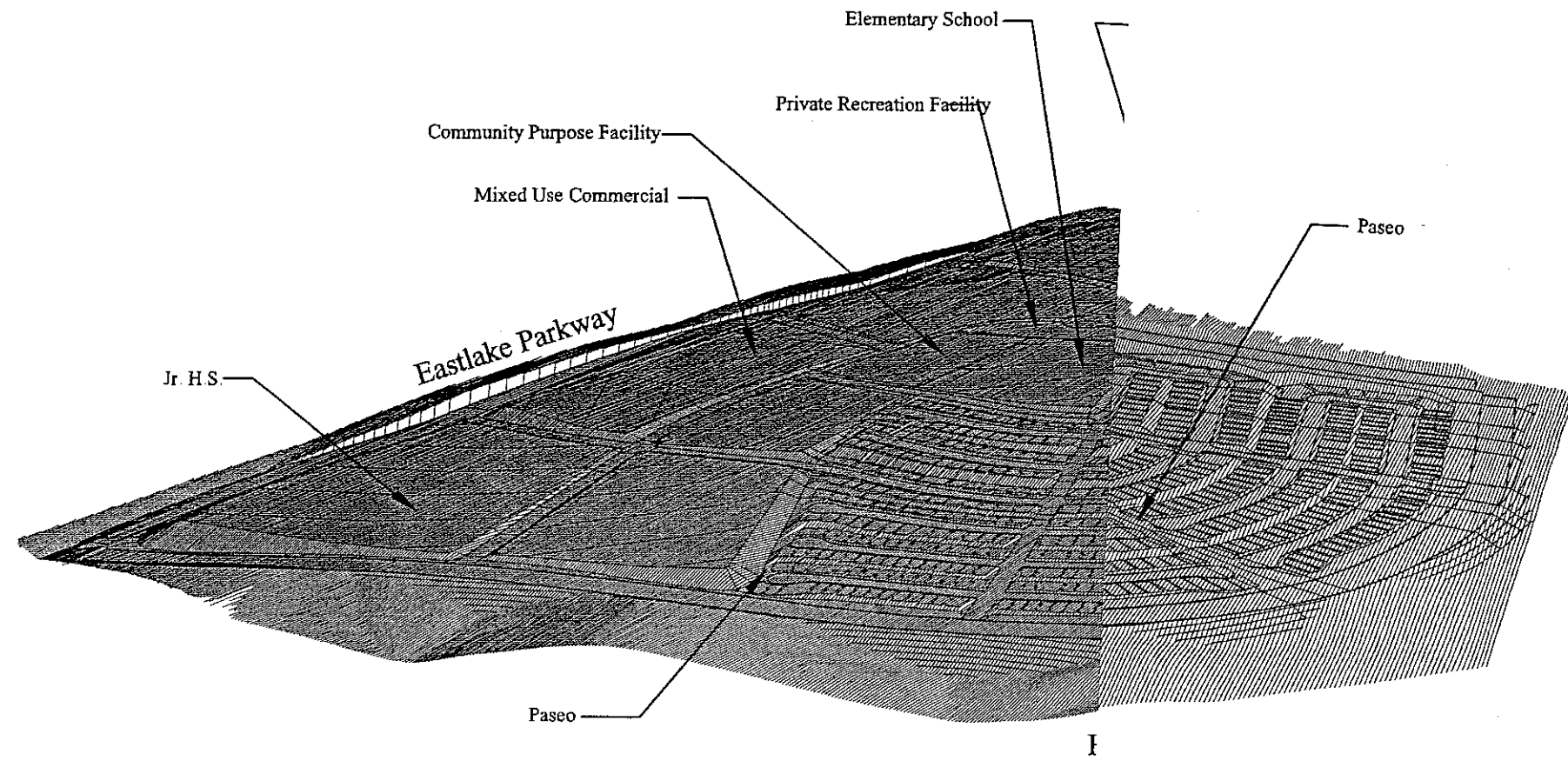


Figure II.2.4.-5
Oblique View of Proposed Grading Plan

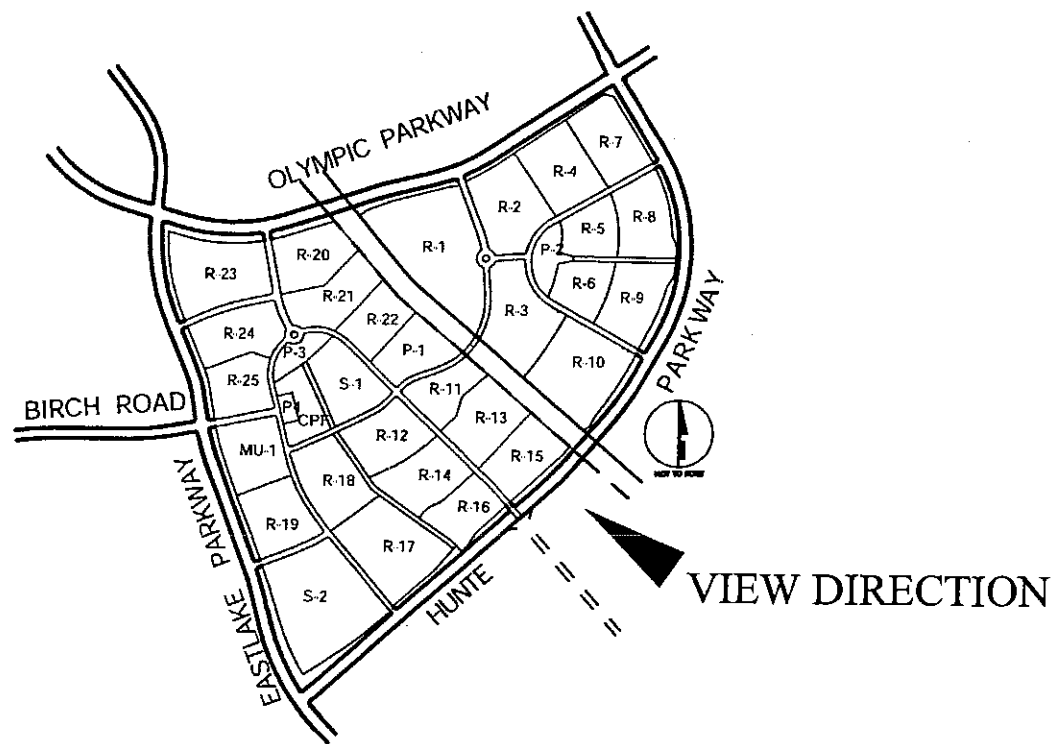
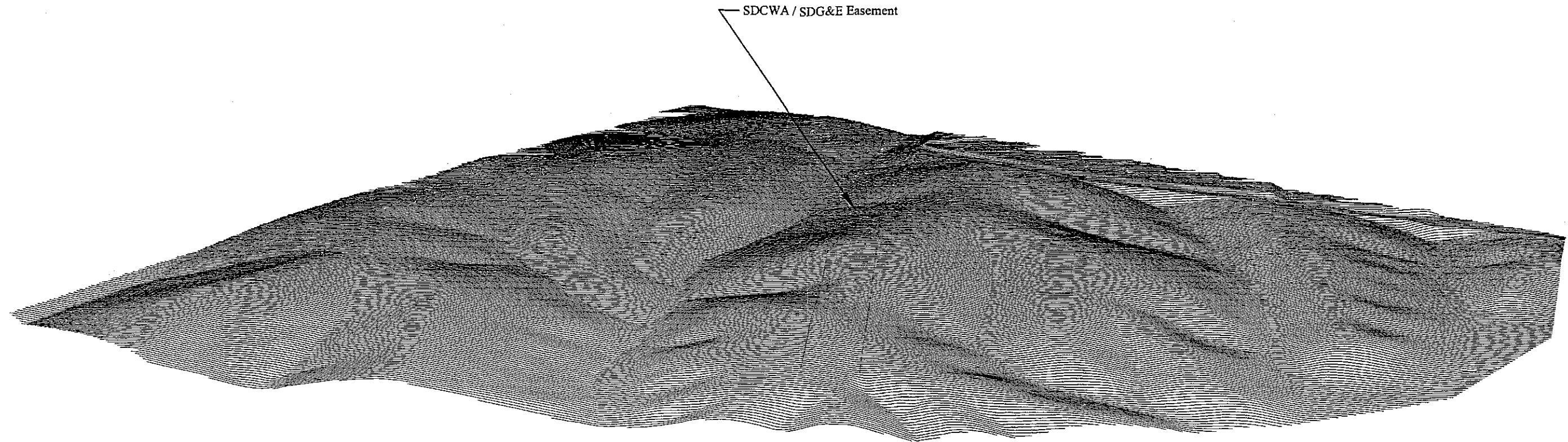


Exhibit II.2.4-4
Oblique View of Existing Topography

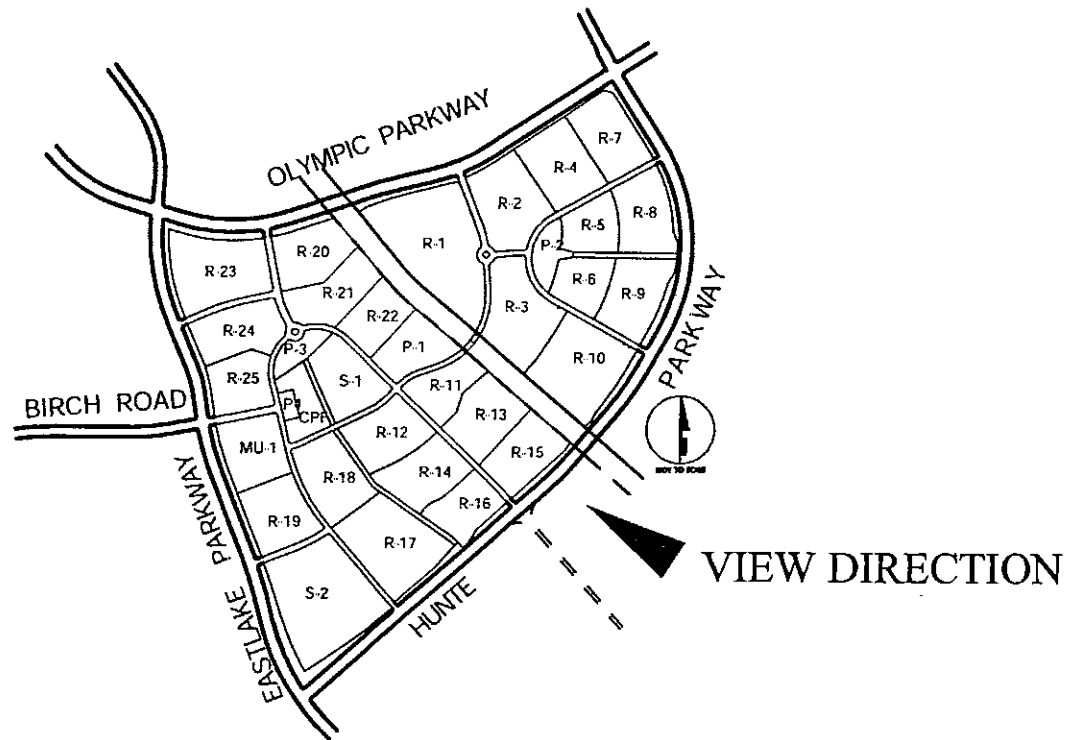
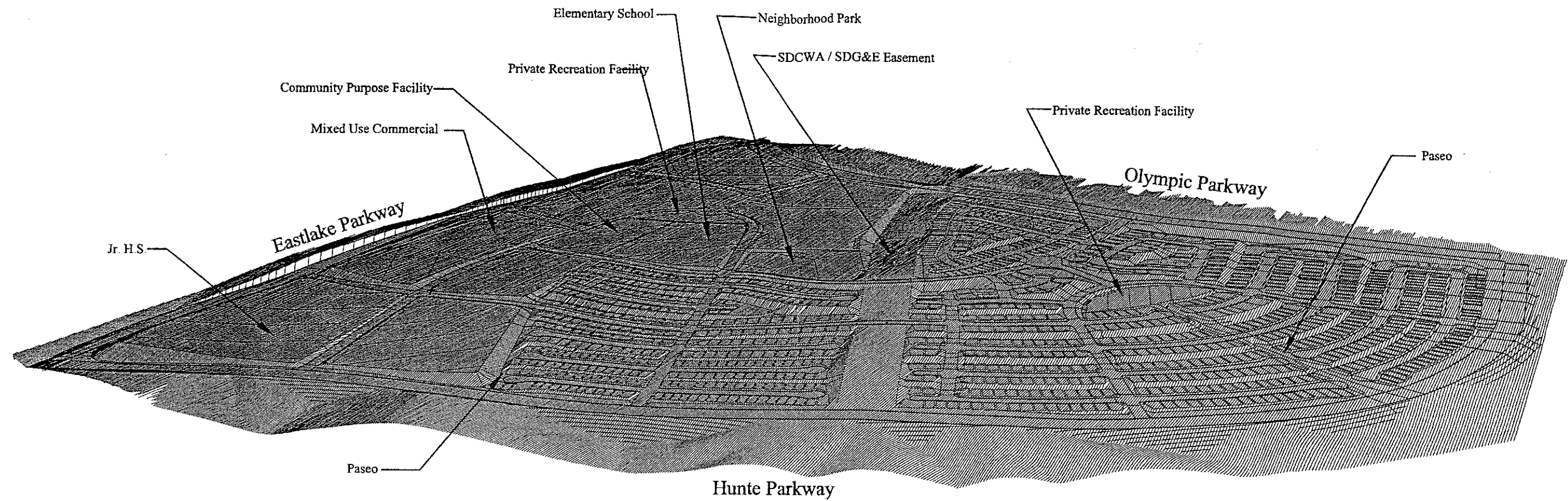


Figure II.2.4.-5
Oblique View of Proposed Grading Plan

**II.2.5 PARKS, RECREATION, OPEN SPACE
AND TRAILS**

II.2.5.1 Introduction

The Otay Ranch Village Eleven SPA Plan provides for parks and recreational opportunities throughout the village. Open spaces in the village include a public neighborhood park, a town square, two private recreation facilities, school play fields, paseos, landscaped parkways and the SDG&E/SDCWA easement. The parks and open spaces are located within walking distance of all neighborhoods in the village. As shown in Exhibit II.2.5.-1, the parks, schools and town square are connected by landscaped parkways and paseos to create a system of interconnected open space for active and passive recreational opportunities within the village.

II.2.5.2 Park Land and Improvements

Village Eleven Park Requirements

In order to serve the recreational needs of Otay Ranch residents, the Quimby Act standard of 3 acres of park land per 1000 residents shall be provided. The GDP specifies that a minimum of 7 acres of public neighborhood park and a 1-acre town square be provided in the village and that the remaining acreage requirement be satisfied through contributions toward community parks in Otay Ranch. The final park acreage requirement for Village Eleven shall be determined in accordance with the Chula Vista Municipal Code, Chapter 17.10, which calculates the requirement based on the actual number and type of dwelling units approved on the Final Map.

Village Eleven provides a net 7-acre public neighborhood park and a net 1-acre privately owned and maintained town square in compliance with the GDP. The remaining city parks obligation will be met through equitable contribution to community parks in Otay Ranch. To enhance the pedestrian oriented village concept and to supplement uses not provided in the city parks, a 3-acre private recreation facility in the village core and a 3.8-acre private recreation facility in the eastern portion of the village will also be provided. The private recreation facilities are proposed to be credited towards CPF and multi-family common open space requirements.

Neighborhood Park

In conformance with the GDP, the net 7-acre neighborhood park is located in the village core. This location provides several benefits to the Village: it is within walking distance of the most densely populated portion of the village, its proximity to the community purpose facility and elementary school provide opportunities for shared facilities and programs, and its adjacency to the SDG&E/SDCWA easement optimizes vistas and spaciousness in the Village. This location also minimizes the negative affects of play field lights, noise and traffic on nearby residential neighborhoods. Park amenities will be

in conformance with the City Parks and Recreation Department requirements. A conceptual plan for the neighborhood park is illustrated in Exhibit II.2.5.-2. As illustrated in the conceptual plan, amenities could include a tot lot, ball fields, and court sports.

Town Square

The one-acre, privately owned and maintained town square is located in the village core at the terminus of a primary village entry street. The town square serves as the village focal point and reflects the pedestrian design and urban character of the village. Envisioned as a traditional, formally designed park or plaza, it will provide opportunities for passive recreation, community events, and a setting for public art. The mixed-use commercial, community purpose facility and multi-family residential developments will face towards the town square. A conceptual plan for the town square is illustrated in Exhibit II.2.5.-3.

Private Recreation Facilities

In addition to the neighborhood park and town square, the Village Eleven plan provides two private recreation facilities: a 3-acre park in the village core and a 3.8-acre facility in the eastern portion of the village. These private recreation facilities are centrally located at the terminuses of the village entry streets and paseos to create focal points in the village. The central location of these private facilities provides a variety of recreational opportunities within walking distance of residences. Recreational facilities in the village core site will augment the limited size and passive nature of recreational spaces within multi-family residential development and, as such, are proposed to be credited towards multi-family common open space requirements. The eastern facility will provide family-oriented recreational opportunities in close proximity to neighborhoods. The building, swimming pool and other facilities will be dedicated to the Community/Homeowners Association and made available for group meetings and programs and, as such, are proposed for CPF credit. Both private recreation facilities will provide open lawn, seating and picnic areas, and tot lots. Some facilities, such as community buildings and swimming pools, will be gated and available to members of the homeowners association and their guests. Conceptual plans illustrating potential amenities are illustrated in Exhibits II.2.5.-4 and 5.

Park Ownership and Maintenance

The 7-acre public neighborhood park will be dedicated to and maintained by the City of Chula Vista and the town square will be maintained by a private entity, such as a Community/Homeowners Association. The private recreation facilities will be maintained by a Community/Homeowners Association. Park guidelines regarding size, location, facilities and operations are provided in the Village Eleven SPA Parks, Recreation, Open Space and Trails Master Plan.

Schools

An elementary school and a junior high school located in Village Eleven provide active recreational opportunities. The elementary school is located in the village core adjacent to the neighborhood park. There is an opportunity for shared recreational use and parking between the park, community purpose facility and elementary school. The junior high school is located in proximity, but outside the village core to minimize potential traffic, lighting and noise conflicts with adjacent development. The junior high school will provide play courts and ball fields or other recreational facilities that may be accessible to village residents in off-school hours. School buildings may also provide opportunities for city-sponsored recreation programs.

Community Gardens

The City and the developer will facilitate a public forum and/or communicate with Village Eleven residents to determine community interest in a community garden program. If interest is expressed, the City and the developer will facilitate a Community Garden Committee made up of one representative from the City and the developer and three homeowners to determine its location and operation. Community garden guidelines regarding size, location, facilities and operations are provided in the Village Eleven SPA Parks, Recreation, Open Space and Trails Master Plan. Community Gardens are not credited towards the City park acreage requirements.

II.2.5.3 Park and Open Space Implementation

Park and open space sites will be implemented incrementally with development phasing of the village. It is anticipated that the eastern private recreation facility and the public neighborhood park site will be constructed in the first phase of development. Park amenities may be phased over time to meet the needs of the community. Park and open space implementation will be consistent with the direction of the City Parks and Recreation Department.

The provisions and timing of adequate park land and improvements is described in the Public Facilities Finance Plan (PFFP). The schedule of improvements has been developed to maintain an adequate level of service for Village Eleven residents. The mechanism to provide actual dedication and improvement of public park areas will be part of the Tentative Subdivision Map conditions of approval.

II.2.5.4 Open Space and Trails

Open Space

The largest component of open space in the Otay Ranch is the Otay Ranch Preserve, described in the Resource Management Plan (RMP) Preserve. As prescribed by the RMP, the development of each Otay Ranch Village requires a contribution to the Otay Ranch preserve. The required contribution is 1.188 acres of open space conveyance per one acre of development less the acreage of "common use lands," (local parks, schools, arterial roads and other land designated as public use areas). The 489-acre Village Eleven less 106 acres of common use land requires a conveyance of 455 acres to the Preserve. The developers of Village Eleven will convey the natural open space acreage in the adjacent Salt Creek to the preserve. This conveyance property contains high quality native habitat and is a key component of the preserve.

Open space within Village Eleven is comprised of the SDG&E/SDCWA easement, the 75-foot (average) parkways adjacent to surrounding major streets, paseos and manufactured slopes. These open spaces provide pedestrian connections within the village, passive recreational opportunities and view opportunities.

Open space lands indicated on the Village Eleven SPA Land Use Plan (Exhibit II.2.2.-2) will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to a Master Community Association. Uses will be strictly controlled through the PC District Regulations. This SPA Plan adheres to the following adopted GDP policies that guide the design of open space in Village Eleven:

- Natural open space areas adjacent to Salt Creek identified on the GDP/SRP Land Use Map shall be preserved outside of individual private lots. Natural open space character along the canyon shall be based upon the concepts developed in the Overall Ranch Design Plan and refined in the Village Design Plan.
- Setbacks and landscaping shall be provided along Hunte Parkway and Olympic Parkway in conformance with open space scenic corridor guidelines in the Overall Ranch Design Plan, Olympic Parkway and Hunte Parkway Landscape Master Plans.
- The environmental resources contained in Salt Creek Canyon shall be protected through careful buffering, landscaping and grading techniques.
- The SDG&E/SDCWA easement shall be integrated into the design of the village as open space. These easements may be utilized for road crossings, parking and limited landscaping; however, no habitable structures may be placed in the area. The school will be located at a distance in conformance with the following state standards:
 - 100 feet for 100-110 kv
 - 150 feet for 220-230 kv
 - 250 feet for 345 kv
- Open space will be controlled through open space easements and/or dedication to the City. Open Space and/or Community Facilities Districts (CFD) will be established to ensure proper management and operation of public right-of-way improvements.
- Common open space areas and major slopes within "common interest" residential projects will be designated common areas and maintained by homeowners'

associations. For detached residential projects, major open space slopes will be a single lot or lots, with open space easements protecting the slopes from development.

Trails

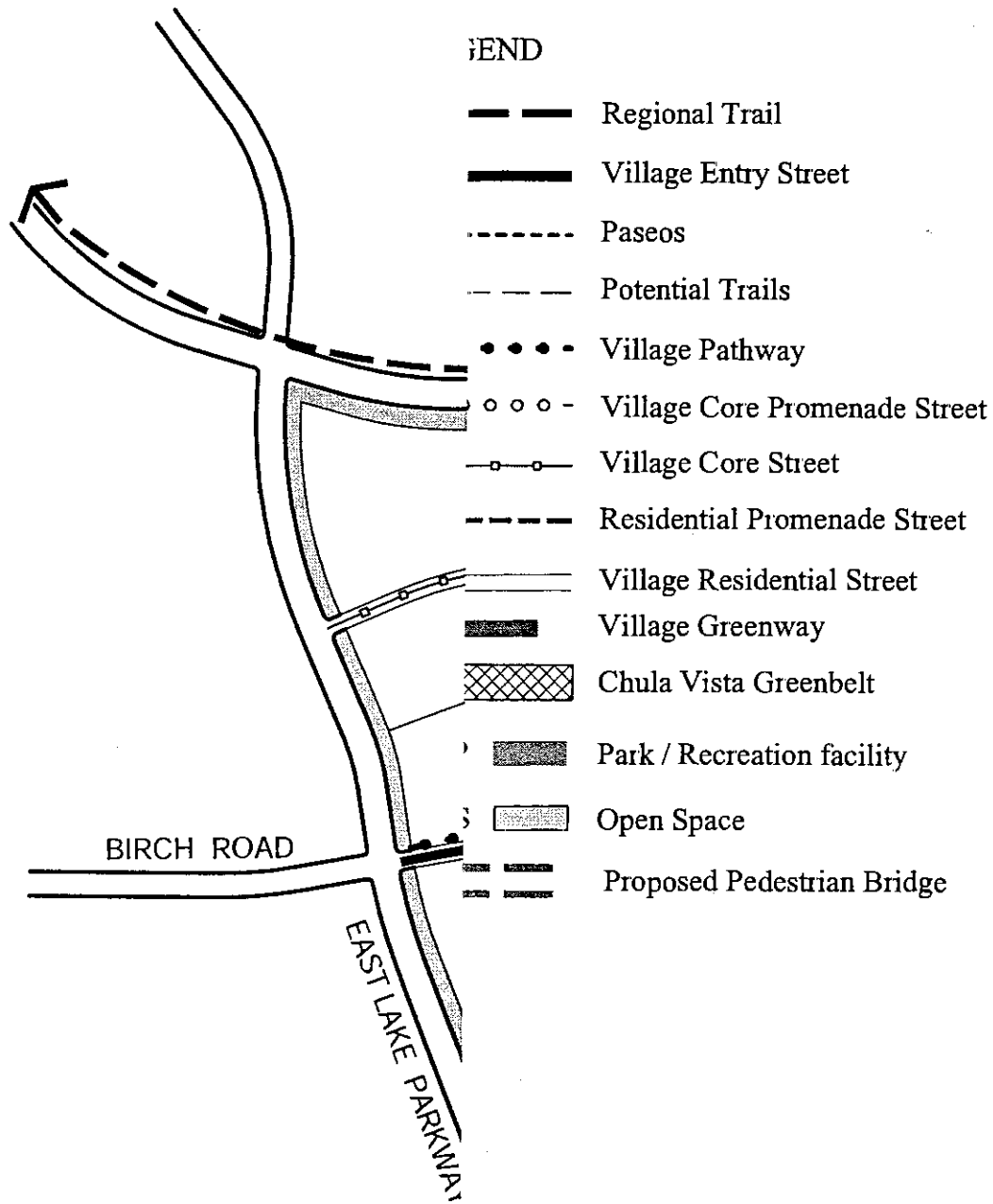
A trail system is incorporated as mobility and recreation components of Village Eleven. The trail system provides linkages within the village and connections to regional trails to provide access to neighboring villages and the Otay Valley Regional Park, as shown in Exhibit II.2.51.

The internal street system of Village Eleven provides walkways along all village streets. The preferred street design provides a parkway buffer between the roadway and sidewalk to enhance pedestrian comfort and promote safety. Paseos are provided as an alternative to pedestrian and bicycle trails sharing the public right-of-way street system. Paseos are internal village pedestrian trails linking neighborhoods to the village core, schools and parks. The paseos are generally accessed from cul-de-sac streets and have minimal road crossings to enhance their passive recreational quality. Paseos will be maintained through a Community/Homeowners Association.

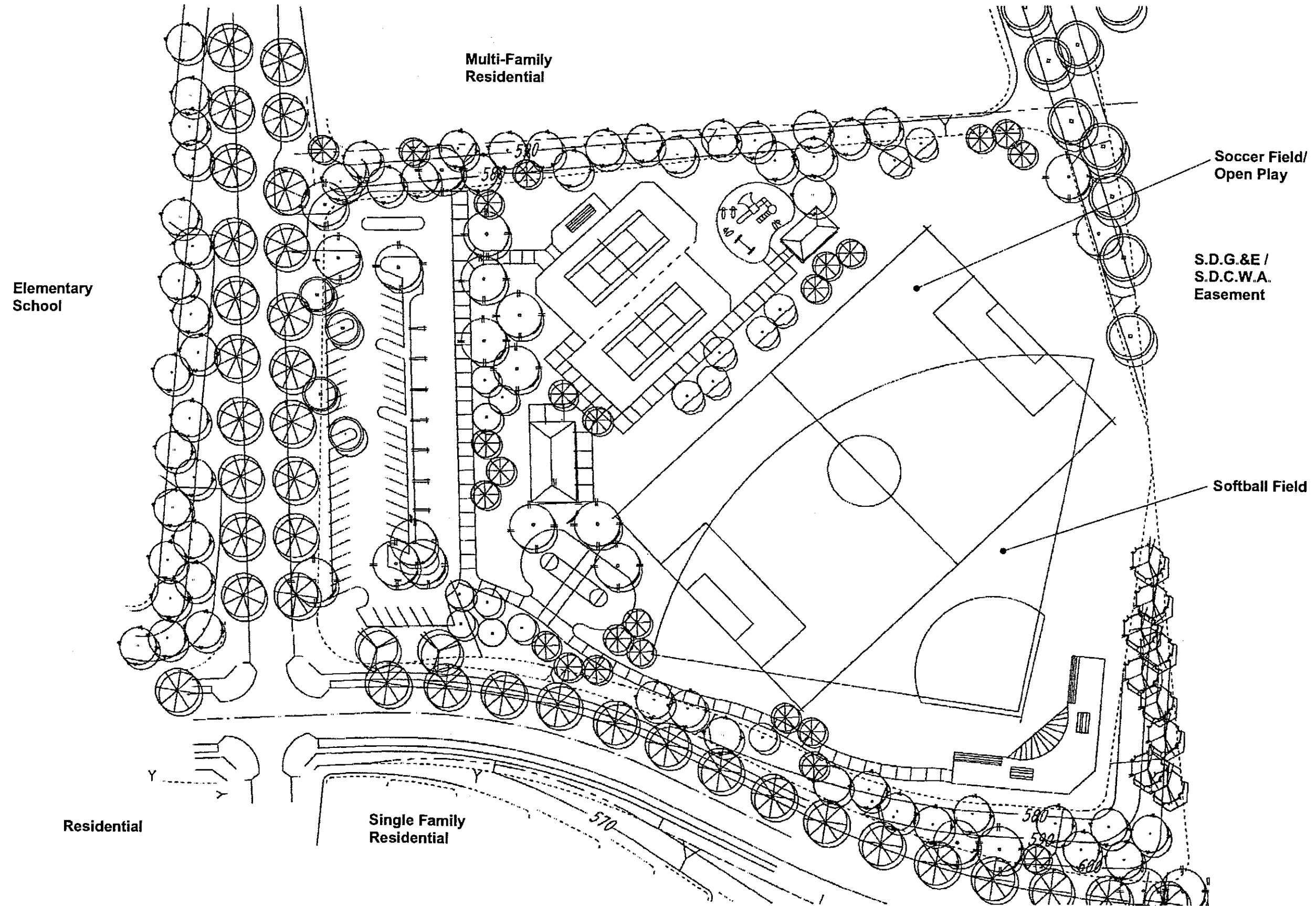
The Village Eleven SPA Parks, Recreation, Open Space and Trails Master Plan provides a more detailed discussion of the Village's open space and trail system. Trail design shall conform to the standards contained in the Chula Vista Landscape Manual, Otay Ranch GDP and any other applicable adopted, City-wide Master Plans. The phasing and financing of these facilities are addressed in the Village Eleven SPA PFFP.

II.2.5.5 Habitat Enhancement

The land to be developed as Village Eleven has been used for agriculture and encroachment into sensitive habitat has been avoided. Minor drainage channels within the development area are considered Waters of the United States by the Army Corps of Engineers and may require mitigation through habitat enhancement in Salt Creek or elsewhere in the preserve. Construction of Hunte Parkway and adjacent public facilities will require manufactured slopes adjacent to Salt Creek. Construction practices will avoid impacts to sensitive areas to the extent feasible and manufactured slopes will be vegetated with appropriate, compatible native plant materials to enhance the preserve area habitat.



**Exhibit II.2.5-1
Parks, Recreation, Open Space & Trails Plan**



This concept plan is an illustrative example of the neighborhood park. Development of the park is subject to further discretionary review and approval of a specific Park Master Plan. Actual site development may vary from concepts depicted in this exhibit.

Figure II.2.5-2
Public Neighborhood Park (P-1) Concept Plan

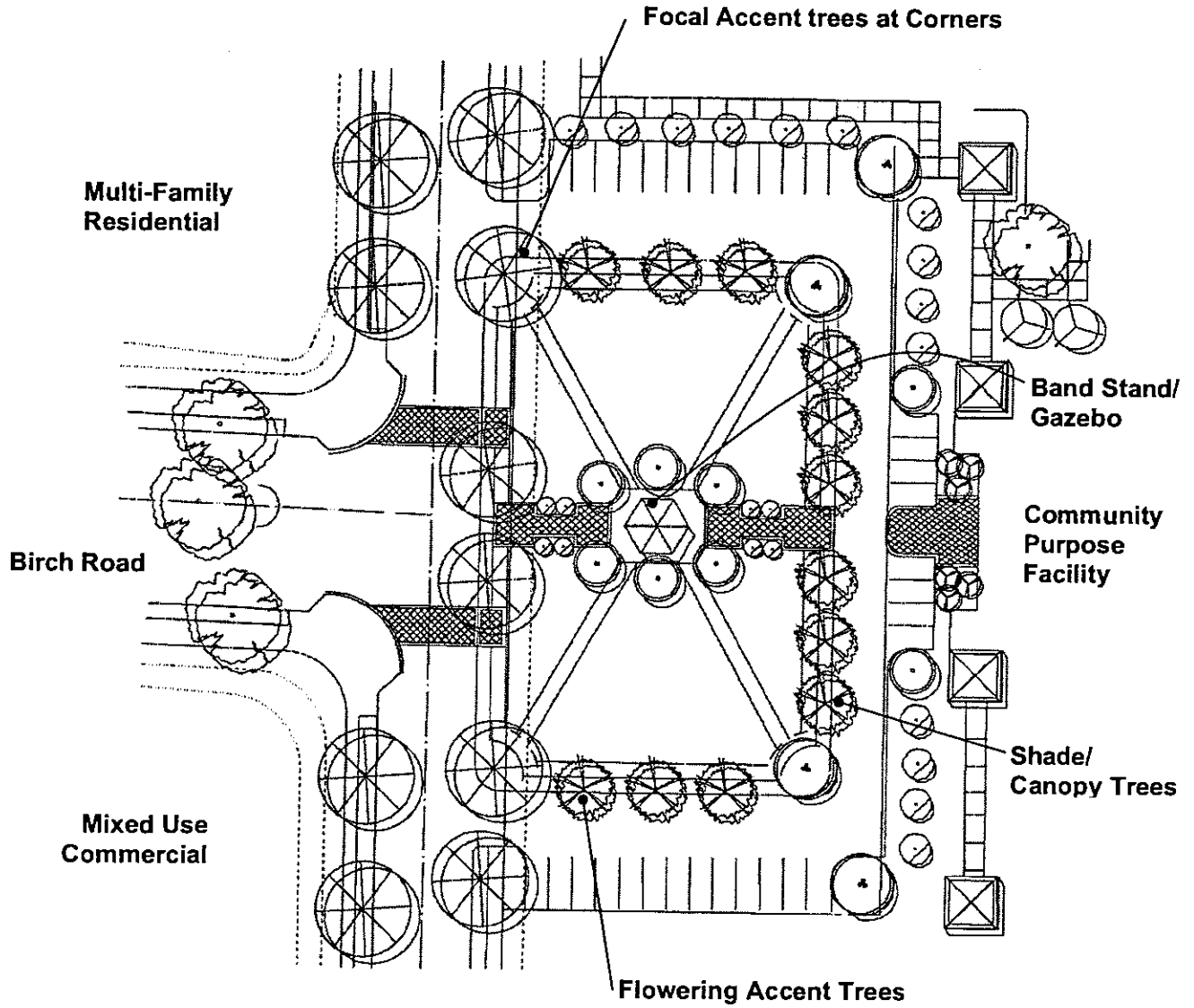
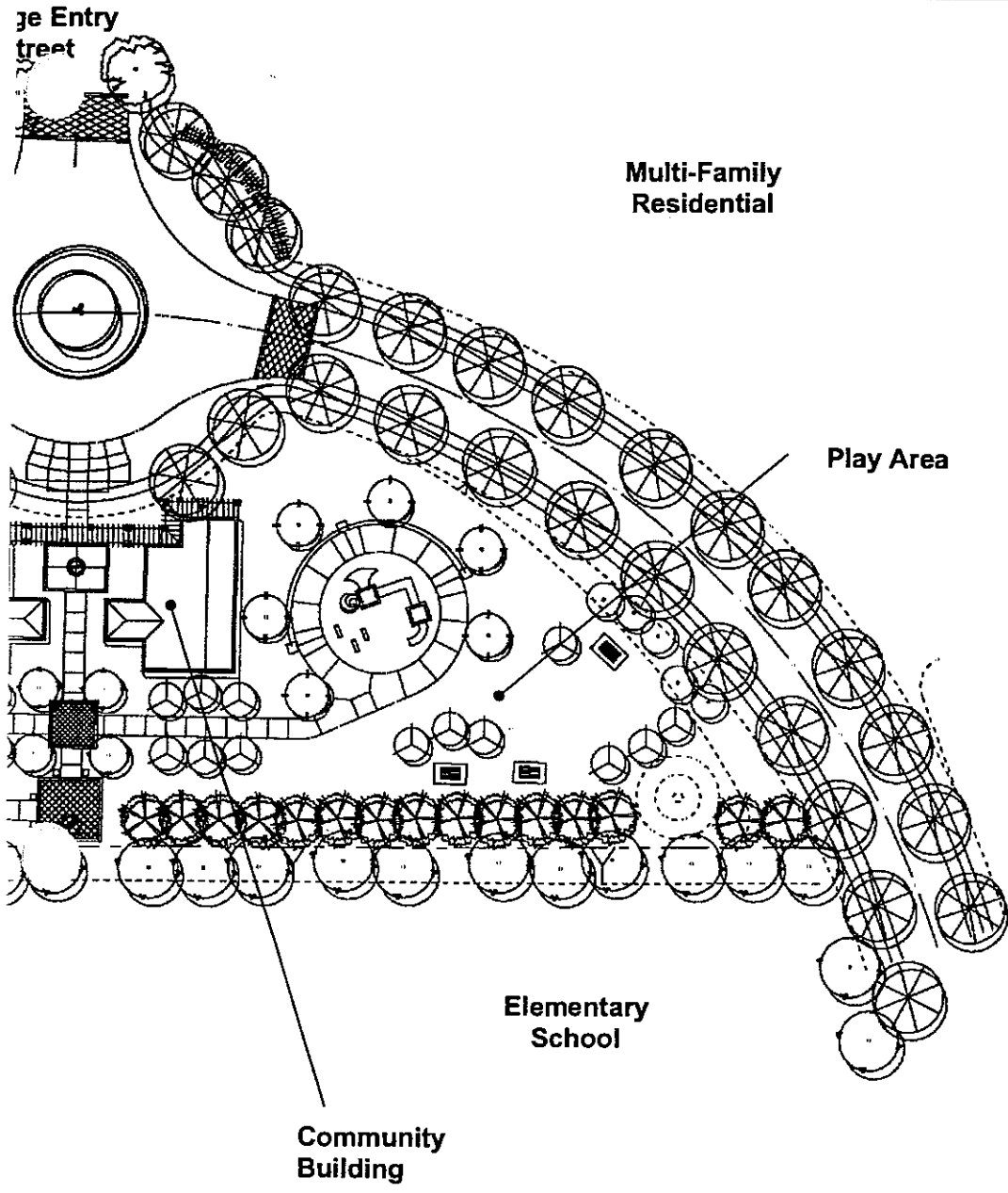


Exhibit II.2.5.-3
Town Square (P-4) Concept Plan



**Figure II.2.5-4
Village Core Private Recreation Facility (P-3) Concept Plan**

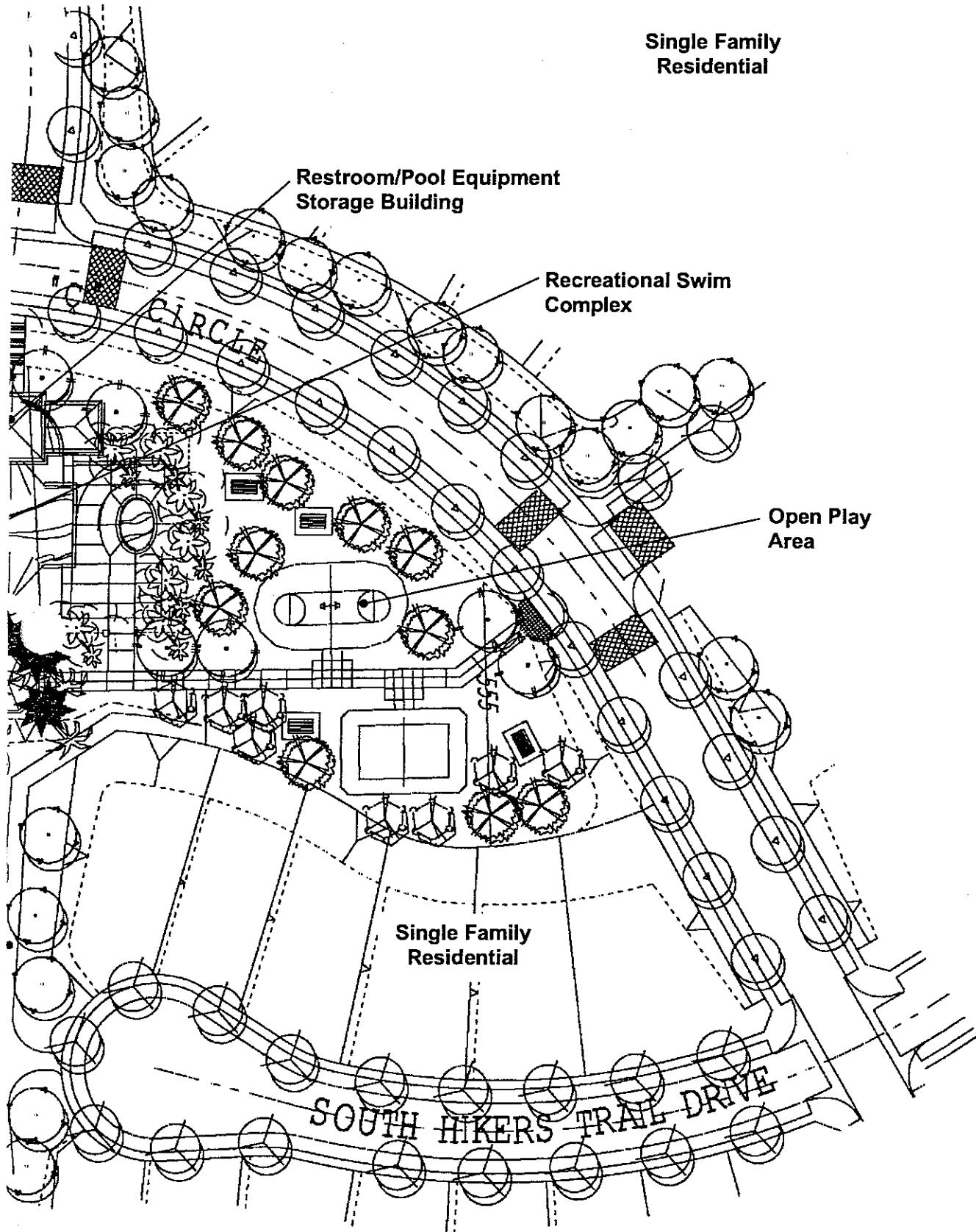


Figure II.2.5-5
Eastern Village Private Recreation Facility (P-2) Concept Plan

II.2.6 DEVELOPMENT PHASING**II.2.6.1 Introduction**

The Public Facilities Finance Plan implements the City of Chula Vista Growth Management Program and Ordinance. The intent of the document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the Otay Ranch GDP. The proposed phasing and actual construction timing of Village Eleven may be modified subject to compliance with provisions of the PFFP.

Development of the Village Eleven SPA Plan will be completed in several phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. The phasing of the village is largely dependent upon the site topography that requires incremental grading. The high elevations in the northwest area of the site will be lowered and the cut materials will be used to fill canyons and create developable building areas to the south and east. The grading operation, creation of development sites and the construction of neighborhoods form the basis for the phasing plan.

Three phases of development are envisioned for Village Eleven that reflect the anticipated market demand for a variety of housing types and commercial development. The Conceptual Phasing Plan is illustrated in Exhibit II.2.6.-1.

The purpose of this plan is to demonstrate one way to phase development in order to satisfy anticipated market, facility and amenity demands. However, it is understood that changes in the marketplace or the need for facilities may result in the need for changes in project phasing. In order to maintain earthwork balance, grading may extend beyond the boundaries of the conceptual phasing plan. The unit counts described below are approximate.

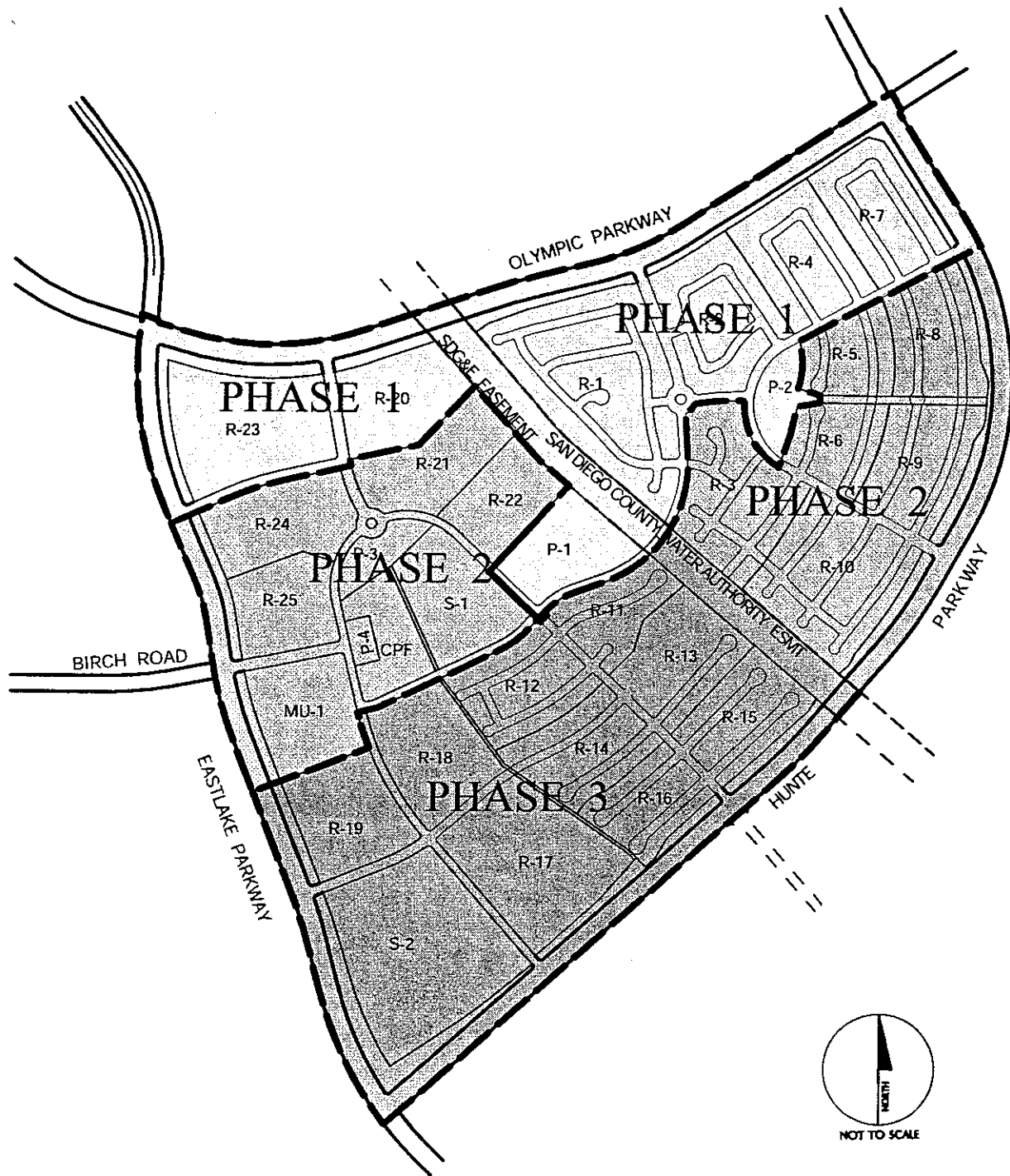


Exhibit II.2.6-1
Conceptual Phasing Plan

II.2.6.2 Phase 1

Phase 1 will commence in the northern area of the village with development of 532 single family units. A minimum of four distinct housing types of medium and low medium village densities will be developed in the first phase. Phase I development will include the completion of Olympic Parkway between Eastlake and Hunte Parkways, interior streets within the neighborhood developments, the private recreation facility in the eastern area of the village, and the public neighborhood park site in the village core. Table II.2.6-1 summarizes the development in Phase 1.

Area	Land Use	Gross Acres	Dwelling Units	Target du/ac	Housing Type
R-1	SF	26.7	164	6.1	SF detached
R-2	SF	14.2	46	3.2	SF detached
R-4	SF	12.4	55	4.4	SF detached
R-7	SF	11.4	70	6.1	SF detached
R-20	MF	10.6	78	8.0	SF detached
R-23	MF	16.8	119	8.0	SF detached
Subtotal		92.1	532		SF detached
P-2	Private Recreation Facility	3.8			
P-1	Neigh. Park	8.9			
	Open Space	22.3			
	Streets ¹	22.2			
Phase 1 Total		149.3	532		

¹Calculation of street area does not include additional required street improvements outside the BSO, LLC property boundary.

II.2.6.3 Phase 2

Phase 2 will complete the residential development (including streets and paseos) east of the SDG&E/SDCWA easement and encompass the village core area and nearby residential development in the eastern area of the village. Phase 2 residential development will provide 328 single family detached units with medium and low medium village densities, 386 single family attached units with medium high densities and 315 multi-family units with medium high and high densities. Sites R-21 and R-22 will be graded with Phase 1 to enable early delivery of the Neighborhood Park site (P-1), and will likely be the first residential sites developed in Phase 2. Sites for the village core land uses, including the mixed use, community purpose, private recreation facility and elementary school will be provided in this phase.

Area	Land Use	Gross Acres	Dwelling Units	Target du/ac	Housing Type
R-3	SF	15.3	46	3.0	SF detached
R-5	SF	7.5	37	5.0	SF detached
R-6	SF	7.5	35	4.7	SF detached
R-8	SF	11.2	64	5.7	SF detached
R-9	SF	11.6	60	5.2	SF detached
R-10	SF	18.0	86	4.8	SF detached
Subtotal		71.1	328		SF detached
R-21	MF	10.5	112	12.5	SF attached
R-22	MF	8.4	105	15.0	SF attached
R-24	MF	10.2	169	15.0	SF attached
Subtotal		29.1	386		SF attached
R-25	MF	10.0	200	25.0	MF
MU	Mixed-Use	10.0	115	11.5	MF
Subtotal		20.0	315		MF
CPF	Comm. Purpose	5.5			
S-1	Elem. School	11.0			
P-3	Private Rec. Facility	3.0			
P-4	Town Square	1.0			
	Open Space	9.0			
	Streets ¹	20.5			
Phase 2 Total		170.2	1029		

¹Calculation of street area does not include additional required street improvements outside the BSO, LLC property boundary.

II.2.6.4 Phase 3

Phase 3 will complete the southwestern portion of the village with the addition of 451 single family detached units of low medium density and 292 multi-family units of medium high and high densities. The junior high school site will also be made available for development. The following table summarizes Phase 3

Table II.2.6-3 – Phase 3					
Area	Land Use	Gross Acres	Dwelling Units	Target du/ac	Housing Type
R-11	SF	7.7	36	4.7	SF detached
R-12	SF	11.1	58	5.2	SF detached
R-13	SF	11.4	53	4.6	SF detached
R-14	SF	11.0	56	5.1	SF detached
R-15	SF	10.3	68	6.6	SF detached
R-16	SF	8.5	62	7.3	SF detached
R-17	MF	18.5	118	8.0	SF detached
Subtotal		78.5	451		SF detached
R-18	MF	12.5	125	12.5	SF attached
R-19	MF	11.6	167	18.0	SF attached
Subtotal		24.1	292		SF attached
S-2	J.H. School	25.6			
	Open Space	17.9			
	Streets ¹	23.5			
Phase 3 Total		169.6	743		

¹Calculation of street area does not include additional required street improvements outside the BSO, LLC property boundary

II.2.6.5 Phasing Summary

The following Table II.2.6-4 summarizes the development acres of specific land uses and the number of residential units proposed in all phases of Village Eleven’s development.

Table II.2.6-4 – Phasing Plan Summary			
Phase	Land Use	Gross Acres	Dwelling Units
1	Single family Detached Residential	92.1	532
	Private Recreation Facility (P-2)	3.8	-
	Public Neighborhood Park (P-1)	8.9	-
	Open Space	22.3	-
	Streets	22.2	-
	Subtotal	149.3	532
2	Single family Detached Residential	71.1	328
	Single family Attached Residential	29.1	386
	Multi-family Residential	10.0	200
	Private Recreation Facility (P-3)	3.0	-
	Town Square Park (P4)	1.0	-
	Elementary School (S-1)	11.0	-
	Mixed Use/Commercial (MU)	10.0	115
	Community Purpose (CPF)	5.5	-
	Open Space	9.0	-
	Streets	20.5	-
	Subtotal	170.2	1,029
3	Single family Detached Residential	78.5	451
	Single family Attached Residential	24.1	292
	Junior High School (S-2)	25.6	-
	Open Space	17.9	-
	Streets	23.5	-
	Subtotal	169.6	743
Total		489.0	2,304

Note: Acres are indicated as gross numbers. Calculation of street areas do not include additional required street improvements outside of property boundary.

II.2.7 PUBLIC FACILITIES

II.2.7.1 Introduction

This section identifies the public facilities required for Village Eleven in compliance with the City's goals that new developments provide all necessary support services. In addition, this section describes the major infrastructure improvements and the financing needed for the project. As part of the City's requirements, a Public Facilities Financing Plan (PFFP), Section II.5, has been prepared for Village Eleven in conjunction with this SPA Plan. The PFFP describes the backbone facilities in more detail and assigns the responsibility for construction and financing of all required facilities.

The public facilities outlined in this section have been determined based upon projected land uses and their distribution as shown on the Village Eleven SPA Plan (Exhibit II.2.2.-2). Facilities will be sized in accordance to the projected demands and necessary distribution for these land uses. Facilities needs and delivery schedule may be modified, subject to City approval, during the Tentative Map review and approval process.

II.2.7.2 Water Supply and Master Plan

Water service and facilities are addressed in the Overview of Water Service for Otay Ranch Village Eleven ('Master Water Plan') prepared by Wilson Engineering. The phasing and financing of water facilities is more thoroughly addressed in the Otay Ranch Village Eleven SPA PFFP.

The Otay Ranch Planned Community, including the Village Eleven SPA, is located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. OWD is a member of the County Water Authority and the Metropolitan Water District of Southern California.

Potable water for the development will be supplied from two pressure zones; the 711 Zone and the 980 Zone. The southeastern portion of Village Eleven will be served by the 711 Zone with connections to a proposed 20-inch line in Hunte Parkway. The northwestern portion of Village Eleven will be served by the 980 Zone with connections to proposed a 16-inch transmission line in Olympic Parkway and a proposed 20-inch line in Eastlake Parkway.

The Otay Water District has approximately 5 million gallons of reservoir storage capacity in the 711 Zone and is expected to construct a new 16-million gallon reservoir within the next two years. This reservoir storage capacity is for operation and fire protection storage only, and does not include an emergency storage capacity. Distribution pipelines will be constructed as required to provide adequate service based on the land use within the 711 Zone.

II.2.7.3 Potable Water Demand

Domestic water demand for Village Eleven will be estimated as a part of the subarea master plan to be approved by the OWD. An analysis of available water supply will also be completed to assure that sufficient supplies are planned to be available as demand is generated by the project. Water “will serve” acknowledgments from the Water District will be required by the City during the subdivision map process.

Village Eleven is within the Otay Water District 711 and 980 Pressure Zones. Water facilities required for the Village Eleven project area consist of those needed to deliver water from the 711 and 980 Zones. Exhibit II.2.7.-1 depicts the recommended distribution system required for the Village Eleven project area.

II.2.7.4 Recycled Water Supply and Master Plan

As described in the Overview of Water Service for Otay Ranch Village Eleven (‘Master Water Plan’) prepared by Wilson Engineering, based on current Otay Water District (OWD) policies regarding new subdivision development, landscaped areas for parks, schools, greenbelts, road medians and multi-family residential are required to utilize recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will irrigate street parkway landscaping, parks and manufactured slopes along open space areas.

The project is located in the OWD Central Service Area which currently receives recycled water from the District’s 1.3 million gallons per day (mgd) capacity Ralph W. Chapman Recycling Facility. The ultimate source of recycled water for Otay Ranch will be the planned Otay Valley Water Reclamation Plant. The recycled water system consists of a series of pump stations, transmission piping and storage reservoirs that will provide recycled water to portions of Otay Ranch, including the Village Eleven SPA project area.

In the Otay Ranch area, the existing recycled water distribution system serves Villages One and Five and connections to the system to serve Village Eleven are planned. Otay Ranch may eventually be required to oversize some of these facilities to meet recycled water demand outside of the project. A plan to distribute recycled water within the project is depicted on the Recycled Water Plan (Exhibit II.2.7.-2).

The recycled water duty factor for all irrigation areas is estimated to be 2,230 gallons per day (gpd)/acre. If expanded use of recycled water occurs as a result of the City Water Conservation pilot study currently being conducted, the recycled water duty factor will increase. Potential demand within Village Eleven is estimated in the draft Recycled Water Master Plan for the Village Eleven SPA to be approved by the OWD and the City of Chula Vista. Recycled water requirements for the project will be coordinated by the Water District and the City. Phased construction of recycled water facilities, based on the District approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

The Otay Ranch GDP and the Chula Vista Growth Management Program require the approval of a water conservation master plan concurrent with SPA approval. The City is in the process of developing guidelines for the preparation and implementation of Water Conservation Plans. This effort involves a pilot study to evaluate the relative effectiveness, costs and other issues associated with the implementation of additional water conservation measures beyond those currently mandated, in three new development projects, including Village Eleven. The pilot study will evaluate additional technical water saving devices, as well as the potential expanded use of recycled water, and possible gray water use. The pilot study will provide information to be used in finalizing a Water Conservation Plan for Village Eleven to be considered in conjunction with actions on the project's Tentative Subdivision Map.

II.2.7.5 Sewer Service

Sewer service to the project site is provided by the City of Chula Vista. Chula Vista operates and maintains its own sanitary sewer collection system that connects to the City of San Diego's Metropolitan Sewer System. Although the northwestern portion of Village Eleven was located in the Poggi Canyon drainage basin, site grading will divert this area into the Salt Creek drainage basin along with the remainder of the village. Existing and planned sewer facilities are illustrated on Exhibit II.2.7.-3. The Otay Ranch Master Plan of Sewerage prepared in October 1993 by Wilson Engineering, documents the feasibility of providing sewer service to the project area.

Sewerage service and facilities are addressed in the Overview of Sewer Service for Village Eleven SPA ("Sewer Master Plan"), March 2001, prepared by Wilson Engineering. The phasing and financing of sewerage facilities is more thoroughly addressed in the Otay Ranch Village Eleven SPA PFFP. In addition to the requirements of the Otay Ranch GDP, the provision of sewerage facilities within Village Eleven is guided by the Otay Ranch Sewerage Master Plan, Wilson Engineering, October 19, 1993.

The City of Chula Vista's Subdivision Manual establishes sewage generation factors based on population multipliers used to project sewage flows. The average daily flow into the Salt Creek basin from Village Eleven is estimated at 611,332 gpd. This flow can be accommodated, provided that required facilities are designed, financed, and implemented in a timely manner. Sewer facility improvements required to serve the Village Eleven project include 8-inch and 10-inch onsite gravity sewer lines and contributions for the construction of the Salt Creek Interceptor Sewer. The Village Eleven SPA PFFP details the phasing and financing.

Extension of trunk sewer facilities to serve the Salt Creek basin by gravity flow is planned as a part of the Otay Ranch project. At the present time, only Reach 4 of the Salt Creek Interceptor Sewer has been constructed in the vicinity of the project. Although design studies and environmental review of the remainder of the Salt Creek Interceptor Sewer are underway, it is possible that this facility may not be operational in time to serve Village

Eleven. Accordingly, interim pumping of project flows northwest to the Poggi Canyon Interceptor may be required. The temporary diversion of flows to Poggi Canyon will require the expansion or acceleration of planned facilities to increase capacity in that portion of the system. A description of the facilities needed to accommodate pumped flows in Poggi Canyon is contained in the Overview of Sewer Service for Village Eleven. If pumping is necessary, Village Eleven will construct the temporary facilities such as pump stations and force mains which serve Village Eleven, as well as participate in a mechanism approved by the City to finance construction of enhancements or upgrades to the Poggi Canyon Interceptor which accommodate the pumped flows. In addition, Village Eleven will contribute its share of the Salt Creek Gravity Basin Sewer DIF established by the City.

Sewer facilities required to serve Village Eleven will be constructed in phases, as identified in the Overview of Sewer Service for Village Eleven prepared by Dexter Wilson Engineering and approved by the City. The phasing requirements will be incorporated into the Village Eleven SPA PFFP and/or subdivision map conditions to assure timely provision of required facilities.

II.2.7.6 Storm and Drainage System

The natural drainage for Village Eleven trends from the north and west toward Salt Creek on the south and east of the property. Storm drain system improvements for Village Eleven are designed to slow the velocity of runoff from the property, control erosion and trap sediment before it reaches the Salt Creek channel and to ensure that the water discharged into the natural drainage course meets the requirements of the Regional Water Quality Control Board. Conceptually, the on-site runoff from developed areas in the Village Eleven will be collected by an on-site system and discharged through a series of drainage facilities into the natural drainage course.

The eastern portion of the property will discharge runoff through a first-flush basin and energy dissipater located adjacent to Hunte Parkway. The western portion of the property will discharge runoff through a temporary first-flush basin and energy dissipater located southeast of Hunte Parkway into the existing natural drainage channel. A series of drop structures to be located within the natural drainage channel will slow velocities to minimize erosion potential. A permanent basin located between the SDG&E and SDCWA easements will be constructed by Village Eleven to trap sediment prior to discharge of storm water into Salt Creek. Appropriate erosion control measures, including construction of temporary onsite desiltation basins, will be identified on the grading plans and implemented by Village Eleven during the course of construction.

Drainage facilities are addressed in the Village Eleven SPA Master Drainage Plan prepared by Hunsaker and Associates. The phased construction of storm drain facilities, based on this city-approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities. The responsibility and funding mechanism for maintenance of the drainage channels and basins

are addressed in the PFFP. A Storm Drainage Plan for the project is depicted on Exhibit II.2.7.-4.

II.2.7.7 Urban Runoff

The Upper and Lower Otay Lakes are operated by the City of San Diego as domestic water reservoirs. These reservoirs must be protected from urban runoff to maintain water quality for domestic use. The Village Eleven SPA does not drain into the watersheds for these reservoirs, thus there is no requirement for additional Otay Reservoir urban runoff planning as a condition of this SPA Plan.

Salt Creek is a USGS blue line stream, which makes it a water of the United States under the Clean Water Act (CWA). All development in excess of five acres must incorporate urban runoff planning, which will be detailed at the Tentative Tract Map level. The conceptual grading and storm water control plan for Village Eleven provides for water quality control facilities to be located on the east and southern boundaries of the village to ensure protection for Salt Creek.

II.2.7.8 Roads

Roads included in this SPA proposal are addressed in Chapter 3, Circulation, of this SPA plan. The PFFP details their phasing and financing.

II.2.7.9 Schools

The Otay Ranch GDP requires preparation of a School Master Plan for each SPA. This section addresses and satisfies the requirements for such a plan. Additionally, the phasing and funding of school facilities is addressed in the Otay Ranch Village Eleven SPA PFFP.

The construction of up to 2,304 dwelling units is planned for the Village Eleven SPA Plan. Village Eleven could generate approximately 1,361 students at full build out according to Chula Vista Elementary School District and Sweetwater Union High School District student generation factors. This would translate into approximately 692 elementary students, 231 middle school students, and 438 high school students.

The Otay Ranch General Development Plan (GDP) provides for the siting of one elementary school in each village on the Otay Valley Parcel, except Village Three. The Otay Ranch GDP also plans for the location of two middle schools and two high schools in the Otay Valley Parcel. The Sweetwater High School District has determined that a middle school should be located in Village Eleven.

Elementary Schools

As discussed above, the build out of Village Eleven would generate the need to accommodate approximately 692 elementary students. The Village Eleven SPA reserves a 10.0-acre elementary school site, Parcel S-1, adjacent to the community purpose facility and the neighborhood park to facilitate joint use opportunities. The site will be reserved for acquisition by the school district, as provided in the PFFP.

Middle Schools

It is anticipated that the 231 middle school students generated by the Village Eleven SPA will be served at facilities elsewhere in the vicinity until the Village Eleven middle school is constructed. The Village Eleven School Facility Implementation Plan is based on the premise that schools will be constructed when half of the school's projected students reside in the community. The maximum middle school capacity is 1,500 students. The 25.0-acre middle school site within Village Eleven is located in the southern portion of the Village Core at the corner of Eastlake Parkway and Hunte Parkway.

High Schools

Based on the maximum high school capacity of 2,400 students, it is anticipated that the 438 students generated by Village Eleven will be served by an existing high school in Eastlake and/or the proposed high schools in other Otay Ranch Villages.

Adult Schools

Demand for adult school facilities will be satisfied within existing facilities in the Sweetwater Union High School District, until a new facility can be constructed in the Eastern Urban Center on a site reserved pursuant to the Otay Ranch GDP.

II.2.7.10 Child Care Facilities

The city adopted the Child Care Element of the Chula Vista General Plan in March 1995. The purpose of the Child Care Element is "to provide comprehensive policy direction for the provision of adequate child care facilities necessary to serve existing and future developed areas in the City in a coordinated and effective manner."

Village Eleven, and the Otay Ranch Planned Community as a whole, may have a mix of child care providers, such as school, church, non-profit or commercial facilities. Childcare facilities may be located within private homes, commercial centers, offices, government and industrial complexes and/or adjacent to public and private schools when appropriate. It is estimated that Village Eleven will generate demand for 160 child care facility spaces for preschool children, and 139 child care facility spaces for school-age children. The

Village Eleven land use plan provides opportunities to locate and phase facilities to meet the needs of the community.

Family Day Care Homes

Home-based child care includes small family day care homes (SFDCH) that serve 6 children and large family day care homes (LFDCH) that serve 7-12 children. The Chula Vista Municipal Code allows the establishment of SFDCHs and LFDCHs within the R-1 Zone as well as the RE and RS land use districts of the PC Zone. A conditional use permit may be required for all family day care homes within R-2 and R-3 Zones. Consistent with Chula Vista zoning, SFDCHs could potentially be located within all residential zones in the Village Eleven SPA.

The California Code of Regulations, Title 22, Division 12, Chapter 3, Section 102417 includes regulations related to the operation of family day care homes and all family day care homes within the Village Eleven SPA would be required to comply with both state and local regulations.

Facility-Based Child Care

Facility-based childcare may be non-profit or commercial facilities located in non-residential land use areas of the village. Village Eleven includes a CPF site and Mixed Use zoned land. These land use designations can accommodate facility-based childcare. Non-profit childcare facilities are considered an accessory land use to CPF land and are permitted within the Mixed-Use zone. Commercial childcare facilities are also permitted within the village core commercial areas.

Facility-based childcare could be sited on mixed-use parcels. Elsewhere in the Otay Ranch community, such as the Eastern Urban Center, day care facilities could easily be sited. Having child care facilities located near other compatible services and activities is consistent with efficient land use planning, as well as the goals and objectives of the City's Child Care Element. Locating child care facilities near many other services is consistent with the neo-traditional principles established for Otay Ranch, as well as the goals and objectives of the Child Care Element subject to subsequent City approvals.

The State has adopted regulations related to licensing, application procedures, administrative actions, enforcement provisions, continuing requirements and the physical environment for child day care and day care centers. All child care facilities within Village Eleven will need to comply with state, as well as local regulations.

II.2.7.11 Police, Fire and Emergency Services

Police Protection

The Chula Vista Police Department (CVPD) currently provides police services within the City of Chula Vista. Village Eleven will increase the demand for police service in the project area. According to the demand methodology identified in the Otay Ranch GDP, the projected population increase generated by Village Eleven will require an additional 9 officers at build out to maintain current levels of police service. Approximately 2,000 square feet of police facilities will be required to house the additional officers. According to the Chula Vista Civic Center Master Plan (May 1989), the existing and proposed police facilities have the capacity to accommodate anticipated law enforcement services generated by this project.

Fire Protection

Fire protection services are provided by the City of Chula Vista Fire Department (CVFD). The Otay Ranch GDP plans for the location of fire stations in Villages Two and Nine of the Otay Valley Parcel and Village Thirteen of the Proctor Valley Parcel. The fire station planned for Village Two (Fire Station #7) is scheduled to be built by 2003. The demand for fire protection equipment and facilities to serve Village Eleven will be satisfied by the payment of fees as discussed in the Village Eleven SPA PFFP.

Two existing fire stations are in close proximity to the project site. One, a temporary facility, is located in the Eastlake business center, approximately 2.5 mile(s) from the project site. This station (Fire Station #8) will be relocated to a new permanent site in Rolling Hills Ranch as the City's Fire Master Plan is implemented. The second station is located on Otay Lakes Road, south of East "H" Street. This station is to be relocated to the Rancho del Rey community to the west of Otay Ranch.

The Otay Ranch GDP requires that as a condition of SPA plan approval, the Fire Department review fuel modification plans. *The Draft Brush Management Program*, an Addendum to the City of Chula Vista's Landscape Manual, prepared by the Chula Vista Fire Department, was the basis for the information included in the Fuel Modification and Brush Management section of the Village Eleven Parks, Recreation, Open Space and Trails Master Plan.

Emergency Medical Services

American Medical Response provides contract emergency medical services for the City of Chula Vista, National City, and Imperial Beach. There are five American Medical Response South County paramedic units. Two are located in Chula Vista, two in National City, and one in Imperial Beach. The Village Eleven project area will be served through a contract arrangement by the City of Chula Vista.

Emergency Disaster Plan

The San Diego Region is exposed to a number of hazards that have the potential for disrupting communities, causing damage and creating casualties. Possible natural disasters include earthquakes, floods, fires, landslides and tropical storms. There is also the threat of man-made incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism or civil disorder.

The foundation of California's emergency planning and response is the California Disaster and Civil Defense Master Mutual Aid Agreement, a statewide mutual aid system that is designed to ensure that adequate resources, facilities and other support is provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. San Diego County is in Mutual Aide Region 6 of the State system. The Unified San Diego County Emergency Services Organization consists of the County and cities within the County, and provides for preparing mutual emergency plans. The City of Chula Vista participates in the County Organization.

II.2.7.12 Library Services

Library services are provided by the City of Chula Vista. The City operates a central library, which is located at Fourth Avenue and "F" Street in central Chula Vista, to serve the entire community. Using the threshold of 600 square feet of adequately equipped and staffed regional library facilities per 1,000 residents, the population of Village Eleven generates a demand for approximately 4,100 square feet of library facilities. The Otay Ranch GDP plans for the location of a main library and/or one or more village libraries within the Otay Valley Parcel. The demand for library facilities generated by the build-out of Village Eleven will be satisfied through a contribution to libraries in Otay Ranch as identified in the Village Eleven SPA PFFP.

II.2.7.13 Parks, Recreation, Open Space and Trails Facilities

Parks, recreation, open space and trails are addressed in Chapter 5 of this SPA Plan, the Village Eleven Design Plan, Parks, Recreation, Open Space and Trails Master Plan and the PFFP. A synopsis of these facilities is provided below.

Neighborhood Parks

In conformance with the Otay Ranch GDP, a 7-acre neighborhood park and a one-acre town square park are provided in Village Eleven. Facilities within these parks may include ball fields, tot lots, picnic areas and other amenities as determined by the City Parks and Recreation Department.

Private Recreation Facilities

Two private recreation facilities are located at focal points within the village and in proximity to residential neighborhoods. These facilities may be credited towards the Village Eleven community purpose facility and multi-family common open space obligations.

Community Parks

The Village Eleven City parks obligation includes a contribution towards community parks in Otay Ranch. The contribution is described in the Village Eleven PFFP.

Compliance with Regional Park Standard

The Otay Ranch regional park standard is met through identification of the +3000 acres for the Otay Ranch Regional Park.

Local Open Space

The Open space buffers and areas within the village contribute to the Otay Ranch 12 acres/1000 residents local open space requirement.

Trails

The Village Eleven trails system provides for paseos, trails and street parkway/sidewalks within the village. Village trails connect to the community trails located along the three surrounding major streets.

Community Gardens

The City and the developer will facilitate a public forum to determine community interest in a community garden program. If interest is expressed, a site and program will be developed. Guidelines for community gardens are provided in the Village Eleven Parks, Recreation, Open Space and Trails Master Plan.

Edge Plan

The Otay Ranch GDP and Resource Management Plan (RMP) require preparation of an Edge Plan for areas with development adjacent to the preserve. The Edge Plan for Village Eleven is provided in the Village Eleven SPA Appendices.

II.2.7.14 Civic Facilities

The City of Chula Vista is currently served by the Chula Vista Civic Center. A master plan for the expansion of the Civic Center provides for the needs of the Village Eleven residents. Village Eleven is subject to the City's Development Impact Fee (DIF) Program, which generates revenue that can be used for civic facilities.

II.2.7.15 Animal Control Facilities

The City of Chula Vista provides animal health and regulatory services. Currently, no impact fees are imposed to fund expansion of animal control facilities.

II.2.7.16 Regional Facilities

A Regional Facilities Report was completed as part of the SPA One planning process. Generally, the Otay Ranch GDP requires that the demand generated for regional facilities be satisfied through participation in a regional impact fee program (if such a program is implemented) and/or, reserve land or facilities for regional service programs in the Eastern Urban Center. The Regional Facilities Report is updated with SPA applications to ensure adequate provision for regional facilities. The following is a review of the Otay Ranch regional facilities needs.

Integrated Solid Waste Management

The City of Chula Vista contracts with a private company to provide weekly solid waste collection within the City that is disposed at the Otay Landfill. The City has also mandated source separation of recyclables for residential, commercial and industrial generators. The City provides curbside collection of commingled recyclables and yard waster for residential neighborhoods. Within Village Eleven, neighborhood recycling/buy-back centers will be provided in the village core commercial area.

Arts and Cultural

The Otay Ranch GDP provides for a multi-use cultural complex in the EUC. Within villages, arts and cultural facilities are provided in public and civic space. In Village Eleven, public spaces that may accommodate art and performances include the town square and neighborhood park. The traffic roundabouts are also potential locations for public art. The community purpose facility, private pedestrian parks/community buildings and the mixed use commercial area provide opportunities for art display and performance.

Health and Medical

Health and medical facilities that serve Village Eleven include Scripps Chula Vista Memorial Hospital, Sharp Chula Vista Medical Center, and Paradise Valley Hospital. The mixed use commercial and community purpose facility sites within the Otay Ranch villages provide opportunities for both public and private nursing, health education, screening research and medical offices.

Community and Regional Purpose Facilities

A 5.5-acre Community Purpose Facility is provided in Village Eleven. Community-serving uses may also be accommodated in the private pedestrian parks and mixed use commercial site.

Social and Senior Services

The County of San Diego has the primary responsibility to provide social services to County residents. There are numerous non-profit health and social service organizations located in the Chula Vista/Otay Subregion. The City of Chula Vista provides an adult literacy program, a Youth Action Program and the Police Activities League program.

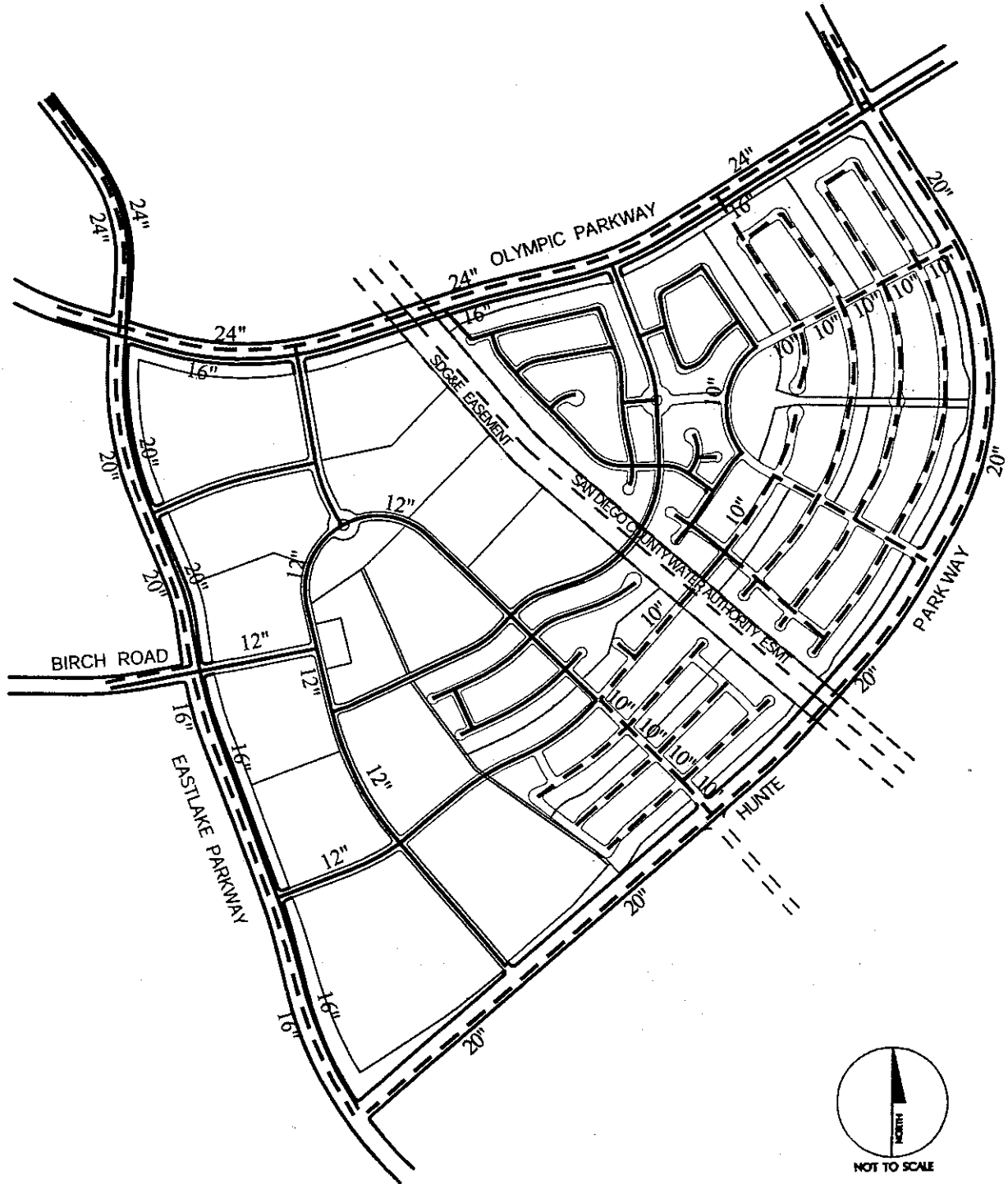
The County's Area Agency on Aging provides social and nutrition programs, legal services, ombudsman programs and services to prevent or postpone institutionalization. The City of Chula Vista provides senior services and the Parks and Recreation Department coordinates activities and programs at the Norman Park Senior Center. The CPF site and private pedestrian parks provide opportunities for social and senior services within Village Eleven.

Correctional

The increased population in Village Eleven will contribute to the need for correctional facilities. Should the regional impact fees be enacted to assist in funding such facilities, Village Eleven development would be obligated to equitably participate.

Transit

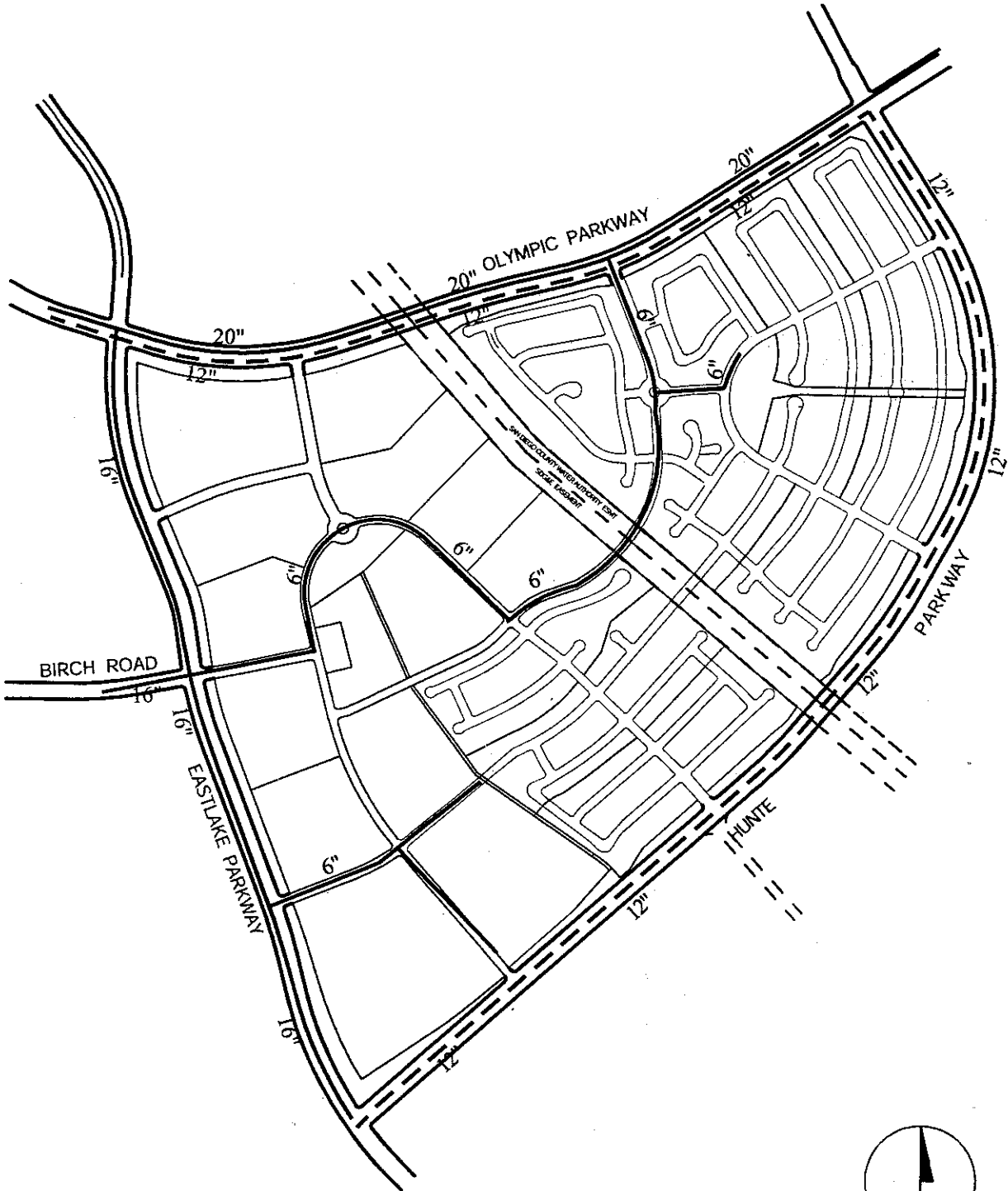
Transit facilities are intended to reduce the public's dependence upon the automobile to help alleviate traffic congestion. The provision of transit facilities is also an action measure of the City's CO₂ Reduction Plan. Currently, two percent of trips are conducted on public transit in the region. An increase in transit use can be fostered through the location of higher-density housing near transit, site design with transit orientation and enhanced pedestrian access to transit. The land use and circulation plan for Village Eleven incorporates transit-oriented design. Additional discussion of transit facilities is provided in the PFFP.



LEGEND

- 711 ZONE
- 980 ZONE

Exhibit II.2.7-1
Potable Water



LEGEND

- 680 ZONE
- 950 ZONE

Exhibit II.2.7-2
Recycled Water

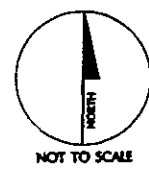
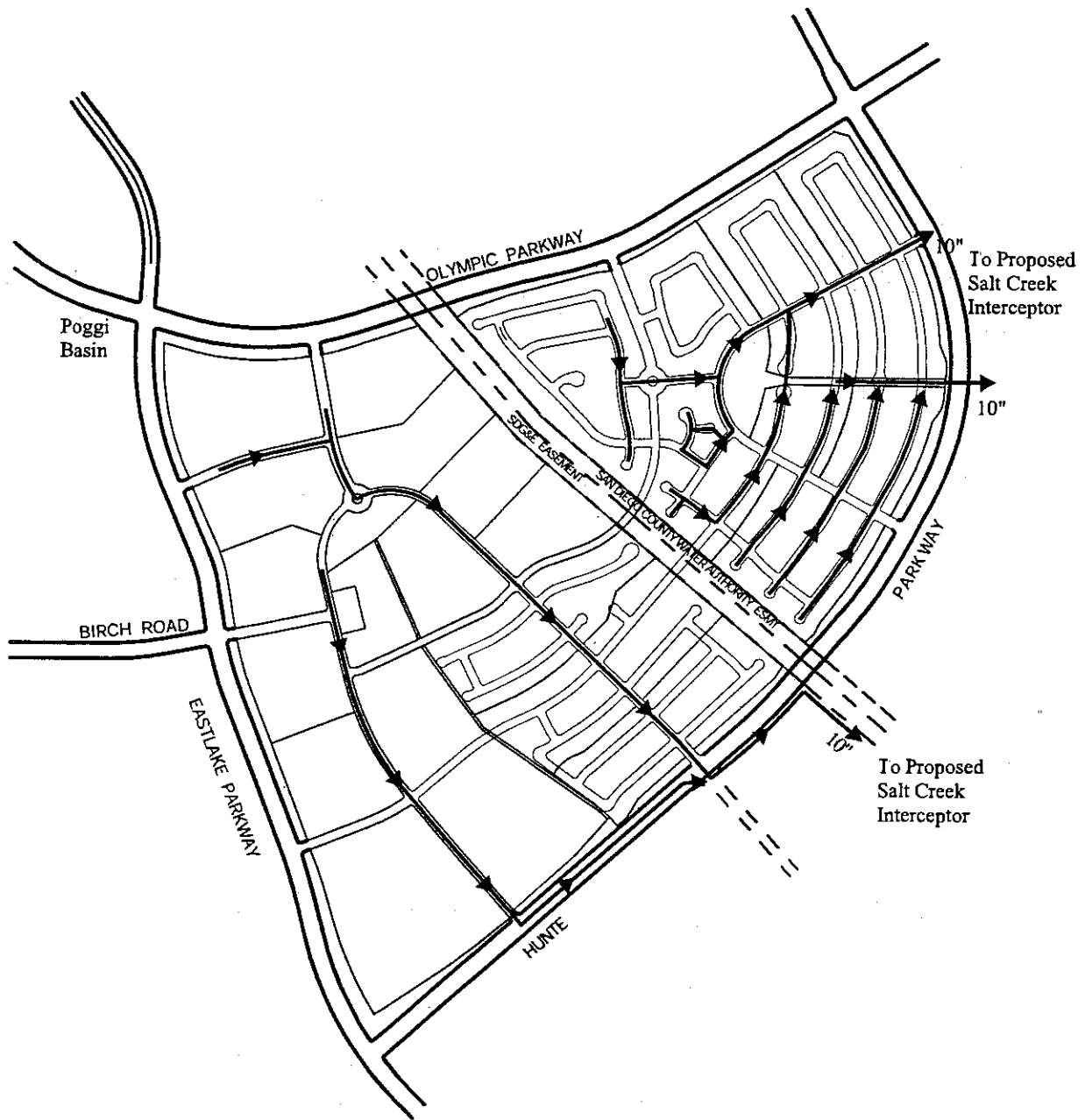


Exhibit II.2.7-3
Sewer

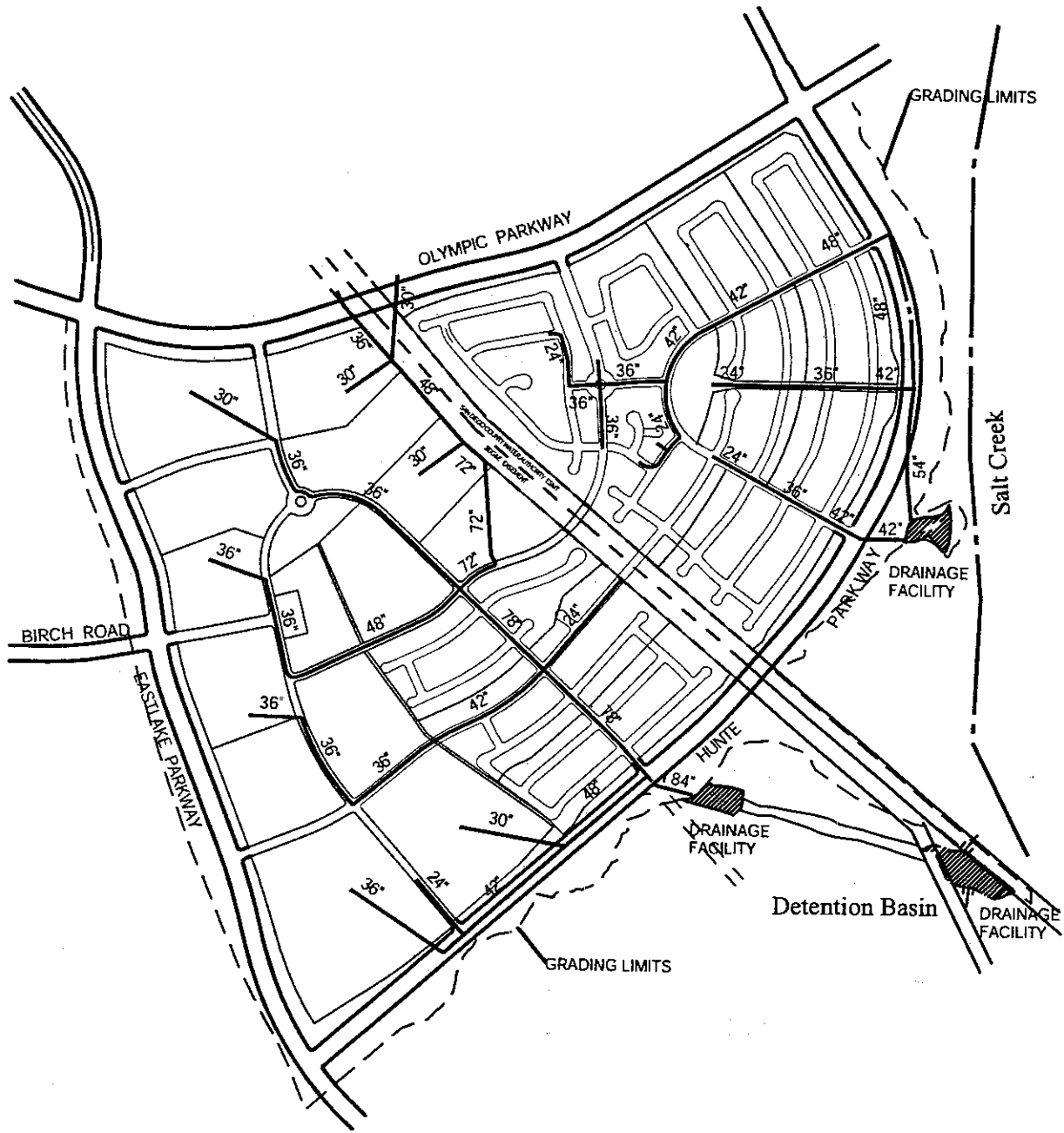


Exhibit II.2.7-4
Drainage Plan

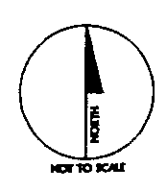
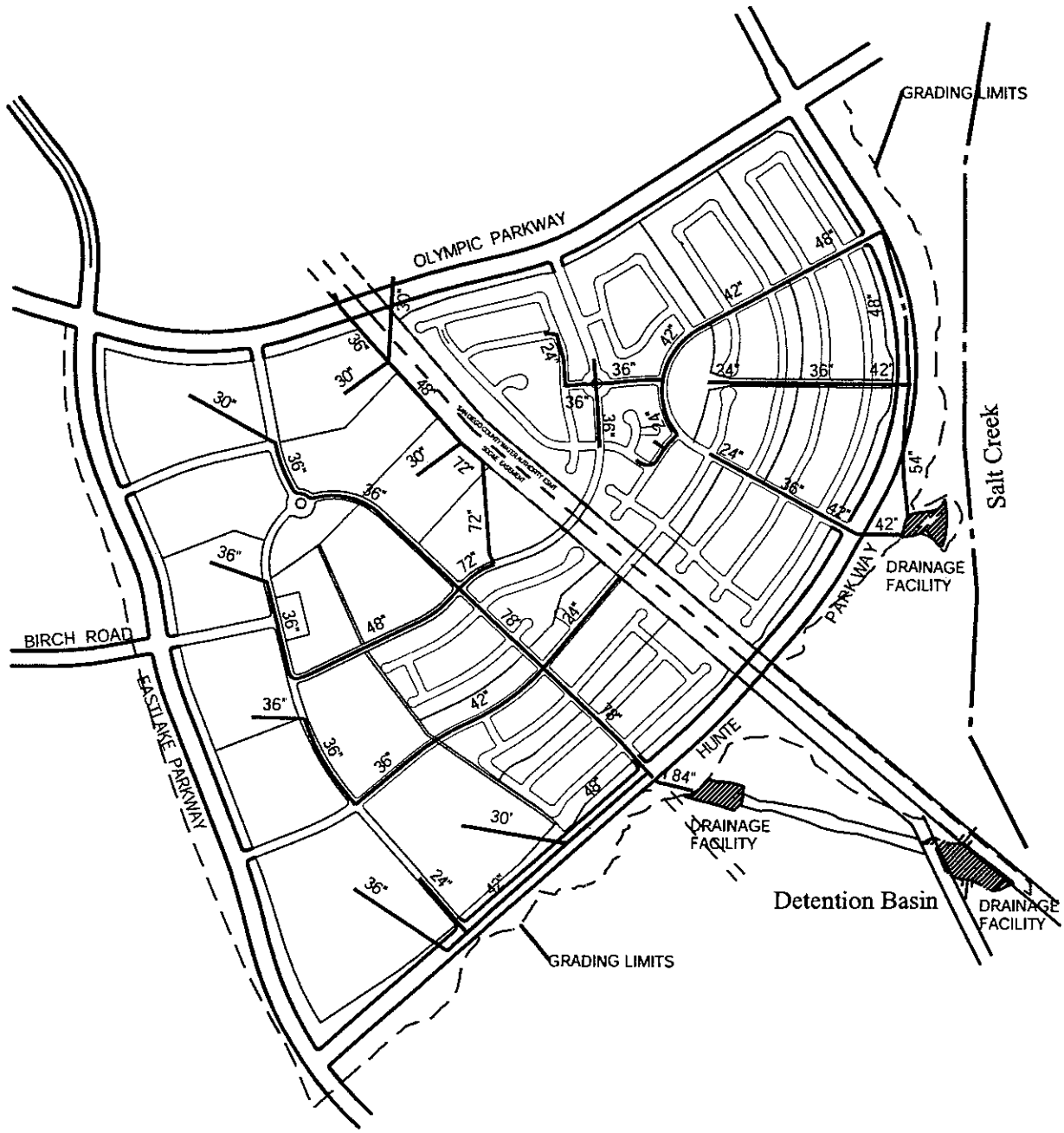


Exhibit II.2.7-4
Drainage Plan

II.2.8 GDP COMPLIANCE

The adopted Otay Ranch General Development Plan establishes goals and objectives for land use; mobility; housing; parks, recreation, open space; public facilities; safety; phasing; and resource protection, conservation and management. This chapter provides a re-statement of the GDP goals and objectives followed by an explanation of how they are implemented by the plan for Village Eleven.

II.2.8.1 Land Use

GOAL: DEVELOP COMPREHENSIVE, WELL INTEGRATED AND BALANCED LAND USES WHICH ARE COMPATIBLE WITH THE SURROUNDINGS. (Page 64)

Objective: Provide a well-integrated land use pattern which promotes both housing and employment opportunities, while enhancing the unique environmental and visual qualities of the Otay Ranch.

Objective: Provide a wide range of residential housing opportunities, from rural and estate homes to high-density multi-family projects. Provide a balanced and diverse residential land use pattern for the Otay Valley Parcel which promotes a blend of multi-family and single-family housing styles and densities, integrated and compatible with other land uses in the area.

Objective: Provide development patterns complementary to the adopted plans and existing development of the adjacent communities.

Implementation:

The land use plan for Village Eleven supports these GDP goals and objectives by providing a range of housing and employment opportunities. The plan adheres to the GDP specific directives for Village Eleven that create a village core (composed of commercial, community purpose, elementary school, neighborhood park, town square and residential land uses) and residential neighborhoods that offer a variety of housing styles and densities.

The organization of the land uses within Village Eleven meets the objectives of integration and compatibility of land uses within the village and with adjacent communities. Adjacent land uses are existing residential to the north, proposed Freeway Commercial (FC) and Eastern Urban Center (EUC) uses to the west, proposed university to the south and the Salt Creek preserve to the east. The land uses within Village Eleven transition from the village core mixed use and higher density residential uses on the west (compatible with adjacent FC and EUC) to lower density residential uses to the east (compatible with the Salt Creek preserve).

The Village Eleven plan supports the objective of enhancing the unique environmental and visual qualities of Otay Ranch. The village conforms to the natural topography of the site and maintains views towards open spaces and distant mountains.

GOAL: ENVIRONMENTALLY SENSITIVE DEVELOPMENT SHOULD PRESERVE AND PROTECT SIGNIFICANT RESOURCES AND LARGE OPEN SPACE AREAS. (Page 64)

Objective: Provide land use arrangements which preserve significant natural resource areas, significant landforms and sensitive habitat.

Implementation:

These goals and objectives will be met through the conveyance of approximately 422.2 acres of land, encompassing Salt Creek and surrounding natural hillsides, to the Preserve Owner Manager, the City of Chula Vista and County of San Diego in accordance with the requirements of the RMP. Village Eleven is sited within land area designated for development and the plan provides for protection of the adjacent environmentally sensitive areas through appropriate design of landscaping, drainage and other features.

GOAL: REDUCE RELIANCE ON THE AUTOMOBILE AND PROMOTE ALTERNATIVE MODES OF TRANSPORTATION. (Page 64)

Objective: Develop villages which integrate residential and commercial uses with a mobility system that accommodates alternative modes of transportation, including pedestrian, bicycle, bus, light rail, and other modes of transportation.

Objective: Develop residential land uses which encourages the use of alternative modes of transportation through the provision of bus and light rail right-of-way, and the inclusion of a bicycle and pedestrian network.

Objective: Commercial uses should be sized to meet the needs of the immediate and adjacent villages. Village commercial land uses preempt large regional commercial opportunities within villages and relegate them to the EUC or freeway commercial areas.

Objective: Develop the Eastern Urban Center to promote alternative modes of transportation. Specifically, through the provision of light rail right-of-way and the incorporation of multi-modal access from residential neighborhoods and villages.

Implementation:

Land uses within Village Eleven, including commercial, office, park and school uses, are designed to provide for the daily needs of the residents.

Provision of land uses that minimize the need for automobile travel coupled with the pedestrian-oriented design of the village are two ways the plan meets the GDP goals and objectives. The village core is located in the western portion of the village to provide synergism between neighborhood commercial uses in the village with community-serving commercial uses in the EUC and FC. This area of the village is also designed with the greatest residential density in closest proximity to the regional transit-way in the EUC and FC. Throughout the village, a system of paseos and landscaped streets link residential neighborhoods, the village core, parks and schools to encourage walking, rather than driving. These paths are designed with parkway separations between walkways and streets, landscaping, lighting and furnishings to make the pedestrian experience pleasant and promote safety. The maximum speed for village streets is 25 miles per hour to allow carts and bicycles to travel on village streets. Convenient support features, such as bus stops, bicycle racks and cart parking spaces are also provided. A bus route can be accommodated around and through the village with strategically located stops. The village trail system also connects to the surrounding community trail system. Village Eleven will be developed with an advanced wiring telecommunications and information technology system. Availability of these facilities will encourage telecommuting and accommodate home-based businesses.

GOAL: PROMOTE VILLAGE LAND USES WHICH OFFER A SENSE OF PLACE TO RESIDENTS AND PROMOTES SOCIAL INTERACTION.
(Page 65)

- Objective:** Organize Otay Ranch into villages, each having its own identity and sense of place.
- Objective:** The design of the Otay Ranch should promote variety and diversity at the village scale, while providing a sense of continuity through the use of unifying design elements.
- Objective:** Promote a diverse range of activities and services to encourage a mixture of day/night and weekday/weekend uses.

Implementation:

Village Eleven meets these goals and objectives by providing a village core surrounding a town square. Land uses within the village core include commercial/mixed use, community purpose facilities, elementary school, park and a variety of residential housing types. The land uses, coupled with a village design theme create the village identity and sense of place. The village incorporates Ranch-wide design elements such as signage and landscaping to connect it with the other villages of Otay Ranch.

GOAL: DIVERSIFY THE ECONOMIC BASE WITHIN OTAY RANCH. (Page 65)

Objective: Create an economic base that will ensure there is adequate public revenue to provide public services.

Objective: Create an Eastern Urban Center within the Otay Valley Parcel and encourage the development of a retail base for the planning area, but not to the detriment of existing regional and local commercial centers.

Objective: Create employment opportunities for area residents which complements, rather than substitutes for industrial development on the Otay Mesa.

Implementation:

The village core mixed use development contributes to the economic base with neighborhood-serving uses that will complement the viability of the FC and the EUC. The advanced system wiring will provide telecommunications support to businesses within the village.

GOAL: PROMOTE SYNERGISTIC USES BETWEEN THE VILLAGES OF THE OTAY RANCH TO PROVIDE A BALANCE OF ACTIVITIES, SERVICES AND FACILITIES. (Page 65)

Objective: Develop individual villages to complement surrounding villages.

Objective: Select villages to provide activities and uses which draw from surrounding villages. Uses serving more than one village, such as a cinema complex, should be located in a village core that has convenient access to adjacent villages.

Implementation:

Village Eleven provides neighborhood-serving commercial uses that complement the community and regional-serving commercial uses of the FC and EUC. Village Eleven's core will provide an intimate-scale village that can serve the needs of University and Eastlake residents. Village Eleven was selected by the school district as an appropriate, central location for the junior high school which will serve the surrounding community.

GOAL: ORGANIZE LAND USES BASED UPON A VILLAGE CONCEPT TO PRODUCE A COHESIVE, PEDESTRIAN FRIENDLY COMMUNITY, ENCOURAGE NON-VEHICULAR TRIPS, AND FOSTER INTERACTION AMONGST RESIDENTS. (Page 95)

Implementation:

All areas of Village Eleven are connected by an extensive trail and pathway system. These trails and pathways reinforce a pedestrian friendly concept as well as promote the use of alternative modes of transportation. By reducing the need for an automobile, people will have opportunities to interact with their neighbors and other residents of the village as they walk or ride to their destinations. The location of medium and high-density residential, elementary school and neighborhood park uses near the village core will also encourage non-vehicular trips.

II.2.8.2 Mobility

GOAL: PROVIDE A SAFE AND EFFICIENT TRANSPORTATION SYSTEM WITHIN OTAY RANCH WITH CONVENIENT LINKAGES TO REGIONAL TRANSPORTATION ELEMENTS ABUTTING THE OTAY RANCH. (Page 217)

- Objective:** Ensure timely provision of adequate local circulation system capacity to respond to planned growth, maintaining acceptable levels of service (LOS).
- Objective:** Plan and implement a circulation system such that the operational goal of Level of Service "C" for circulation element arterial and major roads and intersections can be achieved and maintained. Internal village streets/roads are not expected to meet this standard.
- Objective:** Encourage other transportation modes through street/road design standards within the village, while accommodating the automobile. Design standards are not focused on achieving LOS standards or providing auto convenience.
- Objective:** Provide an efficient circulation system that minimizes impacts on residential neighborhoods and environmentally sensitive areas.

Implementation:

Streets surrounding and internal to Village Eleven are designed in compliance with the goals and objectives of the GDP. Street design and phasing strives to provide efficient and appropriate level of service. The village circulation system provides for connections to the regional transitway to the east. Internal streets have been designed to accommodate bicycles and carts, and a series of pedestrian paths are provided throughout the village to provide alternatives to automobile travel.

GOAL: ACHIEVE A BALANCED TRANSPORTATION SYSTEM WHICH EMPHASIZES ALTERNATIVES TO AUTOMOBILE USE AND IS RESPONSIVE TO THE NEEDS OF RESIDENTS. (Page 218)

Objective: Study, identify, and designate corridors, if appropriate, for light rail and transit facilities.

Objective: Promote alternative forms of transportation, such as bicycle and car paths, riding and hiking trails, and pedestrian walkways as an integral part of the circulation system.

Implementation:

A wide variety of alternative forms of transportation, including trails, paths and paseos, are provided within Village Eleven. This alternative transportation network addresses the needs of residents by offering different routes to uses within and outside of the village, including connections to the regional transit-way to the west.

II.2.8.3 Housing

GOAL: CREATE A BALANCED COMMUNITY EXEMPLIFIED BY THE PROVISION OF A DIVERSE RANGE OF HOUSING STYLES, TENANCY TYPES AND PRICES. (Page 239)

Objective: Provide a variety of housing opportunities sufficient to meet a proportionate share of the Regional Share allocation of housing.

Objective: Each Otay Ranch Village will proportionately assist the appropriate land use jurisdiction to meet or exceed Otay Ranch's share of the five-year Regional Share allocation as provided by each jurisdiction's Housing Element.

Implementation:

The Village Eleven plan meets these goals and objectives by providing a wide variety of housing types, including affordable housing. Proposed housing includes apartments, townhouses, condominiums, attached housing (duplexes and/or triplexes), small lot single-family and average lot single family residential.

GOAL: THE PROVISION OF SUFFICIENT HOUSING OPPORTUNITIES FOR PERSONS OF ALL ECONOMIC, ETHNIC, RELIGIOUS AND AGE GROUPS, AS WELL AS THOSE WITH SPECIAL NEEDS SUCH AS THE HANDICAPPED, ELDERLY, SINGLE PARENT FAMILIES AND THE HOMELESS. (Page 244)

Objective: Ensure that the Otay Ranch provides housing opportunities sufficient to meet a proportionate share of identified special housing needs, and applies fair housing practices for all needs groups in the sale, rental, and advertising of housing units.

Implementation:

Village Eleven will contain a wide variety of housing types ranging in density from low-medium to high. The variety of housing types will accommodate families, singles and those with special housing needs, including the handicapped and the elderly. Fair housing practices will be employed in the sale, rental and advertising of all units.

II.2.8.4 Parks, Recreation, Open Space

GOAL: PROVIDE DIVERSE PARK AND RECREATIONAL OPPORTUNITIES WITHIN OTAY RANCH WHICH MEET THE RECREATIONAL, CONSERVATION, PRESERVATION, CULTURAL AND AESTHETIC NEEDS OF PROJECT RESIDENTS OF ALL AGES AND PHYSICAL ABILITIES. (Page 247)

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Objective: Provide neighborhood and community park and recreational facilities to serve the recreational needs of local residents.

Implementation:

One neighborhood park, a town square and two private recreational facilities, will provide residents of all ages and physical abilities with both active and passive recreational opportunities. The location of the neighborhood park adjacent to the elementary school provides an opportunity for shared use. Within the SDG&E/SDCWA easement, east/west trails provide connections within the village. Village 11 will contribute its share of the cost of community and/or regional park facilities.

II.2.8.5 Capital Facilities

GOAL: ASSURE THE EFFICIENT AND TIMELY PROVISION OF PUBLIC SERVICES AND FACILITIES OF DEVELOPABLE AREAS OF OTAY RANCH CONCURRENT WITH NEED. (Page 262)

Objective: Ensure that the pace and pattern of residential, commercial and other non-residential development is coordinated with the provision of adequate public facilities and services.

Objective: Permit development only through a process that phases construction with the provision of necessary infrastructure prior to or concurrent with need.

Objective: Development projects shall be required to provide or fund their fair share of all public facilities needed by the development.

Objective: "Enhanced Services" may be provided to specified geographic areas of the Otay Ranch. These are services that exceed the normal or standard level of services provided to the jurisdiction as a whole.

Objective: The City of Chula Vista and the county of San Diego shall enter into a Master Property Tax Agreement covering all annexations within an agreed-upon geographic area in Otay Ranch. That Agreement shall consider the distribution of property tax revenues, as well as the allocation of total project revenues between the City and the County in accordance with the following policies.

Objective: As a general guideline, efforts should be made to keep the effective tax rate (ETR), including all property taxes and special assessments, not to exceed 2.00 percent of the assessed value of the property.

Objective: Monitor the impacts of growth and development on critical facilities and services to ensure that necessary infrastructure is provided prior to or concurrent with need.

Implementation:

Village Eleven meets these goals and objectives through a plan that phases development with infrastructure improvements. The developer will participate in fair-share funding of facilities.

Drainage Facilities

GOAL: PROVIDE PROTECTION TO THE OTAY RANCH PROJECT AREA AND SURROUNDING COMMUNITIES FROM FIRE, FLOODING AND GEOLOGIC HAZARDS. (Page 267)

Objective: Individual projects will provide necessary improvements consistent with the National Flood Insurance Program, Drainage Master Plan(s) and Engineering Standards.

Objective: Development within floodplains will be restricted to decrease the potential for property damage and loss of life from flooding and to avoid the need for channels and other flood control facilities.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Objective: Require onsite detention of storm water flows such that existing downstream structures will not be overloaded.

Implementation:

The grading and drainage plans for Village Eleven meet these goals and objectives by providing several alternatives controlling and detaining run-off. The plans provide for protection of adjacent, lower elevation sensitive habitats

Sewerage Facilities

GOAL: PROVIDE A HEALTHFUL AND SANITARY SEWERAGE COLLECTION AND DISPOSAL SYSTEM FOR THE RESIDENTS OF OTAY RANCH AND THE REGION, INCLUDING A SYSTEM DESIGNED AND CONSTRUCTED TO ACCOMMODATE THE USE OF RECLAIMED WATER. (Page 270)

Objective: The ongoing planning, management and development of sewerage conveyance, treatment and disposal facilities to adequately meet future demands.

Objective: Assure that wastewater treatment plants are consistent with sewerage master plans.

Objective: Sewage disposal systems should maximize the provision and utilization of reclaimed water.

Implementation:

The sewerage system for Village Eleven is designed in compliance with the Otay Ranch master plans for sewer and reclaimed water.

Integrated Solid Waste Management Facilities

GOAL: PROVIDE SOLID WASTE FACILITIES AND SERVICES WHICH EMPHASIZE RECYCLING OF REUSABLE MATERIALS AND DISPOSAL OF REMAINING SOLID WASTE SO THAT THE POTENTIAL ADVERSE IMPACTS TO PUBLIC HEALTH ARE MINIMIZED. (Page 274)

Objective: Reduce the volume of waste to be landfilled by 30% by 1995 and by 50% by 2000.

Implementation:

During construction, solid waste disposal and recycling of materials will adhere to best management practices and City standards. A recycling/drop-off center will be located within the mixed-use area of the village core. This central location will encourage residents and businesses in the village to participate in recycling programs.

Urban Runoff Facilities

GOAL: ENSURE THAT WATER QUALITY WITHIN THE OTAY RANCH PROJECT AREA IS NOT COMPROMISED. (Page 277)

GOAL: ENSURE THAT THE CITY OF SAN DIEGO'S WATER RIGHTS WITHIN THE OTAY RIVER WATERSHED SHALL NOT DIMINISH. (Page 277)

Implementation:

The drainage plan for Village Eleven provides for management and containment of urban runoff in conformance with City and regional environmental protection standards.

Water Facilities

GOAL: ENSURE AN ADEQUATE SUPPLY OF WATER FOR BUILD-OUT OF THE ENTIRE OTAY RANCH PROJECT AREA; DESIGN THE OTAY RANCH PROJECT AREA TO MAXIMIZE WATER CONSERVATION. (Page 280)

- Objective:** Ensure an adequate supply of water on a long-term basis prior to the development of each phase of the Otay Ranch Project Area.
- Objective:** Ensure infrastructure is constructed concurrently with planned growth, including adequate storage, treatment, and transmission facilities, which are consistent with development phasing goals, objectives and policies, and the Service/Revenue Plan.
- Objective:** Ensure that water quality within the Otay Ranch Project Area is not compromised, consistent with NPDES Best Management Practices, and the RWQCB Basin Plans
- Objective:** Promote water conservation through increased efficiency in essential uses and use of low water demand landscaping.
- Objective:** Encourage suppliers to adopt a graduated rate structure designed to encourage water conservation.

Implementation:

Water facilities will be phased in conformance with street improvements and sewer facilities. A water conservation plan will be finalized and incorporated as part of the SPA Plan and Tentative Map approval process.

Water Reclamation Facilities

GOAL: DESIGN A SEWERAGE SYSTEM WHICH WILL PRODUCE RECLAIMED WATER. ENSURE A WATER DISTRIBUTION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO USE RECLAIMED WATER. CONSTRUCTION OF A "DUAL SYSTEM" OF WATER SUPPLY WILL BE REQUIRED FOR ALL DEVELOPMENT WHERE RECLAIMED WATER IS USED. (Page 283)

Objective: Encourage development of public and private open space and recreational uses that could utilize reclaimed water.

Implementation:

A reclaimed water plan has been prepared and is incorporated as part of the SPA approval process. A SAMP will be prepared which will include reclaimed water facilities.

Arts and Cultural Facilities

GOAL: PLAN SITES FOR FACILITIES DEDICATED TO THE ENHANCEMENT OF THE ARTS AT THE COMMUNITY LEVEL THAT CAN CONTAIN INDOOR AND OUTDOOR FACILITIES

CAPABLE OF SUPPORTING COMMUNITY THEATER, TRAINING AND EXHIBITION OF ART AND SCULPTURE, MUSICAL TRAINING AND CONCERTS, FILM AND CULTURAL FESTIVALS, PUBLIC MEETINGS, AND OTHER COMMUNITY EVENTS. (Page 283)

Implementation:

Village Eleven provides a town square, neighborhood park, private recreation facilities, elementary school, community purpose facility, and mixed use center which could accommodate arts and cultural facilities. Paseos and landscaped traffic circles at strategic street intersections provide opportunities for sculpture display.

Cemetery Facilities

Objective: Identify and preserve adequate cemetery sites to serve the Otay Ranch Project Area (Page 289).

Implementation:

A cemetery site is not proposed in Village Eleven.

Child Care Facilities

GOAL: PROVIDE ADEQUATE CHILD CARE FACILITIES AND SERVICES TO SERVE THE OTAY RANCH PROJECT AREA. (Page 290)

Objective: Identify sites for child care and pre-school facilities adjacent to or part of public and private schools, religious assembly uses, employment areas, and other locations deemed appropriate.

Implementation:

Child care facilities can be accommodated in the mixed use, community purpose facility, elementary school, and neighborhood park land use areas. Small family day care is also an allowable use within residential areas, provided adequate outdoor play area and other design guideline and development regulations criteria can be met.

Health and Medical Facilities

GOAL: ENSURE PROVISION OF AND ACCESS TO FACILITIES WHICH MEET THE HEALTH CARE NEEDS OF OTAY RANCH RESIDENTS. (Page 294)

Objective: Identify a general location within Otay Ranch for public and private health service organizations, charities, and private adult care and mental care facilities.

Implementation:

Senior congregate care and health care offices and clinics are allowable uses within the mixed use area of Village Eleven. The community purpose facility land use also allows health care uses.

Community and Regional Purpose Facilities

GOAL: DESIGNATE AREAS WITHIN THE OTAY RANCH PROJECT AREA FOR RELIGIOUS, ANCILLARY PRIVATE EDUCATIONAL, DAY CARE, BENEVOLENT, FRATERNAL, HEALTH, SOCIAL AND SENIOR SERVICES, CHARITABLE, YOUTH RECREATION FACILITIES, AND OTHER COUNTY REGIONAL SERVICES. (Page 299)

Implementation:

A specific site has been designated within the village core for community purpose facilities which will meet this goal. The mixed use area can also accommodate community purpose facilities. The elementary school, junior high school and parks may also be available to share facilities with community-serving organizations.

Social and Senior Services Facilities

GOAL: ENSURE THAT OTAY RANCH PROJECT AREA RESIDENTS HAVE ADEQUATE ACCESS TO SOURCES OF GOVERNMENTAL AND PRIVATE SOCIAL AND SENIOR SERVICE PROGRAMS. (Page 302)

Objective: Social and senior service facilities should be sited within Otay Ranch to either provide direct service access or to provide community service information to each village to educate the public regarding available services.

Objective: Siting of new facilities and expansion of existing social or senior services facilities will be planned to most effectively serve the clients of each social and senior service activity as part of a comprehensive social and senior service delivery system.

Implementation:

Social and senior service needs can be met within allowable use areas including the mixed use, community purpose facility and park land uses. Shared use may be available with the schools.

Animal Control Facilities

GOAL: ENSURE THAT THE COMMUNITY OF OTAY RANCH IS SERVED BY AN EFFECTIVE ANIMAL CONTROL PROGRAM THAT PROVIDES FOR THE CARE AND PROTECTION OF THE DOMESTIC ANIMAL POPULATION, SAFETY OF PEOPLE FROM DOMESTIC ANIMALS, AND THE EDUCATION OF THE PUBLIC REGARDING RESPONSIBLE ANIMAL OWNERSHIP. (Page 306)

Objective: Participate in programs to provide animal control facilities sufficient to provide adequate shelter space per Otay Ranch dwelling unit.

Implementation:

Village Eleven will participate in City programs for provision of animal control.

Civic Facilities

GOAL: ASSURE THE EFFICIENT AND TIMELY PROVISION OF PUBLIC SERVICES AND FACILITIES TO DEVELOPABLE AREAS OF THE OTAY RANCH PROJECT AREA CONCURRENT WITH NEED, WHILE PRESERVING ENVIRONMENTAL RESOURCES OF THE SITE AND ENSURING COMPATIBILITY WITH THE EXISTING CHARACTER OF SURROUNDING COMMUNITIES. INTEGRATE DIFFERENT TYPES OF PUBLIC FACILITIES WHERE SUCH FACILITIES ARE COMPATIBLE AND COMPLEMENTARY. (Page 308)

Implementation:

This goal will be met through implementation of the Village Eleven Public Facilities Finance Plan.

Correctional Facilities

GOAL: PREVENT INJURY, LOSS OF LIFE AND DAMAGE TO PROPERTY RESULTING FROM CRIME OCCURRENCE THROUGH THE PROVISION OF JUSTICE FACILITIES. (Page 310)

Objective: Make provisions for justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Implementation:

Village Eleven will not contain justice facilities. The goal can be met through implementation of the Public Facilities Finance Plan.

Fire Protection and Emergency Services Facilities

GOALS: PROVIDE PROTECTION TO THE OTAY RANCH PROJECT AREA AND SURROUNDING COMMUNITIES FROM THE LOSS OF LIFE AND PROPERTY DUE TO FIRES AND MEDICAL EMERGENCIES. (Page 312)

Objective: Provide sufficient fire and emergency service facilities to respond to calls within the Otay Ranch urban communities within a 7-minute response time in 85% of the cases.

Implementation:

This goal will be met through implementation of the Public Facilities Finance Plan. Additionally, the circulation design of Village Eleven facilitates emergency vehicle access to all areas of the village.

Justice Facilities

GOAL: PREVENT INJURY, LOSS OF LIFE AND DAMAGE TO PROPERTY BY HAVING ADEQUATE CRIMINAL JUSTICE FACILITIES TO SERVE OTAY RANCH RESIDENTS. (Page 316)

Objective: Cooperate with the County to identify an equitable funding method for the development of justice facilities based on the needs of Otay Ranch and their benefit to Otay Ranch residents.

Objective: Justice facilities serving Otay Ranch residents will be sited in appropriate locations and in a timely manner, irrespective of jurisdictional boundaries.

Objective: Enhance public safety by utilizing land use and site design techniques to deter criminal activity.

Implementation:

Village Eleven will not contain justice facilities. The design of Village Eleven fosters community interaction and awareness which deters criminal activity. Design techniques include “eyes on the street” orientation of commercial and residential uses towards the street and placement of parks and paseos as focal points in the community. These techniques minimize hidden locations where criminal activity can occur. The Village Design Plan provides landscape techniques such as open view fencing and barrier plantings to foster safety in an aesthetic manner.

Law Enforcement Facilities

GOAL: PROTECTION OF LIFE AND PROPERTY AND PREVENTION OF CRIME OCCURRENCE. (Page 319)

Objective: Make provisions for criminal justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Objective: Enhance conditions for public safety by utilizing land use and site design techniques to deter criminal activity and promote law enforcement.

Objective: Site law enforcement facilities to appropriate locations in order to serve the population.

Implementation:

Village Eleven will not contain justice facilities. Village Eleven utilizes design techniques to deter criminal activity and promote law enforcement.

Library Facilities

GOAL: SUFFICIENT LIBRARIES TO MEET THE INFORMATION AND EDUCATION NEEDS OF OTAY RANCH RESIDENTS. (Page 322)

Objective: Provide high quality and contemporary library facilities and services which meet the needs of the entire Otay Ranch Project Area.

Objective: Five hundred square feet (gross) of adequately equipped and staffed library facilities per 1,000 population.

Objective: Otay Ranch libraries will be equitably financed by all new development that will benefit from the facilities.

Implementation:

Village Eleven will contribute an equitable financial share to the Otay Ranch library facilities.

School Facilities

GOAL: PROVIDE HIGH QUALITY, K-12 EDUCATIONAL FACILITIES FOR OTAY RANCH RESIDENTS BY COORDINATED PLANNING OF SCHOOL FACILITIES WITH THE APPROPRIATE SCHOOL DISTRICT. (Page 325)

GOAL: COORDINATE THE PLANNING OF ADULT EDUCATIONAL FACILITIES WITH APPROPRIATE DISTRICT. (Page 325)

Objective: School facilities shall be provided concurrently with need and integrated with related facility needs, such as child care, health care, parks, and libraries, where practical.

Objective: Provide school district with 12 to 18 month development plan and 3 to 5 year development forecasts so that they may plan and implement school building and/or allocation programs in a timely manner.

Implementation:

An elementary school and a junior high school site are provided within Village Eleven. Adult education facilities could be accommodated in the mixed use and community purpose facility sites or as a shared use with the public schools.

II.2.8.6 Air Quality

GOAL: MINIMIZE THE ADVERSE IMPACTS OF DEVELOPMENT ON AIR QUALITY. (Page 332)

Implementation:

The Village Eleven Air Quality Improvement Plan provides measures to meet this goal. The plan addresses improvement measures including job/housing balance, transit access, alternative travel modes, building construction methods and educational programs. Village Eleven has been designed to offer residents numerous alternative methods of transportation, including public transit and pedestrian trails which connect to the village core as well as to other areas outside of the village.

Commuter Trip Management

GOAL: CREATE A SAFE AND EFFICIENT MULTI-MODAL TRANSPORTATION NETWORK WHICH MINIMIZES THE NUMBER AND LENGTH OF SINGLE PASSENGER VEHICLE TRIPS. (Page 332)

Objective: Minimize the number and length of single passenger vehicle trips to and from employment and commercial centers to achieve an average of 1.5 persons per passenger vehicle during weekday commute hours.

Implementation:

Village Eleven is located in proximity to planned regional transit-way, accommodates a bus line and stops, provides an extensive pedestrian path system and has been designed to accommodate bicycles and carts on all internal village streets. Employment and commercial centers are located within the village and in the adjacent EUC.

Capacity Improvements

Objective: Expand the capacity of both the highway and transit components of the regional transportation system to minimize congestion and facilitate the movement of people and goods (Page 333).

Implementation:

Village Eleven will contribute to highway and transit improvements through the Public Facilities Finance Plan.

Bicycle System Design

Objective: Provide a safe, thorough and comprehensive bicycle network which includes bicycle paths between major destinations within, and adjacent to, Otay Ranch (Page 334).

Implementation:

The Village Eleven design provides for bicycle access to all internal village streets. A network of bicycle lanes along major perimeter roads offer routes to destinations outside of the village such as the university, Eastern Urban Center, and the Freeway Commercial area.

Road Design

Objective: Design arterial and major roads and their traffic signals to minimize travel time, stops and delays (Page 334).

Implementation:

The major roads surrounding Village Eleven have been designed in accordance with City standards. Traffic signals have been located to facilitate traffic flow and to provide access to Village Eleven and neighboring land uses.

Planning and Land Development

GOAL: LAND DEVELOPMENT PATTERNS WHICH MINIMIZE THE ADVERSE IMPACTS OF DEVELOPMENT ON AIR QUALITY. (Page 335)

Objective: Encourage mixed use development to promote linking of trips, reduce trip length and encourage alternative mode usage.

Implementation:

Village Eleven has been designed with a mixed use core to encourage availability of goods and services within the village. The village is in proximity to the EUC, FC and transit rail line, which will encourage linked trips and reduced trip length. The convenient village pedestrian path system and internal streets designed to accommodate carts and bicycles will encourage alternate modes of travel.

Transit Route and Facility Design

Objective: Facilitate access to public transit (Page 336).

Implementation:

Pedestrian and bicycle paths link Village Eleven to the regional transit-way to the west. Bus stops will be provided around and/or within Village Eleven to offer residents an alternative mode of transportation.

Pedestrian Design

Objective: Encourage pedestrian traffic as an alternative to single vehicle passenger travel (Page 336).

Implementation:

The extensive system of trails and pathways throughout the village to destinations such as the village core, schools and parks, the neighboring land uses, will encourage residents to walk rather than drive.

Building Design

Objective: Locate and design buildings within village cores to facilitate transit and pedestrian access (Page 337).

Implementation:

Buildings within the Village Eleven core are clustered to minimize walking distances and oriented to the street to encourage pedestrian access. Paths within the core link to public transit stations.

Parking Management

Objective: Manage parking facilities to facilitate transit, ridesharing and pedestrian access (Page 337).

Objective: Manage parking facilities to encourage a reduction in the number of single vehicle trips (Page 337).

Implementation:

Parking areas within the village core are located at the rear and sides of buildings to maintain a pedestrian-oriented village streetscape. Joint parking use is proposed in the village core.

Street Configuration

Objective: Configure internal village streets to give pedestrian traffic a priority (Page 337).

Implementation:

Multiple routes, including pedestrian paths and paseos are provided to the village core. Cul-de-sacs connect to paseos to provide pedestrian connections throughout the village. Village streets are designed for pedestrian comfort with sidewalks, landscaping and furnishings.

Particulate Emissions

Objective: Minimize particulate emissions, which are the result of the construction process (Page 338).

Implementation:

This objective will be met through construction practices that control fugitive dust, minimize simultaneous operation of construction vehicles and equipment, and use low-polluting equipment.

Energy Conservation

Objective: Minimize fossil fuel emission by conserving energy (Page 338). [See Energy Chapter 10. Section E.]

Implementation:

The village is designed to provide alternate modes of travel and reduce vehicle trips to reduce fossil fuel emissions.

II.2.8.7 Noise

GOAL: PROMOTE A QUIET COMMUNITY WHERE RESIDENTS LIVE WITHOUT NOISE WHICH IS DETRIMENTAL TO HEALTH AND ENJOYMENT OF PROPERTY. (Page 340)

GOAL: ENSURE RESIDENTS ARE NOT ADVERSELY AFFECTED BY NOISE. (Page 340)

Objective: Otay Ranch shall have a noise abatement program to enforce regulations to control noise.

Implementation:

The design of Village Eleven separates higher noise generating land uses from more sensitive residential land uses. Sound abating features, such as masonry walls and dual-glazed windows, will be provided as needed. City standards for noise regulation and abatement shall be enforced.

II.2.8.8 Safety

GOAL: PROMOTE PUBLIC SAFETY AND PROVIDE PUBLIC PROTECTION FROM FIRE, FLOODING, SEISMIC DISTURBANCES, GEOLOGIC PHENOMENA AND MAN MADE HAZARDS IN ORDER TO:

- Preserve Life, Health and Property;
- Continue Government Functions and Public Order;
- Maintain Municipal Services; and
- Rapidly Resolve Emergencies and Return the Community Normalcy and Public Tranquility. (Page 341)

General Public Safety

Objective: Provide for the continuity of government and public order (Page 342).

Objective: Maintain public services and ensure the rapid resolution of emergencies (Page 342).

Objective: Minimize social and economic dislocations resulting from injuries, loss of life and property damage (Page 342).

Implementation:

The Village Eleven design has utilized the recommendations of technical studies, City codes and ordinances, and other policies and regulations to plan for development that will promote the protection of life and property.

Seismic Disturbances

Objective: Provide public protection from earthquakes, rockslides, and liquefaction in order to minimize loss of life, injury, property damage and disruption of community social and economic activity (Page 343).

Implementation:

Site grading and construction shall be in accordance with the Uniform Building Code and the Association of Structural Engineers of California to reduce the effects of seismic shaking to the extent possible.

Floods

Objective: Prevent property damage and loss of life due to seiches, dam failure and heavy rains (Page 343).

Objective: Preservation of the floodplain environment from adverse impacts due to development (Page 343).

Implementation:

Village Eleven is not located within a floodplain. Storm water flows shall be controlled and conveyed in accordance with the Master Drainage Plan for the village.

Geologic Phenomena

Objective: Prevent property damage and loss of life due to landslides, rock falls, and erosion (Page 344).

Implementation:

Village Eleven development shall utilize grading practices that are consistent with this objective.

Fire, Crime, Health Emergency, and Hazardous Substances

Objective: Prevent property damage and loss of life due to fire, crime or hazardous substances (Page 344).

Implementation:

Village Eleven is planned to reduce potential affects of fire through adequate water supply, street design that facilitates emergency vehicle access, and fuel-modification landscape techniques. Crime prevention is addressed through optimization of community interaction and street activity and a minimization of secluded areas that could foster crime. City codes and policies will be implemented and enforced to minimize potential affects of hazardous substances.

II.2.8.9 Growth Management

GOAL: DEVELOP OTAY RANCH VILLAGES TO BALANCE REGIONAL AND LOCAL PUBLIC NEEDS, RESPOND TO MARKET FORCES, AND ASSURE THE EFFICIENT AND TIMELY PROVISION OF PUBLIC SERVICES AND FACILITIES CONCURRENT WITH NEED. (Page 349)

Objectives: Coordinate the timing of the development of Otay Ranch villages to provide for the timely provision of public facilities, assure the efficient use of public fiscal resources and promote the viability of the existing and planned villages.

Implementation:

Village Eleven will be developed in phases that balance market forces with implementation of the facilities, as identified by the Public Facilities Finance Plan.

II.2.8.10 Resource Protection, Conservation & Management

GOAL: ESTABLISHMENT OF AN OPEN SPACE SYSTEM THAT WILL BECOME A PERMANENT PRESERVE DEDICATED TO THE PROTECTION AND ENHANCEMENT OF THE BIOLOGICAL, PALEONTOLOGICAL, CULTURAL RESOURCES (ARCHAEOLOGICAL AND HISTORICAL RESOURCES), FLOOD PLAIN, AND SCENIC RESOURCES OF OTAY RANCH, THE MAINTENANCE OF LONG-TERM BIOLOGICAL DIVERSITY, AND THE ASSURANCE OF THE SURVIVAL AND RECOVERY OF NATIVE SPECIES AND HABITATS WITHIN THE PRESERVE, AND TO SERVE AS THE FUNCTIONAL EQUIVALENT OF THE COUNTY OF SAN DIEGO RESOURCE PROTECTION ORDINANCE (RPO). (Page 359)

Objective: Identify sensitive and significant biological, cultural, paleontological, agricultural, and scenic resources within Otay Ranch that require protection and/or management (Page 359).

Objective: Preserve sensitive and significant biological, cultural, paleontological, flood plain, visual, and agricultural resources (Page 361).

Implementation:

These goals and objectives will be met through compliance with the Otay Ranch RMP and RMP 2, by conveyance of property within the preserve to the Preserve Owner Manager.

Enhance and Restore Sensitive Resources

Objective: Enhance, restore, and re-establish sensitive biological resources (species and habitats) in disturbed areas where the resources either formerly occurred or have a high potential for establishment (Page 368).

Implementation:

Disturbed areas within Salt Creek may be enhanced and restored if required as mitigation by State and Federal resource agencies.

Wildlife Corridors

Objective: Establish functional connections for onsite resources and integrate the Preserve into a larger regional system (Page 371).

Implementation:

The preservation of property within Salt Creek will provide a significant wildlife corridor connection to the large Otay Valley Preserve.

Preserve Management and Maintenance

Objective: Effectively manage the Preserve to protect, maintain, and enhance resources in perpetuity (Page 372).

Implementation:

Village Eleven will participate in the Preserve Management program.

Resource Preserve Land Uses

Objective: Identify permitted land uses within the Preserve (Page 380).

Implementation:

The Otay Ranch RMP, as incorporated into the proposed City of Chula Vista MSCP Subarea Plan identifies permitted land uses within the preserve.

Resource Preserve - Adjacent Land Uses

Objective: Identify allowable uses within appropriate land use designations for areas adjacent to the Preserve (Page 383).

Implementation:

Village Eleven proposes low density residential uses in areas nearest the Preserve. Residential uses will be separated from the Preserve by Hunte Parkway.

Regulatory Framework for Future Uses

Objective: Provide a regulatory framework for future permitting by resource agencies and amendments to the RMP (Page 385).

Implementation:

Village Eleven will adhere to the regulatory framework established in the RMP and MSCP Subarea Plan.

Physical Resources

Mineral Resources

GOAL: ENCOURAGE THE COMPLETION OF THE EXTRACTION OF MINERAL RESOURCES BEFORE CONFLICTS WITH PLANNED DEVELOPMENT COULD OCCUR. (Page 389)

Objective: Extract mineral resources so as not to impair other conservation efforts.

Implementation:

Mineral extraction does not occur in Village Eleven.

Soils

GOAL: MINIMIZE SOIL LOSS DUE TO DEVELOPMENT. (Page 389)

Objective: Identify development activities which present a large potential to create excessive runoff or erosion.

Implementation:

Land form grading, slope stabilization, vegetation protection, revegetation and other techniques will be employed to meet these goals and objectives.

Steep Slopes

GOAL: REDUCE IMPACTS TO ENVIRONMENTALLY SENSITIVE AND POTENTIAL GEOLOGICALLY HAZARDOUS AREAS ASSOCIATED WITH STEEP SLOPES. (Page 389)

Objective: Research existing slope conditions prior to land development activities.

Implementation:

The grading plan for Village Eleven is based on a geotechnical study. The site grading terraces the property to follow the natural grade elevation change. Manufactured slope heights and forms are in conformance with City ordinances and policies.

Floodways

GOAL: PRESERVE FLOODWAYS AND UNDISTURBED FLOOD PLAIN FRINGE AREAS. (Page 390)

Objective: Restore and enhance highly disturbed floodways and flood plains to regain former wildlife habitats and retain/restore the ability to pass 100-year flood flows.

Objective: Preserve floodways and undisturbed flood plain fringe areas in their natural state where downstream development will not be adversely affected.

Implementation:

The Salt Creek floodplain and floodway will be preserved and enhanced if needed.

Visual Resources

GOAL: PREVENT DEGRADATION OF THE VISUAL RESOURCES. (Page 391)

Objective: Blend development harmoniously with significant natural features of the land.

Implementation:

The manufactured slopes on the west side of Salt Creek will be contoured and vegetated to minimize visual impacts. The landscape plan for Village Eleven provides a transition between the natural landscape and the development area.

Energy Conservation

GOAL: ESTABLISH OTAY RANCH AS A “SHOWCASE” FOR THE EFFICIENT UTILIZATION OF ENERGY RESOURCES AND THE USE OF RENEWABLE ENERGY RESOURCES. (Page 391)

Objective: Reduce the use of non-renewable energy resources within Otay Ranch below per capita non-renewable energy consumption in San Diego County.

Implementation:

The design of Village Eleven encourages walking, bicycling, cart and public transit use to lower energy consumption.

Land Use

Objective: Provide land use patterns and project features which result in the conservation of non-renewable energy resources (Page 393).

Implementation:

The village land use pattern and relationship to surrounding land uses promotes walking and cycling as alternatives to more energy consumptive automobile use. The terraced design of neighborhoods provides opportunities for solar management to lessen heating and cooling fuel consumption. The water conservation plan and landscape design promote efficient water use.

Water Conservation

GOAL: CONSERVE WATER DURING AND AFTER CONSTRUCTION OF OTAY RANCH. (Page 394)

Objective: Reduce CWA water use within Otay Ranch to a level that is 75% of County-wide, 1989 per capita levels.

- Objective:** Create a comprehensive framework for the design implementation and maintenance of water conserving measures, both indoor and outdoor.
- Objective:** Develop an extensive water restoration and recycling system throughout the developed areas of Otay Ranch.
- Objective:** Investigate traditional and non-traditional uses for reclaimed water and identify potential restraints for reclaimed water use.
- Objective:** Comply with the water conservation standards and policies of all applicable jurisdictions.

Implementation:

Village Eleven will adhere to the provisions of the Water Conservation Plan prepared for the project.

Astronomical Dark Skies

GOAL: PRESERVE DARK-NIGHT SKIES TO ALLOW FOR CONTINUED ASTRONOMICAL RESEARCH AND EXPLORATION TO BE CARRIED OUT AT THE COUNTY'S TWO OBSERVATORIES, PALOMAR MOUNTAIN AND MOUNT LAGUNA. (Page 397)

Objective: Provide lighting in heavily urbanized areas of the Otay Valley Parcel which ensures a high degree of public safety.

Objective: Provide lighting in less urbanized areas, which helps to preserve county-wide dark-night skies, and is consistent with more rural lighting standards prevalent in non-urbanized areas of San Diego County.

Implementation:

Lighting within Village Eleven will adhere to City and County ordinances and standards.

Agriculture

GOAL: RECOGNIZE THE PRESENCE OF IMPORTANT AGRICULTURAL SOILS BOTH IN AREAS SUBJECT TO DEVELOPMENT AND WITHIN THE PRESERVE. (Page 398)

Objective: Encourage effective utilization of agricultural soils located within the Preserve.

Implementation:

The property will continue as agricultural use until development commences. A site for a community garden will be identified and provided within the village in accordance with the GDP policies for implementing these goals and objectives.

Otay Ranch Village Eleven

II.3 Planned Community District Regulations

October 23, 2001

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TABLE OF CONTENTS

	<u>Page</u>
II.3.1 General Provisions	
II.3.1.1 Purpose and Scope	1-1
II.3.1.2 Private Agreements	1-1
II.3.1.3 Conflicting Ordinances	1-1
II.3.1.4 Establishment of Zoning Districts	1-2
II.3.1.5 Clarification of Ambiguity	1-3
II.3.1.6 Effects of Regulations	1-4
II.3.1.7 Enforcement	1-4
II.3.1.8 Definitions	1-5
II.3.2 Village Eleven Zoning Districts	
II.3.3 Residential Districts	
II.3.3.1 Purpose	3-1
II.3.3.2 Permitted and Conditional Uses	3-1
II.3.3.3 Residential Property Development Standards	3-3
II.3.3.4 Performance Standards	3-12
II.3.3.5 Accessory Structures and Uses	3-14
II.3.3.6 Walls and Fences	3-14
II.3.3.7 Sign	3-15
II.3.4 Mixed Use Districts	
II.3.4.1 Purpose	4-1
II.3.4.2 Permitted and Conditional Uses	4-1
II.3.4.3 Property Development Standards	4-4
II.3.4.4 Performance Standards	4-5
II.3.5 Community Purpose Facility Districts	
II.3.5.1 Purpose	5-1
II.3.5.2 Permitted and Conditional Uses	5-1
II.3.5.3 Property Development Standards	5-2
II.3.5.4 Performance Standards	5-2
II.3.6 Open Space and Parks Districts	
II.3.6.1 Purpose	6-1
II.3.6.2 Permitted and Conditional Uses	6-1
II.3.6.3 Property Development Standards	6-2
II.3.6.4 Accessory Uses and Buildings	6-2
II.3.6.5 Performance Standards	6-2

II.3.7	School Land Use Districts	
II.3.7.1	Purpose	7-1
II.3.7.2	Permitted and Conditional Uses	7-1
II.3.7.3	Property Development Standards	7-1
II.3.8	Special or Temporary Uses and Conditions	
II.3.8.1	Purpose	8-1
II.3.8.2	Temporary Uses and Special Events	8-1
II.3.8.3	Home Occupations	8-3
II.3.8.4	Arcades	8-3
II.3.8.5	Recreational Courts and Facilities	8-4
II.3.9	Comprehensive Sign Regulations	
II.3.9.1	Purpose	9-1
II.3.9.2	Permit Requirements and Review Procedures	9-1
II.3.9.3	Sign Regulations	9-5
II.3.9.4	Sign Design Standards	9-8
II.3.10	Off-Street Parking Regulations	
II.3.10.1	Purpose	10-1
II.3.10.2	General Provisions	10-1
II.3.10.3	Schedule of Off-Street Parking Requirements	10-2
II.3.10.4	Parking Development Standards	10-4
II.3.10.5	Performance Standards	10-5
0I.3.11	Administration	
II.3.11.1	Purpose	11-1
II.3.11.2	Standard Procedures	11-1
II.3.11.3	Administrative Review	11-1
II.3.11.4	Site Plan and Architectural Approval	11-2
II.3.11.5	Conditional Use Permit Review	11-2
II.3.11.6	Other Provisions	11-3

EXHIBITS

II.3.2-1 Village Eleven SPA Zoning Districts Map 2-2

TABLES

II.3.2-1 Village Eleven SPA Zoning Districts and Definitions 2-1
II.3.3-1 Permitted Use Matrix – Residential Districts 3-2
II.3.3-2 Residential Property Development Standards-Lot Criteria and Setbacks 3-4
II.3.3-3 Minimum Porch Sizes and Dimensions 3-7
II.3.3-4 Floor Area Ratio 3-9
II.3.3-5 Common and Private Usable Open Space 3-10
II.3.3-6 Private Usable Open Space 3-10
II.3.4-1 Permitted Use Matrix - Mixed-Use Districts 4-2
II.3.4-2 Mixed-Use District Development Standards 4-4
II.3.5-1 Permitted Use Matrix – Community Purpose Facilities 5-1
II.3.5-2 Community Purpose Facilities Development Standards 5-2
II.3.8-1 Listed Temporary Uses 8-2
II.3.10-1 Off-Street Parking Requirements 10-2

II.3.1 GENERAL PROVISIONS

II.3.1.1 Purpose and Scope

These Planned Community (PC) District Regulations establish development standards for Otay Ranch Village Eleven. They are adopted pursuant to Chapter 19.48 Planned Community (PC) Zone, of the Chula Vista Municipal Code and are intended to:

- Ensure that the development within Village Eleven is consistent with the approved Otay Ranch General Development Plan (GDP).
- Implement the City of Chula Vista General Plan for the Eastern Territories.
- Promote the orderly planning and long-term phased development of the Village Eleven Sectional Area Plan (SPA).
- Provide standards for the compatibility of land uses within the project and to the surrounding areas.

These regulations are established for the purpose of promoting and protecting the public health, safety and welfare for the people of the City of Chula Vista; to safeguard and enhance the appearance and quality of development of Otay Ranch Village Eleven, and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources.

Residential Dwelling Units and Density Summary

The number of dwelling units shall be as shown on the Village Eleven SPA Land Use Plan and in the Land Use Summary. A maximum of 2,304 dwelling units are permitted in Village Eleven.

II.3.1.2 Private Agreements

The provisions of these PC District Regulations are not intended to abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions contained herein.

II.3.1.3 Conflicting Ordinances

Whenever the provisions of these PC District Regulations impose more restrictive regulations upon construction or use of buildings or structures, or the use of lands or premises than are imposed or required by other ordinances previously adopted, the provisions of these PC Regulations or regulations promulgated hereunder shall apply.

II.3.1.4 Establishment of Zoning Districts

Zoning Districts have been established for the following purposes:

- To classify, regulate, restrict and separate the use of land, buildings and structures.
- To regulate and limit the type, height and bulk of buildings and structures in the various districts.
- To establish the areas of yards and other open areas abutting and between buildings and structures.
- To regulate the density of population.

Adoption of Zoning District Map

Zoning Districts and boundaries are established and adopted as shown, delineated and designated on the Village Eleven SPA Zoning District Map (Exhibit II.3.2.-1). This map, together with all notations, references, data, district boundaries and other information thereon, is made a part of the Village Eleven SPA and are adopted concurrently.

The original Village Eleven SPA Planned Community District Regulations Zoning District Map shall be kept on file with the City Clerk and shall constitute the original record. A copy of said map shall also be filed with the Planning Department.

Mapping Refinements

The individual acreage indicated on the Village Eleven SPA Site Utilization Plan is based on preliminary design concepts developed at large scale (1" = 200') and measured to the nearest one-tenth acre based on planimeter readings. Later design refinements will be accomplished at 100-scale (1" = 100'). Modifications resulting from technical refinements such as land surveys performed during the development permit and subdivision process will not require an amendment to this document, provided the overall intent of the SPA plan is maintained. Mapping refinements to the Zoning District Map which are needed to reflect adjustments based on an approved Tentative Map will not require an amendment to this document. Mapping refinements may change the number of dwelling units permitted within various districts shown on the Village Eleven Zoning Districts Map, provided that the total number of dwelling units in Village Eleven does not exceed 2,304

Density Redistribution

In order to promote density flexibility and residential diversity, the transfer of dwelling units from one neighborhood area to another neighborhood area as defined by the Village Eleven SPA Land Use Plan may be approved as part of this SPA approval or subsequent Tentative Map approval. Future density transfers which do not require amendment to these PC District Regulations must meet the following criteria:

- The total number of units within the village may not exceed 2,304.
- The maximum density for the particular zoning category must not be exceeded.
- The planned identity of the village must be preserved, including the creation of a pedestrian friendly and transit oriented environment.
- An increase in the number of dwelling units in one residential neighborhood area must be accompanied by a corresponding decrease in dwellings within another area.

All such density transfers are permitted subject to the approval of the Director of Planning and Building through an administrative approval. Proposed changes outside the scope of these provisions may be allowed, subject to a SPA Plan amendment. An exhibit showing the locations of the density changes shall accompany such requests as the Director of Planning and Building might deem necessary.

The school sites have been designated for planning purposes, however, if a school district determines that a site will not be used for school purposes, the developer may initiate SPA Plan amendment proceeding for other appropriate land uses. The underlying land use of the school sites is residential, as depicted in the GDP.

Amendments to the Zoning District Map

Changes to the boundaries of the Zoning Districts (other than mapping refinements and density redistributions meeting the criteria described above) shall be made by ordinance and shall be reflected on the Village Eleven SPA Planned Community District Regulations Zoning District Map, as provided in Section II.3.10.

II.3.1.5 Clarification of Ambiguity

If ambiguity arises concerning the appropriate classification of a particular land use within the meaning and intent of these PC District Regulations, or if ambiguity exists with respect to matters of height, yard requirements, area requirements or zoning district boundaries as set forth herein, it shall be the duty of the Director of Planning and Building to ascertain all pertinent facts and forward said findings and recommendations to the Planning Commission, or on appeal, to the City Council. If approved by the Commission, or on appeal, by the City Council, the established interpretation shall govern thereafter.

Should any provision of these regulations conflict with those of the Municipal Code, the requirements herein shall apply.

II.3.1.6 Effects of Regulations

The provisions of these PC Regulations governing the use of land, buildings and structures, the size of yards abutting buildings and structures, the height and bulk of buildings, the density of population, the number of dwelling units per acre, standards of performance and other provisions hereby declared to be in effect upon all land included within the boundaries of each and every zoning district established by these PC District Regulations.

II.3.1.7 Enforcement

Enforcement by Officials

The City Council, City Attorney, City Manager, City Engineer, Director of Public Works, Director of Public Safety, Director of Planning and Building, City Clerk and all officials engaged with issuance of licenses or permits, shall enforce the provisions of these PC Regulations. Any permit, certificate or license issued in conflict with the provisions of these PC Regulations shall be void.

Actions Deemed a Nuisance

Any building or structure erected hereafter, or any use of property contrary to the provision of a duly-approved Design/Site Plan Review, Site Plan, Variance, Conditional Use Permit, or Administrative Review and/or these PC District Regulations shall be declared to be unlawful and a public nuisance per se and subject to abatement in accordance with local Ordinance.

Remedies

All remedies concerning these PC District Regulations shall be cumulative and non-exclusive. The conviction and punishment of any person hereunder shall not relieve such persons from the responsibility of correcting prohibited conditions or removing prohibited buildings, structures, and signs, and shall not prevent the enforced correction or removal thereof.

Penalties

Any person, partnership, organization, firm or corporation, whether as principal, agent, employee or otherwise, violating any provisions of these PC District Regulations or violating or failing to comply with any order or regulation made hereunder, shall be guilty of any infraction and, upon conviction thereof, shall be punishable as provided by local Ordinance.

II.3.1.8 Definitions

For the purpose of these PC District Regulations, certain words, phrases and terms used herein shall have the meaning assigned to them by Title 19 of the City of Chula Vista Municipal Code. When consistent with the context, words used in the present tense include the future; words in the singular number include the plural; and, those in the plural number include the singular. The word "shall" is mandatory; the words "may" and "should" are permissive. Any aspect of land use regulation within Otay Ranch Village Eleven not covered by these district regulations or subsequent plan approvals, shall be regulated by the applicable section of the Chula Vista Municipal Code (CVMC).

II.3.2 VILLAGE ELEVEN ZONING DISTRICTS

The Village Eleven SPA Plan is divided into the Zoning Districts shown in Table II.3.2-1. Zoning Districts and boundaries are established and adopted as shown, delineated and designated on the Village Eleven SPA Zoning District Map (Exhibit II.3.2.-1). This map, together with all notations, references, data, district boundaries and other information thereon, is made a part of the Village Eleven SPA and are adopted concurrently.

**Table II.3.2-1
Village Eleven SPA Zoning Districts and Definitions**

SYMBOL	DEFINITION
SF3	Single Family Three: Zoning District which permits single family housing located on lots with average sizes of 5,000 square feet to 8,000 square feet.
SF4	Single Family Four: Zoning District which permits single family housing located on lots with average sizes of 3,000 square feet to 4,900 square feet.
RM1	Residential Multi-Family One: Zoning District which permits housing ranging from 8 units/acre up to 14.9 units/acre including small lot single family, alley and duplex product types.
RM2	Residential Multi-Family Two: Zoning District which permits housing at densities above 15 units/acre.
CPF	Community Purpose Facility: Zoning District which permits uses which may be established pursuant to the Community Purpose Facilities Ordinance Section of the City of Chula Vista Planned Community Zone District.
MU	Mixed Use: Zoning District which permits commercial uses such as, but not limited to, retail shops, professional offices and service commercial, as further defined and delineated by the Permitted Use Matrix. Residential uses may be permitted above or connected to the commercial uses.
P	Park: Zoning District which permits allowable open space and park uses, including public neighborhood parks, pedestrian parks and town squares and private parks.
OS	Open Space: Zoning District which includes natural and improved open space areas and may include trails or other recreational uses.
S1	Elementary School
S2	Junior High School



District	Land Use Category	Density Range
SF 3	Single Family Three	3 to 6 du/ac
SF 4	Single Family Four	6 to 8 du/ac
RM 1	Residential Multi-family One	8 to 15 du/ac
RM 2	Residential Multy-family Two	15 to 25 du/ac
MU	Mixed Use	
CPF	Community Purpose Facility	
P	Parks/Private Recreation Facilities	
OS	Open Space	
S1	Elementary School	
S2	Junior High School	

Exhibit II.3.2-1
Village Eleven SPA Zoning District Map

II.3.3 RESIDENTIAL DISTRICTS

II.3.3.1 Purpose

In addition to the objectives outlined in Section I: General Provisions, the purpose of the Village Eleven Residential District regulations is to achieve the following:

- To implement the residential goals and objectives of the Otay Ranch General Development Plan (GDP).
- To reserve appropriately located areas for single and multi-family housing at a broad range of dwelling unit densities consistent with the GDP.
- To provide sound standards of public health, safety and welfare.
- To ensure adequate light, air, privacy and open space for each dwelling unit.
- To minimize traffic congestion and avoid the overloading of public services and utilities by phasing construction of buildings and available infrastructure.
- To protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences.
- To facilitate the provision of utility services and other public facilities commensurate with anticipated population, dwelling unit densities and service requirements.

II.3.3.2 Permitted and Conditional Uses

The land use regulations for each of the Residential Land Use Districts is shown in Table II.3.3-2, Permitted Use Matrix – Residential Districts. The following uses shall be permitted where the symbol “P” appears and shall be permitted subject to a Conditional Use Permit where the symbol “C” appears. Uses where an “A” appears shall be permitted subject to Administrative Approval, and where an “a” appears, permitted only as an accessory use to a basic permitted use. Where the symbol “N” appears, the use is not permitted.

Table II.3.3-1 Permitted Use Matrix - Residential Districts				
LAND USE DISTRICT	SF3	SF4	RM1	RM2
Residential Use:				
Single-family detached dwellings.	P	P	P	N
Single-family attached dwellings.	N	N	P	P
Townhouse dwellings.	N	N	P	P
Multiple dwellings (3 units and above).	N	N	P	P
Second units/"Granny flats"	A	A	A	N
LAND USE DISTRICT	SF3	SF4	RM1	RM2
Group residences or residential dwellings, operated by an organization, association or individual with a paid professional staff; uses may include, but are not limited to, boarding or rooming homes, dormitories and retirement homes.	N	N	C	C
Agricultural Uses:				
All types of horticulture.	P	P	P	P
Agricultural crops.	A	A	A	A
Animal Raising or grazing ¹	N	N	N	N
Community Gardens	A	A	A	A
Keeping of animals subject to CVMC Chapters 6.02, 6.04, and 6.08.	P	P	P	P
Public and Semi-Public Uses:				
Family daycare homes, large (9 to 14 children) subject to CVMC Section 19.58.147.	A	A	A	A
Family daycare homes, small (up to 8 children).	P	P	P	P
Day nurseries, day care schools and nursery schools.	N	N	N	N
Essential public services, including but not limited to: libraries, museums, parks, public works facilities and other civic uses.	A	A	A	A
Public safety facilities such as police or fire stations.	A	A	A	A
Public and private educational facilities, including but not limited to: elementary schools, secondary and high schools, and adult schools.	A	A	A	A
Public utility and public service sub-stations, reservoirs, pumping plants, telecommunication facilities and similar installations.	C	C	C	C
Recreational facilities over 2 acres in size	C	C	C	C
Recreational facilities under 2 acres in size.	A	A	A	A
Home Occupations:				
Home occupations subject to the provisions of CVMC Section 19.14.490.	A	A	A	A
Other Uses:				
Guesthouses	A	A	A	A
Accessory uses and structures customarily appurtenant to a permitted use, subject to the provisions of Sections 19.58 of the CVMC	A	A	A	A
Temporary tract sales offices and tract signs, subject to the provisions of Section 8.2, Temporary Uses and Special Events	A	A	A	A
Model homes Model homes may also be used as sales offices	C	C	C	C
Other temporary uses as prescribed in Section 8.2, Temporary Uses and Special Events	A	A	A	A
Unclassified uses	C	C	C	C

¹ Interim grazing activities which have been ongoing are permitted to continue in areas subject to these regulations prior to commencement of development in that area

II.3.3.3 Residential Property Development Standards

A. Design Goals, Principals and Guidelines

The residential property development standards are intended to implement specific design goals and principles established in the Otay Ranch GDP. The intent of the GDP village concept land use goals are to “produce a cohesive pedestrian friendly community that encourages non-vehicular trips and fosters interaction amongst residents.” To implement this goal, the land use policies encourage a pedestrian scale and a pedestrian friendly village environment.

Pedestrian-oriented development in residential neighborhoods has several basic components. In single-family neighborhoods, homes are located closer to the sidewalk and have pedestrian-oriented features such as porches and other seating areas to promote interaction between neighbors and encourage safer neighborhoods. “Veranda” style porches on corner lots, balconies and semi-private courtyards further promote this interaction. The appearance of garage doors fronting on the street should be minimized through a variety of design solutions. For example, living space in residences can be located forward of the garage on a lot so that the view from the street is the architectural design of the building, not the garage door. The pedestrian street experience is enhanced by limiting curb cut widths, thereby reducing driveway paving and increasing landscaping across the front of the residential lots. “Hollywood” driveways are another recommended design solution. Hollywood driveways are often narrow (sometimes consisting of two pavement strips separated by turf or decorative landscape) and lead to garages that are deeply recessed behind the front elevation of the residence. Entries to the residences must be visible from the street and must have strong architectural features facing the street that enhance the pedestrian experience. Walkways that go directly from the front door to the sidewalk instead of the driveway emphasize the pedestrian orientation of the house to the street. Side street entry garages separate the pedestrian-oriented front of the house from the auto entrance.

Multi-family neighborhoods surrounding the Village Core must be designed to enhance the Core as a focal point, discourage use of automobiles and create a “walkable,” inviting environment, both within and outside the boundaries of the development. Pedestrian-oriented features include orienting the front doors toward the streets, plotting the buildings so garages are not visible from the public or commonly used streets; integrating strong, well designed pedestrian connections to the public or commonly used streets, paseos and adjacent trail systems; providing well designed, inviting common usable open space areas and unique, yet compatible, architecture.

These design features are intended to apply to both single-family and multi-family developments and are more fully developed in the Village Eleven Design Plan and the Village Eleven Core Master Precise Plan. The intent of PC District Regulations is to fully implement these types of design features for every neighborhood within the Village. For further understanding of these goals, refer to the Village Design Plan and the Core Master Precise Plan.

B. General Standards

The general standards found in this section are based on the Otay Ranch General Development Plan/Subregional Plan. Where the Specific Standards listed below are silent on an issue, the Zoning Administrator is authorized to define a standard based on the Otay Ranch General Development Plan/Subregional Plan, the Chula Vista General Plan, Zoning Ordinance, Design Manual and/or Landscape Manual, as may be appropriate.

C. Specific Standards

The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in their respective residential land use district. The use of the symbol "DR" indicates that the standard is established by the approval of a Design Review Application or Tentative Tract Map. Dimensions and standards are minimums, and minor variations may be permitted subject to Design Review or tract map approval, provided that the minimums specified herein are maintained as average. Lot widths and depths are typical minimums, but may vary slightly with irregularly-shaped lots and site-specific conditions. Refer to Section II.3.10 Administration, for further information regarding processing requirements.

Table II.3.3-2 Residential Property Development Standards					
LAND USE ZONING DISTRICT	SF 3	SF 4	RM 1	RM 2	NOTES
Lot Criteria:					
Average lot area (sq ft.) ¹	5,000	4,000 ²	DR	DR	¹ "Average lot area" is the sum of the area of all lots within a neighborhood divided by the total number of lots in the neighborhood. ² Average lot area may be reduced for attached units with design review approval.
Minimum lot area (sq ft.)	4,000	3,000 ³	DR	DR	³ Minimum lot area may be reduced for attached units with design review approval.
Minimum lot depth (feet)	90	60	DR	DR	
Maximum floor area to lot area ratio (FAR)	.65	.65	DR	DR	See "Floor Area Ratio" section.
Minimum lot width (feet):					
Measured at setback line	45	40 ⁴	DR	DR	⁴ Lot width may be reduced if lots are served by an alley. ^{4a} Lot width may be reduced for z-lot concept.
Flag lot street frontage	20	20	DR	DR	
Knuckle or cul-de-sac street frontage	20	20	DR	DR	

LAND USE ZONING DISTRICT	SF 3	SF 4	RM 1	RM 2	NOTES
Minimum front yard setback (feet from back of sidewalk)					
To direct entry garage	19.5 ⁵	19.5 ⁵	DR	DR	⁵ A maximum of 33% of garages may be set back at 19.5 feet within a neighborhood. A minimum of 33% of garages on lots at least 50 feet wide and 100 feet deep shall be set back a minimum of 30 feet and incorporate Hollywood style driveways. Sectional roll-up doors required when setback is less than 22 feet.
To side entry ("swing-in") garage ⁶	10	10	DR	DR	⁶ 12-foot wide driveway is encouraged; 16-foot wide maximum driveway allowed.
To main residence	15	15	DR ⁷	DR ⁷	⁷ May be reduced to 10 feet if garage is accessed from alley ^{7a} May be reduced for z-lot and zero lot line concepts with approval by the zoning administrator. See Village Design Plan for street façade design standards.
To pedestrian-oriented Seating Areas and Entry Features	8 ⁹	8 ⁹	8 ⁹ /DR ⁸	DR	⁸ Dimension applies to detached or attached single family dwellings; Design Review (DR) applies to multi-family land uses. ⁹ May be reduced to 6 feet for courtyards. ^{9a} May be reduced for z-lot and zero lot line concepts with approval by the zoning administrator. A Minimum of 66% of neighborhood residential units shall provide a pedestrian-oriented seating area (porch, etc.) and 33% shall provide a pedestrian-oriented entry feature as described in Section D.
Minimum side yard setback (feet)					See "Architectural Projections" Section J.
To adjacent residential lot	5 ¹⁰	5 ¹⁰	DR	DR	¹⁰ May be reduced for zero lot line concepts.
Distance between detached units	10	10	DR	DR	May be reduced based on Design Review for zero-lot line, Z-lot, two-pack or similar design concepts.
To porch/veranda/entry feature (corner lots only)	7 ¹¹	7 ¹¹	7 ¹¹	DR	¹¹ For detached and attached single family dwellings only.
Residential street from building to back of adjacent sidewalk (corner lot)	13 ¹²	13	DR ¹³	DR	¹² May be reduced to 10 feet on non-featured side of promenade street ¹³ Minimum 8 feet on featured side and minimum 5 feet on non-featured side of promenade street.

LAND USE ZONING DISTRICT	SF 3	SF 4	RM 1	RM 2	NOTES
2 nd floor from property line	5/10	5/10	DR	DR	33% of neighborhood units shall have a 10 foot side yard setback on one side of building for a minimum depth of 20 feet from front façade of the main residence (exclusive of pedestrian-oriented seating area) Deep recessed garages are excluded.
To garage with minimum 30 foot deep driveway.	0	0	0	0	
Minimum rear yard setback (feet)					See "Architectural Projections" Section J.
To main residence	15	10	DR	DR	
To garage and living area over garage with a minimum 30 foot front yard setback	5	5	5	DR	
To garage off alley	5	5	5	5	Second story may project 3 feet into rear yard setback in all Districts.
Maximum building height	28 ¹⁴	28 ¹⁴	28 ^{14/15}	60 ¹⁵	¹⁴ Maximum height is 35 feet for two story single family residences if approved by Zoning Administrator ¹⁵ Maximum height is 45 feet for three story multi-family structures.
Parking Spaces per unit					Includes requirement for 0.3 guest parking space/unit.
Single family dwellings (garage spaces)	2 ¹⁶	2 ¹⁶	2 ¹⁶	SP ¹⁷	¹⁶ Three-car garages shall be tandem or split (separate 2 and 1 car garages) side entry ("swing-in") type. Three-door wide front-facing garage doors are allowed on lots 60 feet wide or greater and limited to 25% of the total dwelling units within the development, provided the main residence or entry feature is forward of the garage. Such garages shall utilize off-sets, overhanging balconies, trellises or similar features as described in the Village Design Plan ¹⁷ One garage and one carport space may fulfill requirement with Site Plan Review.
Multi-family dwellings:					Parking requirements may be reduced at Design Review for affordable and senior housing.
Studio unit	-	-	1.0	1.0	
One bedroom unit	-	-	1.5	1.5	
Two bedroom unit	-	-	2.0	2.0	
Three bedroom unit	-	-	2.25	2.25	

D. Porches, Verandas, Semi-Private Courtyards, Balconies and Pedestrian-Oriented Features

Sixty-six percent (66%) of all single-family detached and attached houses shall incorporate street-oriented seating areas including, but not limited to porches, verandas, semi-private courtyards and balconies (or combinations thereof). Thirty-three percent (33%) of all single-family detached and attached houses that do not include seating areas shall include pedestrian-oriented features such as trellises, porte-cocheres, large windows and glass paneled doors (or any combination thereof). Examples of pedestrian-oriented features are provided in the Village Eleven Design Plan and in the following descriptions:

Pedestrian-Oriented Seating Areas
(Required for 66% of Units per Neighborhood)

Porches

Porches are defined as structures that are attached to the front and/or side of the main dwelling, with a minimum of two open sides, covered by roofs and oriented towards the street. Porches shall not be completely enclosed. A grade separation between the porch and front yard is encouraged. Porches shall be proportional to the front elevation of the residence, with wider porches provided on wider lots. Porches shall be provided at the following schedule:

Table II.3.3-3 Minimum Porch Sizes and Dimensions		
Lot Width (feet)	Minimum Porch Size	Notes:
40 and less	60 square feet	- Lot width measured at front setback - Minimum depth is 6 feet - Dimensions are subject to Administrative Design Review.
40 to 60	60 to 70 square feet	
60 and greater	60 to 80 square feet	

Verandas

Verandas are roofed structures attached to the exterior of residences creating “wrap-around” style porches, typically oriented to both the front and side streets of corner lots. The size of verandas shall be proportional to the building elevations, with wider verandas provided on wider lots. Dimensions are subject to administrative design review.

Balconies

Balconies and other upper level open spaces may be open or covered and shall be oriented towards the street. Balconies shall have a minimum dimension of six (6) by ten (10) feet and shall be parallel to the front property line, unless located on a flag or cul-de-sac lot. Balconies may be located over the lower level or they may project from the structure into the front yard setback up to six (6) feet or into the side yard no more than 50% of the setback dimension.

Patios and Semi-Private Courtyards

Patios and semi-private courtyards are outdoor seating areas that may project into the front yard setback, with no dimension less than six (6) feet. Courtyards are typically surrounded on three sides by either the building or low walls/fences. Patios and semi-private courtyards shall be designed to be architecturally dominant elements on the front of the house.

Pedestrian-Oriented Features

(Required for 33% of Units without Seating Areas per Neighborhood)

Windows

Large picture windows, bay windows and glass paneled doors oriented towards the street provide a sense of openness and a visual connection between the interior living space and the street. This visual connection enhances neighborhood security and provides an indoor seating option to porches, verandas, and courtyards. The window/doors should be proportional in scale to the wall plane and no less than 4 feet in width.

Gateways, Trellises and Porte-cocheres

Gateways, trellises, porte-cocheres and similar architectural elements may be used to designate residential entries. Such features should be visually distinctive and may be free standing or attached to the residence.

E. Floor Area Ratio

The maximum total building square footage for single-family detached and attached products is determined by "Floor Area Ratio" (FAR). FAR is the ratio of floor area (total building square footage) to lot area as shown in the following example:

$$\frac{3,250 \text{ square feet floor area}}{5,000 \text{ square feet lot area}} = .65 \text{ FAR}$$

Homeowner additions shall be permitted only where consistent with these standards. The following are excluded from the total building square footage when calculating the FAR:

- The first 300 square feet of a covered rear yard patio (open on two sides). A covered rear yard patio of up to 300 square feet shall be permitted on each residential lot. Any square footage above 300 square feet shall be added to the total building area and count toward the FAR. Any portion of a covered rear yard patio over 300 square feet that exceeds the FAR shall not be permitted;
- The first 400 square feet of the garage;
- Pedestrian-oriented features facing the front street (and side streets for corner lots) that provide seating areas including, but not limited to, porches, verandas, balconies, patios and semi-private courtyards as described in Section D.

The allowable building square footage for each lot shall be as permitted in the table below.

Table II.3.3-4 Floor Area Ratio		
Zoning District	Maximum Floor Area Ratio	Notes:
SF 3	.65	
SF 4	.65	
RM 1 ¹	.65 ²	¹ The FAR for alley products shall be determined at Design Review ² In the RM1 District, the .65 FAR applies to detached and attached single family developments only. FAR for multi-family developments to be determined through Design Review.
RM 2	To be determined at Design Review	

F. Usable Open Space

Common Usable Open Space

Common usable open space in multi-family developments shall take the form of passive and active recreation areas such as swimming pools, picnic areas, ball courts, view points, etc. These areas shall not be fragmented or consist of left over land, driveways, parking areas or refuse storage areas, and must be pedestrian linked and/or easily accessible to the majority of residents in the development. Some facilities, such as swimming pools, ball courts or play areas must be centrally located. In Multi-family developments, any portion of a lot which is relatively level (maximum five percent grade), developed for recreational or leisure use, and which contains 60 square feet with no dimension less than six feet, shall be considered open space. Roof decks and recreation rooms should generally count for no more than 25 percent of required common open space. Front and exterior sideyard setback areas may constitute up to 50 percent of required common open space, provided they are developed in a usable and attractive manner.

Partial credit may be given to provide a portion of the common usable open space in conveniently located and easily accessible off-site private recreation facilities. The provision of such off-site, shared active recreation facilities shall allow for the reduction of active recreation facilities provided within individual developments. No more than 40% of the combined private and common usable open space requirement for any development may be satisfied by the provision of off-site facilities.

Common and private usable open space shall be provided for residential districts in accordance with the Chula Vista Design Manual and the table below:

Table II.3.3-5 Common & Private Usable Open Space for Multi-Family Developments	
Zoning District/Density	Minimum Common Usable Open Space per Dwelling Unit
RM 1	300 square feet
RM 2	200 square feet

Private Usable Open Space:

Private usable open space shall take the form of yard area, porches, verandas, courtyards, patios, balconies and driveway areas greater than the minimum setback and shall not consist of left over space, as determined by the Director of Planning and Building. Alley-loaded products are exempt from the above requirements.

In conformance with the Chula Vista Design Manual, approximately 750 square feet of usable open space shall be provided for a typical three or four bedroom dwelling, either exclusively in private yards, or in a combination of private yards, landscaped front yards and/or common areas. The private usable fenced yard area should generally total not less than 15 percent of the lot size with no dimension less than 10 feet. No dimension of usable private open space shall be less than 10 feet, except where contiguous to other private usable open space, with a combined dimension of at least 10 feet.

Small lot single family developments should provide approximately 15% of the lot size either exclusively in private yards, or in a combination of private yards, landscaped front yards, patios, porches, balconies and/or common areas. No dimension of private usable open space shall be less than 10 feet, except where contiguous to other private usable open space, with a combined dimension of at least 10 feet.

Private usable open space shall be provided for all residential districts in accordance with the Chula Vista Design Manual and the table below. Modifications may be allowed subject to approval by the Director of Planning and Building.

Table II.3.3-6 Private Usable Open Space	
Type of Dwelling	Minimum Private Usable Open Space Per Dwelling Unit
Detached Single-family	15% of the lot pad area
Multi-family w/1 bedroom	60 square feet
Multi-family w/2 bedroom	80 square feet
Multi-family w/3 or more bedrooms	100 square feet

G. Model Home Complexes/Subdivision Sales Offices

Model homes, their garages, parking lots and sales facilities located within private recreation facilities are temporary uses and may be used as offices for the first sale of homes subject to the regulations of the City of Chula Vista governing said uses and activities. Unless otherwise determined by the Zoning Administrator, an administrative Conditional Use Permit and administrative Design Review shall be required for model home sites. Refer to Temporary Uses Section II.3.6.2 for specific requirements for subdivision sales offices. At the discretion of the Zoning Administrator, the Conditional Use Permit may be referred to the Planning Commission or the Design Review application to the Design Review Committee, respectively, for a decision. Otherwise, administrative procedures shall be used. Drought tolerant landscaping is required for one of every three model homes.

H. Building Elevations

A minimum of three (3) front elevations shall be provided for each floor plan on all single-family detached residential housing.

Notwithstanding the above requirement, elevations for second units shall be submitted at the same time as elevations for the main structure for administrative Design Review.

I. Affordable Housing

The Village Eleven SPA shall comply with the Otay Ranch ranch-wide and Village Eleven SPA Affordable Housing Plans as they may be amended from time to time.

J. Architectural Projections/Features

Architectural features which constitute non-usable floor space such as fire places, media niches or book shelf areas on exterior walls, eaves, awnings, chimneys, balconies (except as described in Section D), stairways, wing walls, etc. up to twelve (12) feet in length may project not more than fifty percent (50%) into any required side yard setback or four (4) feet into any required front or rear yard setback.

On houses with a trellis over a 'Hollywood drive,' the trellis may come to no closer than the closest front element of a house (porch or face-of-building) to the front property line or encroach no more than fifty percent (50%) into a side yard.

II.3.3.4 Performance Standards

The following performance standards shall be met in all Residential Districts:

Landscaping

Landscape plan development, review and approval shall adhere to the provisions of the Village Eleven Design Plan and City of Chula Vista Landscape Manual and Municipal Code. Required front and exterior side yards shall be landscaped and shall consist predominantly of trees, plant materials, ground cover and decorative rocks, except for necessary walks, drives and fences. Drought-tolerant landscaping is encouraged and one model home of every three shall utilize drought tolerant landscaping. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris. Landscaping requirements may be met by either installation by the builder or developer, or for single family development, requiring through CC&Rs that individual homeowners install front yard landscaping within one year of occupancy, or sooner if required by CC&Rs.

Equipment

All exterior mechanical equipment, such as air conditioners, antennas, ham radio antennas, solar panels, heating, cooling, ventilating equipment, satellite dishes and all other mechanical, lighting or electrical devices shall be so operated and located so that they do not disturb the peace, quiet and comfort of neighboring residents. The location of such equipment in the RM-1 and RM-2 districts shall require the prior approval of the Director of Planning and Building or Design Review. This equipment shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all other applicable ordinances. Heights of said equipment shall not exceed the required height of the zone in which they are located.

Utilities

All utility connections shall be designed to coordinate with the landscape and architectural elements of the site so as not to be exposed except where required by a utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with any appropriate screening treatment. Power lines and cables shall be installed underground. Applicant's utility consultant shall coordinate utility placement with the City.

Noise

The City of Chula Vista's noise control ordinance provisions shall apply within Village Eleven, as contained in CVMC amended Chapter 19.66.

Special Standards – RM Districts

In the RM Districts, including the conversion of apartments to condominiums where permitted, the following standards shall be met:

- Masonry walls or fences six (6) feet in height, from the highest finished grade, shall be required where needed for noise attenuation as shown on the Wall and Fencing Plan in the Village Design Plans or as required by a site specific noise study.
- When other residential districts are adjacent to the RM2 district, a minimum of fifteen (15) feet of landscaped area, excluding off-street parking, shall be provided on the RM2 lot between such uses.
- Conveniently located common laundry facilities shall be provided for units which do not have individual hook-ups.
- Conveniently located and well-screened enclosures for trash and recyclables shall be provided for all dwelling units, unless provided per unit.
- Recreational vehicle (including campers, boats and trailers) parking areas fully screened from view of the development, shall be provided in all multi-family developments or these developments shall prohibit all parking of recreational vehicles.
- Lockable, enclosed storage shall be provided in the carport area; substitution may be approved by the Director of Planning and Building.
- Design standards shall be required which specify limitations on patio structures, room additions and other modifications to the project.
- Parking spaces for electric carts and bicycle rack spaces are required and are described in Section II 3 10, Off-Street Parking Regulations.
- Conformance with the City Crime Free Multi-family Certificate Program is required.
- Parking requirements include 0.33 spaces for guest parking. If more than one space per dwelling unit is assigned to the dwelling unit, the required guest parking spaces shall be marked and clearly identified as guest parking. The guest parking space shall not be permitted to be assigned to the individual dwelling units.
- Parking standards may be reduced from those specified for SF3, SF4, RM1 and RM2 Districts for projects which are restricted to Affordable and Senior Citizen (age 62 and above) housing. Such a reduction shall be at the discretion of the City Council through the Conditional Use Permit procedure (CVMC 19.14.080). A parking study will be prepared by a registered traffic engineer to ensure adequate parking will be provided.

Energy Conservation

Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including but not limited to conservation considerations such as window placement, eave coverage, dual glazing and insulation.

II.3.3.5 Accessory Structures and Uses

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed subject to the requirements of CVMC 19.58.020. Accessory uses and structures, attached or detached, used either wholly or in part for living purposes, shall meet all of the requirements for location of the main structure as constructed or required by the District, whichever is less restrictive, except as provided herein.

- Enclosed accessory buildings or open structures attached to the main building are subject to approval by the Director of Planning and Building. The minimum private open space requirement shall be maintained.
- Enclosed accessory buildings or structures that are attached to the main building shall not be allowed to encroach into the required rear yard setback.
- Detached accessory structures shall meet the setback requirements of the main building for the front and street side yard areas.
- Detached accessory structures may be located within an interior side yard or rear yard; provided that such a structure is located no closer than five (5) feet to an interior side or rear lot line and is at least six (6) feet from the main structure and does not exceed one story in height.
- Open structures may be allowed to encroach into the rear yard setback subject to the approval of the Director of Planning and Building. The permitted design and type of open structures will be as determined by the Director of Planning and Building.
- Attached and detached accessory buildings and open structures are permitted pursuant to the site plan and architectural review requirements specified in Section II.3.9, Administrative Procedures.
- A covered rear yard patio of up to 300 square feet shall be permitted on each residential lot. Any square footage above 300 square feet shall be added to the total building area and count toward the FAR. Any portion of a covered rear yard patio over 300 square feet that exceeds the FAR shall not be permitted.
- Architectural features which constitute non-usable floor space such as fire places, media niches or book shelf areas on exterior walls, eaves, awnings, chimneys, balconies (except as described in Section D), stairways, wing walls, etc. up to twelve (12) feet in length may project not more than fifty percent (50%) into any required side yard setback or four (4) feet into any required front or rear yard setback.
- On houses with a trellis over a 'Hollywood drive,' the trellis may come to no closer than the closest front element of a house (porch or face-of-building) to the front property line or encroach no more than fifty percent (50%) into a side yard.

II.3.3.6 Walls and Fences

In any required front or side yard adjacent to a street, a wall, fence or hedge shall not exceed forty-two (42) inches in height, except as provided herein.

- Walls, fences or hedges not more than six (6) feet in height may be maintained along the interior side or rear lot line, provided that such wall, fence or hedge does not extend

into a required front or side yard adjacent to a street except for noise attenuation as required by the City and as provided herein.

- A wall, fence or hedge adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two (42) inches in height within the front or side yard setback area of the lot. Walls in the front yard setback shall be no closer than five (5) feet to the back of front sidewalk. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility as determined by the City Engineer.
- Fiberglass, bamboo sheeting, chain link or other similar temporary material shall not be permitted as a fencing material.
- Walls adjacent to corner lot side yards shall be constructed of masonry or stucco where solid walls are required, accordance with community fencing standards. Where view fencing is appropriate, fencing consisting of wrought iron or a combination of masonry and wrought iron may be utilized. Wood fences are prohibited in this location.
- A minimum three (3) foot wide clear, level area shall be maintained between a wall and top of slope where abutting open space.
- A two and one-half (2.5) foot retaining wall may be combined with a six (6) foot freestanding wall for a total maximum height of eight and one-half (8.5) feet.
- Where combined retaining and freestanding walls would exceed the maximum allowable height, a two (2) to three (3) foot horizontal separation shall be provided between wall elements.

II.3.3.7 Signs

No sign or outdoor advertising structure shall be permitted in any residential district except as provided in Section II.3.8, Special Uses and Conditions and in Section II.3.9, Comprehensive Sign Regulations

II.3.4 MIXED USE DISTRICTS

II.3.4.1 Purpose

The Mixed Use District is intended to function as the social, commercial and activity center for the village as described by the Otay Ranch GDP. In order to serve this function, a mix of commercial, public, quasi-public, community purpose and residential land uses are permitted. The Mixed Use District is included in these PCD Regulations to achieve the following:

- To provide areas for office uses, retail stores and service establishments offering commodities and services required by residents of the village or adjacent villages.
- To provide an opportunity for commercial and quasi-public community support facilities.
- To encourage commercial and residential uses concentrated for the convenience of the public and for a more mutually beneficial relationship to each other.
- To provide adequate space to meet the needs of modern commercial activity, including off-street parking and loading areas.
- To protect village core properties from noise, odor, smoke, unsightliness, and other objectionable influences incidental to industrial uses.
- To promote high standards of site planning, architectural and landscape design for office and commercial developments within the City of Chula Vista.

II.3.4.2 Permitted and Conditional Uses

The land use regulations for the Mixed Use are shown in Table II.3.4 –1. The following uses shall be permitted uses where the symbol “P” appears and shall be permitted subject to a Conditional Use Permit where the symbol “C” appears. Uses where the symbol “A” appears shall be permitted subject to an Administrative Approval. Uses where an “a” appears shall be permitted only as an accessory use to a basic permitted use. Uses where the symbol “N” appears shall not be permitted. Uses not appearing in the table shall be subject to Administrative Review by the Zoning Administrator.

**Table II.3.4-1
Permitted Use Matrix
Mixed Use District**

MIXED USE LAND USE	
Administrative and Professional Services	
Business & Professional Services	P
Financial Institutions	P
Medical, Dental & Health Services	A
Real Estate Sales Offices	P
General Commercial Uses	
Antique shops (no outdoor storage)	P
Apparel stores	P
Appliance stores and repair (no outdoor storage)	P
Art, music and photographic studios and supply stores	P
Arcades and electronic games subject to CVMC Section 19.58	C
Athletic and health clubs	P
Automobile and/or truck services, sales, rental agencies	C
Bakeries- retail	P
Barber and beauty shops	P
Bicycle shops, non-motorized	P
Blueprint and photocopy services	P
Books, gifts and stationery stores	P
Candy stores and confectioners	P
Car wash subject to provisions of CVMC Section 19.58.060	C
Catering establishments	P
Cleaners	P
Cocktail lounge, bar or tavern, including related entertainment	C
Commercial recreation facilities not otherwise listed	C
Eating and drinking establishments	
Bars, nightclubs and cabarets	C
Restaurants, coffee shops, delicatessens	
- with alcoholic beverages and/or entertainment	C
- without alcoholic beverages	P
Snack bars and refreshment stands contained within a building	P
Fast-food restaurants with drive-in or drive-through	C
Equipment rental (enclosed building)	P
Feed and tack stores (no outside storage) subject to CVMC Section 19.58	P
Florists' shops	P
Food stores, markets, drug stores	P
Furniture stores	P
Gasoline service stations subject to CVMC Section 19.58	C
Hardware stores	P
Hobby shops	P
Hotels and motels subject to CVMC Section 19.58	P
Janitorial services/supplies	P
Jewelry stores	P
Junior department, department stores, and discount department stores	C
Kiosks, including photo sales, located in parking lots	A
Laundry (coin-op)	P
Liquor stores	C

Medical and dental offices, clinics	P
Mortuaries	N
Motorcycle sales and services including motorized bicycle	A
Newspaper and magazine stores	P
Nurseries and garden supply stores in enclosed area	P
Office suites, general	P
Office supplies/stationery stores	P
Parking facilities (commercial) subject to CVMC Section 19.58	C
Pharmacies	P
Printing shops	P
Recycling drop-off bins	A
Retail stores and shops	P
Sign painting shops (enclosed building)	P
Stamp and coin shops	P
Swimming pool supplies	P
Television, stereo, and radio stores including sales and repair	P
Theaters	C
Tire sales and service	C
Travel agencies	P
Veterinary offices and animal hospitals	C
Video rental stores	A
Residential Use:	
Mixed use residential (units over commercial or attached to storefront use)	P
Public and Semi-Public Uses:	
Community Purpose Facilities (see Section II.4.4)	C
Day nurseries, daycare schools and nursery schools (for profit and non-profit)	A
Educational institutions	C
Essential public services, including by not limited to: library, museum, park, public works facility, post office and other civic use as determined by the Zoning Administrator	A
Group care facilities and residential retirement hotels	C
Hospital, medical care facilities	C
Libraries	P
Public safety facilities such as police or fire stations	A
Public utility and public service sub-stations, reservoirs, and similar installations	C
Recreational facilities, including but not limited to: tennis, racquetball and handball courts. Sites 2 acres or less in size are subject to Administrative review only.	C
Accessory Uses:	
Accessory uses and structures customarily appurtenant to a permitted use, subject to CVMC Section 19.58.020.	P

II.3.4.3 Property Development Standards

The property development standards that shall apply to all land and buildings permitted in the Mixed Use Districts shall be those indicated on an approved site plan submitted pursuant to Section 19.14.420 through Section 19.14.480 inclusive in Title 19 of the Chula Vista Municipal Code (CVMC). Submitted site plans shall adhere to the standards identified in the City of Chula Vista Design Manual and the Village Eleven Design Plan. “SP” indicates standard is to be determined through Site Plan approval.

In addition to the Village Eleven Design Plan, a subsequent Master Precise Plan will be prepared for the village core. The Master Precise Plan serves as a link between the approved SPA/Village Design Plan and future development. The primary purpose of the Master Precise Plan is to provide guidelines by which future “Individual Precise Plans” for each village core land use will be evaluated.

**Table II.3.4 – 2
Mixed Use Development Standards¹**

Minimum Lot Area	DR
Minimum Lot Width	DR
Minimum Lot Depth	DR
Minimum Building Setbacks from right-of-way	
Front	15 feet
Side	10 feet
Public Street (measured from face of curb)	15 feet
Rear	10 feet
Adjacent to Residential Lot	15 feet
Accessory Structures	10 feet
Minimum Parking Area Setbacks ²	
Public Street	10 feet
Adjacent Parcel Property Line	10 feet
Minimum Signage Setbacks	
Public Street	5 feet
Adjacent Parcel Property Line	10 feet
Minimum Distance Between Structures	15 feet
Maximum Building Height	48 feet
Off-Street Parking Required ³	DR
Minimum Landscape Area Required	15%

1 - Development standards may be modified through Design/Site Plan Review.

2 - Parking areas for nonresidential uses adjoining residential uses or vacant land which may be developed with residential uses per this plan, shall provide a landscaped buffer yard with a minimum 15-foot width between the parking area and the common property line bordering the existing or potential residential use. A solid masonry wall shall be provided along the property line, in addition to the landscaping, where existing or approved residential uses adjoin a proposed non-residential use provided that said wall does not preclude pedestrian access between the residential and commercial area.

3 -See Section 11 3.10, Off-Street Parking Regulations, for additional requirements.

II.3.4.4 Performance Standards

- Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drive. All planting and irrigation shall be in accordance with the City's Landscape Manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- The noise level emanating from any commercial use or operation shall not exceed the standards established in Section 19.68 of the Chula Vista Municipal Code.
- All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning and Building.
- All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Core.
- Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of the light at the boundary of any Mixed Use District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor areas. Outdoor storage shall include a landscape buffer a minimum of three (3) feet in width. Additional wall height or semi-enclosed roofing may be required where the visibility, scale or intensity of use dictates additional screening, as determined by the Director of Planning and Building during Administrative Review.
- There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718.
- No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.

- Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including but not limited to conservation considerations such as window placement, eave coverage, dual glazing and insulation.
- Parking spaces for electric carts and bicycle rack spaces are required and are described in Section II.3.10, Off-Street Parking Regulations.

II.3.5 COMMUNITY PURPOSE FACILITY DISTRICTS

II.3.5.1 Purpose

The City of Chula Vista Municipal Code Section 19.04.055 defines “Community Purpose Facility” as “...a structure or site for certain non-profit assembly, or recreation purposes, as well as ancillary uses such as a parking lot within a planned community.” The Code requires 1.39 acres per 1,000 persons for Community Purpose Facility (CPF) sites, based on the lot count at the Tentative Map stage. The Otay Ranch GDP provides that the total acreage requirement for CPF facilities “may be reduced, if approved at the SPA level, based on the availability of guaranteed shared parking with other facilities or other community purpose facilities that are guaranteed to be made available to the community.” The GDP further provides that “site acreage requirements may be reduced through the use of multi-story structures, if appropriately sited and floor space is guaranteed for community purpose use.”

Village Eleven SPA Plan provides for 2,304 residential units. The village population, based on 3.01 persons per unit, is estimated to be 6,935. Implementing the formula of 1.39 acres per 1,000 residents, the estimated CPF requirement is 9.6 acres. In conformance with the Code and the GDP, the Village Eleven CPF requirement is partially met through provision of a 5.5-acre site in the village core and partially through provision of a 3.8-acre community meeting and private recreation facility in the eastern portion of the village.

II.3.5.2 Permitted and Conditional Uses

The following uses shall be permitted where the symbol “P” appears and shall be permitted subject to a Conditional Use Permit where the symbol “C” appears. Uses where the symbol “A” appears shall be permitted subject to Administrative Approval.

**Table II.3.5-1
Permitted Use Matrix
Community Purpose Facility Districts**

	CPF LAND USE
Senior care and recreation	C
Social and human services	C
Services for the homeless	C
Services for the military	C
Worship, spiritual growth and development	C
Youth organizations (Teen center, Scouts, Boys and Girls Clubs)	C
Daycare facilities	C
Schools ancillary to the above uses	C
Interim uses, subject to the findings outlined in Section 19.48.025 (E) of the CVMC	C
Community meeting or recreational facilities, for non-profit organizations serving the local community, subject to the requirements outlined in Section 19.48.040 (B)(6)(d).	C

II.3.5.3 Property Development Standards

The following regulations shall apply to the site of a Community Purpose Facility. The requirements are minimum unless otherwise stated. "SP" indicates standard to be determined through Site Plan approval.

**Table II.3.5 – 2
Community Purpose Facility Development Standards¹**

Minimum Lot Area	DR
Minimum Lot Width	DR
Minimum Lot Depth	Dr
Minimum Building Setbacks from right-of-way	
Front	15 feet
Side	10 feet
Public Street	15 feet
Rear	10 feet
Adjacent to Residential Lot	15 feet
Accessory Structures	10 feet
Minimum Parking Area Setbacks	
Public Street	10 feet
Adjacent Parcel Property Line	5 feet
Minimum Signage Setbacks	
Public Street	5 feet
Adjacent Parcel Property Line	5 feet
Minimum Distance Between Structures	10 feet
Maximum Building Height	35 feet
Off-Street Parking Required	Dr
Minimum Landscape Area Required	15%

¹ – Development standards may be modified through site plan review.

II.3.5.4 Performance Standards

- Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drive. All planting and irrigation shall be in accordance with the City's Landscape Manual. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.
- The noise level emanating from any commercial use or operation shall not exceed the standards established in the Chula Vista Municipal Code.
- All ground mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Director of Planning and Building.

- All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Core.
- Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
- All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of the light at the boundary of any Community Purpose Facility District shall not exceed seventy-five (75) foot lamberts from a source of reflected light.
- All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
- Except where otherwise approved on a site plan, outdoor storage areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor areas. Stored materials shall not be visible above the required walls.
- There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published in the United States Bureau of Mines Information Circular 7718.
- No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
- Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including but not limited to conservation considerations such as window placement, eave coverage, dual glazing and insulation.
- Criteria and standards for design and hours of operation shall be addressed during review of the Conditional Use Permit and the Site Plan.
- Parking spaces for electric carts and bicycle rack spaces are required and are described in Section II.3.10, Off-Street Parking Regulations.

II.3.6 OPEN SPACE AND PARKS DISTRICTS

II.3.6.1 Purpose

The Open Space and Park Districts are intended to provide for open space, landscaping, recreation, habitat preservation and public uses. Only those additional uses which are complimentary to and can exist in harmony with open space, park and recreation uses are permitted. There is no lot size limitation and it is intended that these districts may be applied to a portion of a lot, provided that the remainder of the lot meets the requirements for which it is zoned. Open Space and Park Districts are included in the Planned Community District Regulations to achieve the following purposes:

- Create focal points for community and neighborhood activities.
- Provide for public/quasi-public and recreational uses.
- Promote community links with neighboring Otay Ranch villages.
- Preserve, enhance and manage natural resources.
- Preserve vistas, viewpoints and areas of historic and community significance for the enjoyment of future generations.
- Establish edges to help define communities.
- Promote public health and safety.
- Provide limited recreation and public use opportunities, such as trails and pathways.
- Serve as transition areas between land uses and residential neighborhoods.

II.3.6.2 Permitted and Conditional Uses

Parks

Park sites will be developed for public and private recreational facilities. Park sites identified in the Village Eleven SPA include a Neighborhood Park, a Town Square and two private pedestrian parks. Park facilities may include play areas, tot lots, sports fields and courts, activity rooms, restrooms, parking lots, picnic and seating areas, and trails. The specific uses and design of private recreation facilities are to be identified on a Site Plan, and are subject to Administrative Review and approval by the Director of Parks and the Director of Planning and Building. The neighborhood park and town square may be subject to Design Review and approval by the Parks and Recreation Commission and City Council.

Open Space

The uses allowed within Village Eleven Open Space Districts are limited to passive recreational uses such as pedestrian trails, equestrian trails, cart paths and rest areas. Public and private utilities are allowed subject to Administrative Review and approval by the Director of Planning and Building.

II.3.6.3 Property Development Standards

Development standards for the neighborhood park and town square will be established by the Parks and Recreation Department. Development standards for private park facilities will be established by Site Plans and will be reviewed on a case-by-case basis to determine appropriate buffering and setbacks. Site Plans shall adhere to the City requirements for walls and fencing and signs. All landscape shall meet the requirements of the City of Chula Vista Landscape Manual.

Development within Open Space Districts is prohibited. The uses permitted within the Open Space Districts are limited to public utilities uses and passive recreation activities that are not subject to development standards.

II.3.6.4 Accessory Uses and Buildings

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed subject to the requirements of Chapter 19.58 of the Chula Vista Municipal Code.

II.3.6.5 Performance Standards

All uses in Parks and Open Space districts shall conform to the performance standards provided in Chapters 19.66 and 19.68 of the Chula Vista Municipal Code.

II.3.7 SCHOOL LAND USE DISTRICTS

II.3.7.1 Purpose

The School Land Use Districts are special purpose designations provided for a future Elementary School and a future Junior High School to help serve the needs of the residents of Village Eleven and the surrounding communities.

II.3.7.2 Permitted and Conditional Uses

The only use permitted for the Elementary and Junior High School sites is an educational institution. These sites have not yet been approved for acquisition and use by the School Districts. Should the sites not be needed, they could revert to another use consistent with the surrounding development, subject to amendment of the SPA Plan.

II.3.7.3 Property Development Standards

All development standards for the schools shall be determined per the School District Site Plan approval process.

II.3.8 SPECIAL USES AND CONDITIONS

II.3.8.1 Purpose

This section provides additional regulations for special uses and conditions which require special review standards beyond those of the basic land use districts. Temporary uses, home occupations, recreational courts and arcades and similar uses are addressed in this Section. Where this Section prescribes regulation which is more restrictive than that of the Land Use District, the provisions of this Section shall prevail.

II.3.8.2 Temporary Uses and Special Events

Table II.3.8-1 is a list of temporary uses and applicable restrictions. All temporary uses are subject to Administrative Review by the Director of Planning and Building

All temporary uses shall be subject to the issuance of a Temporary Use Permit by the Director of Planning and Building (or Conditional Use Permit as noted) and other necessary permits and licenses, including but not limited to building permits, sign permits and solicitor or vending licenses. In the issuance of such a permit, the Director of Planning and Building shall indicate the permitted hours of operation and any other conditions such as walls, fences or lighting, which are deemed necessary to reduce possible detrimental effects to surrounding developments and to protect the public health, safety and welfare. Prior to the issuance of a permit for a temporary use, a cash deposit may be required to be deposited by the City. The City shall use this cash deposit to defray the costs of property cleanup, in the event the permittee fails to do the same.

Upon written application, the Director of Planning and Building may extend the time within which temporary uses may be operated, or may modify the limitations under which such uses may be conducted if the Director of Planning and Building determines that such extension or modification is in accord with the purposes of the regulations.

Each site occupied by a temporary use shall be left free of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of the zoning regulations.

The application for temporary use shall be accompanied by a fee established by the City's Master Fee Schedule to cover the cost of processing the application prescribed in this section. The approving authority may waive this fee for charitable groups that do not need any public services.

**Table II.3.8 – 1
Listed Temporary Uses**

Agricultural and animal husbandry activity or project (4-H, FFA, or similar) conducted for educational purposes or school credit. A permit may be granted in any district when the Director of Planning and Building determines that such use will not cause a public nuisance relative to sanitation and health conditions.
Agricultural products seasonal retail sales (fruit and vegetable stands) for periods of less than ninety (90) days, if said products are raised on the premises.
Circuses, rodeos, parades or similar outdoor entertainment or enterprises, subject to not more than five (5) calendar days of operation in any calendar year. Requests exceeding these limitations will require the submittal and approval of a Conditional Use Permit.
Christmas tree sales lots, Halloween pumpkin sales, and other holiday sales subject to not more than forty (40) calendar days of site occupation and operation in any calendar year.
Community gardens as developed and operated in accordance with the guidelines in the Village Eleven SPA.
Contractors' offices and storage yards on the site of an active construction site.
Mobile home residences for security purposes on the site of an active construction project.
Mobile trailer units properly designed for temporary classrooms, offices, banks, etc., for periods not to exceed ninety (90) days subject to Administrative Review. Requests for such uses of more than ninety days shall require approval of a Conditional Use Permit by the Planning Commission. Such units shall meet all necessary requirements of building, fire and health codes.
Outdoor art and craft shows and exhibits, subject to not more than three (3) calendar days of operation or exhibition in any sixty (60) day calendar period.
Outdoor displays and sales located within commercially zoned properties not to exceed more than five (5) calendar days in any sixty (60) calendar days and subject to appropriate conditions of the Planning Department.
Recycling drop-off bins sponsored by charitable institutions or schools for recycling of cans, newspapers or similar items, or for drop-off of clothes and small items. Bins shall be located in the parking lots of businesses or other public or semi-public property on a temporary basis when written permission is granted by the property or business owner. Said bins shall be kept in a neat and orderly manner.
Subdivision sales offices, sales information centers, sales pavilions, and model home complexes located within the subdivision, subject to the following minimum requirements: <ul style="list-style-type: none"> • Offices shall be no closer than one vacant lot to an existing dwelling unit not part of the subdivision. Trailers may be used for no more than ninety (90) calendar days or until such time as the subdivision sales offices have been completed, whichever is less. • Trailers used as sales offices for lot sales without model homes may be used for a period greater than one hundred twenty (120) days, subject to Site Plan and Architectural Review approval and the maximum use period listed herein. • An asphalt or concrete paved parking lot shall provide sufficient off-street parking spaces to accommodate said use • Faithful performance bonding in an amount appropriate to guarantee removal and/or conversion of the sales office and attendant facilities shall be required. • Other conditions that the Director of Planning and Building deems necessary to ensure that the sales office will not constitute or be objectionable to the residential uses in the neighborhood.
Temporary tract signs for marketing purposes.
Additional uses determined to be similar to the foregoing in the manner prescribed by these regulations.

II.3.8.3 Home Occupations

Home occupations may be permitted only when in compliance with the conditions listed herein. A permit must be issued by the Zoning Administrator prior to operation of such use. The fee shall be in accordance with the Master Fee Schedule.

- There shall be no stock in trade or exterior storage of materials in the conduct of a home occupation.
- A home occupation shall be conducted entirely within a dwelling; if in an attached or a detached garage, it shall not impede the use of said garage for vehicle storage.
- Electrical or mechanical equipment which creates visible or audible interference in radio or television receivers or causes fluctuations in lint voltage outside the dwelling unit, shall be prohibited.
- No one other than the residents of the dwelling unit may be engaged in the home occupation.
- There shall be no sale of goods on the premises.
- The establishment and conduct of a home occupation shall not change the principal character or use of the dwelling unit involved.
- There shall be no signs other than those permitted by this ordinance.
- The required residential off-street parking shall be maintained.
- A home occupation shall not create vehicular or pedestrian traffic in excess of that which is normal for the land use district in which it is located.
- No vehicles or trailers (including pick-up trucks and vans) or construction or other equipment, except those normally incidental to residential use, shall be kept on the site.

II.3.8.4 Arcades

In order to minimize adverse effects that arcades and electronic games may have on the neighborhood or area in which they are located, the following regulations are established. Arcades may be permitted only in the Village Core Mixed Use land use district subject to a Conditional Use Permit and to the conditions listed herein:

- All such facilities shall provide parking with ingress and egress designed to minimize traffic congestion, shall be not less than twenty feet away from any adjacent residential zone, and shall show that adequate controls or measures will be taken to prevent offensive noise and vibration. Should the Municipal Code be amended to provide additional regulation of these uses, such amendments shall apply to arcade or similar uses within Village Eleven.

- The operation of four or fewer machines shall be permitted, provided their operation is ancillary to the use of the building and said use does not materially alter the principal use of such a building. The operation of four or fewer machines, where they are the principal use, may be approved by the Director of Planning and Building provided the location does not constitute a traffic or safety hazard to the public or abrogate the intent of the regulations contained in this section.

II.3.8.5 Recreational Courts and Facilities

Construction of recreational courts and facilities, including necessary fencing and lighting, may be permitted in the SF3, SF4, RM1, RM2, CPF and OS Districts subject to approval of a Site Plan and a finding that adjacent properties will not be unduly affected. Recreational Courts and Facilities shall meet the following minimum standards:

- Setbacks from the property line for the court shall be:
Side yard: 10 feet
Rear yard: 10 feet
- A maximum 20-foot high fence (measured from the finished grade of the court) shall be allowed. Fences shall include a screening material which screens the court activity from off-site view and which improves the appearance of the fence.
- Landscaping shall be installed between the fence and the property line.
- A maximum of eight (8) lights are permitted, not to exceed 22 feet in height. All lights and lights fixtures shall be certified by a qualified lighting engineer to:
 - be designed, constructed, mounted and maintained such that, the light source is cut off when viewed from any point five (5) feet above the ground measured at the lot line;
 - be designed, constructed, mounted and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed ½ foot candle above ambient levels and;
 - be used between 7:00 a.m. and 10:00 p.m.
- The surface area of any court shall be designed, painted, colored and/or textured to reduce the reflection from any light incident thereon.

II.3.9 COMPREHENSIVE SIGN REGULATIONS

II.3.9.1 Purpose

The provisions of this Section shall establish the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs. These sign regulations are intended to achieve the following:

- Protect the general public health, safety and welfare of the community by reducing possible safety and traffic hazards through good signage.
- Direct people to various activities and uses in order to provide for maximum public convenience.
- Provide a reasonable system of regulations that ensure the development of a high quality visual environment.
- Encourage signs which are well designed and pleasing in appearance.
- Encourage a desirable visual character which has a minimum of clutter and is compatible with the desired character of the community.
- Enhance the economic value of the community and each development area through the regulation of such elements as size, number, location, design and illumination of signs.
- Encourage signs which are well located and compatible with the function and use of adjacent areas.
- Encourage a sign program with a consistent theme, which visually complements and blends with the Village Eleven landscape program.
- Discourage proliferation of non-conforming signs which can be a visual blight to neighborhoods.

These Comprehensive Sign Regulations are intended to supplement the provisions of Section 19.60 of the Chula Vista Municipal Code. Signs which are permitted under the CVMC which are not expressly prohibited by this Section II.3.9 shall be permitted. Similarly, signs which are prohibited under the CVMC, unless expressly permitted by this Section II.3.9 shall be permitted.

II.3.9.2 Permit Requirements and Review Procedures

- No person, except a public officer or employee in performance of a public duty, shall post, paint, erect, place or otherwise fasten any sign, pennant or notice of any kind, visible from a public street except as provided herein. To ensure compliance with this section, a sign permit shall be required for any sign, pursuant to Sections 19.60.020 and 19.60.030 of the Chula Vista Municipal Code, except as provided in these PC Regulations.
- Any sign, monument, tablet, plaque or markers which are over 42 inches high and located within a public street right-of-way, or within a front yard or exterior side yard setback area as defined in the PC District Regulations, must have approval of the

Zoning Administrator and City Engineer to ensure that architectural, pedestrian and vehicle access and safety issues are addressed.

- A building permit is required for every sign, including those exempt from obtaining a sign permit. Building permits for signs must comply with all SPA signage regulations.
- Design guidelines for signage within the village are included in the Otay Ranch Village Eleven Design Plan and are to be used in conjunction with these sign regulations.
- A Planned Signage Program shall be provided for the mixed use, community purpose facility and multi-family areas of Village Eleven in accordance with these PC District Regulations.

Sign Permit Exceptions

The following signs shall be exempt from the sign permit requirements, however, an electrical and/or building permit may be required pursuant to the CVMC:

- Real estate signs for residential sales: No more than one sign for interior lots and two for corner lots (one sign per street frontage) not exceeding four (4) square feet in area and four and one-half (4-1/2) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow. Signs placed on the rear street frontage are prohibited. No more than five (5) off-site "Open House" signs not exceeding four (4) square feet in area and five (5) feet in height are permitted for directing prospective buyers to property offered for sale and must be removed on the same day as placed. Signs shall be located a minimum of three (3) feet from the sidewalk or 10 feet from the curb or edge of pavement, where no sidewalk exists.
- Temporary construction signs: Two (2) directory signs shall be permitted on the construction site for all contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the City. For all other projects, a total of two (2) signs per development site may be installed with a maximum of four (4) square feet in area and five (5) feet in height for each sign. Such sign(s) shall be removed upon finalization of building permits.
- Permanent window signage not exceeding 20% of the window area of a commercial business frontage and limited to the name of the business, service, or use, hours of operation, address and emergency information, except exposed neon tubing signs advertising products for sale on the premises, are permitted as permanent signs.
- Temporary advertising signage: Signs painted on the window or constructed of paper, cloth, or similar expendable material affixed on the window, wall or building surface, provided that all of the following conditions are met:
 - The total area of such signs shall not exceed twenty-five (25) percent of the window area; however, in all cases, twelve (12) square feet per business frontage is permitted.

- Such signs shall be affixed to the surface for no more than thirty (30) continuous calendar days but for not more than sixty (60) days each calendar year, to promote a particular event or sale of product or merchandise.
- Future tenant identification sign: Future tenant identification signs may be placed on vacant or developing property to advertise the future use of an approved project on the property and where information may be obtained. Such signs shall be limited to one (1) per fronting street and to a maximum of ninety-six (96) square feet in area and twelve (12) feet in overall height each. Further, such signs shall be placed no closer than ten (10) feet to any property line. Any such sign shall be removed upon finalization of building permits. Where a project has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed.

Prohibited Signs and Lighting

All signs not expressly permitted are prohibited in all zones, including but not limited to the following:

- Roof signs.
- Flashing lights or signs.
- Animated signs or lights that convey the illusion of motion.
- Revolving or rotating signs.
- Vehicle signs (when parked or stored on property to identify a business or advertise a product).
- Portable signs (except where permitted in this section).
- Off-site signs (except temporary subdivision or real estate signs and political signs).
- Signs within the public right-of-way (except those required by a governmental agency). No sign shall be placed, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs.
- Signs located on public property except as may be permitted in these regulations or required by a governmental agency.
- Signs within the public right-of-way prohibited by the Streets and Highway Code (Sec. 101 et. seq. and Sec. 1460 et. seq), the Vehicle Code (Sec. 21400 et. seq.) and the Public Utilities Code (Sec. 7538 et. seq.).
- Signs blocking doors or fire escapes.
- External light bulb strings and exposed neon tubing outside of building (except for temporary uses such as Christmas tree lots, carnivals and other similar events with prior approval of the City).
- Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in these regulations).
- Advertising structures including billboards (except as otherwise permitted in these regulations).
- Statuary (statues and sculptures) advertising products or logos of the business located outside of the structure that houses the business.
- Flags, pennants and banners as defined in CVMC Section 19 60.180 (except those approved as temporary special event or promotional signs).
- Freestanding signs mounted on poles exceeding 10 feet in total height.

- The use of decals, stick-on or transfer letters, or tape on the walls of parapets of buildings, fences, walls or other structures.
- Readerboard/changeable copy signs, either electronic or non-electric except as permitted in this Section.
- Signs displayed as an imitation or resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic.

Signs Relating to Inoperative Activities

Signs pertaining to activities or businesses which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises have been vacated. Any such sign not removed within the specified time shall constitute a nuisance and shall be subject to removal under the provisions of these regulations and local ordinance.

Enforcement, Legal Procedures and Penalties

Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by Chapter 19.06 of the Municipal Code. Unauthorized illegal signs may be abated by the City in accordance with local ordinance. If said sign is stored by the City, the owner may recover said sign from the City upon payment to the City of any storage and/or removal charge incurred by the City. The minimum charge shall be no less than three dollars (\$3.00) per sign. All signs removed by the City may be destroyed thirty (30) calendar days following removal. If any sign, in the opinion of the Planning Director/Zoning Administrator, is an immediate threat to public health and safety, said sign shall be immediately and summarily removed with the cost of said removal charged to the property owner in accordance with local ordinances.

Construction and Maintenance

Every sign and all parts, portions and materials shall be manufactured, assembled and erected in compliance with all applicable State, Federal and City regulations and the Uniform Building Code.

Every sign and all parts, portions and materials shall be maintained and kept in proper repair and safe structural condition at all times. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked or broken surfaces, and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification of the business by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural change, is permitted.

II.3.9.3 Sign Regulations

Sign permits may be issued for signs included under this Section, provided the signs are in compliance with all other applicable laws and ordinances.

Signs Permitted in Any Land Use District

The following signs may be permitted in any land use district and are subject to the provisions listed below:

- Convenience Signs: On-site signs no greater than four (4) square feet necessary for public convenience or safety may be approved by the Planning Director or his designee. Signs containing information such as “entrance,” “exit,” or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
- Public and Quasi-Public Signs: Places of worship, schools, community centers and any other public or institutional building, on any mixed use, community purpose facility, school, park or residential district, shall be allowed signs as provided by Section 19.60.310 of the Chula Vista Municipal Code.
- Special Event Signs: Special Event signs may be approved for a limited period of time as a means of publicizing special events such as grand openings, new management, inventory sales, Christmas tree lots, parades, rodeos, and fairs that are to take place within the Village Eleven community. No more than four off-site signs up to thirty-two square feet in size and eight feet in height are allowed. Such signs shall be consistent with the provisions for temporary signs as described by the Chula Vista Municipal Code.
- Temporary On-Site Subdivision Signs:
 - One (1) temporary, on-site subdivision sign not to exceed 64 square feet in total area for two (2) sides or 32 square feet for one (1) side and a total overall height of twelve (12) feet may be permitted on each Circulation Element street frontage of each neighborhood, not to exceed two (2) such signs per street at any one time.
 - Such sign shall be for the identification of a subdivision, price information and the developer’s name, address and telephone number.
 - Such signs shall be removed after thirty-six months. Twelve month extension requests may be submitted by the developer for consideration by the Zoning Administrator prior to the expiration date.
 - Such signs shall be removed within ten (10) calendar days from the date of the final sale of the land and/or residences.
 - Signs shall be maintained in good repair at all times by the applicant developer or property owner.
- Off-Site Subdivision Directional Sign: Directional signage to subdivision development projects located off-site shall comply with the City of Chula Vista Kiosk Sign Program, pursuant to CVMC Section 19.60.480. The provisions of this program address the location, size and design of kiosk structures and panels, administration, maintenance and removal of such signage. It is intended to provide a uniform, coordinated method

for directional signage to residential projects in the City of Chula Vista east of Interstate 805.

- Each sign may contain the name of the subdivision and directional arrow.
- Any sign approved for a particular subdivision within Village Eleven shall not be changed to another subdivision without prior approval of the Director of Planning and Building/Zoning Administrator.
- No other directional signage may be used, including posters, portable signs, vehicle signs, trailer signs or temporary subdivision signs.
- Said signage shall be allowed until the units within the subdivision are sold out, or a period of twenty-four months, whichever comes first. Extensions of twelve (12) months may be approved by the Director of Planning and Building/Zoning Administrator.
- The placement of each sign structure and its copy shall be reviewed and approved

Commercial, Community Purpose and Multi-Family Signs

A Planned Signage Program is required to be approved concurrently with or as a condition of approval of the Site Plan and Design Review for mixed use, community purpose facility and multi-family residential uses. The purpose of the program is to integrate signs with the proposed Village Eleven architectural and landscaping design guidelines. This shall be achieved by requiring signs that:

- Use the same background color.
- Utilize no more than three different colors per sign for lettering.
- Utilize consistent structural support and materials for signs.
- Utilize a landscape setting, logos, color scheme or other methods consistent with the SPA Plan and approved by the Zoning Administrator to convey a unique Village Eleven theme.
- Use the same form of illumination for all signs, or by using varied forms of illumination determined to be compatible by the Zoning Administrator.
- Vary from the above standards if the signage can be determined by the Zoning Administrator to be compatible with the surrounding community character.

The planned signing program must comply with the following criteria. Some reference is made to the Chula Vista Municipal Code. Where there is a conflict, these regulations shall take precedence.

Mixed Use/Commercial

Types and Numbers of Permitted Signs:

- Two ground or monument signs identifying the name of the mixed use center and no more than two anchor tenants. Monument signs for individual businesses are not permitted.
- One wall or marquee sign per street frontage, identifying the mixed use center and each individual tenant, consistent with CVMC Section 19.34.040. Marquee signs are limited to use in conjunction with an entry to a suite of tenants.

- One hanging sign per tenant per street frontage. Hanging signs, utilizing a decorative sign suspended from a structure above a walkway or sidewalk on a decorative horizontal pole or awning. These signs are attractive as an alternative or supplement to wall signs in pedestrian walkways. Where they are used, wall and other types of signage should be reduced an equivalent amount to reduce sign clutter.

General Size and Locations of Signs:

- Sign sizes and locations are regulated pursuant to CVMC Section 19.34.040.
- Ground or monument center identification sign maximum size is 50 square feet per side, and six feet in height. Sign locations are limited to one per street frontage.
- Hanging sign maximum size is 12 square feet per side, but should not interfere with or obstruct pedestrians, vehicle site distance or required landscaping. Hanging signs are to be located near the public entrance.

The Master Precise Plan to be prepared for the Village Core will incorporate more detailed design criteria for the Mixed Use District.

Community Purpose Facility

Types and Numbers of Permitted Signs:

- One ground or monument and one wall or marquee sign per street frontage, consistent with CVMC Section 19.34.040.
- One non-illuminated, freestanding symbol representative of a place of worship or spiritual growth.

General Size and Locations of Signs:

- Size of signs or symbols not to exceed 6 feet in height or 32 square feet. Each sign face may not exceed 32 square feet.
- Locations pursuant to CVMC Section 19.34.040 and limit of one sign per street frontage.

Multi-Family Residential

Types, Numbers, Size and Locations of Permitted Signs:

- Ground or monument signs, wall signs, managers sign and vacancy signs pursuant to CVMC Section 19.28.050 are permitted with the following exceptions:
 - One ground or monument and one wall sign per street frontage is permitted.
 - Ground/monument signs shall be a maximum of 24 square feet of sign face per side and a maximum of 4 feet in height.
 - Separate vacancy signs are not permitted, but must be combined with ground or monument or wall signs.
 - Freestanding signs are not permitted

II.3.9.4 Sign Design Standards

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings, or the type of business, institution or residential use on the site, and to the extent possible, compatibility with adjacent land uses.

Relationship to Buildings

Signs located upon a lot with only one main building housing the use which the sign identifies, shall be designed to be compatible with the predominate visual elements of the building, such as construction materials, color, or other design details. Each sign located upon a lot with more than one main building, such as a mixed use center, community purpose facility, school or multi-family residential developed in accordance with a common plan, shall be designed to be compatible with predominant visual design elements common or similar to all such buildings or the buildings occupied by the “main tenants” or principal uses.

The Director of Planning and Building may condition approval of any sign to require incorporation of such visual elements into the design of the sign where such an element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings.

Landscaping

Each freestanding sign shall be located in a planted landscaped area which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting and ground definition to the sign. The planted landscaped area shall be maintained in a neat, healthy and thriving condition.

Illumination and Motion

Signs shall be non-moving stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing).

Sign Copy

The name of the business, use, service and/or identifying logo shall be the dominant message on the sign. The use of advertising information such as lists of products (more than one product), is prohibited.

Relationship to Streets

Signs shall be designed so as not to obstruct any pedestrian, bicyclist or driver's view of the street right-of-way.

II.3.10 OFF-STREET PARKING REGULATIONS

II.3.10.1 Purpose

All regulations set forth in this section are for the purpose of providing convenient off-street parking spaces for vehicles. The parking requirements of this Section are to be considered as the minimum necessary for such uses permitted by the respective zone.

The intent of these regulations is to provide adequately designed parking areas with sufficient capacity and adequate circulation to minimize traffic congestion and promote public safety. It shall be the responsibility of the developer, owner, or operator of the specific use to provide and maintain adequate off-street parking.

II.3.10.2 General Provisions

- Off-street parking facilities, for both motor vehicles and bicycles, shall be provided for any new building constructed, for any new use established, for any addition or enlargement of an existing building or use, and for any change in the occupancy of an existing building.
- For additions or enlargement of any existing building or use, or any change of occupancy or manner of operation that would increase the number of parking spaces required, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval of a Conditional Use Permit.
- The required parking facilities needed for any development shall be located on the same site, or if an irrevocable access and/or parking easement is obtained, the parking may be on an adjacent site. Property within the ultimate right-of-way of a street or highway shall not be used to provide required parking or loading or unloading facilities.
- The requirements of this ordinance shall apply to temporary as well as permanent uses.
- All required off-street parking spaces shall be designed, located, constructed and maintained so as to be fully usable during workday periods or as needed by the use of the premises.
- Where the application of these schedules results in a fractional space then the fraction shall be rounded to the higher whole number.
- The parking requirement for uses not specifically listed in the matrix shall be determined by reference to CVMC Chapter 19.62, or if not included therein, the approving authority may determine the parking requirement for the proposed use on the basis of requirements for similar uses, and on any traffic engineering and planning data that is appropriate to the establishment of a minimum requirement.

- In situations where a combination of uses are developed on a site, parking shall be provided for each of the uses on the site according to the schedule given in this section.
- A maximum of 25 percent of the parking spaces required on any site may be provided as “compact” spaces for non-residential uses, subject to the approval of the Design Review Committee.
- The design of parking spaces and lots shall comply with the City of Chula Vista’s adopted parking table (PL-30) which establishes stall sizes relative to parking angle and aisle width.

II.3.10.3 Schedule of Off-Street Parking Requirements

The off-street parking requirements for Village Eleven are shown in the following table:

**Table II.3.10-1
Off-Street Parking Requirements**

USE	MINIMUM OFF-STREET PARKING REQUIRED
Parks	
Parks (public or private)	To be evaluated based on proposed facilities and determined by the Director of Planning and Building
Recreational courts (tennis, handball, racquetball and others)	To be evaluated based on proposed facilities and determined by the Director of Planning and Building
Public and Semi-Public Uses	
Day nurseries, daycare schools, nursery schools	1 space/staff member plus 1 space/5 children or 1 space/10 children if adequate drop off facilities are provided and designed to accommodate a continuous flow of passenger vehicles to safely load and unload children. The adequacy of proposed drop off facilities shall be determined by the Director of Planning and Building.
Educational Institutions, Public or Private	
Elementary and middle school	1 space per employee, plus 5 spaces
Senior high school	1 space per 4 students
Colleges and vocational schools	0.5 spaces/faculty member and employee plus 1 space/3 students
Places of public assembly including places of worship.	1 space/3.5 seats within the main auditorium or 1 space/45 square feet of gross floor area within the main auditorium where there are no fixed seats
Public Utilities	To be determined by the Director of Planning and Building

Residential	
SF2	2 garage spaces/unit
SF3	2 garage spaces/unit
RM1	To be determined by Design Review Recommend 2 assigned spaces/unit (1 covered) and minimum 0.33 guest spaces/unit.
RM2	1.0 spaces per studio 1.5 spaces per 1 bedroom unit 2.0 spaces per 2 bedroom unit 2.25 spaces per 3 bedroom unit or larger OR as determined by Design Review Tandem spaces are permitted. Above requirements include 0.33 guest spaces/unit.
Senior, Congregate Care, or Affordable Housing	To be determined by Design Review Tandem spaces are permitted. Parking requirements may be reduced for developments restricted to Affordable and Senior Citizens at the discretion of City Council through a Conditional Use Permit procedure.
Mixed Use	To be determined during Design Review and approval based on specific uses, per Zoning Ordinance standard parking requirements.
Handicapped Parking Requirements	
Handicapped parking for residential uses shall be provided at the rate of one space for each dwelling unit that is designed for occupancy by handicapped.	
Handicapped parking spaces shall be provided for all uses other than residential at the following rate:	
<i>Number of Parking Spaces Provided</i>	<i>Number of Handicapped Spaces Required</i>
1 – 25	1
26 – 50	2
51 – 75	3
76 – 100	4
101 – 150	5
151- 200	6
201 – 300	7
301 – 400	8
401 – 500	9
501 – 1000	2% of total
1001 and over	20 plus 1/100 spaces provided over 1000
Handicapped parking spaces required by this section shall count toward fulfilling automobile parking requirements.	
Bicycle Parking Requirements	
The following matrix contains the minimum bicycle parking requirements. Only those uses identified in the matrix are required to install bicycle parking. Bicycle parking facilities shall be stationary storage racks or devices designed to secure the frame and wheel of the bicycle.	
Mixed Use, Community Purpose Facility and Multi-family Residential	To be determined through Design Review
Motorcycle Off-Street Parking Requirements	
Motorcycle parking shall be provided for all uses except residential at the following rate:	
Uses with 25 to 100 automobile parking spaces	1 motorcycle space
Uses with more than 100 automobile parking spaces	1 motorcycle space for every 100 automobile spaces
Motorized Cart Spaces	
To be determined during Design Review and approval based on specific uses.	

II.3.10.4 Parking Development Standards

The following property development standards shall apply to all parking areas required by the PC District Regulations.

General Requirements

The following are minimum unless otherwise stated:

Parking Space Size

- Residential:
Covered in a garage or carport – 10 feet by 20 feet each space, measured from inside walls.
Uncovered – 9 feet by 19 feet each space.
- Non-Residential:
The size and configuration of parking spaces within parking lots for non-residential uses, including commercial, community purpose facilities, schools and parks shall comply with the City of Chula Vista’s adopted parking table (PL-30) which establishes stall sizes relative to parking angle and aisle width.
- Motorcycle Parking Spaces: 4 feet by 8 feet
- Bicycle Parking Spaces: 2 feet by 6 feet
- Motorized Cart Spaces: 4 feet by 6 feet
- Compact Spaces: 7.5 feet by 17.5 feet (25% of total parking spaces may be compact)

Parking Surfaces

All types of vehicle parking stalls and maneuvering areas shall be paved and permanently maintained with asphalt, concrete or any other all-weather surface approved by the Director of Planning and Building.

Striping and Identification

- Automobile: All parking stalls shall be clearly outlined with double lines on the surface of the parking facility, designed in accordance with the approved parking table design standards (PL-30-2)
- Handicapped: All handicapped spaces shall be striped and marked according to the applicable State standards.
- Motorcycle: All motorcycle spaces shall have bollards installed and appropriately spaced to prevent automobile usage of the motorcycle area. Motorcycle spaces shall be marked so that they can be clearly identified for motorcycle usage.
- Bicycle: All bicycle spaces shall be clearly identified.

- Motorized Carts: All motorized cart spaces shall be clearly identified.

Special Requirements

- Any unused space resulting from the design of the parking area shall be used for landscaping purposes.
- All landscaped parking lot islands shall have a minimum inside dimension of four (4) feet and shall contain a twelve (12) inch wide walk adjacent to the parking stall and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland concrete cement curbing for a total width of seven (7) feet.
- All landscaped areas shall be irrigated automatically and kept in a healthy and thriving condition free from weeds, debris and trash.
- All parking facilities shall adhere to the City of Chula Vista Landscape Manual requirements for landscaping within parking areas.
- All parking facilities shall be graded and drained to provide for the disposal of all surface water on the site.
- In any residential zone, the parking of residents' motorized and non-motorized vehicles shall be in garages, driveways of residences, or designated areas in multi-family projects. Parking is not permitted in front yards.
- Regulations for travel trailers, mobile dwellings, water craft and other recreational vehicles are as follows:
 - Vehicles shall not be parked on any street in one place for more than 72 hours.
 - Vehicles shall not be permanently occupied while parked on public streets or stored in front yard driveways, and must be disconnected from water, sewer and electrical services.
 - Vehicles stored anywhere else on a lot shall comply with applicable provisions of the Municipal Code for use, occupancy and storage.

II.3.10.5 Performance Standards

- All parking facilities required by these PC District Regulations shall be maintained in good operating condition for the duration of the use requiring such facilities. Such facilities shall be used exclusively for the parking of vehicles. Parking facilities shall not be used for the storage of merchandise, or for the storage or repair of vehicles or equipment. Parking facilities shall not be used for the sale of merchandise, except on a temporary basis, pursuant to Section II.3.7 (Temporary Uses) of this document.
- Handicapped, motorcycle, motorized carts and car pool parking areas, when required, shall be located within close proximity to the entrance of the facility.
- All businesses that utilize shopping carts shall provide convenient and safe on-site storage areas for the carts. Designated collection areas for such carts shall be provided.
- Parking lot design shall include sidewalks and stairways as necessary to provide convenient pedestrian access to adjacent uses.

II.3.11 ADMINISTRATION

II.3.11.1 Purpose

The Village Eleven Land Use District Map and the Planned Community District Regulations shall be administered as provided herein.

II.3.11.2 Standard Procedures

The Administrative Procedures, Conditional Uses, and Variances, Chapter 19.14 of the Chula Vista Municipal Code, shall be utilized as applicable to the administration of Otay Ranch Village Eleven SPA. The administration of the SPA Plan shall be as provided for in Section 19.48.090 through Section 19.48.130 (inclusive) of the CVMC, except that the Director of Planning and Building/Zoning Administrator may accept less detail or require additional detail to suit the scope of the Otay Ranch SPA Eleven.

II.3.11.2 Administrative Review

Purpose

Certain uses may vary greatly in its effect depending on the scope, location, or exact circumstances. In order to avoid the permitting of these uses without any formal review, and to relieve the Planning Commission and City Council of formally reviewing uses which have insignificant or compatible effects, an Administrative Review is established.

Application

Administrative Review is applicable to uses identified on the Permitted Use tables herein with the symbol "A". Land uses not listed in the matrices, included herein, may be considered at the discretion of the Director of Planning and Building.

Procedures

The procedures shall be as specified in Section 19.14.030, Zoning Administration - Actions authorized without Public Hearing. Additionally, the Director of Planning and Building/Zoning Administrator may determine after reviewing the scope, location, or exact circumstances of the proposed use that the formal hearing process of the Conditional Use Permit procedure is warranted. If the Director of Planning and Building/Zoning Administrator makes the determination that a Conditional Use Permit is warranted, then the applicant shall be required to comply with the Conditional Use Permit procedures as specified in Section 19.14.060 through 19.14.110 (inclusive) in the Chula Vista Municipal Code.

II.3.11.4 Site Plan and Architectural Approval**Purpose**

The purpose of Site Plan and Architectural Approval, through the City Design Review Process, is to review proposed projects to determine compliance with the provisions of these regulations and the Village Eleven Design Plan, to establish comprehensive site development regulations which are not specified herein, to address the Planned Signed Program requirement and to promote orderly and harmonious development with good design character. In addition, Site Plan Review in single-family detached and attached residential districts shall address the design and development standards for future improvements such as accessory structures (attached and detached), open structures, room additions and private usable open space.

Application

This approval process is applicable to projects within all Village Eleven districts which include small-lot single family detached units (lots of less than 5,000 square feet), attached single-family and multi-family units, and all non-residential projects. The Tentative Map may be used to satisfy the Site Plan Review requirement for small-lot single family lots which exceed 4,500 square feet within the SF3 and SF4 Districts, at the discretion of the Director of Planning and Building/Zoning Administrator.

Procedures

The procedures shall be as specified in Sections 19.14.420 through 19.1.4.480 inclusive of the Chula Vista Municipal Code.

For those neighborhoods requiring Site Plan and Architectural Review, said site plan shall establish a process for providing future site improvements, such as accessory structures, open structures, room additions, usable open space, and recreational amenities.

II.3.11.5 Conditional Use Permit

Purpose

Certain uses which may have special site or design requirements, operating characteristics or the potential for adverse effects on surrounding areas, have been determined to require a Conditional Use Permit to evaluate these circumstances, and require formal review and hearing by the Planning Commission, with imposition of conditions of approval as appropriate to the use.

Application

The Conditional Use Permit requirement is applicable to use identified on the Permitted Use matrices herein with the symbol "C."

Procedures

For all uses requiring a Conditional Use Permit, the applicant shall be required to comply with the Conditional Use Permit procedures as specified in Sections 19.14.070 through 19.14.130 inclusive in the Chula Vista Municipal Code.

II.3.11.6 Other Provisions

In the event that these regulations do not address any particular matter relevant to the proper development and use of property within Village Eleven, the provisions of Title 19 of the Chula Vista Municipal Code shall apply.

Otay Ranch Village Eleven

II.4 Village Design Plan

October 23, 2001

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SECTION II.4 - VILLAGE ELEVEN DESIGN PLAN

TABLE OF CONTENTS

II.4.1 Introduction

- II.4.1.1 Design Plan Document 1-1
- II.4.1.2 Design Context 1-2
- II.4.1.3 Design Theme 1-7

II.4.2 Overall Village Design

- II.4.2.1 Landform 2-1
- II.4.2.2 Monument and Entry Feature 2-21
- II.4.2.3 Streetscapes 2-31
- II.4.2.4 Parks & Private Recreation Facilities 2-48
- II.4.2.5 Pedestrian, Bicycle and Cart Paths 2-61
- II.4.2.6 Street Furnishings 2-64
- II.4.2.7 Lighting 2-66
- II.4.2.8 Walls and Fencing 2-68
- II.4.2.9 Art and Cultural Facilities 2-76
- II.4.2.10 Accessibility 2-76

II.4.3 Village Core Design

- II.4.3.1 Architectural Theme 3-1
- II.4.3.2 Site Planning 3-12
- II.4.3.3 Landscape 3-18
- II.4.3.4 Lighting 3-22
- II.4.3.5 Street Furnishings 3-23
- II.4.3.6 Signage 3-23

II.4.4 Single Family Residential Design

- II.4.4.1 Architectural Themes 4-1
- II.4.4.2 Pedestrian-oriented Design 4-14
 - Façade Elements 4-14
 - Garages and Driveways 4-16
 - Corner Lots 4-21
 - Single Story Elements 4-21
 - Site Planning and Building Plotting 4-24
 - Building Lot Schematics 4-24

LIST OF FIGURES

Introduction

II.4.1.2-1	Vicinity Map	1- 2
II.4.1.2-2	Village Eleven SPA Land Use Plan	1- 6
II.4.1.3-1	Community Images	1-11
II.4.1.3-2	Residential Images	1-13

Overall Village Design

II.4.2.1-1	Slope Analysis	2-2
II.4.2.1-2	Conceptual Grading Plan	2-5
II.4.2.1-3	Contour Grading Techniques	2-8
II.4.2.1-4	Slope Landscape	2-9
II.4.2.1-5	Slope Locations	2-12
II.4.2.1-6	Section A - Olympic Parkway Typical Slope Conditions	2-13
II.4.2.1-7	Section B - Olympic Parkway Typical Slope Conditions	2-14
II.4.2.1-8	Section C - Hunte Parkway Typical Slope Conditions	2-15
II.4.2.1-9	Section D - Hunte Parkway Typical Slope Conditions	2-16
II.4.2.1-10	Section E - EastLake Parkway Typical Slope Conditions	2-17
II.4.2.1-11	Section F - SDG&E/SDCWA Easement Typical Slope Conditions	2-18
II.4.2.1-12	Section G - SDG&E/SDCWA Easement Typical Slope Conditions	2-19
II.4.2.1-13	Section H - Residential Neighborhoods Typical Slope Conditions	2-20
II.4.2.2-1	Monument and Entry Locations	2-21
II.4.2.2-2	Otay Ranch Minor Community Monument	2-24
II.4.2.2-3	Primary Village Monument	2-25
II.4.2.2-4	Secondary Village Monument	2-26
II.4.2.2-5	Primary Village Entry	2-27
II.4.2.2-6	Secondary Village Entry	2-28
II.4.2.2-7	Neighborhood Entry Monument	2-29
II.4.2.2-8	Pedestrian Path Feature	2-30
II.4.2.3-1	Circulation Plan	2-35
II.4.2.3-2	Prime Arterials	2-37
II.4.2.3-3	6-Lane Major Street	2-38
II.4.2.3-4	Village Entry Streets	2-39
II.4.2.3-5	Secondary Village Entry Streets With Medians	2-40
II.4.2.3-6	Residential Promenade Streets	2-41
II.4.2.3-7	Village Core Promenade Streets	2-42
II.4.2.3-8	Village Core Streets	2-43
II.4.2.3-9	Residential Streets	2-44
II.4.2.3-10	Roundabouts	2-45
II.4.2.3-11	Traffic Circles	2-46
II.4.2.3-12	Neckdowns	2-47
II.4.2.4-1	Parks and Trails Plan	2-51
II.4.2.4-2	Town Square (P-4) Concept Plan	2-53
II.4.2.4-3	Pubic Neighborhood Park (P-1) Concept Plan	2-55

II.4.4.2-13	50 x 100 Lot – Mid Recessed 3 Car Tandem Garage Concept.....	4-32
II.4.4.2-14	50 x 100 Lot – Deep Recessed 3 Car Tandem Garage Concept.....	4-33
II.4.4.2-15	50 x 100 Lot – 2 Side Entry, 1 Front Entry Garage Concept.....	4-34
II.4.4.2-16	50 x 100 Lot – 1 Side Entry, 2 Front Entry Garage Concept.....	4-35
II.4.4.2-17	50 x 90 Lot – Deep Recessed Garage Concept.....	4-37
II.4.4.2-18	50 x 90 Lot – Shallow Recessed 3 Car Tandem Garage Concept.....	4-38
II.4.4.2-19	50 x 90 Lot – 1 Side Entry, 2 Front Entry Garage Concept.....	4-39
II.4.4.2-20	45 x 100 Lot – Deep Recessed Garage Concept.....	4-41
II.4.4.2-21	45 x 100 Lot – Shallow Recessed Garage Concept.....	4-42
II.4.4.2-22	45 x 90 Lot – Deep Recessed Garage Concept.....	4-44
II.4.4.2-23	45 x 90 Lot – Shallow Recessed Garage Concept.....	4-45
II.4.4.2-24	40 x 90 Lot – Two Pack Layout Zero Lot Line Configuration Concept.....	4-47
II.4.4.2-25	40 x 90 Lot – Zero Lot Line Configuration Concept.....	4-48
II.4.4.2-26	40 x 85 Lot – Two Pack Layout Z Configuration Concept.....	4-50
II.4.4.2-27	40 x 85 Lot – Zero Lot Line Configuration Concept.....	4-51

Multi-Family Residential Design

II.4.5.1-1	Inspiration Imagery – Courtyard and Small Lot.....	5-2
II.4.5.1-2	Inspiration Imagery – Medium to Medium High Density.....	5-3
II.4.5.1-3	Inspiration Imagery – Medium High to High Density.....	5-4
II.4.5.2-1	Pedestrian –oriented Design Elements.....	5-7
II.4.5.2-2	Garage Design Options.....	5-9
II.4.5.2-3	40 x 70 Small Lot Alley Entry 2-Car Garage Concept.....	5-12
II.4.5.2-4	40 x 70 Small Lot Front Entry 2-Car Garage Concept.....	5-13
II.4.5.2-5	50 x 55 Small Lot Front Entry 2-Car Garage Concept.....	5-14
II.4.5.2-6	Small Lot Alley Loaded Courtyard Cluster Concept.....	5-15
II.4.5.2-7	12.5 - 15 du/ac 2-Story Courtyard Townhomes Concept.....	5-17
II.4.5.2-8	12.5 - 15 du/ac 2-Story Common Green Townhomes Concept.....	5-18
II.4.5.2-9	15 - 18 du/ac 2 and 3-Story Townhomes with Carriage Units or Flats Concept.....	5-20
II.4.5.2-10	15 - 18 du/ac 2 and 3 Story Townhomes and Flats Concept.....	5-21
II.4.5.2-11	18 du/ac 2 and 3 Story Townhomes and Flats Concept.....	5-23
II.4.5.2-12	25 du/ac 2 and 3 Story Stacked Flats Concept.....	5-24

*What idle or significant sentence will we write with brick and stone,
wood, steel, and concrete upon the sensitive page of the earth?*

- Irving Gill

II.4.1 Introduction

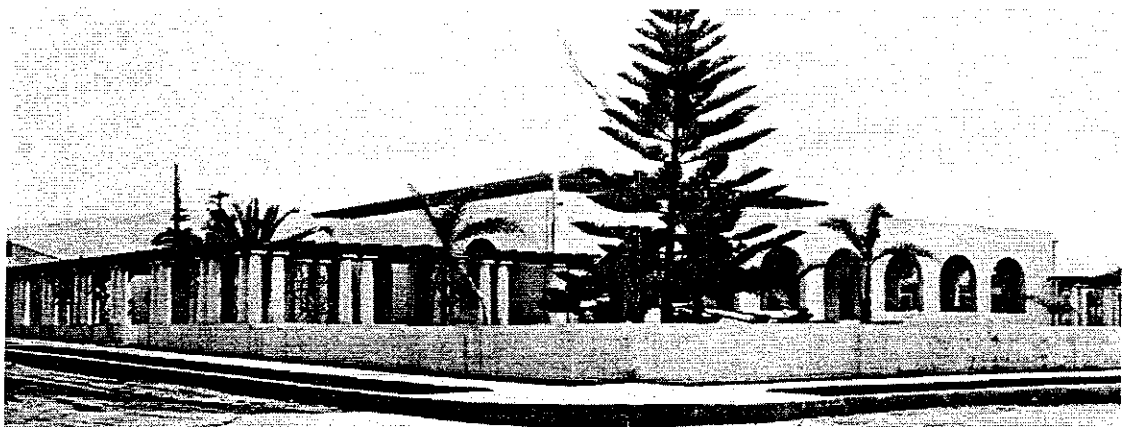
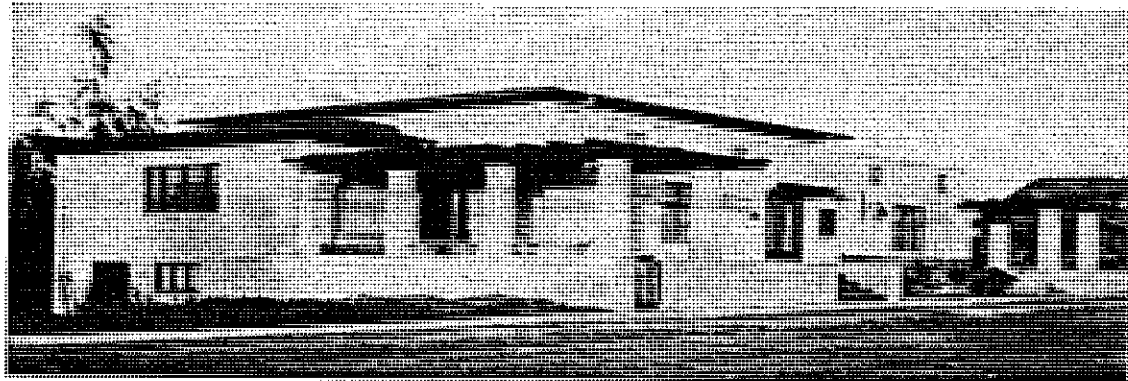
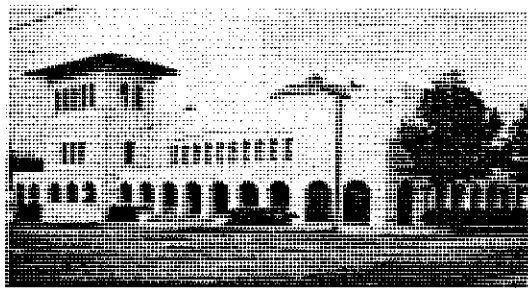
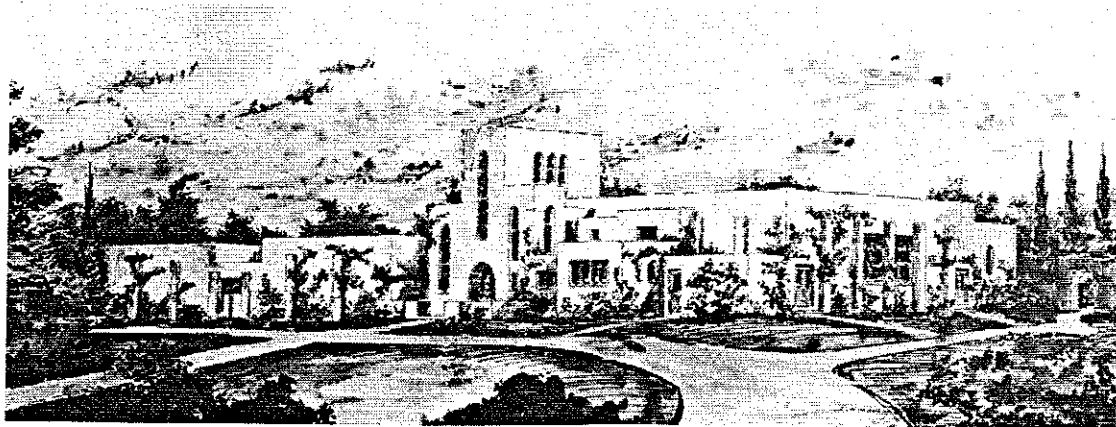
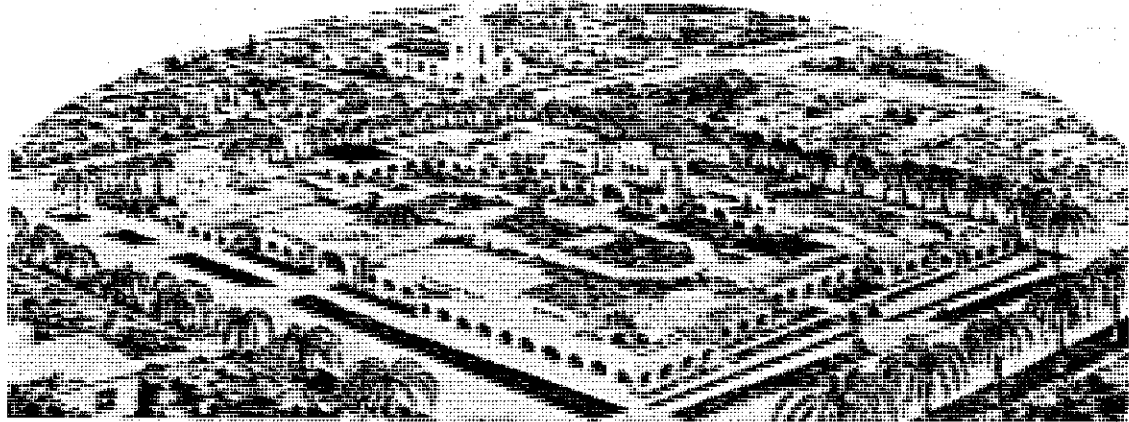


Photo Credit. San Diego Museum of History

Figure II.4.1.3-1
Community Images

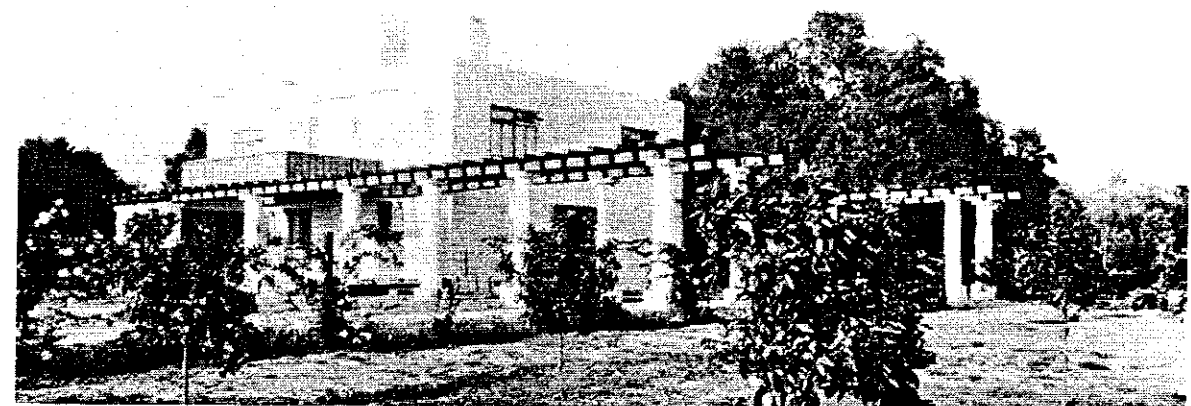
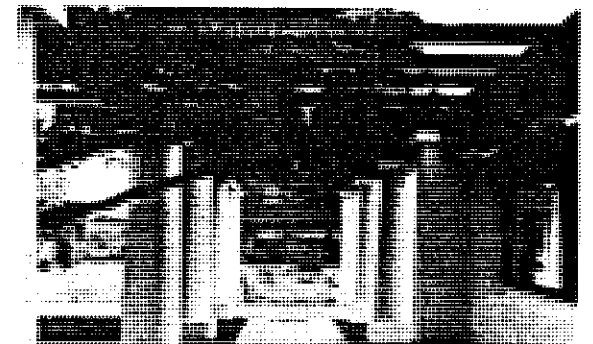
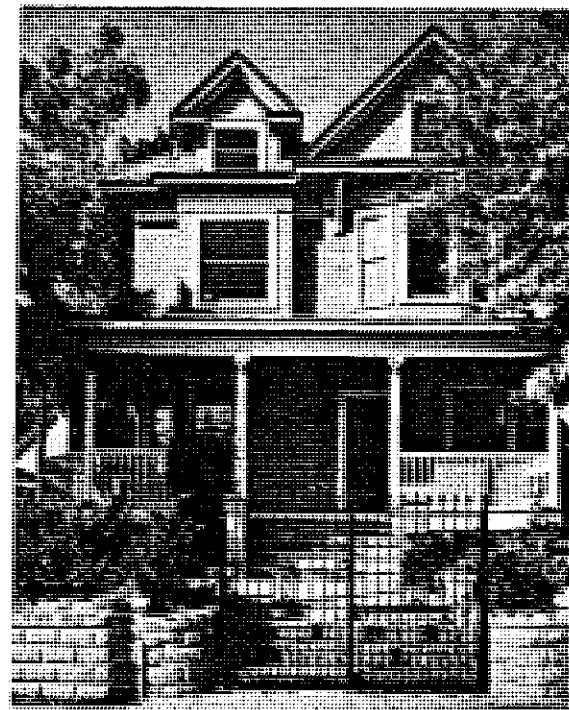
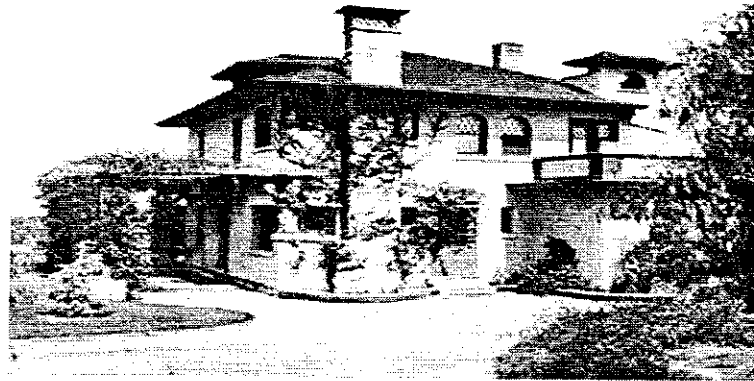


Photo Credit: San Diego Museum of History

Figure II.4.1.3-2
Residential Images

II.4.1 INTRODUCTION

II.4.1.1 Design Plan Document

The Otay Ranch General Development Plan (GDP) requires that a Village Design Plan be prepared for each village at the Sectional Planning Area (SPA) level of planning. The Village Design Plan guides planning and development by defining the intended character and design elements of the village. It provides guidance for developers and designers in creating the village and it will be used by the City of Chula Vista to evaluate the village design.

The guiding framework plan is the Otay Ranch GDP Overall Design Plan. The Overall Design Plan provides general design guidelines appropriate to the pedestrian and transit-oriented village concepts envisioned for the community. Village Design Plans for Villages One and Five also serve as a model for the Village Eleven Design Plan. Actual implementation of Villages One and Five has led to testing of the guidelines and further design refinements that are incorporated into this document. A companion document to the Village Eleven Design Plan is the Village Eleven Planned Community (PC) District Regulations. The PC District Regulations establish land use development standards and appropriate regulations (zoning) for all construction within the Village Eleven project area. A Village Eleven Core Master Precise Plan will also be prepared to provide additional design direction within the Village Core.

The Village Eleven Design Plan guides the design of sites, buildings and landscapes within the village to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The design plan identifies a theme for Village Eleven and delineates that identity through streetscape and landscape design, signage programs, and architectural and lighting guidelines. The design plan also identifies the village core design concepts that will implement Otay Ranch's planned pedestrian orientation.

This introductory section of the Village Design Plan provides a description of the Village Eleven setting, an overview of the Otay Ranch GDP/Village Eleven SPA land use plan, and the design theme inspired by the unique characteristics of the village. Following sections describe the overall village design features and specific guidelines for the Village Core and land uses within the core, single family and multi-family residential design. A separate section provides landscape design guidelines and provides plant palettes for specific areas within the village. The final section describes the regulatory process for design review. A description of the Village Eleven design compliance with the Otay Ranch GDP is provided in the Appendix.

II.4.1.2 Design Context

Village Eleven consists of 489-acres located at the eastern edge of the Otay Valley Parcel of Otay Ranch. The location of the Village Eleven SPA within the overall Otay Ranch development is depicted in the vicinity map, Figure II.4.1.2-1. The Otay Ranch GDP and Village Eleven SPA provide the overall design framework for the village. The primary features that have influenced the design of Village Eleven are site topography, a San Diego Gas and Electric/San Diego County Water Authority (SDG&E/SDCWA) easement that bisects the site from north to south, surrounding land uses, and accommodation of the required land uses within the village.

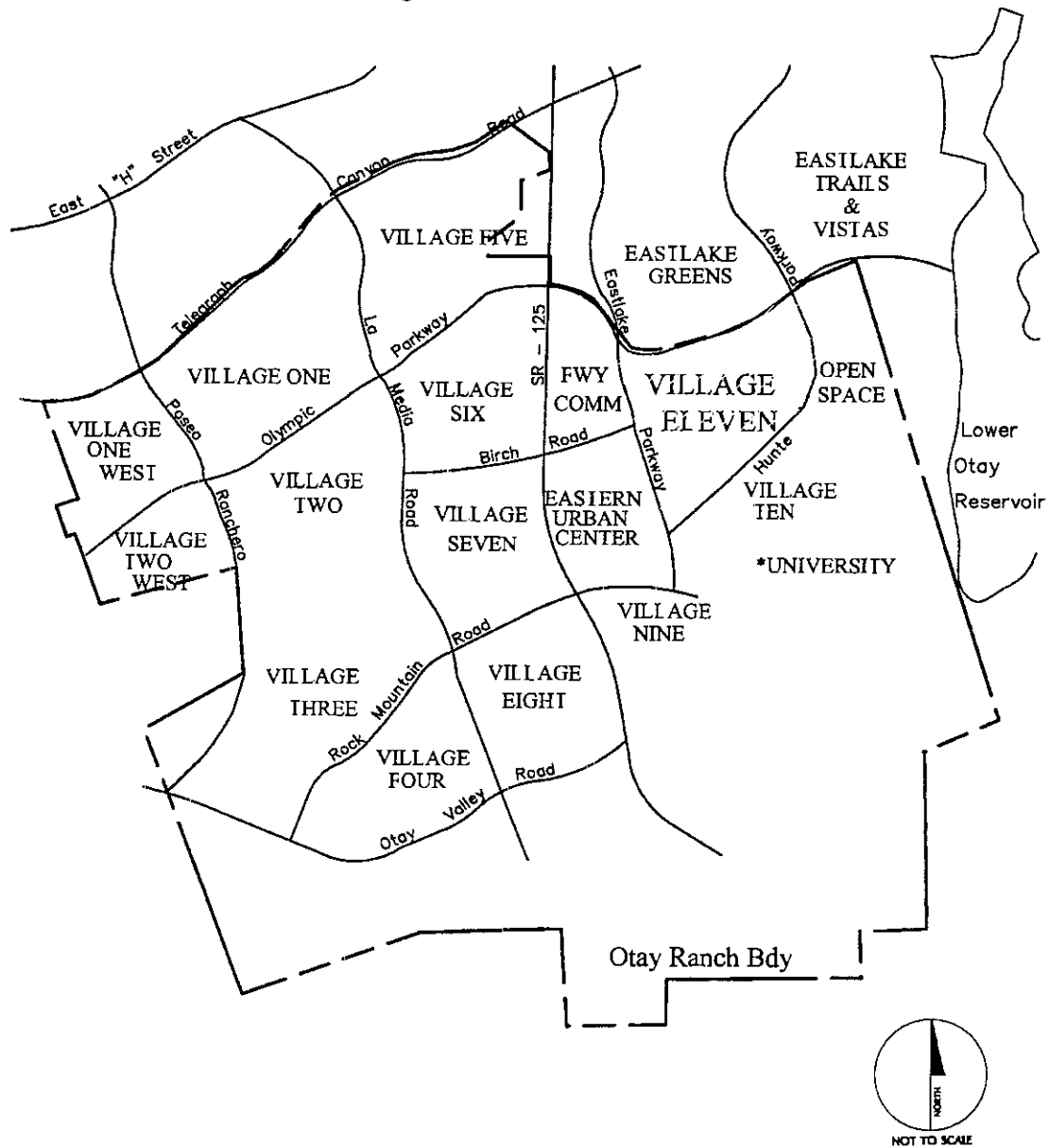


Figure II.4.1.-1
Vicinity Map

Topography

The project site topography consists of gently rounded knolls in the highest elevations in the northwest and a series of ridges and canyons decreasing in elevation to the south and east. The grading design of Village Eleven is directed by the topography and also by the design of surrounding major streets, the SDG&E/SDCWA easement and site drainage considerations. These factors present a design challenge to meet two fundamental objectives:

- To minimize landform alteration and balance cut and fill.
- To minimize steep gradients to accommodate a pedestrian-oriented village.

To meet these objectives, the grading design for Village Eleven utilizes the flattest areas of the project site to accommodate large-area land uses including the village core, a junior high school and multi-family development sites. The steeper areas of the project site are designed in smaller, descending terraces, which can accommodate residential neighborhoods, create a sense of openness and provide walkable gradients on streets and paseos. A more detailed description of the site topography and grading design, including slope analysis and grading plans, is presented in Section II.4.2.1, Landform.

SDG&E/SDCWA Easement

A dominant feature of the Village Eleven site is a 240-foot wide SDG&E/SDCWA easement area that bisects the site from northwest to southeast. The area accommodates numerous electric, gas and water utilities, which for the most part may not be relocated or modified. These elements within the easement severely limit the grading and circulation design of the village. Section II.4.2.1 describes how the village grading has been designed around the easement constraints.

Surrounding Land Uses

A major consideration in determining the design of Village Eleven is compatibility with the surrounding land uses. Village Eleven is unique within Otay Ranch because the surrounding land uses are so varied. The most intensive development of Otay Ranch occurs immediately to the west in Planning Area 12, which includes Freeway Commercial (FC) and Eastern Urban Center (EUC) land use designations. These developments will include regional commercial and high-density residential development, as well as a rail transit line. In order to be compatible with these uses and to provide close access to the rail transit, the high-intensity village core and junior high school have been located in the western portion of the village.

In contrast to the land uses to the west of Village Eleven, Salt Creek, a significant component of the regional habitat preserve, is located to the east of the village. Directives of the preserve require separation and buffering to minimize lights, noise, urban runoff, and people from intruding into sensitive preserve areas. The design of Village Eleven locates the most compatible land use, single family residential, in the eastern portion of the village. Hunte Parkway and widened landscaped parkways provide a buffer between the village and the preserve.

To the northeast of Village Eleven is the existing single family residential neighborhood of EastLake Greens and future multi-family residential is proposed to the northwest. The design of Village Eleven locates similar, compatible residential uses along the northern portion of the site.

Future phases of the Otay Ranch community, in particular a university site, are planned for the adjacent property to the south. Secondary land uses for this area are Villages Nine and Ten. Compatible uses, including the junior high school, single and multi-family residential neighborhoods, have been located in the southern portion of Village Eleven.

Village Eleven Land Uses

The design of Village Eleven will adhere to the goals of the Otay Ranch GDP to create a distinct, pedestrian-oriented residential community surrounding a village core. The community will be created by attracting village residents to the core for social, public service, shopping, recreation and public transit opportunities. Land uses that make up the village core include mixed-use/commercial, a community purpose facility, an elementary school, a town square, neighborhood and private recreation facilities and multi-family residential developments.

A variety of residential neighborhoods will surround the village core with densities decreasing in developments farther from the core. Multi-family residential will be located near the core and in the western portion of the village. The area east of the SDG&E/SDCWA will consist of single family residential neighborhoods. A private recreation facility is located in the eastern area to serve the area and to provide a focal point for that portion of the village. A junior high school will be located in the southwest corner of the village. This location directs outside vehicular access to the school to minimize potential traffic, noise and lighting impacts on Village Eleven neighborhoods.

Circulation

Olympic Parkway, Birch Road and Rock Mountain Road will provide primary vehicular access to Village Eleven from the west. Each of these streets connects to future interchanges with SR-125 to the west. The primary north-south access will be provided by Eastlake Parkway. Secondary access to Village Eleven is provided from Hunte Parkway.

The circulation plan for Village Eleven provides entry street access from the surrounding major streets, located approximately 1200 feet apart, to allow for signalized intersections where required. Three primary entry streets lead directly to the village core. Secondary entries transition to internal village circulation streets. The internal circulation concept is to provide adequate access throughout the village, encourage access to the village core, provide alternate routes through the village to disperse traffic, and avoid “through” routes that increase traffic speeds. Traffic calming features, such as traffic circles and curb extensions may also be located in the circulation system at appropriate locations. All streets within Village Eleven are proposed for a maximum travel speed of 25 miles per hour. This reduced speed will allow bicycles and motorized carts to travel on village streets without designated travel lanes.

Pedestrian circulation in and around the village is provided within a hierarchy of trails. Regional Trails are located on the north side of Olympic Parkway and along Hunte Parkway. The Regional Trail located on the east side of Hunte Parkway adjacent to Salt Creek is within the Chula Vista Greenbelt, a city-wide open space system. The Regional Trail continues south and west along Hunte Parkway and becomes a component of the “Village Greenway,” a Regional Trail system linking villages and open spaces within Otay Ranch. Pedestrian bridges are an amenity of the trails system and are proposed to link Village Eleven with the EUC and the university. The sidewalks located within the parkways of all the surrounding major streets connect Village Eleven to the surrounding community. The “Village Pathway” is comprised of a paseo and sidewalks which provide a connection between the university site and the EUC through the Village Core. A second paseo is located within the east area of the village to provide an off-street path from neighborhoods to a centrally located recreation facility. The village streets are designed with sidewalks separated from the street by parkways and other features to enhance the pedestrian environment. Trails within the SDG&E/SDCWA easement may be allowed to provide additional community access through the village and village trails are proposed to cross the easement.

The surrounding land uses, village land use plan and circulation are illustrated in Figure II.4 1.2-2, the Village Eleven SPA Land Use Plan.

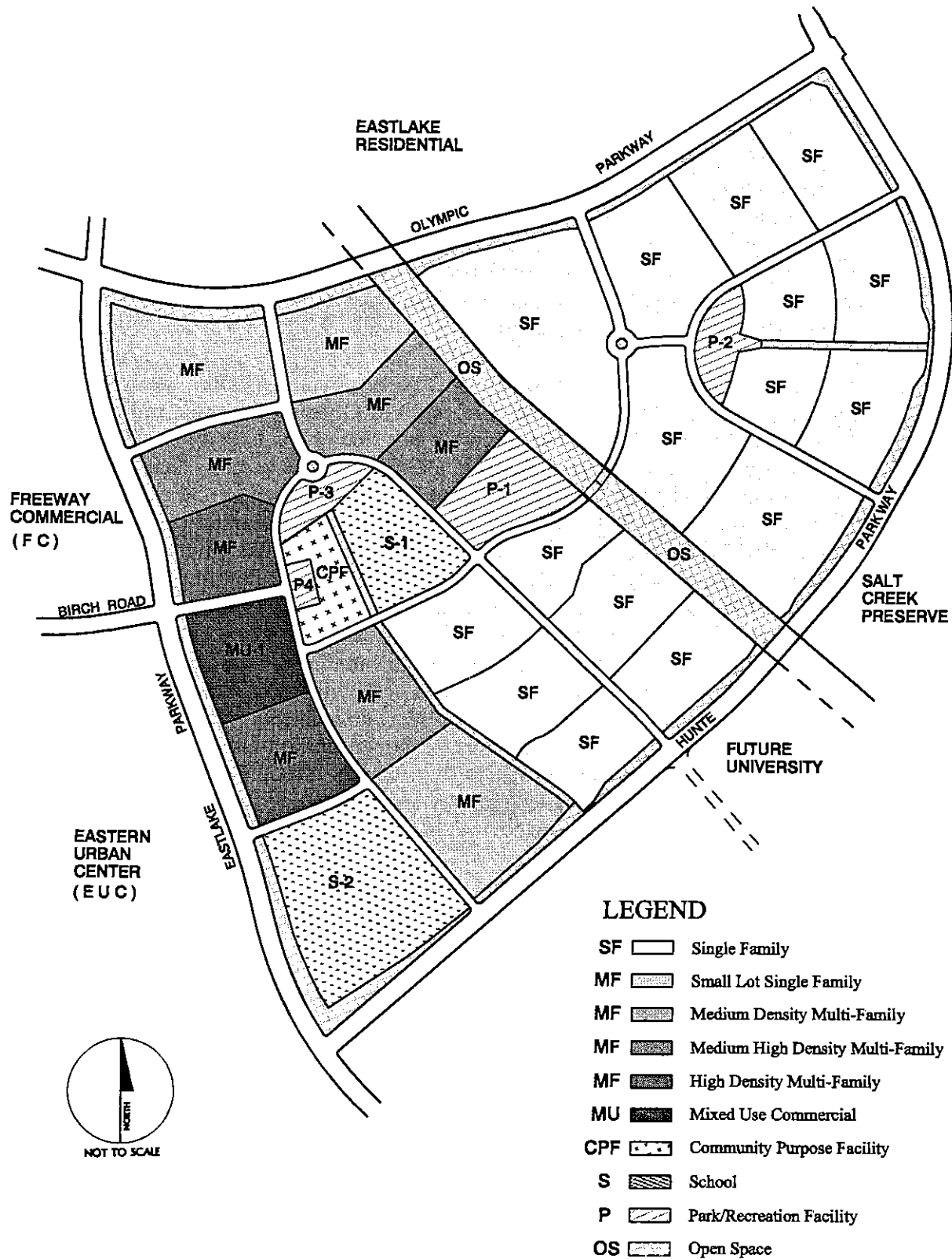


Figure II.4.1.2-2
Village Eleven SPA Land Use Plan

II.4.1.3 Design Theme

The previous description of the Village Eleven design context describes its unique location within Otay Ranch, physical setting, and land use plan. Those aspects of the site must be merged with design concepts to create a unique, pedestrian-oriented village within the larger Otay Ranch Community. A fundamental approach to creating the village is to consistently use a specific design theme that implements the elements of the Otay Ranch GDP Overall Design Plan. The common design theme unifies the village when it is applied to site planning, landscape, architecture, monuments and signage, walls and fencing, street furnishings and lighting. It is important to note that housing in Village Eleven will be in the mid-range of affordability and the accompanying amenities may not be extravagant. Affordability is an element that has been considered in selecting a village design theme.

Otay Ranch Design Theme

The Otay Ranch design theme references the scenic features of the area, including the Otay River Valley and distant mountains, and the historic ranch land use. The references to scenic features are maintained in Village Eleven through grading and site planning that optimizes views and land use compatibility with the surrounding natural areas. It is further maintained through a landscape concept plan that incorporates native trees, such as sycamores and oaks. The historic ranch references are also maintained through the landscape concept by inclusion of California pepper trees, which are symbolic of the missionary and Spanish rancho eras.

Historic ranch architecture responded to Southern California's Mediterranean climate and available building materials, through the use of simple forms, thick adobe walls and tile roofs. These elements of historic architecture are so suitable to this environment that they are still dominant today. An historic ranch architectural connection will be made in Village Eleven, not by direct reference to ranch architecture, but through the architecture and design concepts of noted San Diego architect, Irving Gill. Gill drew inspiration from early California architecture to create architecture that is unique to San Diego and the region. More detailed descriptions of Gill architectural concepts are provided in further discussion of the Village Design themes.

A specific design element, an Otay Ranch community monument, will be located at the intersection of Hunte and Olympic Parkways to identify the eastern entry into Otay Ranch. Elements of the Otay Ranch community monument will be repeated in other locations of Village Eleven as a unifying design element.

Pedestrian-Oriented Design

Pedestrian-oriented design is the foundation of the Otay Ranch GDP village concept. The village concept combines residential neighborhoods with neighborhood-serving land uses, such as shops and offices, community purpose facilities, schools, parks and public transit. The goal of this concept is to reduce dependency on the automobile by providing for the daily needs of villagers in close proximity to their homes. A walkable environment is key to the concept.

The grading, land use and circulation plans of Village Eleven have been designed to promote pedestrian-oriented design. This Village Design Plan provides additional descriptions and guidelines for site planning, landscape and architecture that promote the pedestrian-oriented concepts. In the following sections, descriptions are provided of pedestrian-oriented design elements along village streets, in the village core and residential neighborhoods.

Village Design Theme

A village design theme is necessary to unify the design elements and enhance the village concept. In researching a design theme, older neighborhoods in San Diego were studied to identify the elements that make them pedestrian-oriented. A notable aspect of older neighborhoods is the mix of architectural styles that were popular in the early part of this century. Also notable, is a unique San Diego style that emerged in that era. It referenced California Mission and Spanish Colonial architecture in simple, elegant architecture. One of the great San Diego architects who developed this unique style was Irving Gill. Because Gill's design concepts are still very applicable to our climate and architectural needs, they serve as the inspiration for the design theme of Village Eleven.

Originally a landscape architect, Gill embraced the San Diego climate and promoted architecture that created outdoor rooms. Gill's site planning of civic and institutional buildings created plazas and courtyards that he connected with shaded walkways. This site planning approach is the inspiration for the design of the Village Eleven Core. The intent is to interconnect the village core uses with defined outdoor rooms and walkways and promote the pedestrian orientation of the village.

Irving Gill's architectural concepts are appropriate to Otay Ranch and Village Eleven. Gill referenced elements of early California architecture, including simple forms, thick walls with smooth, white plaster finishes, arches, colonnades and red barrel tile roofs. However, he used those elements within an appropriate context, adapting them to modern building materials and techniques. Gill's architecture maintains an elegant simplicity appropriate to the public buildings and spaces within the village. The Irving Gill style is intended to be the inspiration for the mixed-use/commercial, community purpose facility, school, park and neighborhood recreation center architecture in the village. Adaptations of Irving Gill architecture may adhere to traditional stylistic elements, such as a wood frame

windows and tile roofs, or they may stress the more contemporary aspects of strong geometric forms, plain stucco walls and flat roofs. Gill was also a proponent of affordability. His architecture demonstrates that enduring aesthetics can be achieved within a range of economic levels.

Irving Gill's use of pergolas and arcades provide inspiration for Village monuments and entry features. The forms and materials are compatible with the Otay Ranch theme elements. They also are adaptable to the design of street furnishings such as benches and lighting. These thematically designed elements will provide continuity and unification throughout the village.

The Irving Gill design reference will continue into the architectural design of residential neighborhoods. Since Gill also designed in many popular architectural styles of the period, a variety of San Diego styles including Craftsman, Prairie, Monterey and Spanish Colonial Revival, are encouraged to be used as inspiration for residential architecture.

The unique style of Irving Gill is illustrated in Figures II.4.1.3-1 and 2. The illustrations and photographs demonstrate Gill's skill in site planning and in creating timeless architecture.

II.4.2 OVERALL VILLAGE DESIGN

II.4.2.1 Landform

Topography and Existing Conditions

The property topography consists of gently rounded knolls in the highest elevations in the northwest and a series of ridges and canyons decreasing in elevation to the south and east. This varied topography is depicted in the Slope Analysis, Figure II.4.2.1-1. The overall elevation change from +677 to +440 feet (a differential of 237 feet) from the northwest to the south and southeast presents a challenge to designing the grading. In addition to the natural topography of the site, the SDG&E/SDCWA easement and surrounding street design contain fixed gradients that must be maintained with the village grading design.

The 240-foot wide SDG&E/SDCWA easement bisects the site from northwest to southeast. The area accommodates 230kv and 69kv power lines, 36-inch 800psi and 4-inch 400 psi gas mains, and 66 and 72-inch water mains. Virtually all of the utilities within the easement are fixed and relocation is not practicable to accommodate development of Village Eleven. For this reason, all village grading ends at the easement edge, except for the locations of the four road crossings, Olympic Parkway, Hunte Parkway and two interior village road crossings. The two road crossing sites are the only feasible locations as they cross at elevations that allow appropriate clearance over the underground lines and under the overhead utilities.

The surrounding road circulation system has been designed in conjunction with surrounding development. The grading plan for the village must meet a series of fixed perimeter elevations. These predetermined elevation points are the terminus of Hunte Parkway at Olympic Parkway and the SDG&E/SDCWA easement intersections with Olympic and Hunte Parkways. The alignment and gradients of EastLake Parkway have been designed jointly with the Freeway Commercial/Eastern Urban Center developer to accommodate compatible development elevations on the east and west of the Parkway. Essentially, only the two segments of Hunte Parkway between the major intersections and the easement have some gradient design flexibility. These street segments have been designed to conform to the natural topography, accommodate grading and drainage for the village and reduce the amount of manufactured slope facing towards the Salt Creek preserve area.

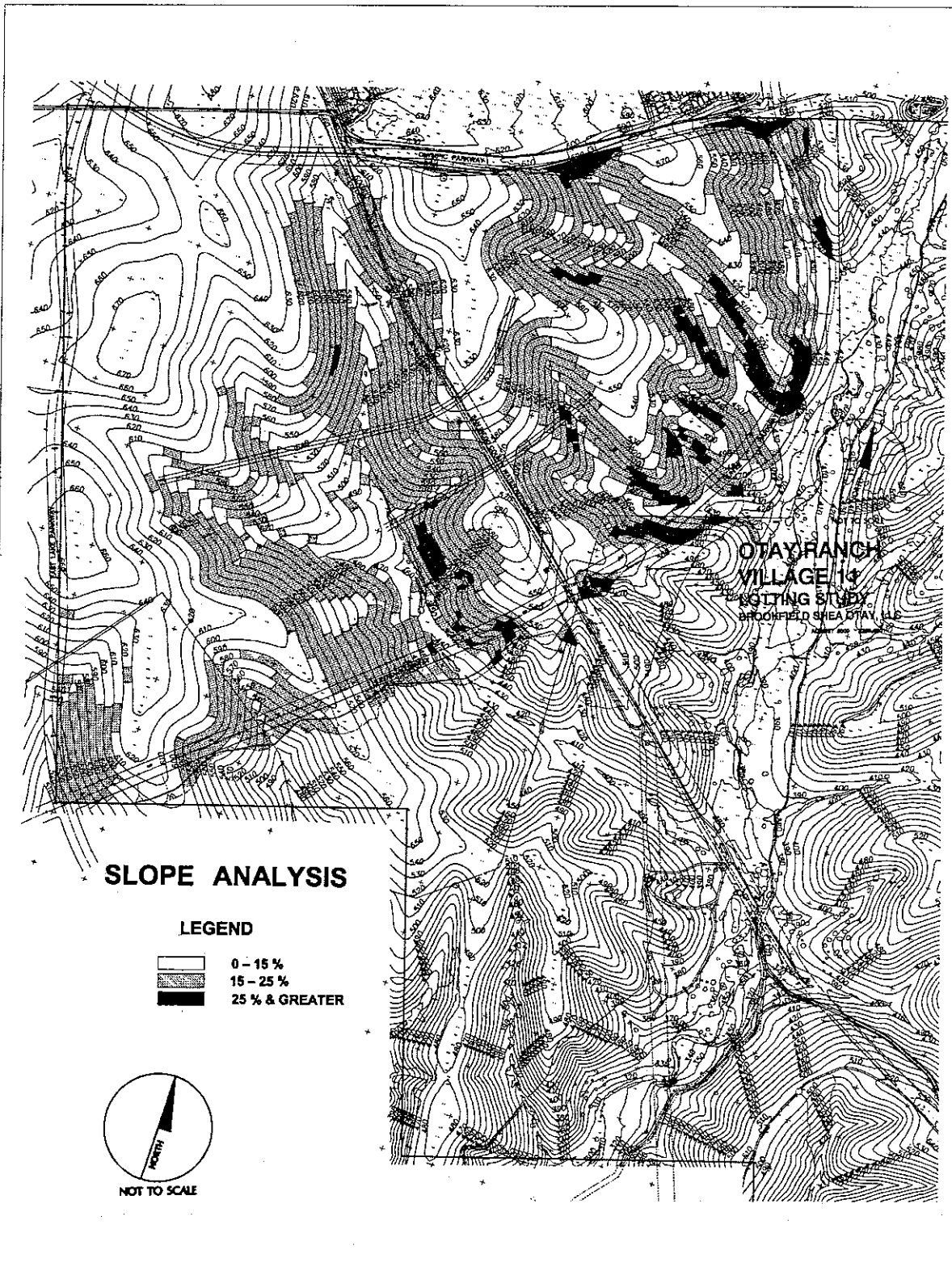


Figure II.4.2.1-1
Slope Analysis

Grading Concept

In designing the grading of Village Eleven, the natural topography and fixed elevations must be merged with grading specific to the village. The grading design solution for Village Eleven incorporates the fixed elevations described above, and re-forms the natural topography to meet a balanced cut and fill with development pads suitable to the varied land uses within the village. In order to create a pedestrian-oriented village, streets and paseos have been designed at an 8.3% maximum gradient to the extent possible.

The grading design solution utilizes the existing flattest areas of the property to accommodate large-area land uses including the village core, a junior high school and multi-family development sites. The additional grade needed to create the large development areas is taken up in the remainder of the property. These steeper areas of the property are designed in smaller, descending terraces that can accommodate residential neighborhoods. The grading design of Village Eleven determined that terraced neighborhoods with slope heights averaging from 5 to 15 feet between residences would create a sense of openness and comfortable walking gradients on streets and paseos. In some areas, greater grade changes averaging between 15 and 25 feet and up to a maximum of 32 feet are necessary, but these have the advantage of providing both public and private views over rooftops to distant open spaces and mountains. Where high slopes are necessary, they have been located to use the vertical separation as a buffer between land uses or streets. Figure II 4.2.1-2 illustrates the grading design of Village Eleven.

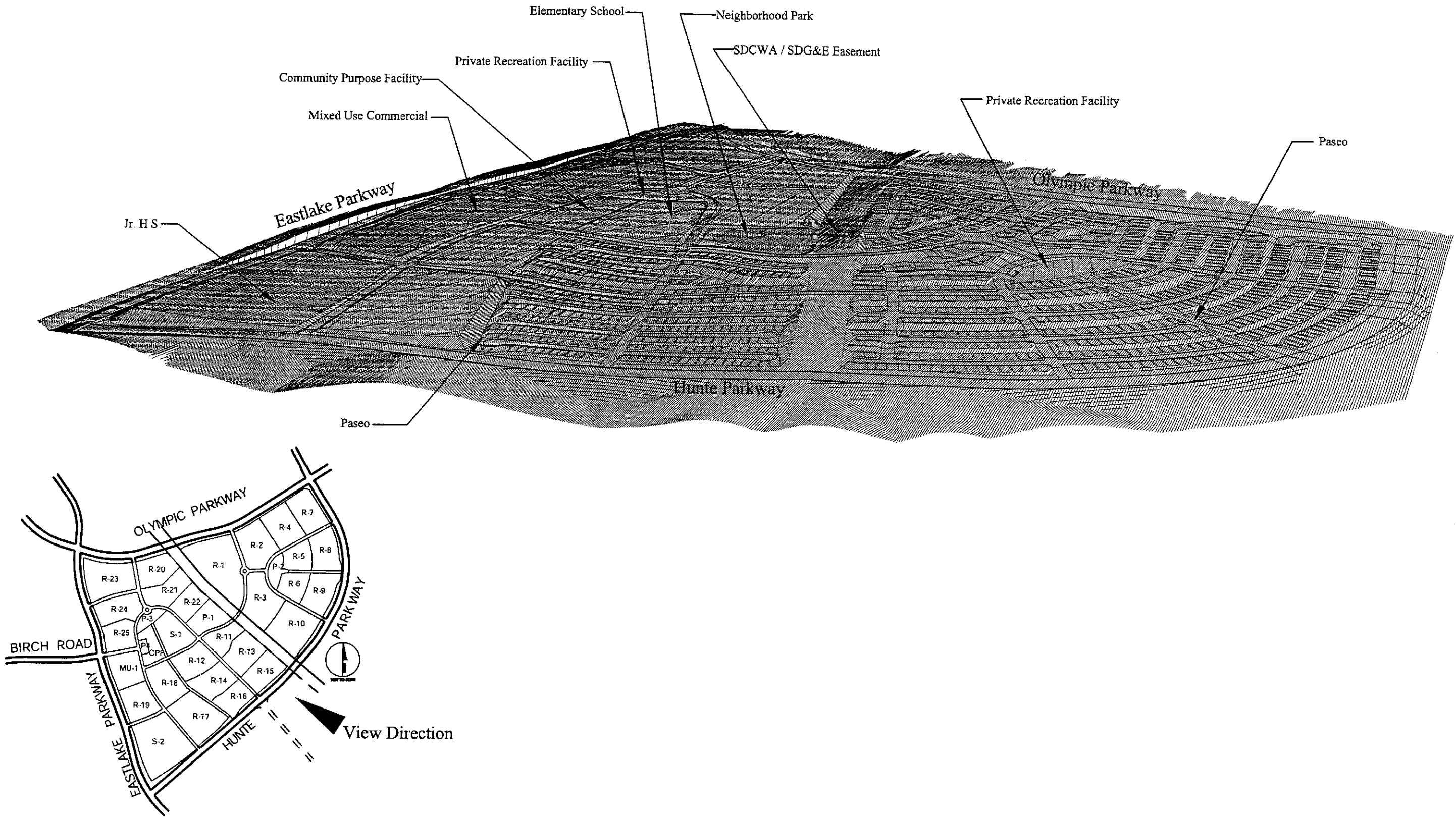


Figure II.4.2.1-2
Conceptual Grading Plan

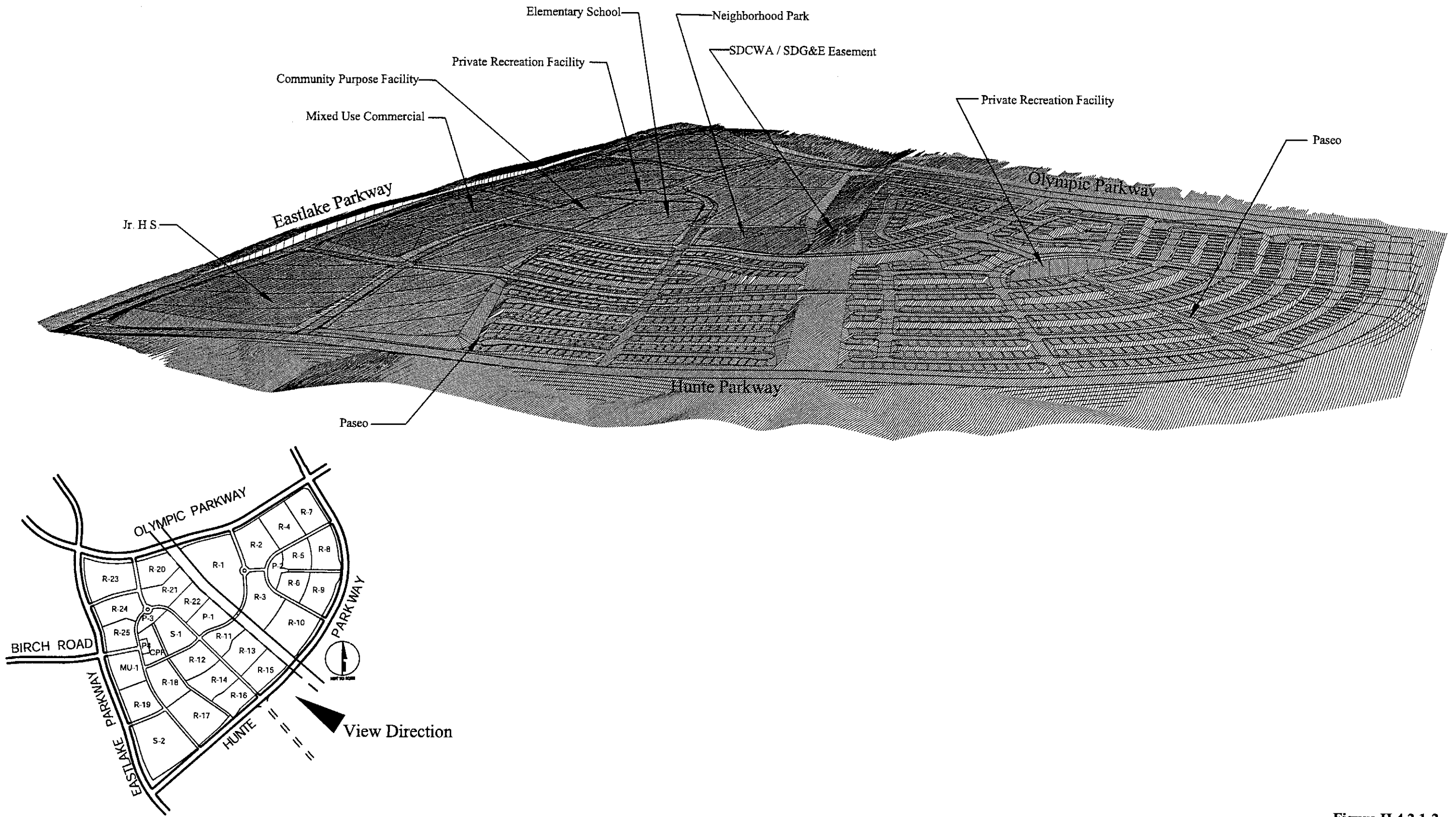


Figure II.4.2.1-2
Conceptual Grading Plan

Slope Design

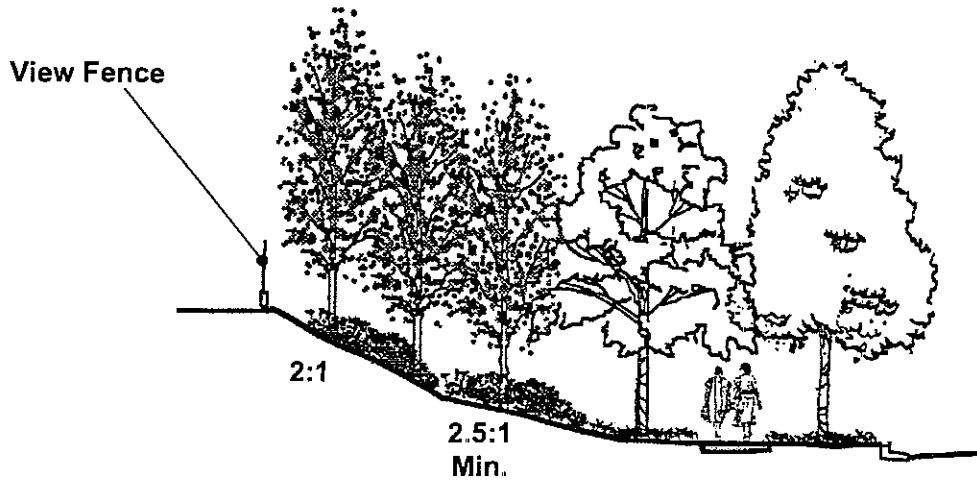
The grading plan for Village Eleven strives to minimize large and steep manufactured slopes. The Village Eleven design proposes to utilize landform grading techniques and landscaping to minimize the manufactured appearance of slopes. Guidelines to be used for grading and slope design are:

- Create elevation changes within the property that strive for a balance of cut and fill grading.
- Use grade changes to optimize views and a sense of spaciousness.
- Use grade changes between differing land uses where separation and buffering is desired.
- Avoid, wherever possible, creating slopes over 25 feet in height to minimize a sense of enclosure, particularly in residential rear yards.
- Use contour grading techniques, where appropriate, on slopes over 25 feet in height.
- Use varied-height trees, shrubs and groundcovers to undulate the surface of the slope.
- Minimize surface runoff and erosion potential by planting low water consumptive and drought tolerant plants.
- Use state-of the art erosion control, irrigation and water management practices to protect slopes.

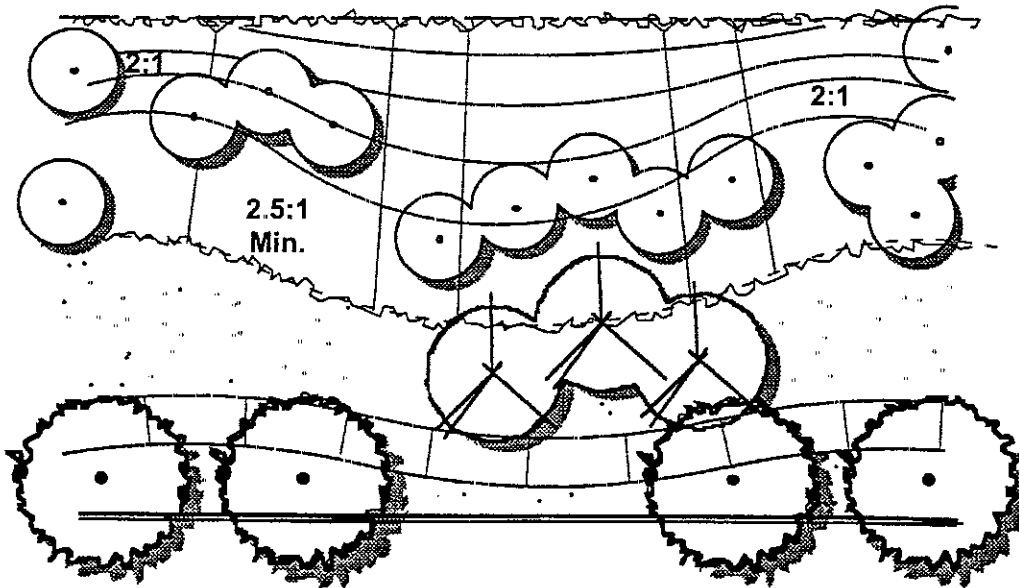
Landform grading will consist of varied or contoured slopes. Both vertical and horizontal undulation will be integrated in the design. Trails and benching, where required, will also contribute to variation in the slope plane. Figure II.4.2.1-3 illustrates both variable and contour grading concepts.

The primary treatment for creating aesthetically pleasing slopes within the village is through landscaping. Manufactured slopes will be planted with varied size trees, shrubs and groundcovers to create undulation on the slope face. Varied tree heights obscure the top of slopes and create skyline interest. Section II.4.6, Landscape, describes slope landscaping and provides appropriate plant palettes. Figure II.4.2.1-4 demonstrates that well-designed landscape can alleviate the appearance of a non-contoured 2:1 slope.

The Village Eleven Preliminary Landscape Master Plan, developed prior to the approval of any Final Map, will provide more detailed information on contour grading and landscape treatment of slopes.



SECTION
EXAMPLE OF VARIABLE GRADED SLOPE



PLAN VIEW
EXAMPLE OF CONTOUR GRADED SLOPE

Figure II.4.2.1-3
Contour Grading Techniques

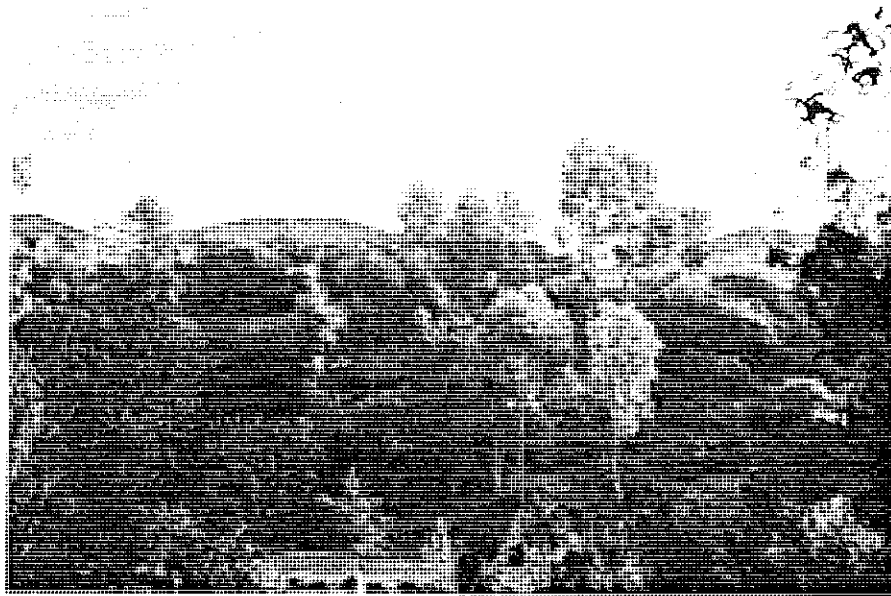


Figure II.4.2.1-4
Slope Landscape

Typical Slopes

The following are descriptions of typical slope conditions in Village Eleven. Figure II.4.2.1-5 illustrates the locations of various height slopes in the grading plan. Cross sections referenced on the plan are illustrated in Figures II.4.2.1-6 through 13.

Olympic Parkway

Along Olympic Parkway, the development areas in Village Eleven are slightly above grade in the western portion of the site, at grade through the center and below grade in the eastern area. Figure II.4.2.1-6 illustrates the grade differential of approximately five feet that occurs in the western area of Olympic Parkway. Slopes in this area will be contoured to create a naturalistic appearance. Figure II.4.2.1-7 illustrates slopes in the eastern area. These are designed as 2:1 slopes averaging 20 feet in height. Slopes are incorporated into the 75-foot (average) buffer located between the street and the village development. The area adjacent to the roadway will be relatively flat to accommodate a meandering sidewalk separated from the roadway. Views from Olympic towards the village will be primarily of the landscaped parkway with a perimeter wall and residential rooftops in the background. From within the village, the residences will block views of the slopes.

Hunte Parkway

In the eastern portion of the village, the development areas are at grade or a maximum of eight feet above the grade of Hunte Parkway. On the east side of Hunte Parkway, larger slopes occur between the roadway and the preserve boundary of Salt Creek. These slopes are proposed to be graded at a 2:1 ratio, without contour grading to avoid encroachment into the sensitive habitats of Salt Creek. These slopes will be planted with native plants in a design that blends with the natural setting and minimizes their manufactured appearance. A level area will be maintained at the edge of the roadway to accommodate a decomposed granite trail. Planting along the roadway and trail will be native-compatible. Figure II.4.2.1-8 illustrates the slope and parkway design.

In the western area of the village at the junior high school and adjacent residential sites, the development is above Hunte Parkway. Slopes in this area are the most visible from public view. These slopes will be contour graded and planted to soften their manufactured appearance. The slopes on the south side of Hunte Parkway along the future university site are temporary. These slopes will be hydroseeded for erosion control. Figure II.4.2.1-9 illustrates the slope and parkway design.

EastLake Parkway

The slopes ranging from 25 to 50 feet in height in the southern portion of EastLake Parkway near the junior high school will be contour graded and landscaped similarly to those on Hunte Parkway. Slopes to the north vary above and below the grades of EastLake Parkway, with an average slope height of six feet. The slopes that are visible from Eastlake Parkway will be contoured to create a naturalistic appearance. Figure II.4.2.1-10 illustrates a typical slope condition along EastLake Parkway.

SDG&E/SDCWA Easement

The grading plan for Village Eleven maintains all grading outside of the SDG&E/SDCWA Easement. The topography of the easement requires some adjacent slopes to be over 25 feet in height. These high slopes help create a buffer between village land uses and the utilitarian aspects of the easement. These slopes are designed at a ratio of 2:1. The manufactured appearance of the slopes will be alleviated by benches for trails that traverse the slopes and by landscaping. Dense landscaping with groves of trees will be located on the slopes to minimize views of the power lines and towers. Figures II.4.2.1-11 and 12 illustrate slope conditions adjacent to the easement.

Residential Slopes

The slopes between residential building pads range in height from five to 25 feet. In a few areas slopes also rise to 30 feet. The typical two-story residential height is 24 feet, which blocks views of the slopes. Slopes between building pad terraces will be graded at a ratio of 2:1, with appropriate flat areas and drainages integrated at the tops and toes of slopes. All residential slopes will be planted for erosion control, screening and privacy. Tree planting on the slopes will be designed to optimize and frame views. Figure II.4.2.1-13 illustrates a typical slope condition.

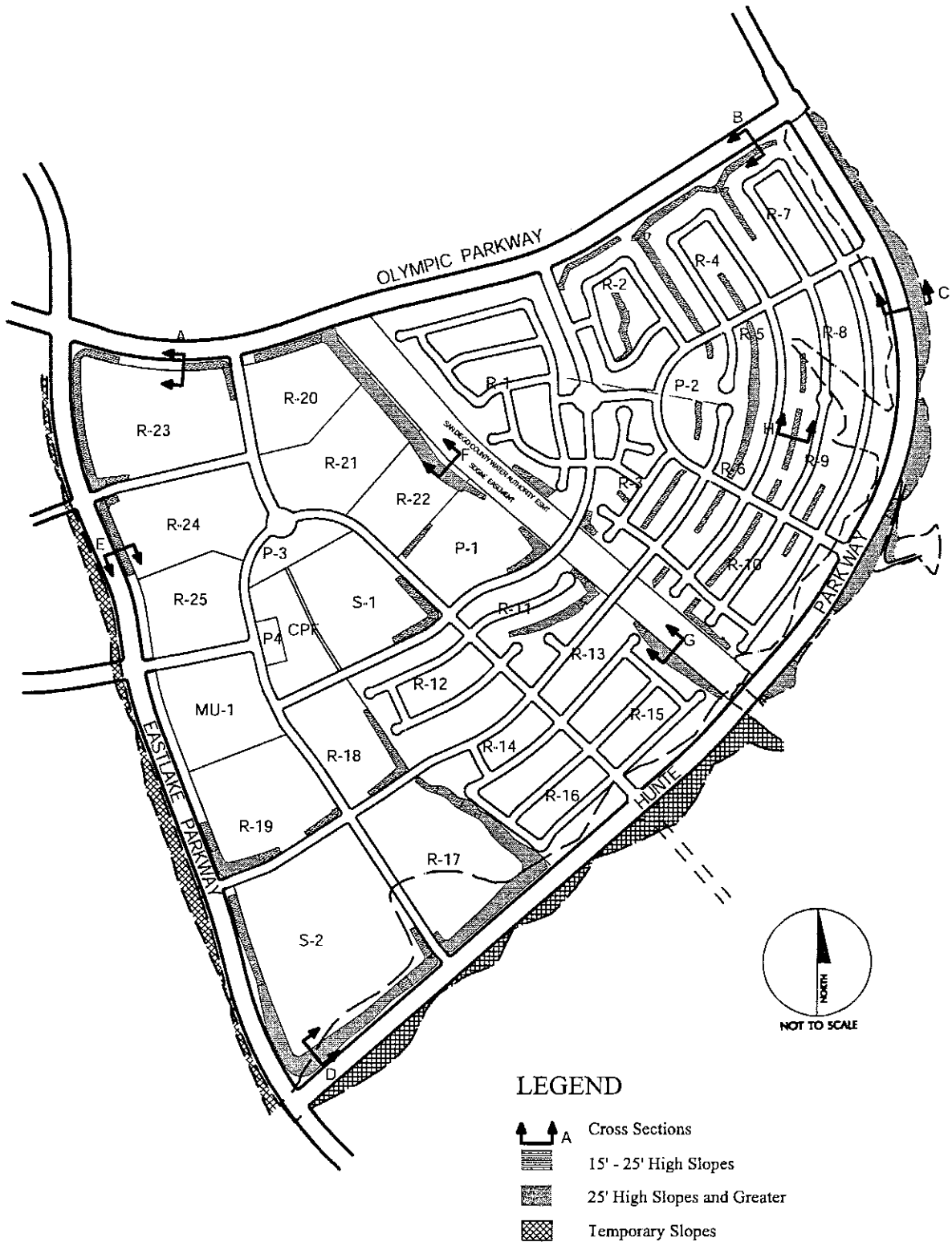
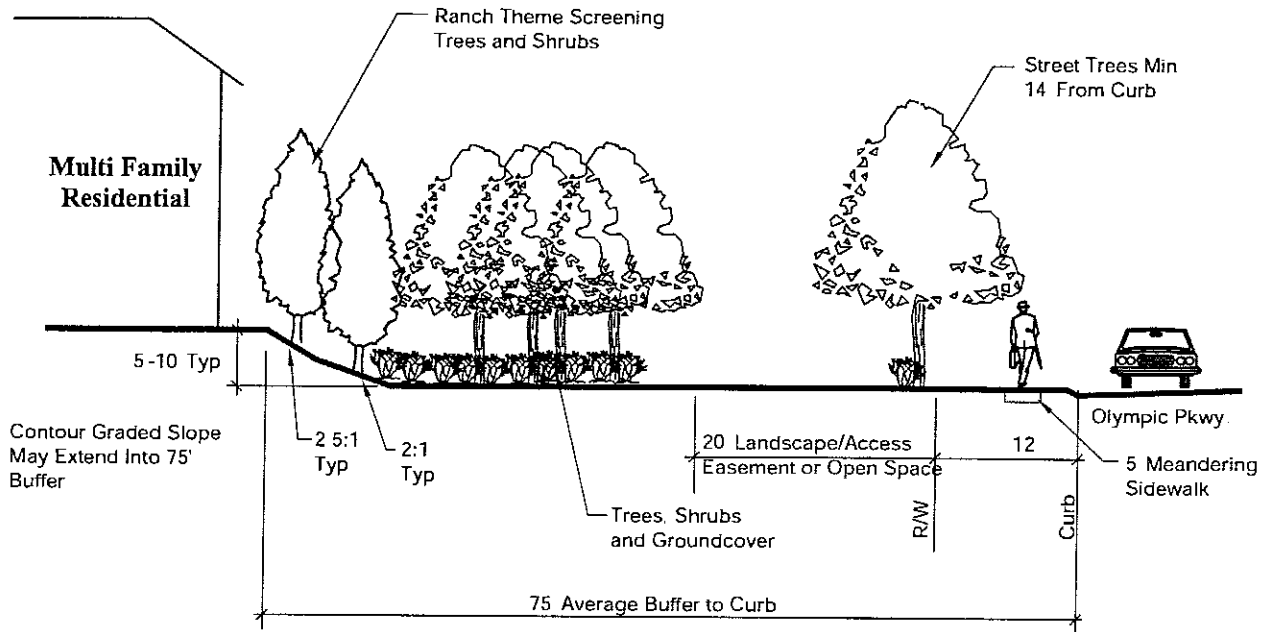


Figure II.4.2.1-5
Manufactured Slope Locations



SECTION "A"

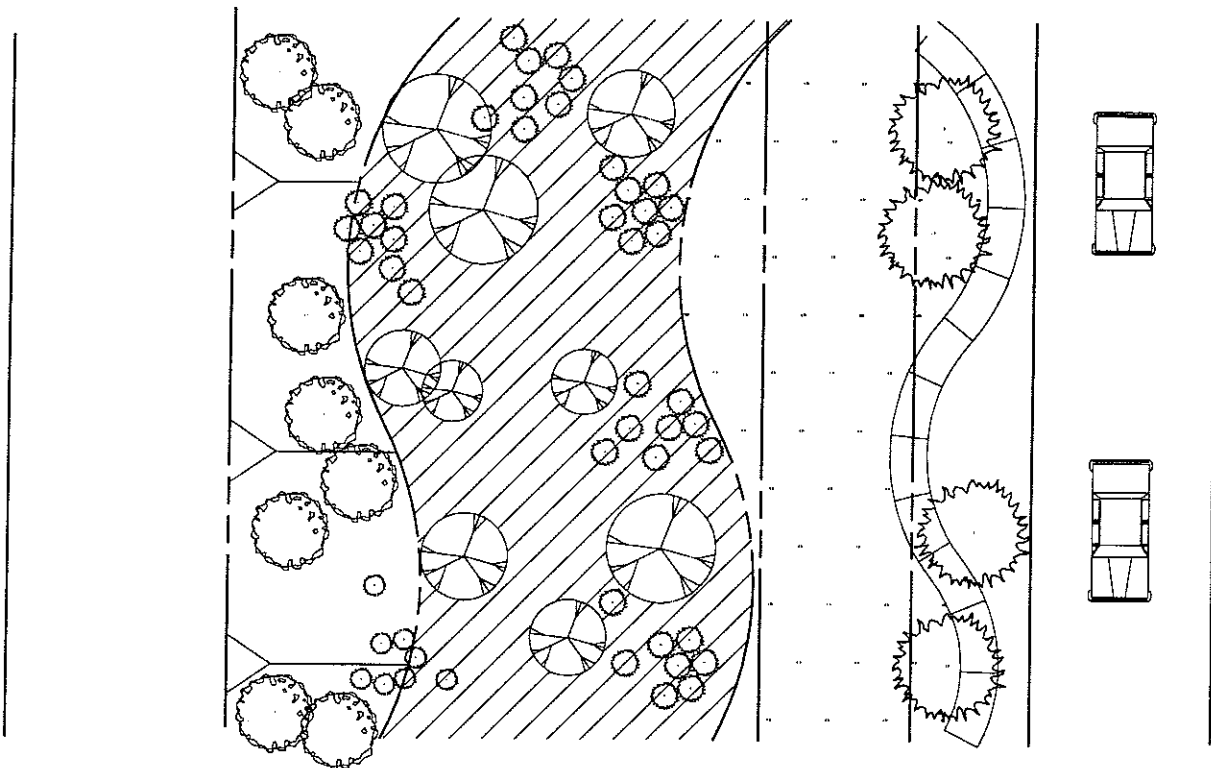
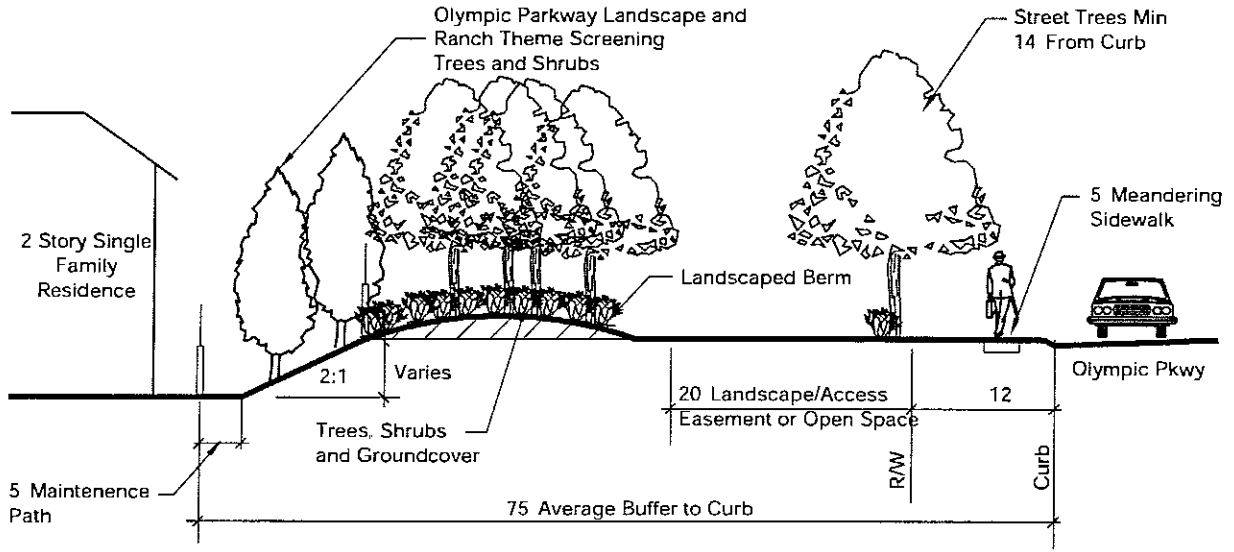
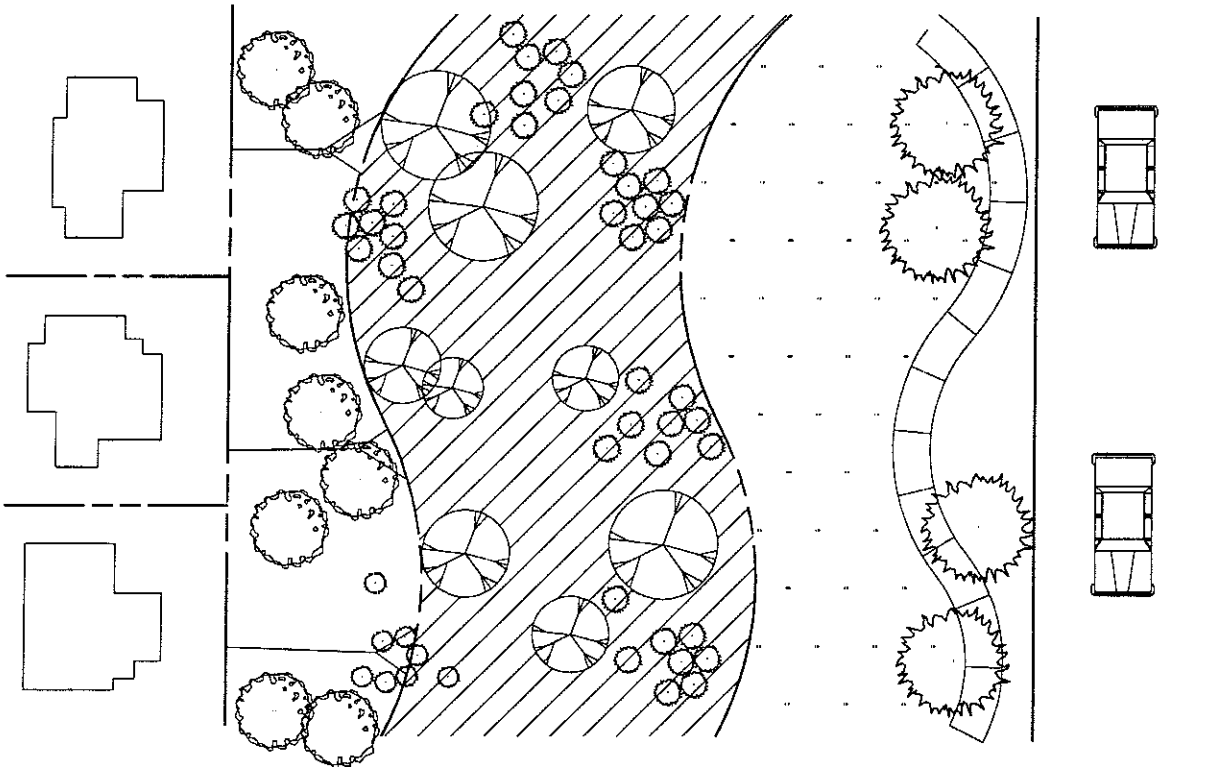


Figure II.4.2.1-6
Section A and Plan View
Olympic Parkway - Typical Slope Condition

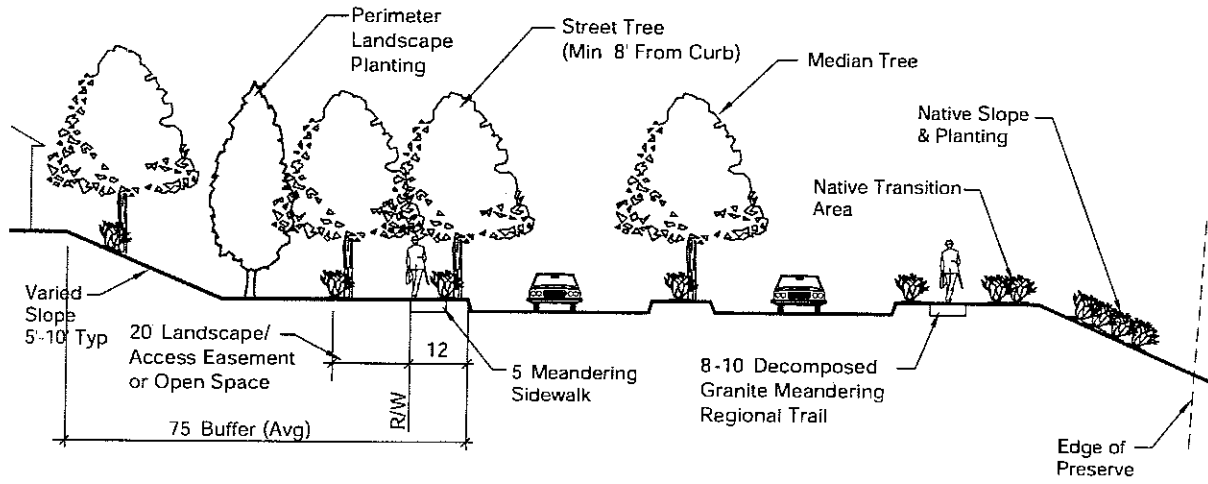


SECTION "B"



PLAN VIEW

Figure H.4.2.1-7
 Section B and Plan View
 Olympic Parkway - Typical Slope Condition



SECTION "C"

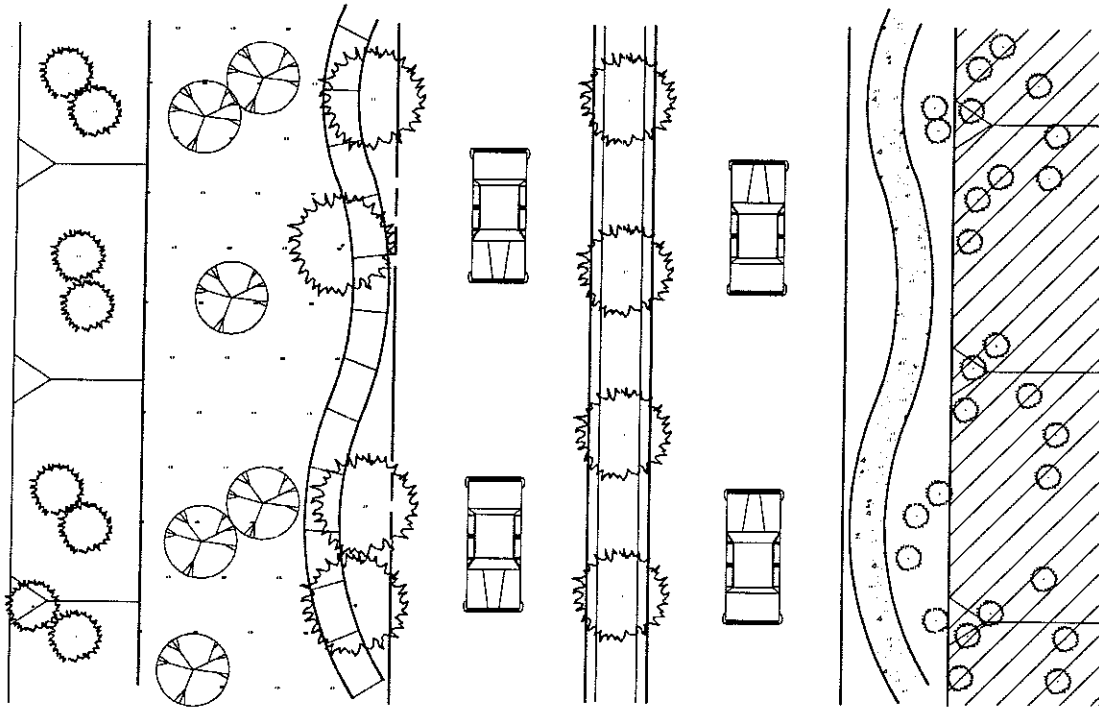


Figure II.4.2.1-8
Section C and Plan View
Hunte Parkway - Typical Slope Condition

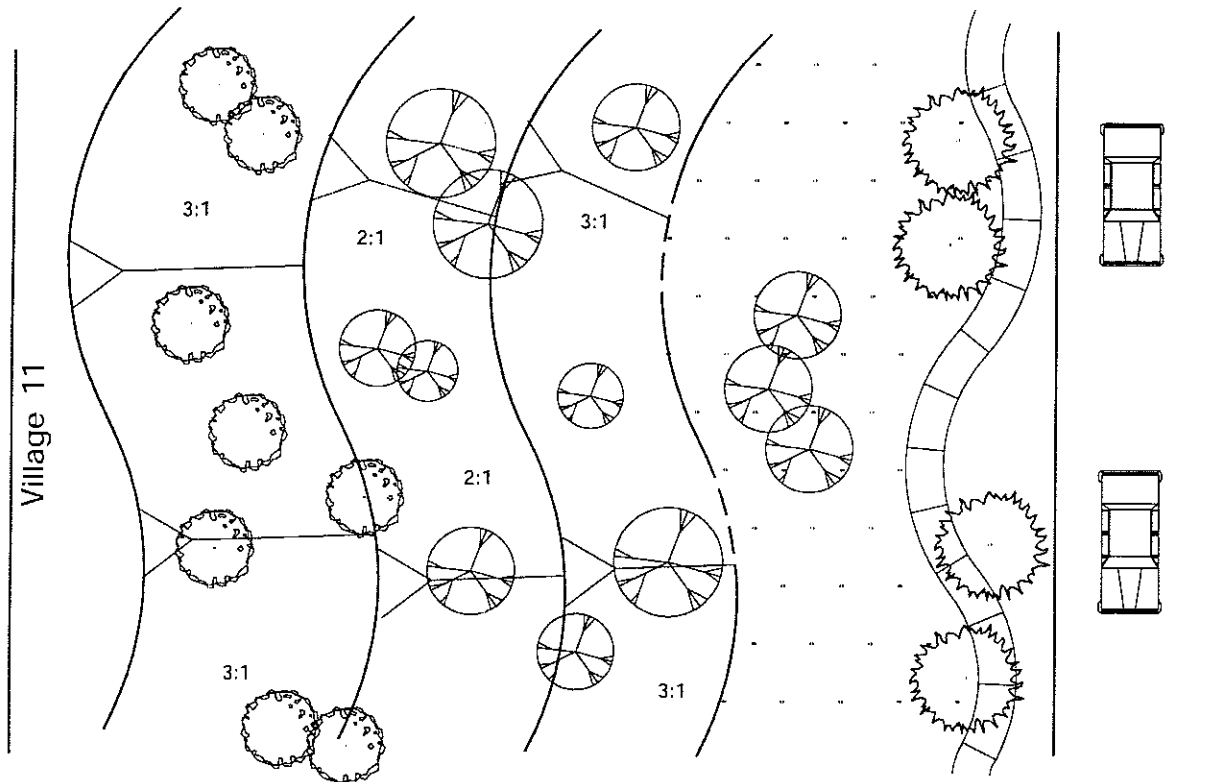
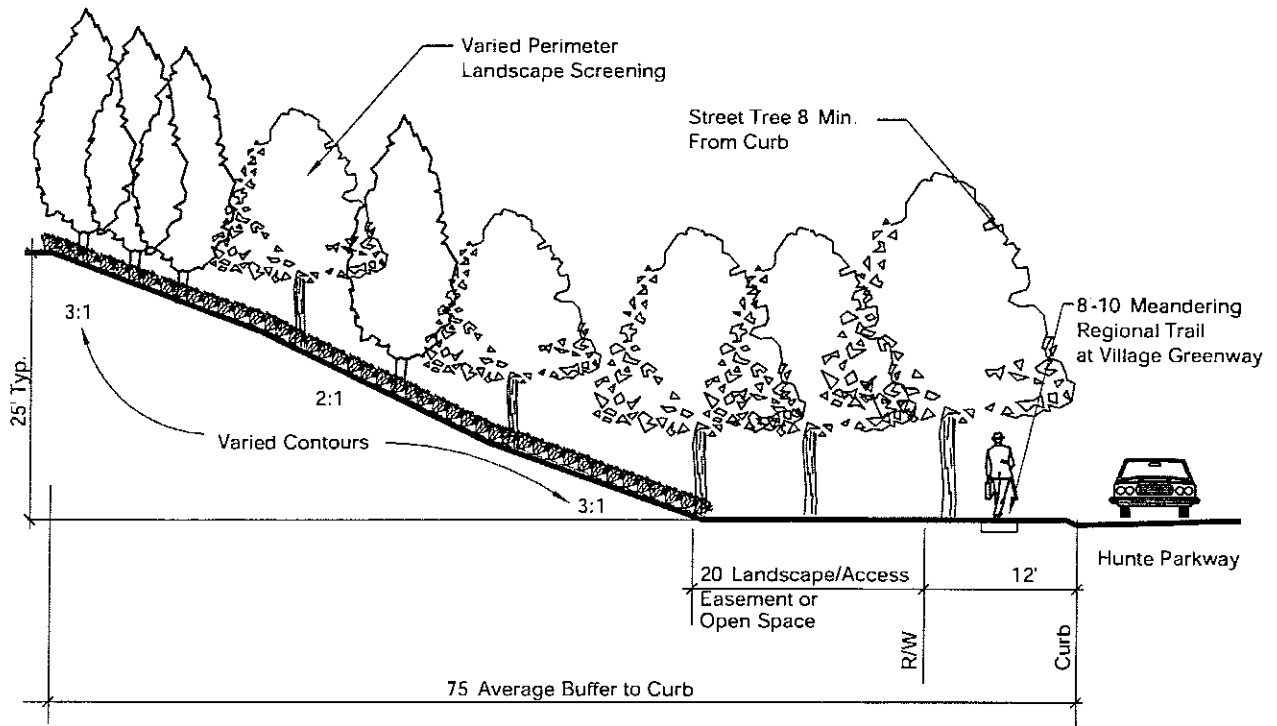
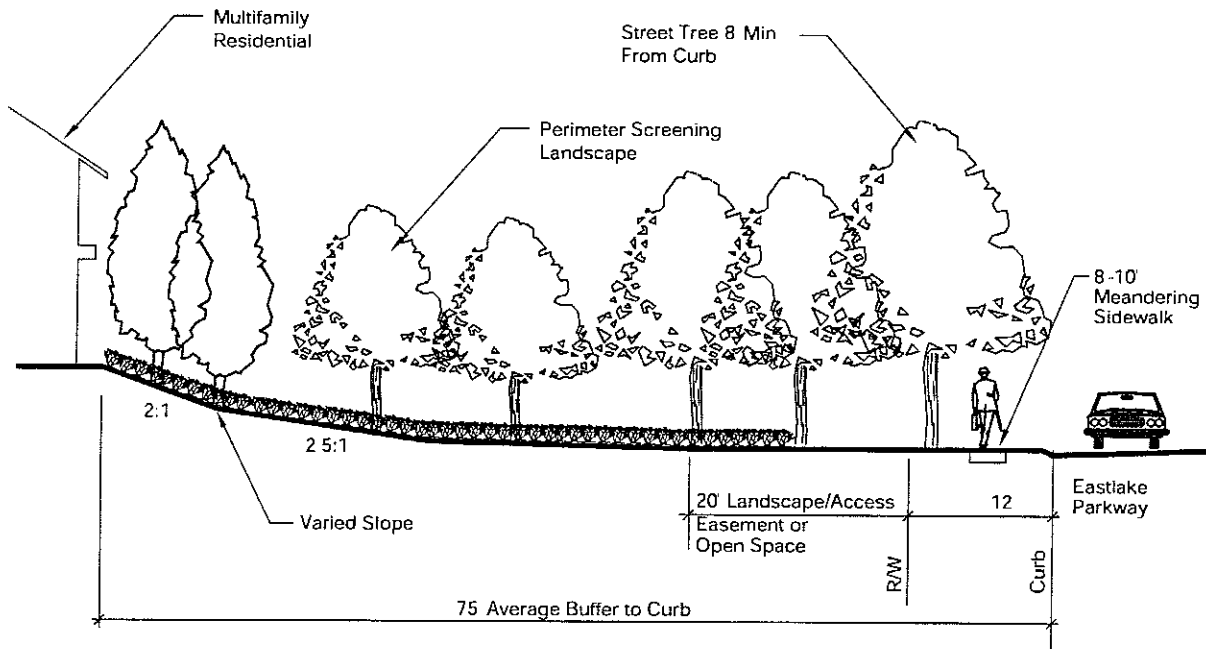
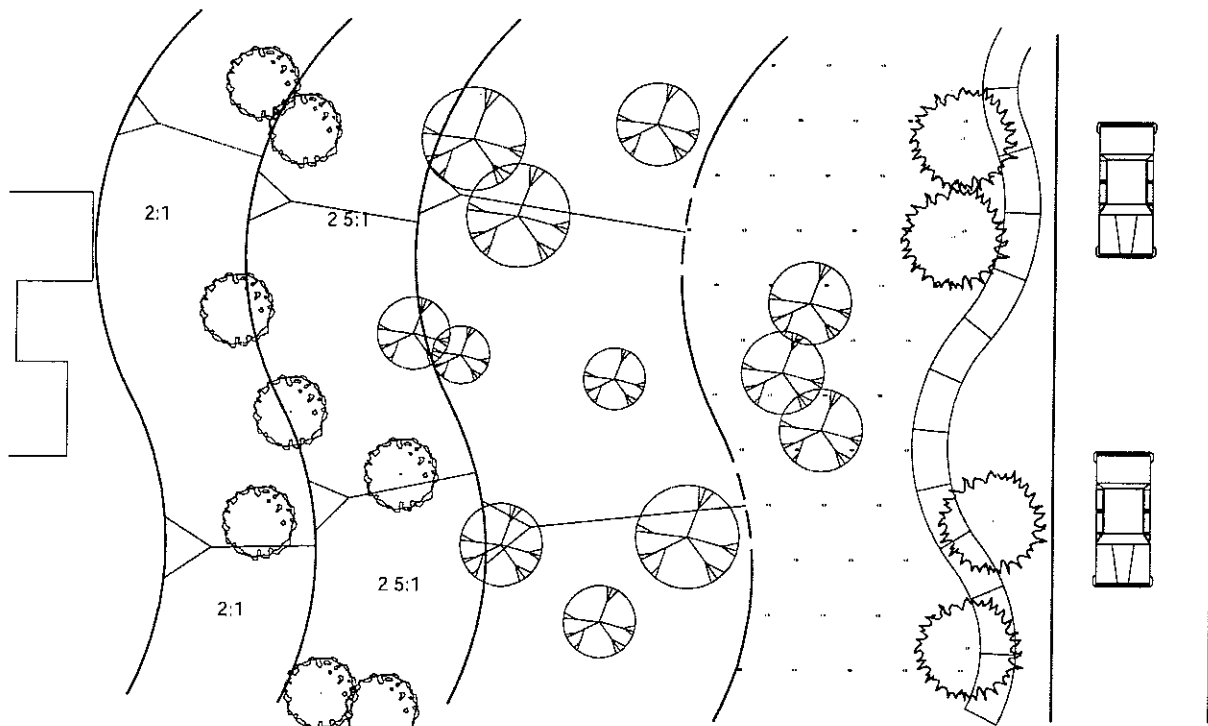


Figure II.4.2.1-9
 Section D and Plan View
 Hunte Parkway - Typical Slope Condition

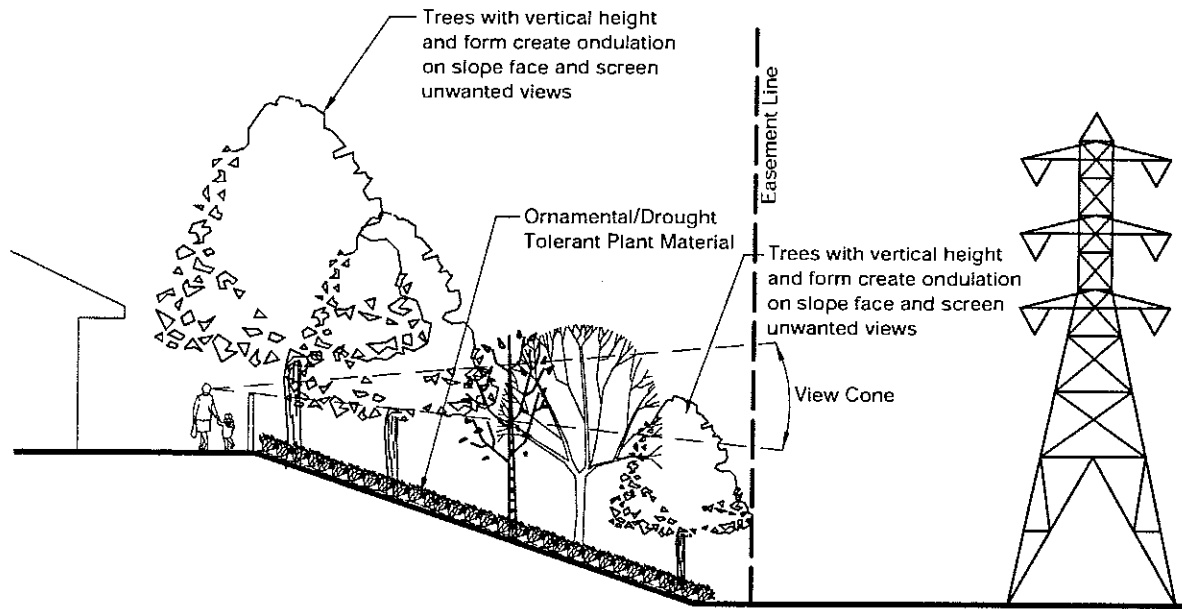


SECTION "E"



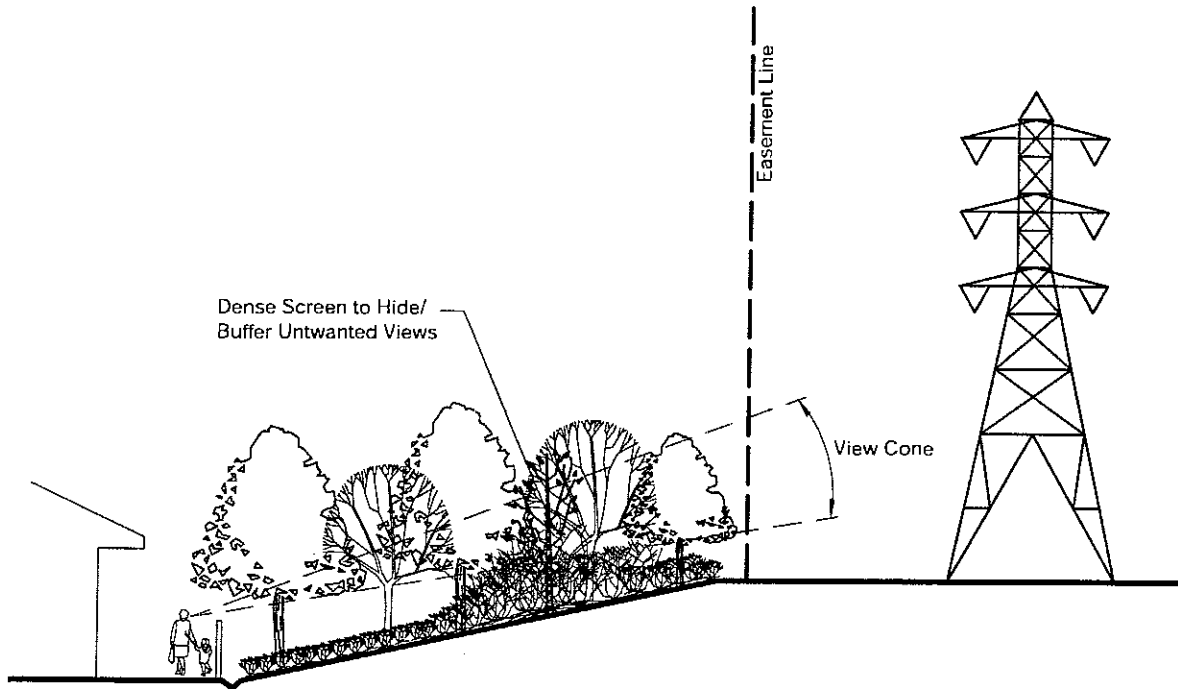
PLAN VIEW

Figure II.4.2.1-10
Section E and Plan View
Eastlake Parkway - Typical Slope Condition



SECTION "F"

Figure II.4.2.1-11
Section F
SDG&E/SDCWA Easement - Typical Slope Condition



SECTION "G"

**Figure II.4.2.1-12
Section G
SDG&E/SDCWA Easement - Typical Slope Condition**

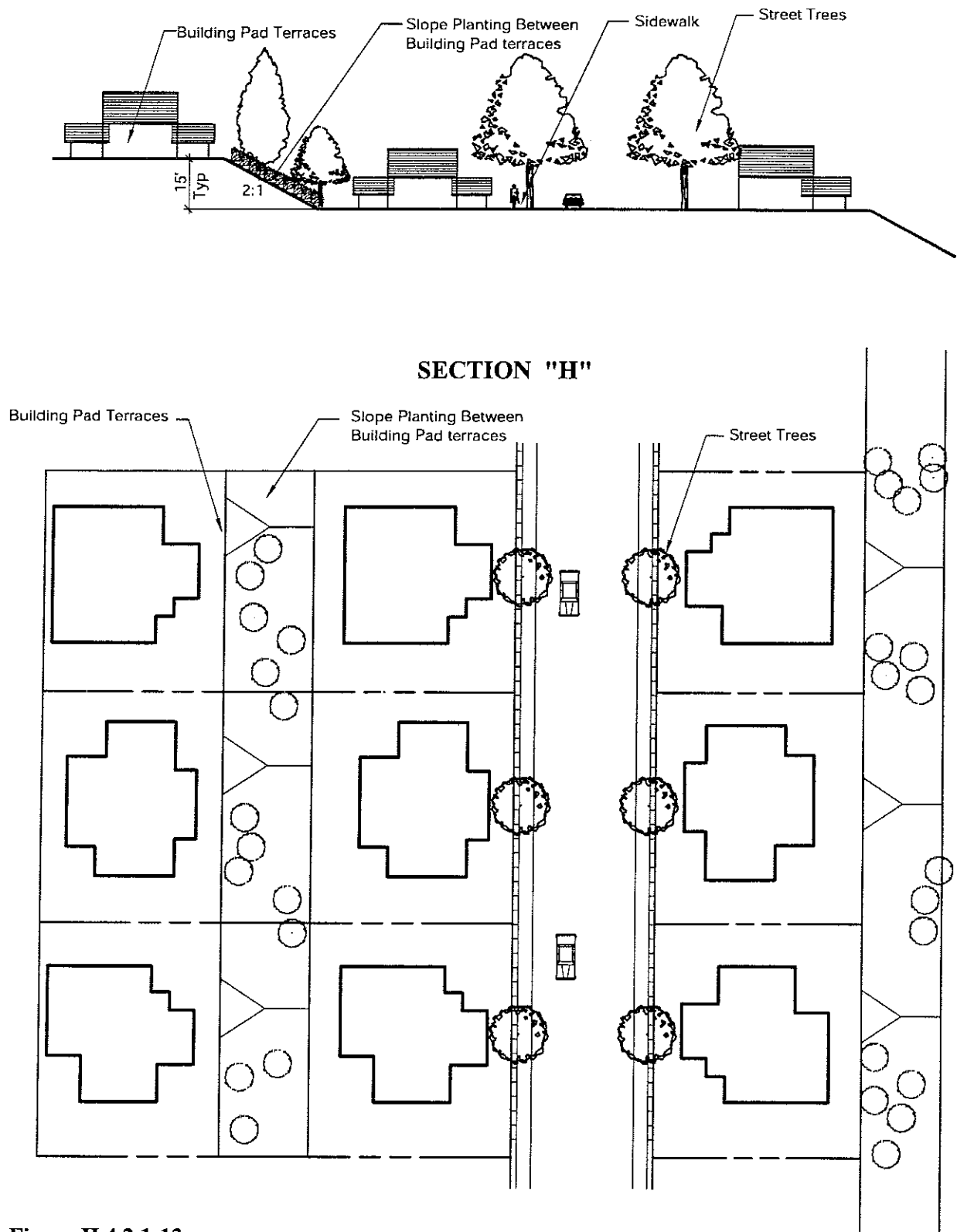


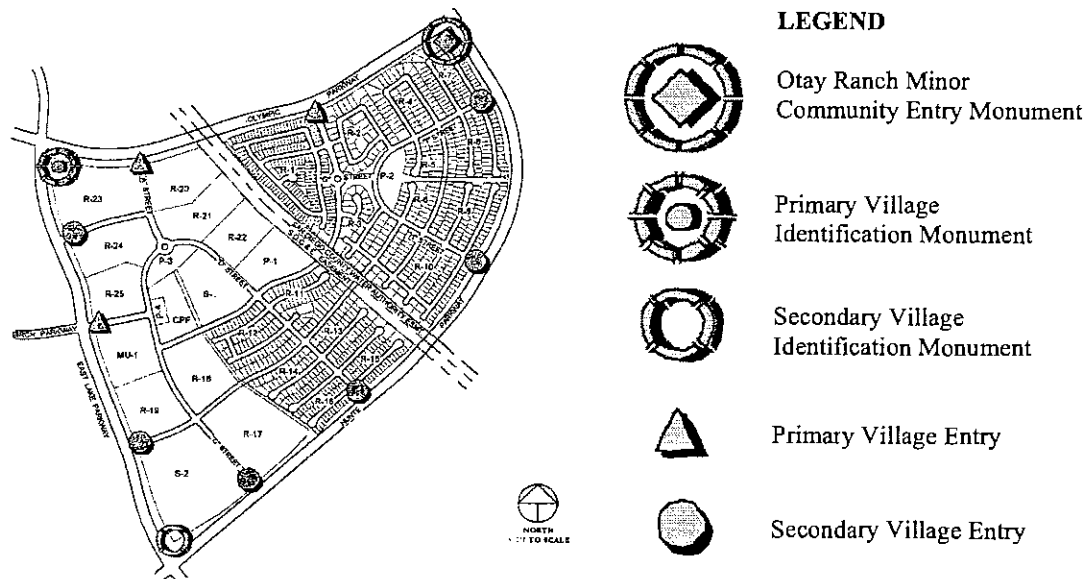
Figure II.4.2.1-13
Section H
Residential Neighborhoods - Typical Slope Condition

II.4.2.2 Monument and Entry Features

Monument and entry features serve two primary purposes: village identification and village design unification. As identification features, monuments and entry signs must be clearly readable to the motorist. As a unifying design feature, monuments and entry features require a common thematic design. That thematic design must incorporate a hierarchy of subtle stylistic changes appropriate to functions and locations.

The thematic design of the village monuments and entry features is inspired by the architecture of Irving Gill. A Gill trademark, a pergola composed of double columns supporting a wood trellis, will be the identifying Village Eleven design feature. In addition to the pergola element, the designs will incorporate low masonry or stone walls that can serve as a background for signs. Subtle lighting will be used to highlight the signs, architectural forms and landscape. Landscape will include flowering vines to accent the pergolas, background trees planted in groves and low groundcovers or lawn. Village Eleven community walls and fencing will also be integrated into the site plans and feature areas.

Village Eleven contains an Otay Ranch Minor Community Entry monument and two village identification monuments, located at the corners of the village. Primary and secondary village entries are also designated by monuments and landscaping. Figure II.4.2.2-1 depicts the types of monuments and entry features to be located at village entries. A Planned Sign Program shall be prepared for review and approval by the City's Director of Planning and Building. Specific monument locations will be coordinated with the Parks and Recreation and Public Works Departments and approved by the City Engineer and Director of Planning and Building to ensure compatibility with street landscape master plans, utility locations and sight lines for vehicular traffic.



**Figure II.4.2.2-1
Monument and Entry Locations**

Otay Ranch Minor Community Monument

Ranch-wide monuments identify the entire Otay Ranch community. The Otay Ranch Overall Design Plan locates a minor community entry monument at the intersection of Olympic Parkway and Hunte Parkway. This location will be designed to be consistent with the Otay Ranch community theme, including the Otay Ranch stone pilaster, low walls and landscape planted in orderly patterns. The Village Eleven theme arbor will be incorporated into the design to unify the community and village entries. The arbor will serve as a backdrop for the Otay Ranch pilaster. The character of the Otay Ranch community entry is further enhanced with trees planted in groves behind the arbor element. The entry design will flow with the terrain and appear to be an extension of adjacent landforms. Figure II.4.2.2-2 illustrates the landscape plan and monument.

Village Identification Monuments

A primary village identification monument will be located at the corner of Olympic and EastLake Parkways. The monument at this location will signify the western most edge of this village and will be themed to resemble the architectural style of the community buildings within the Village Core area. An Irving Gill-inspired central tower element will reference the Otay Ranch community theme pilaster in form, and stone veneer at the base will reference the community theme materials. The Village Eleven thematic arbor structure with twin columns, low stone walls, and a grove of trees will create a setting for the tower, as illustrated in Figure II.4.2.2-3. A secondary village monument will be located at the intersection of EastLake and Hunte Parkways. This monument will include the thematic arbor, village identification signs, and landscape similar to the primary village monument. Figure II 4.2.2-4 illustrates the monument and landscape.

Village Entries

Village entry streets serve as the gateway into the village and a transition from the major streets to the quieter village streets. These streets introduce the village theme, identity and character. Primary village entries at Birch Road and Olympic Parkway lead to the village core in the west. A third primary village entry at Olympic Parkway leads to the heart of the eastern residential neighborhood. The design of the primary village entries incorporates the village theme arbor and a wall signage element for the village name. Figure II.4.2.2-5 illustrates the design of primary village entries.

Secondary village entries are more modestly designed with the theme wall monument sign. All entry designs will be coordinated with the design of the community fencing. Lighting and landscaping will complete the designs consistent with the village theme. Figure II.4.2.2-6 illustrates the design of secondary village entries.

Neighborhood Entries

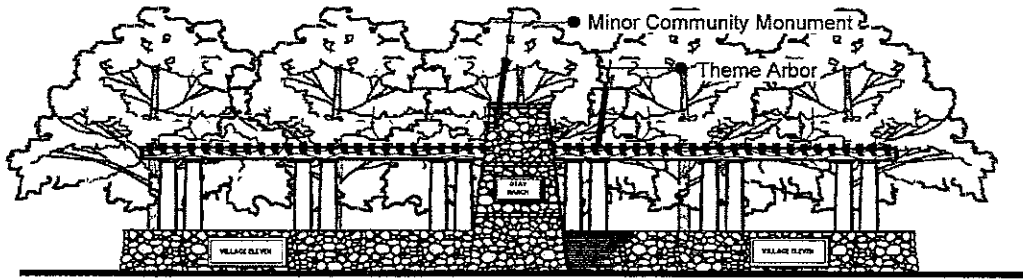
Neighborhood entries will be identified through accent planting that may include trees, flowering shrubs, groundcovers or lawn. Monument signs may be incorporated to identify the specific neighborhood. It is preferred that such signs be temporary and removed after the homes in the neighborhood have been sold. The signs can be completely removed or elements, such as low walls or pilasters, may be incorporated into the landscape design of the area. The design of neighborhood entry signs is illustrated in Figure II.4.2.2-7. The following guidelines apply to neighborhood monuments:

- Neighborhood monuments, if provided, shall consist of two, four-foot high stone pilasters with a removable sign between them. Plans for the construction of these monuments are to be submitted to the Master Developer for review and approval for location, size, lighting, and materials prior to the start of construction.
- Neighborhood monuments are to be constructed by the builder at the corner of the entry street leading into the development. The builder or the project homeowners' association will maintain the monument sign.
- It is the intent that the monument be removed at the time of final model build-out. If desired, the signage portion of the monument only may be removed and the walls and or pilasters be incorporated into the landscape design.
- Specific project monument signing design will reflect the character of each neighborhood while complimenting the design style of the overall Otay Ranch Village Eleven theme.

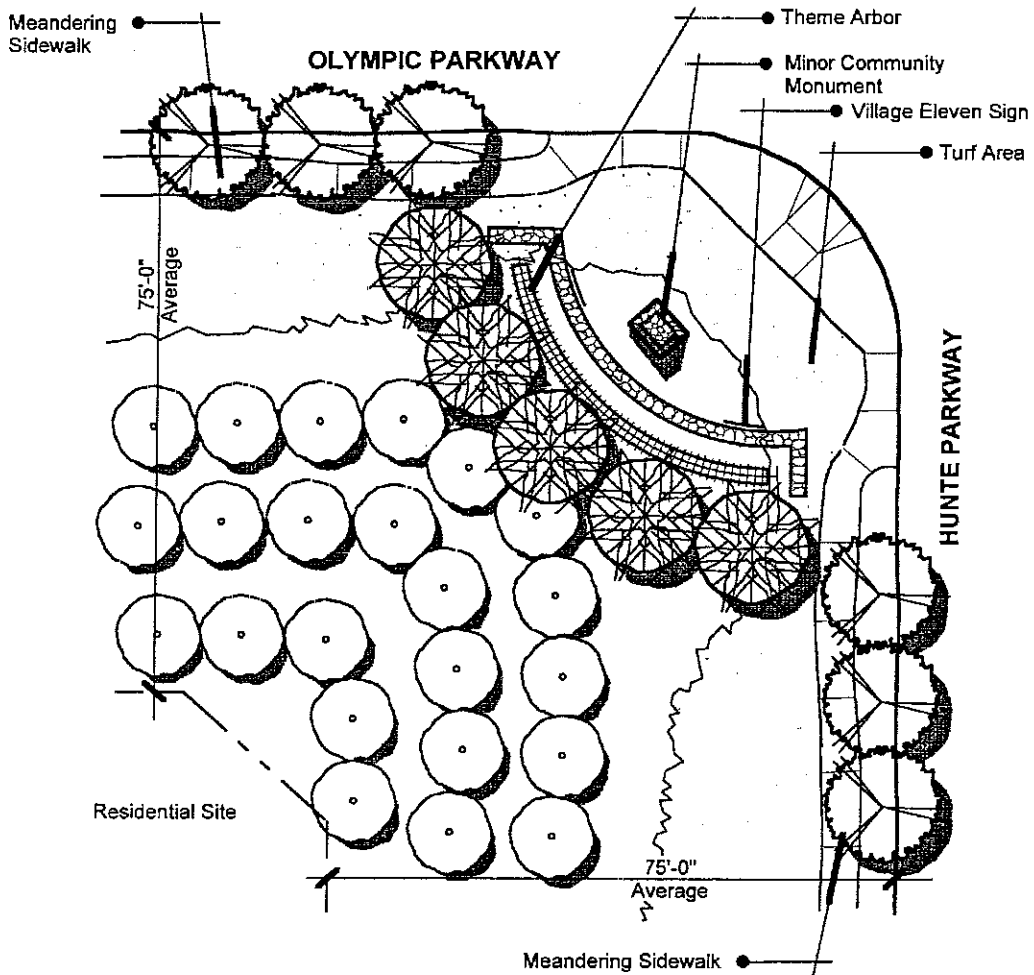
In instances where neighborhood project monuments are intended as permanent signs, the locations are to be reviewed and approved the Master Developer and the City of Chula Vista prior to the start of construction

Pedestrian Path Feature

The village theme pergola may be used to enhance the paseos and pedestrian paths within the village. The pergola can be used as an inviting entry feature or as a shelter along the path. Figure II.4.2.2-8 illustrates the pedestrian pergola design.

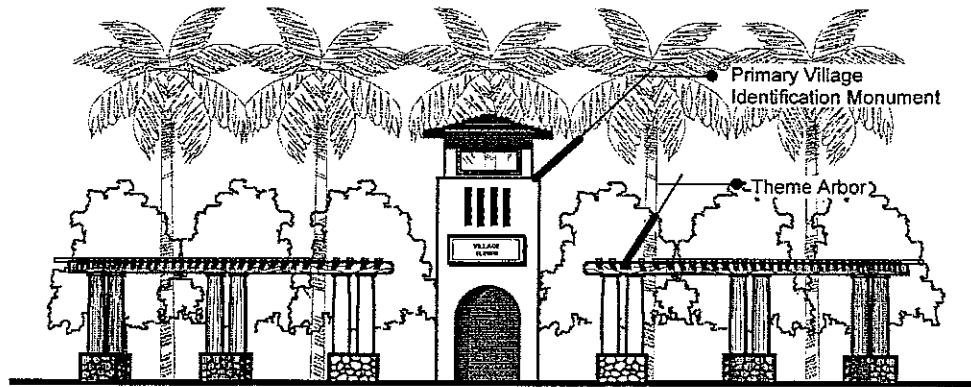


ELEVATION

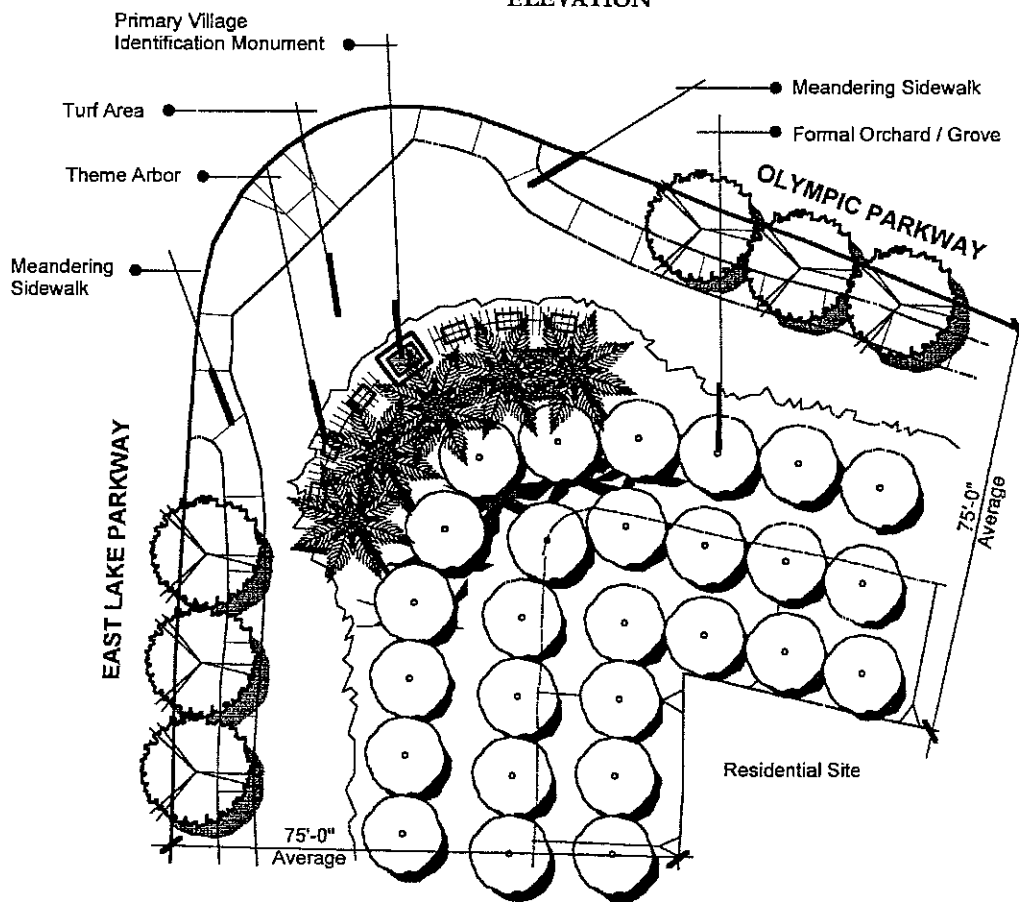


PLAN VIEW

Figure II.4.2.2-2
Otay Ranch Minor Community Monument



ELEVATION



PLAN VIEW

Figure II.4.2.2-3
Primary Village Monument

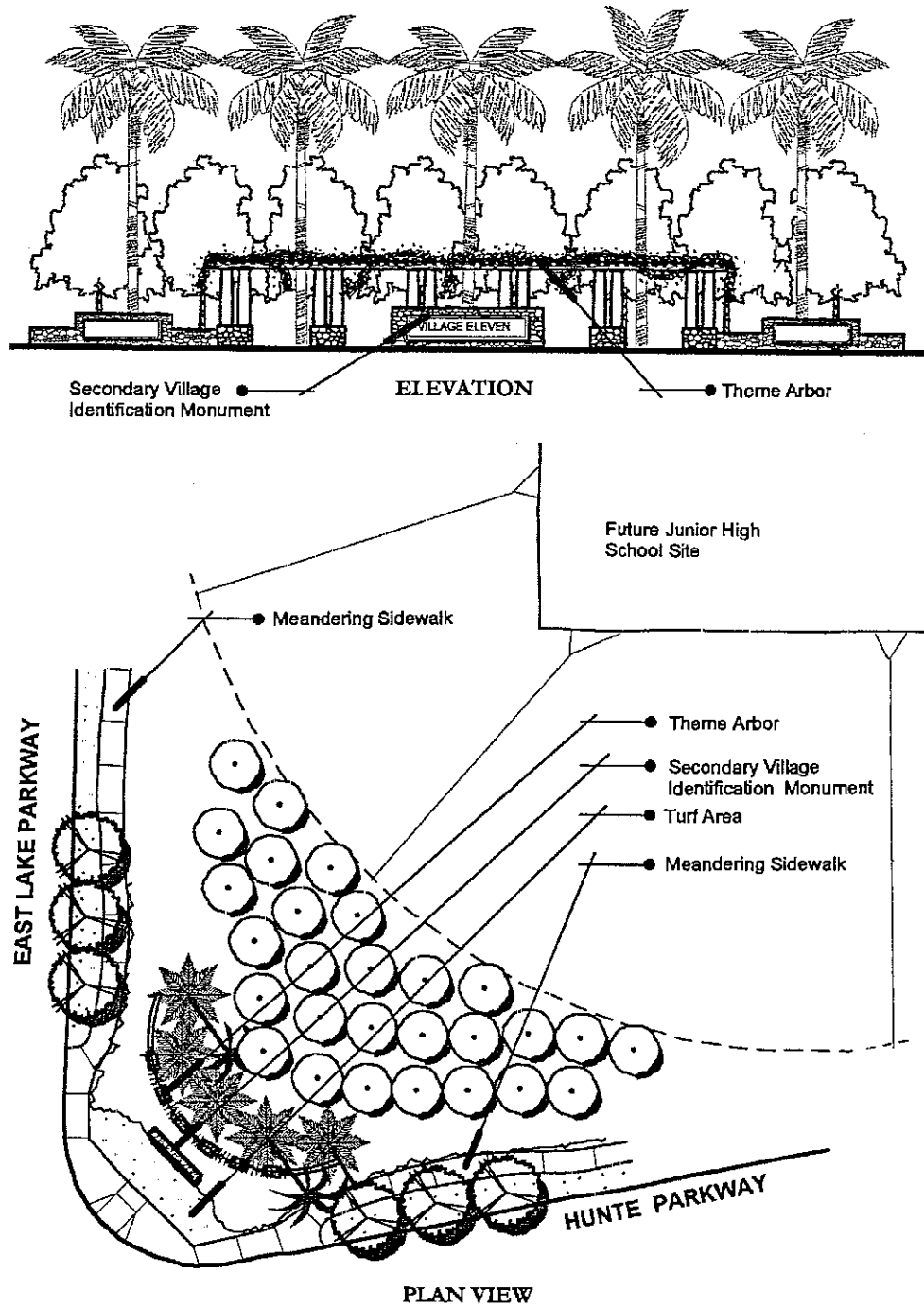


Figure II.4.2.2-4
Secondary Village Monument

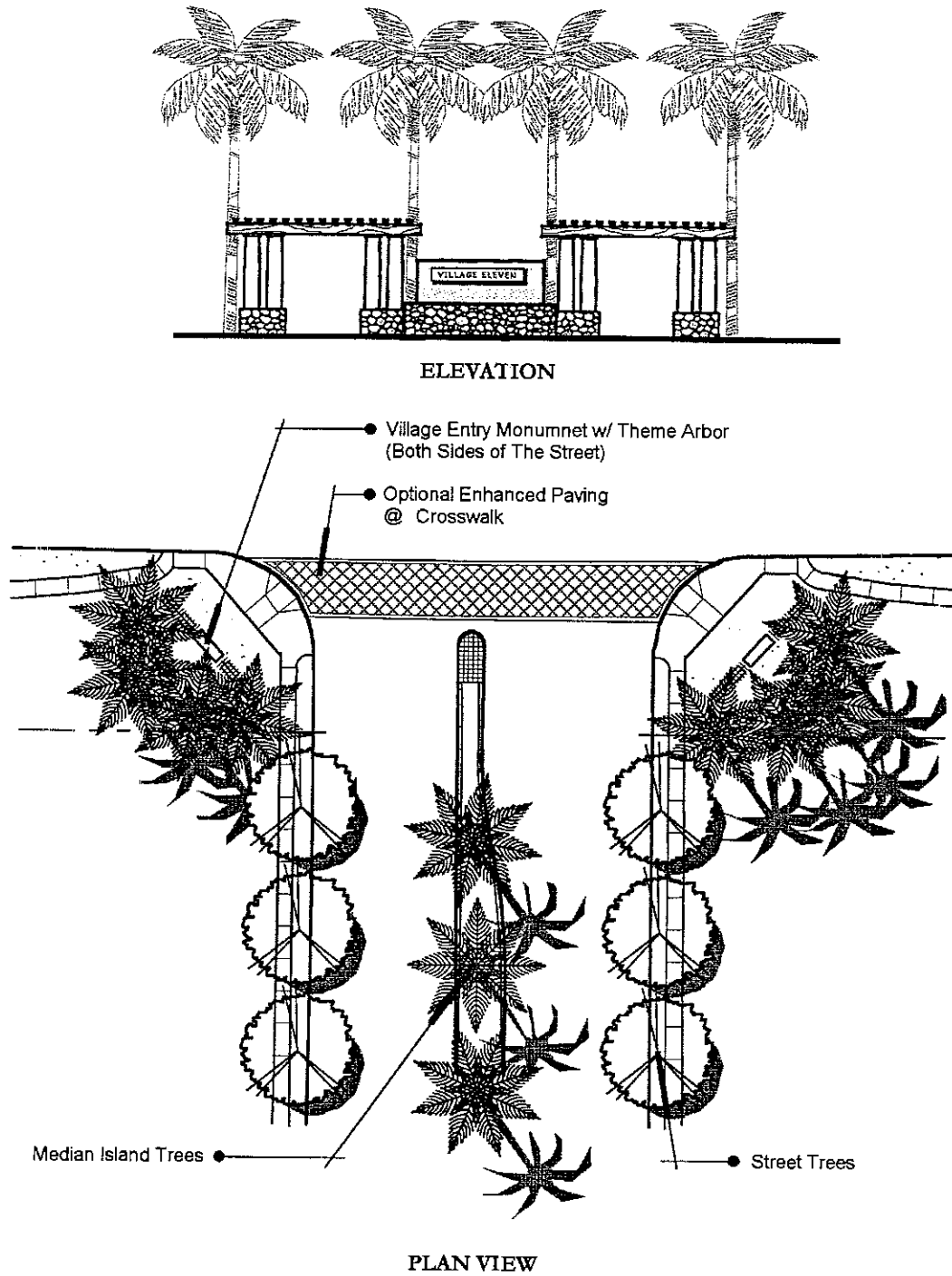


Figure II.4.2.2-5
Primary Village Entry

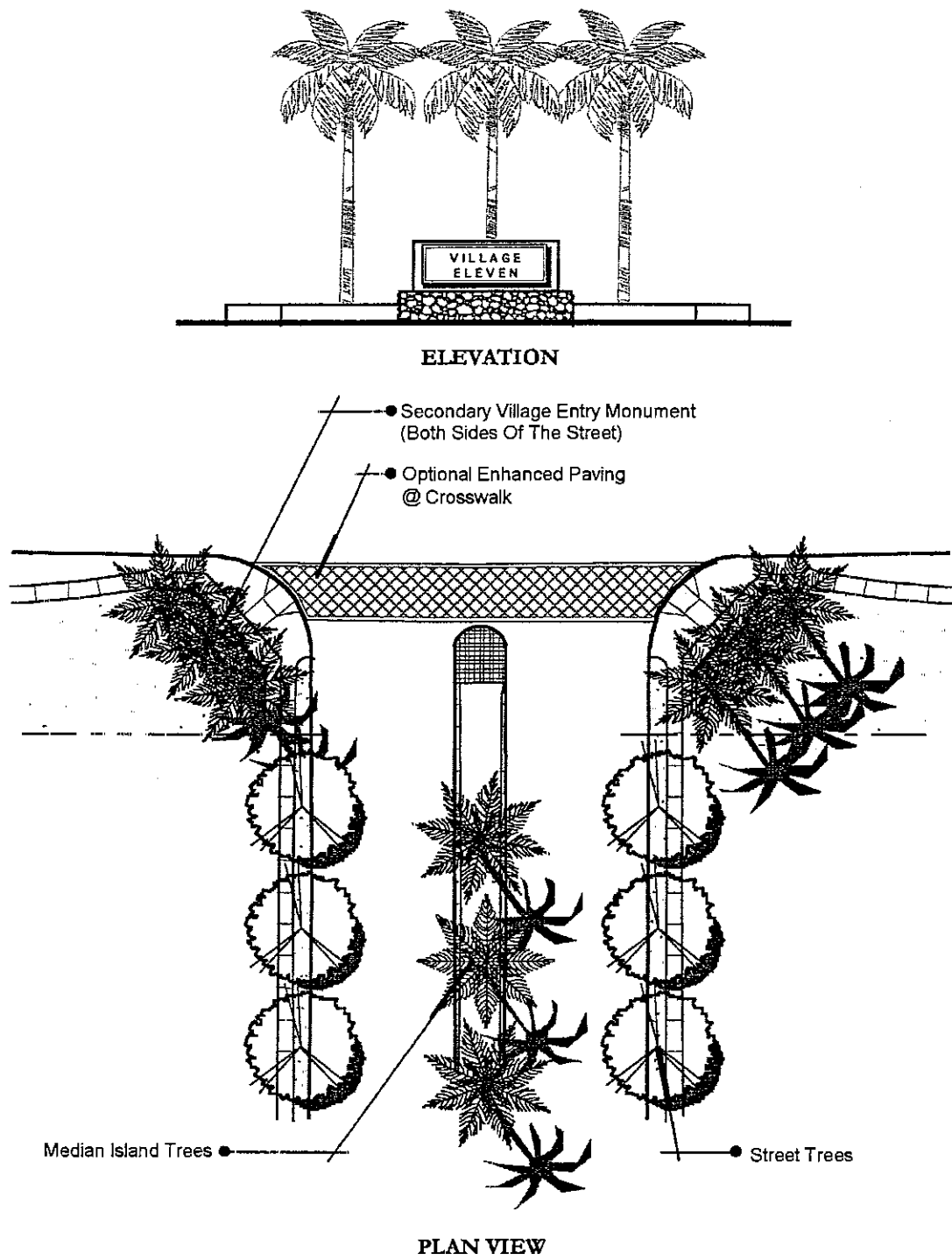
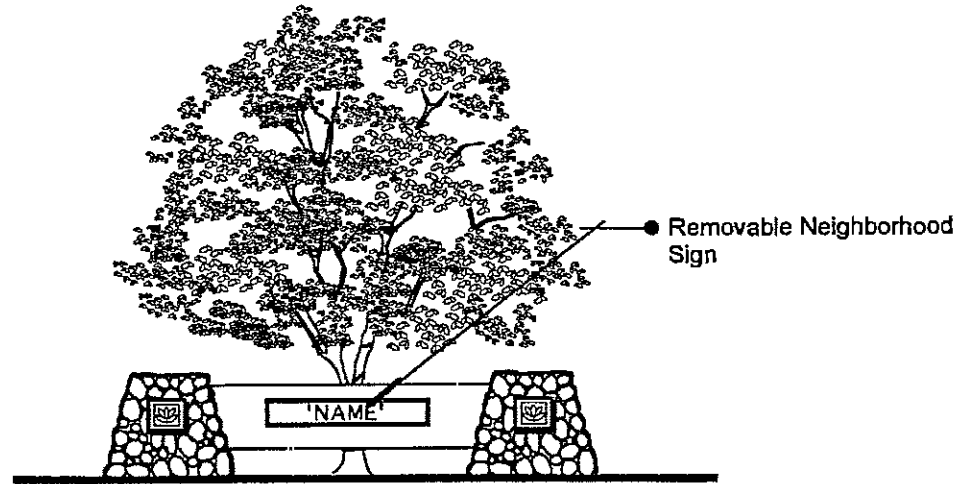
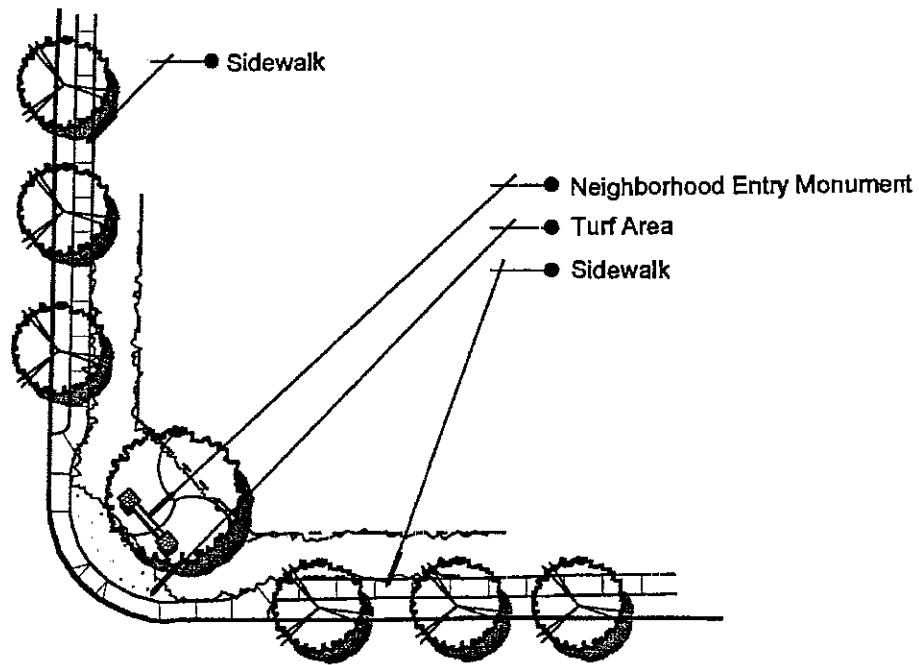


Figure II.4.2.2-6
Secondary Village Entry



ELEVATION



PLAN VIEW

Figure II.4.2.2-7
Neighborhood Entry Monument

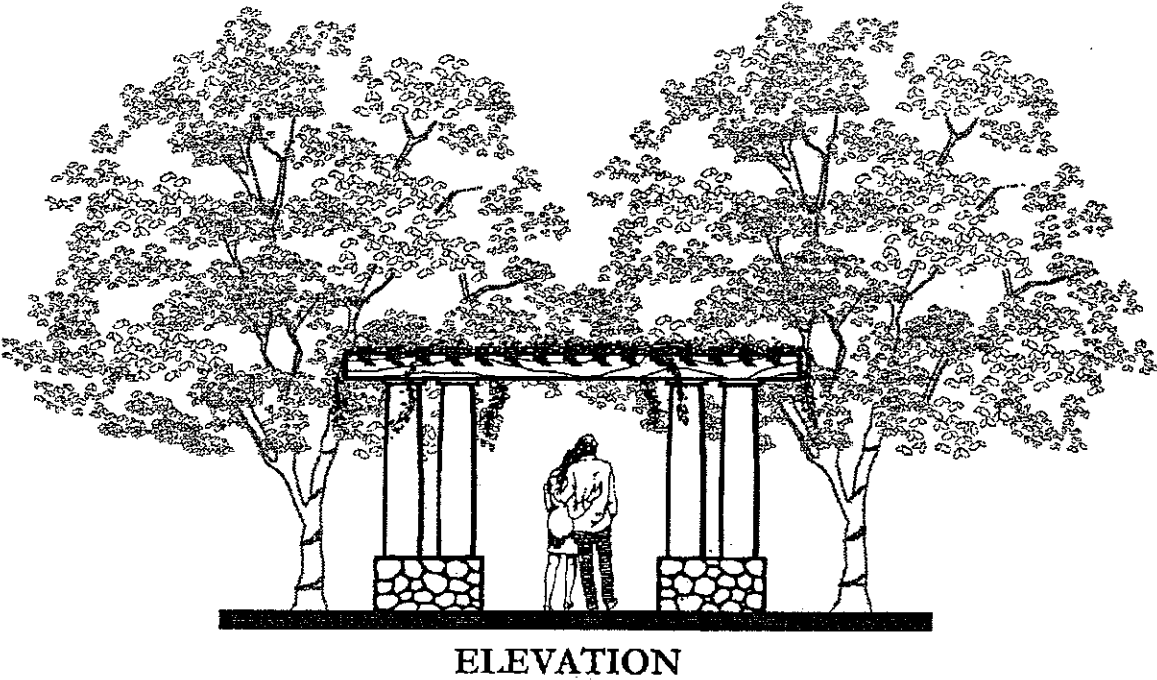


Figure II.4.2.2-8
Pedestrian Path Feature

II.4.2.3 Streetscapes

Streetscapes are an important component in creating the Village Eleven design theme. Streetscapes identify the edges of project and major points of entry and they serve as the unifying design theme. The streetscapes for the surrounding major streets will adhere to the Otay Ranch “ranch theme” landscape. Within the village, the design of the streetscapes will emphasize the village pedestrian-oriented concept by providing tree-shaded walkways, lighting, shortened or enhanced crosswalks, and walkable gradients. Figure II.4.2.3-1, Circulation Plan, shows the surrounding and internal street designations for Village Eleven. The following describes each street classification and cross sections are provided to illustrate the conceptual landscaping. Proposed plant lists for the streetscapes are included in Section II.4.6, Landscape Design. The following are descriptions of the various types of streetscapes in and surrounding the village.

Olympic Parkway

A master plan for the entire length of Olympic Parkway has been prepared by the City of Chula Vista. In designing the streetscape, the Olympic Parkway Master Plan will be implemented and the unique Village Eleven design theme components will be incorporated in the design. The village entry monuments and features are described in the previous section. The 75-foot wide (average measured from face of curb) streetscape provides for a 20-foot wide level area near the roadway that accommodates a 5-foot wide meandering sidewalk. Low-growing groundcovers, with lawns at entry areas, will be planted in this area. The Olympic Parkway Master Plan design will be implemented as approved. Other perimeter landscape areas will consist of berms, tree groves and shrub masses to provide a buffer between the street and adjacent residential development. The landscaping and berms will screen the perimeter walls that provide noise attenuation and privacy for the village residential neighborhoods. Tree planting at the SDG&E/SDCWA easement may be limited as required by the utility companies.

EastLake Parkway

The Eastlake Parkway streetscape provides for a 75-foot (average measured from face of curb) landscape area consisting of street trees, shrubs and groundcovers, and a 5-foot wide meandering sidewalk. The interior portions of the parkway shall consist of plantings of tall-growing trees to provide screening and soften architectural forms. The FC and EUC developments on the west side of EastLake Parkway in Planning Area 12 have the potential to generate noise and lighting that may intrude on the Village Eleven residential areas. Tall trees will provide some screening of lights and masonry walls will help alleviate noise. Most of the village development is near the same grade as the street from the north to the southern edge of the mixed-use site. The residential neighborhood and the junior high school to the south are above the street grade so view fencing may be used in those areas. The slopes at the junior high school will be planted with varied-height trees and shrubs to modulate the manufactured appearance of the slope.

Hunte Parkway

The section of Hunte Parkway adjacent to Salt Creek requires special streetscape design. For consistency with the natural landscape, and to capitalize on scenic views, the streetscape planting will be visually and horticulturally compatible with the Salt Creek native plant habitat. A transition planting area will be adjacent to the roadway, and shall consist primarily of low-growing groundcovers and shrubs complementary to the native hillside plant community. The manufactured slope will be planted with native species that are compatible with those within the Salt Creek preserve. On the Village Eleven side of Hunte Parkway, the 75-foot (average measured from the face of curb) landscape parkway will be landscaped with ranch-theme trees, groundcovers and shrubs. Tree planting will be in natural rather than formal patterns. Tree planting locations will be designed to frame and enhance views from the village towards the preserve and distant mountains. This parkway planting will be implemented on both sides of the street in the area west of the SDG&E/SDCWA easement. The majority of Village Eleven is near the same elevation as the street, with the exception of the junior high school and adjacent residential neighborhood, which are at a higher elevation. These areas are proposed for view fencing and the remaining area will require noise attenuation and privacy walls. Shrubs and vines will be used to soften the appearance of the walls. Pedestrian and bicycle paths on Hunte Parkway will consist of 8 to 10-foot wide trails on the south/east sides of the street and on the north side of the street within the Village Greenway. Concrete, 5-foot wide sidewalks will be located on the west side of Hunte Parkway between Olympic Parkway and the Village Greenway. Descriptions of the trails are included in Section II.4.2.5 Pedestrian, Bicycle and Cart Paths. Figures II 4.2.3-2 and 3 illustrate Olympic, EastLake and Hunte Parkways streetscapes.

Village Entry Streets

Village Entry Streets form the gateway into the village and introduce the village theme, identity and character. Entry streets provide a transition from the prime arterials/major roads to the village. Formal plantings of street trees on each side of the roadway and in the 16-foot wide median will create a tree lined setting reminiscent of some of the older more established areas of San Diego. They will be highlighted through the use of canopy shade trees within the turf-lined parkways, and tall palm trees within the median island areas.

The Village Entry Street from Eastlake Parkway (the extension of Birch Road) design includes a landscaped median and a 16-foot wide village pathway located on the north side of the street. This urban setting provides for wide sidewalks with street trees planted in tree wells. Additional enhancements, such as bicycle racks and benches will be incorporated into the design.

The Village Entry Streets from Olympic Parkway are proposed for one travel lane in each direction separated by a landscaped median. Tree-lined sidewalks will be separated from the street by landscaped. Figure II 4.2.3-4 illustrates Village Entry Streets.

Secondary Village Entry Streets With Medians

Secondary Village Entry Streets are designed to create semi-formal entries that transition to village circulation streets. These streets provide the internal continuity for creating the village design theme. Monument signs, walls, seating areas and lighting will carry out the design theme. The secondary village monument features will be located at the village perimeter. Landscaping in these areas will include accent trees planted in 10-foot wide medians. Each secondary street will use a single species of canopy tree to provide village identity. These theme street trees will be planted on both sides of the sidewalk, approximately 25 to 40 apart (depending on the species), to define and shade the pedestrian space. Figure II.4.2.3-5 illustrates Secondary Village Entry Streets with Medians.

Residential Promenade Streets

The Residential Promenade Streets serve as collector streets in the village. These streets provide two travel lanes and parking is allowed on both sides of the streets. Promenade streets are also a primary pedestrian link through the village, so they are landscaped with trees on each side of a sidewalk, as illustrated in Figure II 4.2.3-6.

Village Core Promenade Streets

Village Core Promenade Streets are located in the heart of the village and are designed to promote an urban village and pedestrian orientation. Parking is permitted on one or both sides of the village core street. Village Core Promenade Streets create an urban atmosphere with an active and colorful ambiance. Where restaurants and stores front these streets, sidewalks are wider the landscape parkway is designed as an "urban promenade," a 16-foot wide curb to building area that to accommodate window shopping, outdoor dining opportunities and similar activities and will utilize tree wells. Figure II.4.2.3-7 illustrates Village Core Promenade streets.

Village Core Streets

Village Core Streets are located in the heart of the village and are designed to promote an urban village and pedestrian orientation concept. The Village Core Streets are designed for a high level of activity, including outdoor dining, window shopping and strolling. Village Core Streets require wider walkways and more pedestrian amenities, such as pedestrian-scale lighting, seating and trash containers. The landscape theme of village core streets will complement the liveliness of the core with colorful planting, accent and shade trees. To help neutralize the presence of the automobile, canopy and accent trees will be planted along the street within planters in special focal areas. Figure II 4.2.3-8 illustrates Village Core Streets.

Residential Streets

Residential streetscapes provide an opportunity to enhance the pedestrian-orientation of the village and define individual neighborhoods. Village theme elements will include pedestrian scale lighting and may include neighborhood monument signs. The preferred Residential Street design provides a parkway between the street and sidewalk to enhance pedestrian comfort. Lawn or low groundcovers and shade trees will be planted in the parkway. The scale of trees should be appropriate to the neighborhood scale. In denser, multi-family development, the trees may be taller and narrower. In single family neighborhoods, broader canopy trees may be used, however, the tree canopy width should complement the depth of front yards. Depending on the species, trees should be spaced between 25 to 50 feet apart. A minimum of one street tree per single family lot will be provided. Residential Streets are illustrated in Figure II 4.2.3-9.

Traffic Calming Elements

Roundabouts, traffic circles and neckdowns are proposed to facilitate calmed traffic flow and to enhance the pedestrian orientation of the village. These elements provide an opportunity to create landscape accents and promote village identity. Landscape in these elements may include accent trees (subject to allowable sight lines) and shrubs, seasonal flowering plants, ornamental street lighting and public art. Pavement enhancement, such as interlocking pavers, may be incorporated into the design subject to approval by the City. Figures II 4.2.3-10, 11 and 12 illustrate traffic calming elements.

Roundabouts are located at two primary intersections of the village to create focal points and to facilitate traffic flow. The locations of the traffic calming circles would be at regularly distanced intersections, creating a rhythm in both traffic flow and neighborhood aesthetics. Curb extensions project out to the edge of the travel lane, creating a sense of side friction or roadway narrowing which slows traffic. Curb extensions at intersections provide pedestrians with a safety island and shorten the roadway crossing distance. "Neckdowns" are curb extensions located mid-block that can also be used at pedestrian crossings or simply to slow traffic in long, unobstructed road sections where traffic speed tends to increase. All traffic calming elements will be designed to accommodate emergency vehicles and are subject to City approval.

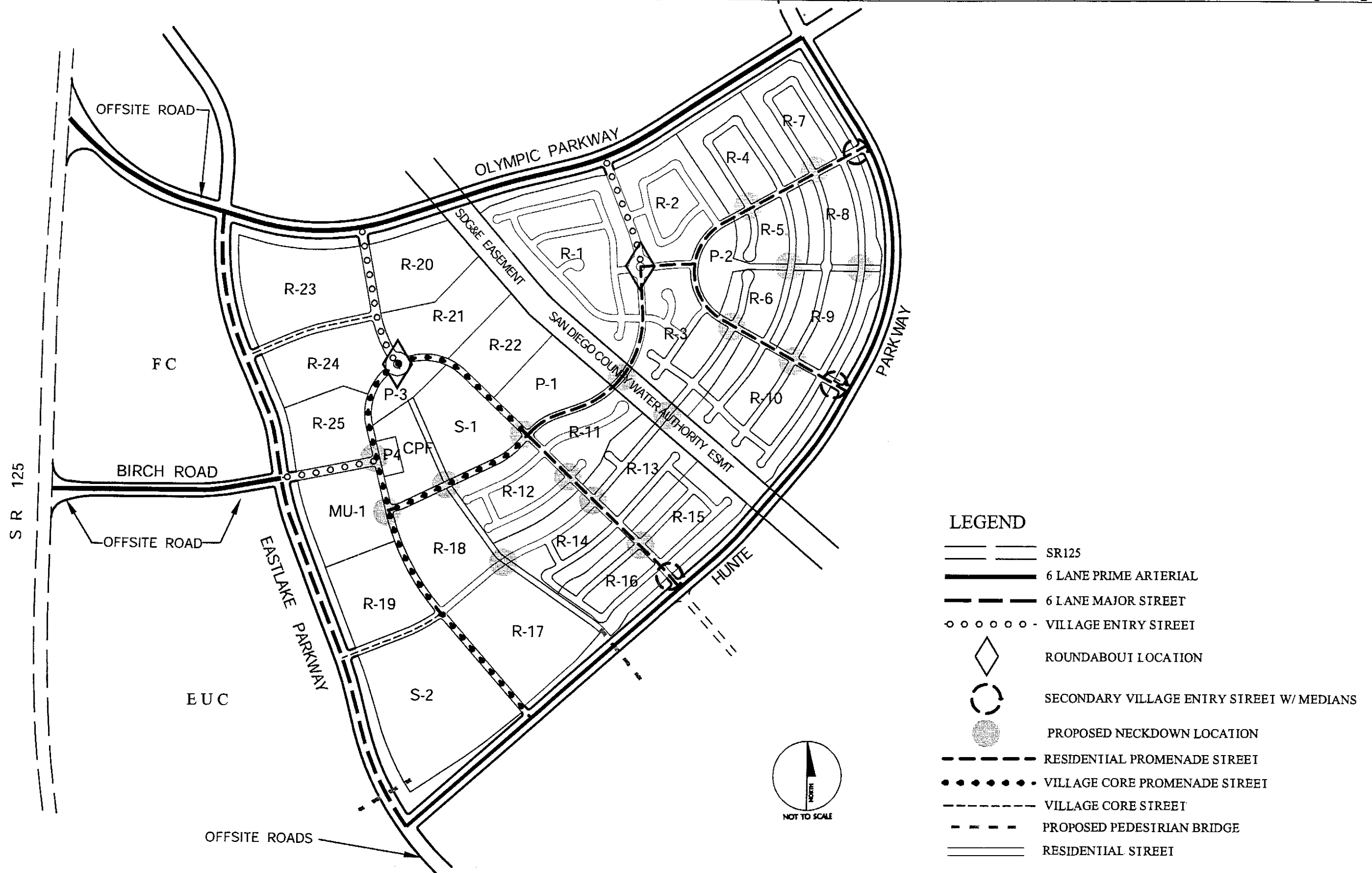
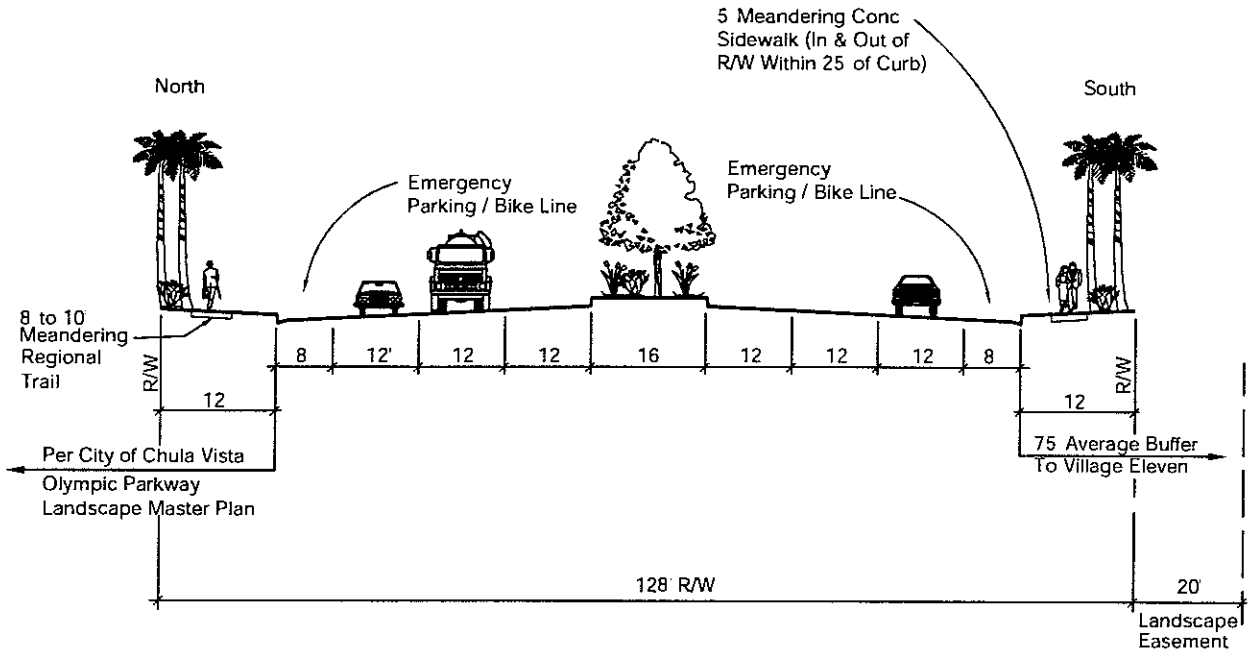
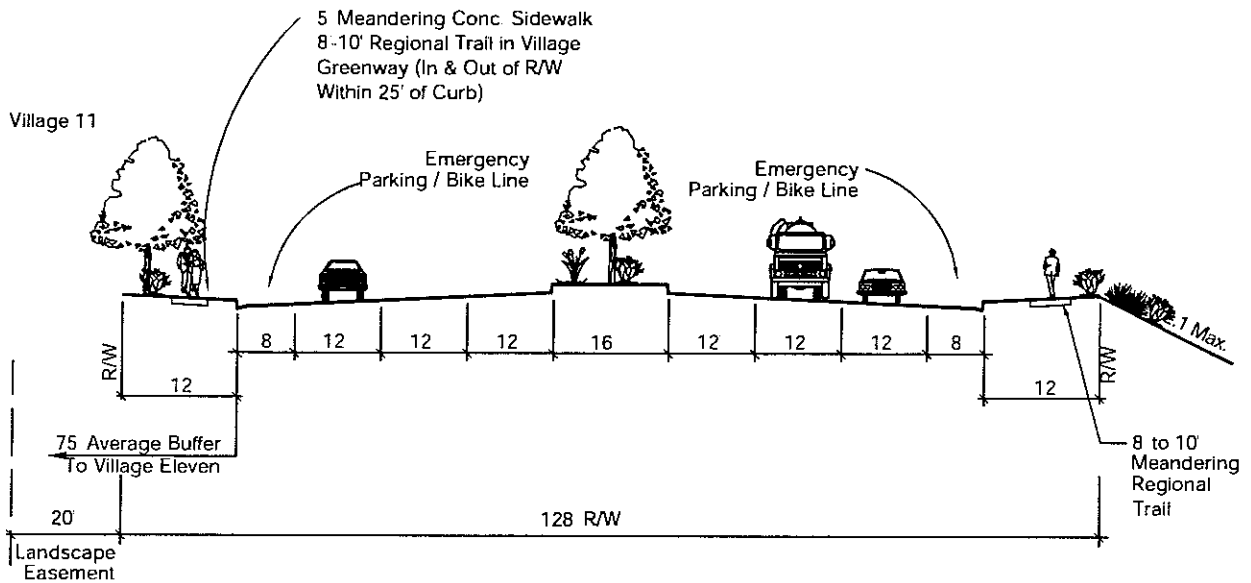


Exhibit II.4.2.3-1
Circulation Plan

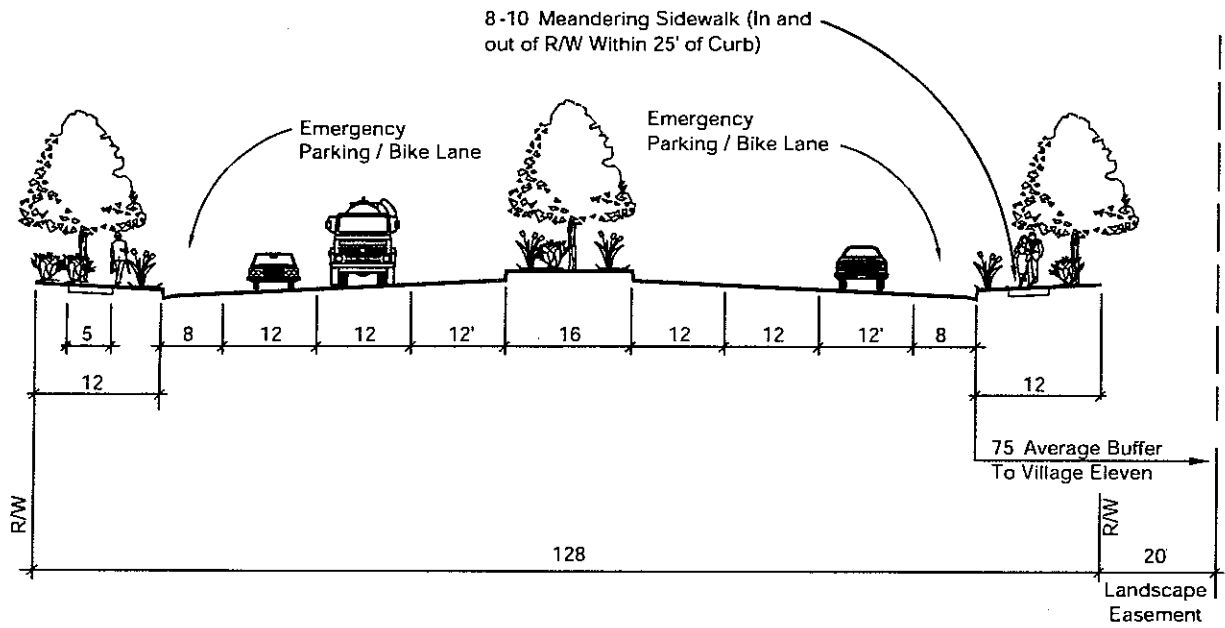


OLYMPIC PARKWAY



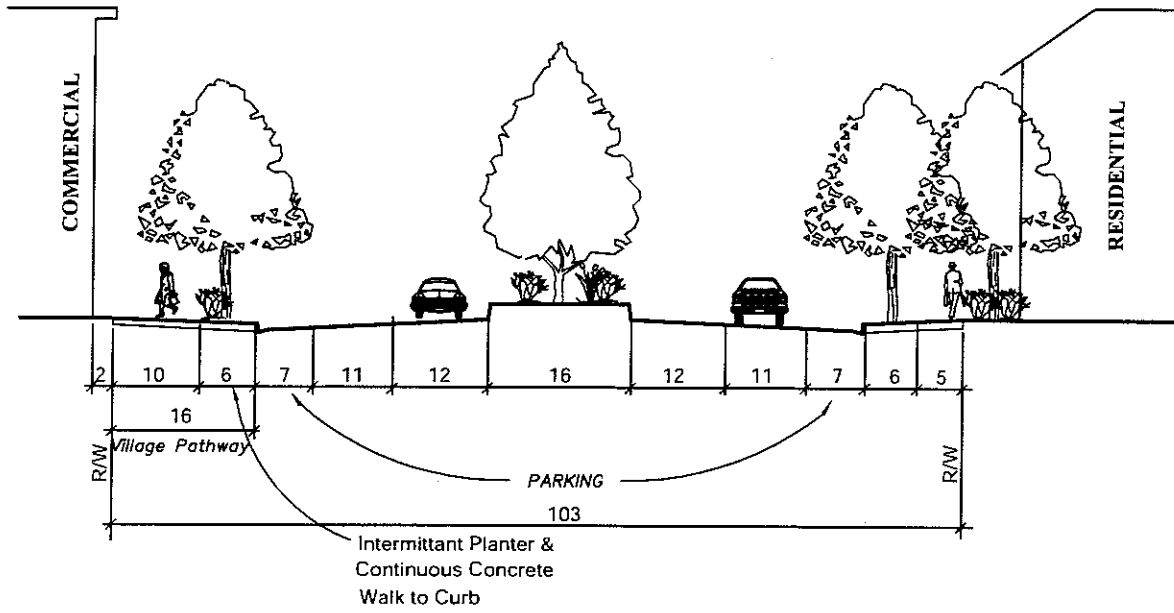
HUNTE PARKWAY

Figure II.4.2.3-2
Prime Arterials

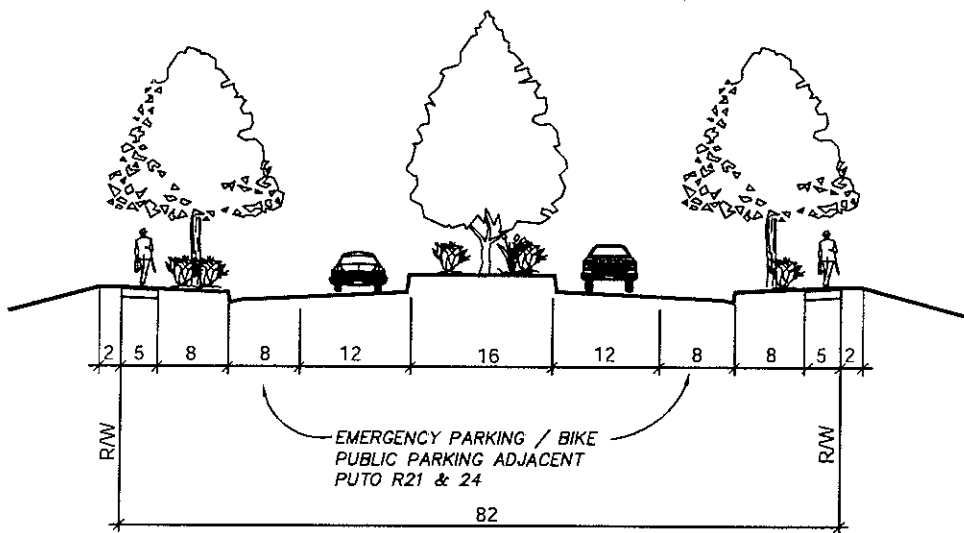


EASTLAKE PARKWAY

Figure II.4.2.3-3
6 Lane Major Street

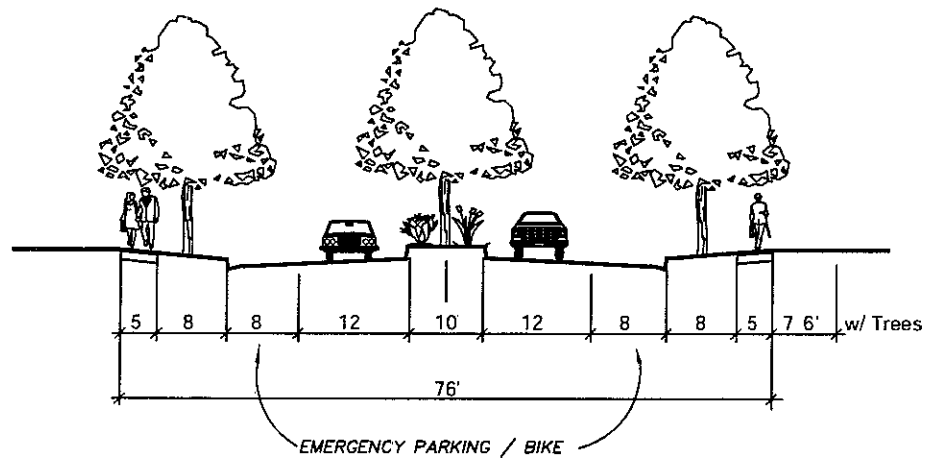


BIRCH ROAD ENTRY



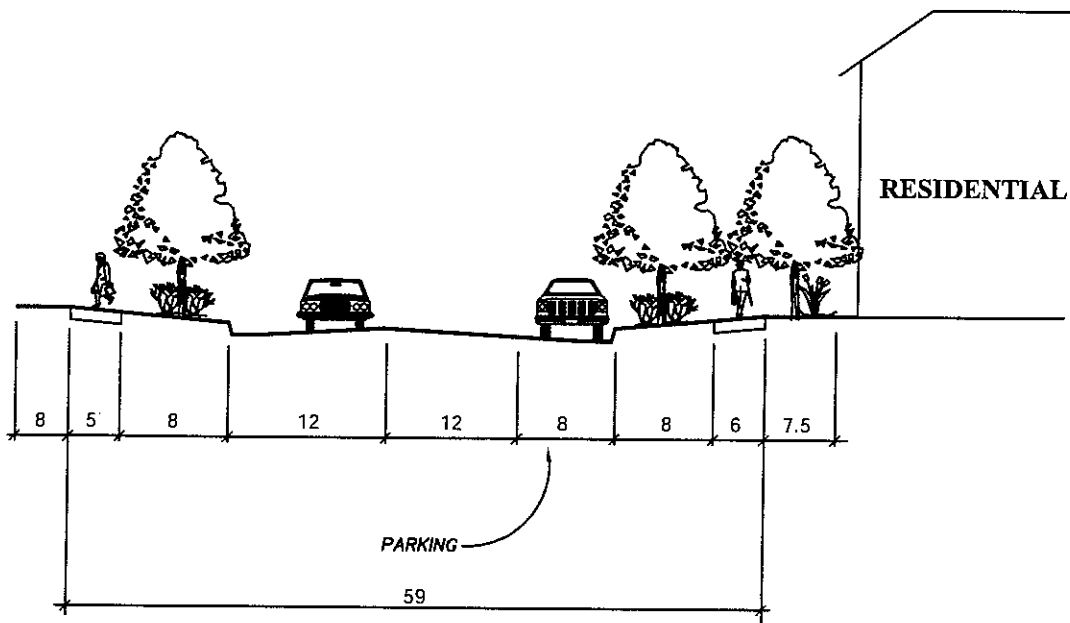
ENTRIES FROM OLYMPIC PARKWAY

Figure II.4.2.3-4
Village Entry Streets



**SECONDARY VILLAGE ENTRY STREET
WITH MEDIAN**

**Figure II.4.2.3-5
Secondary Village Entry Streets With Medians**



RESIDENTIAL PROMENADE STREET

**Figure II.4.2.3-6
Residential Promenade Streets**

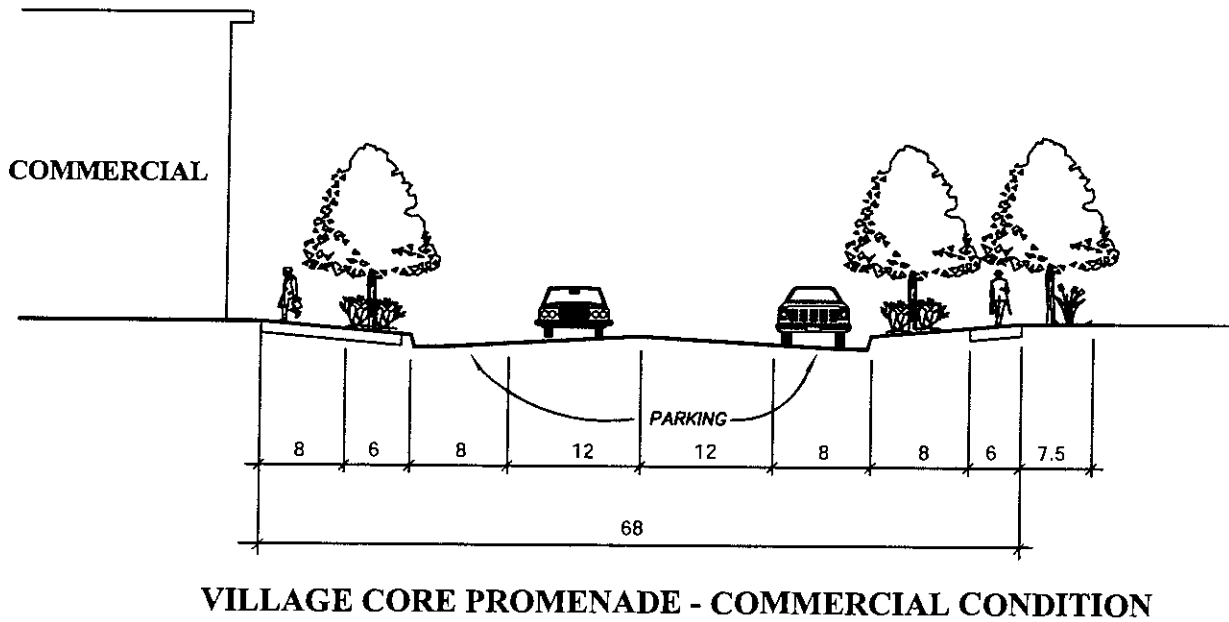
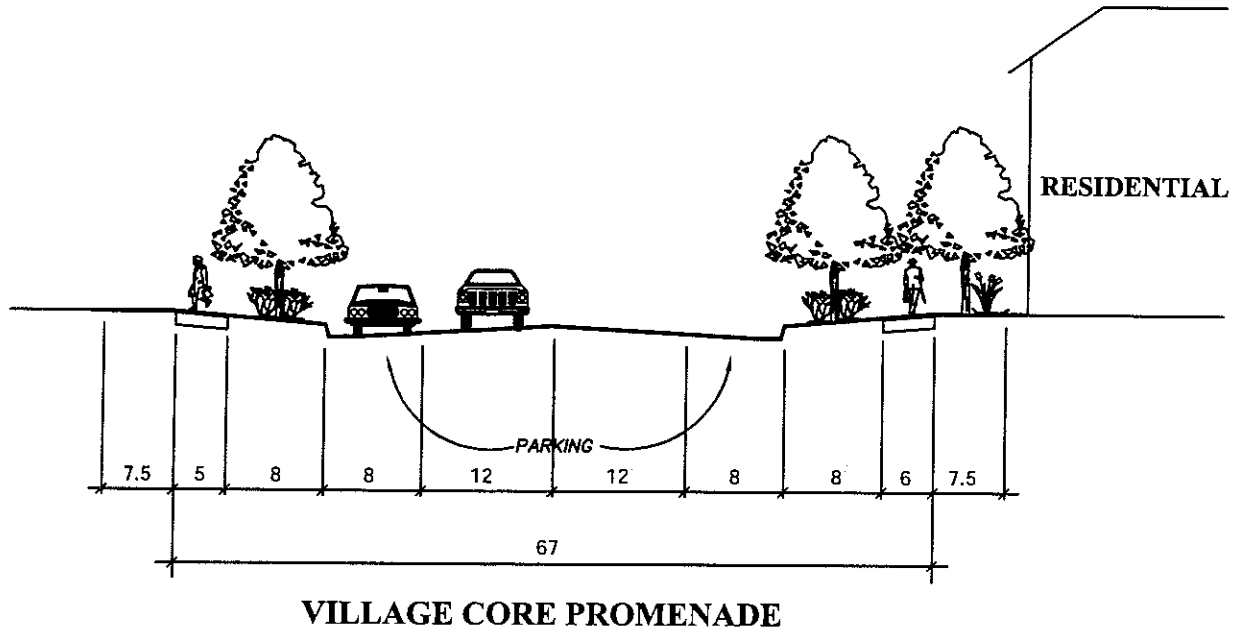
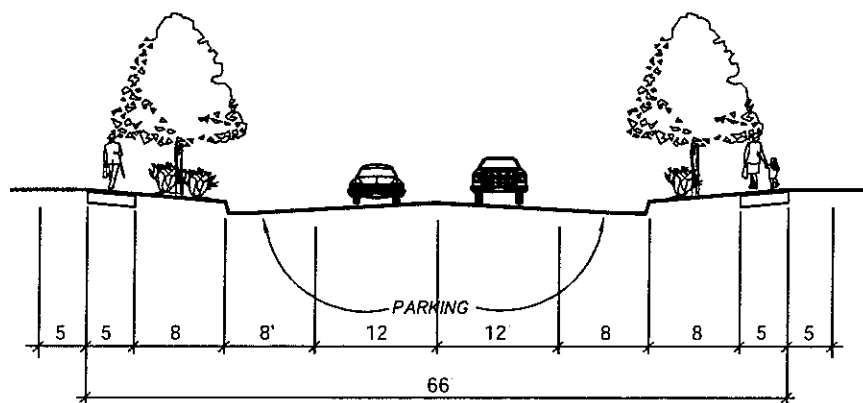
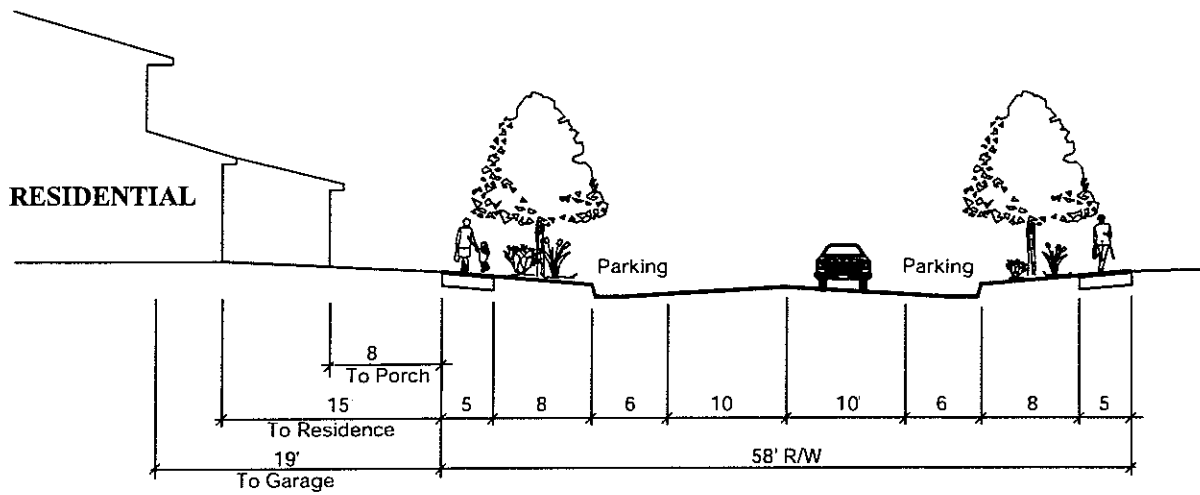


Figure II.4.2.3-7
Village Core Promenade Streets

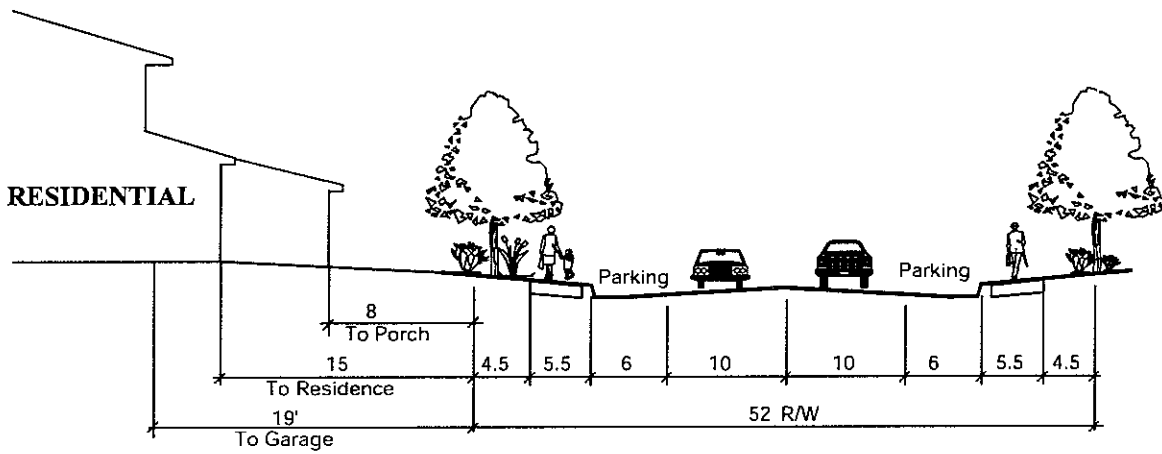


VILLAGE CORE STREETS

Figure II.4.2.3-8
Village Core Streets



PREFERRED RESIDENTIAL STREETS



ALTERNATE RESIDENTIAL STREETS

**Figure II.4.2.3-9
Residential Streets**

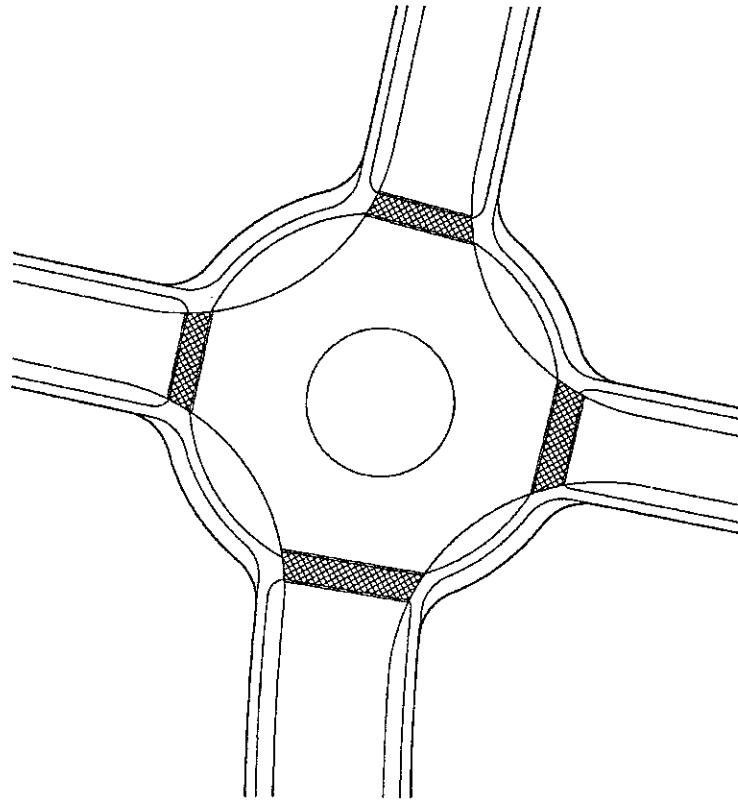
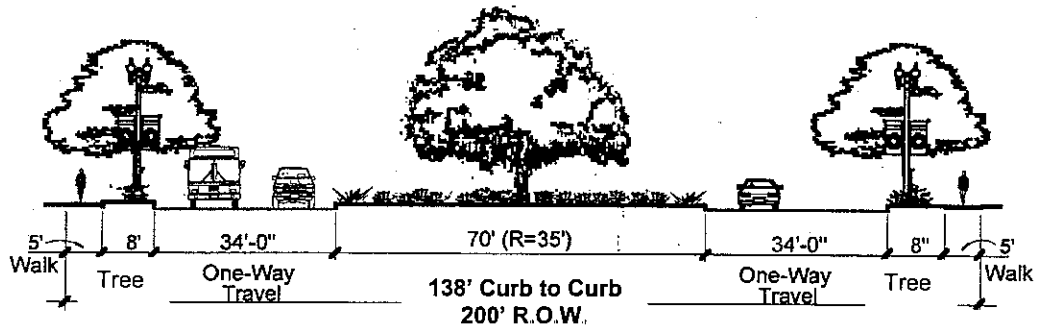


Figure II.4.2.3-10
Roundabouts

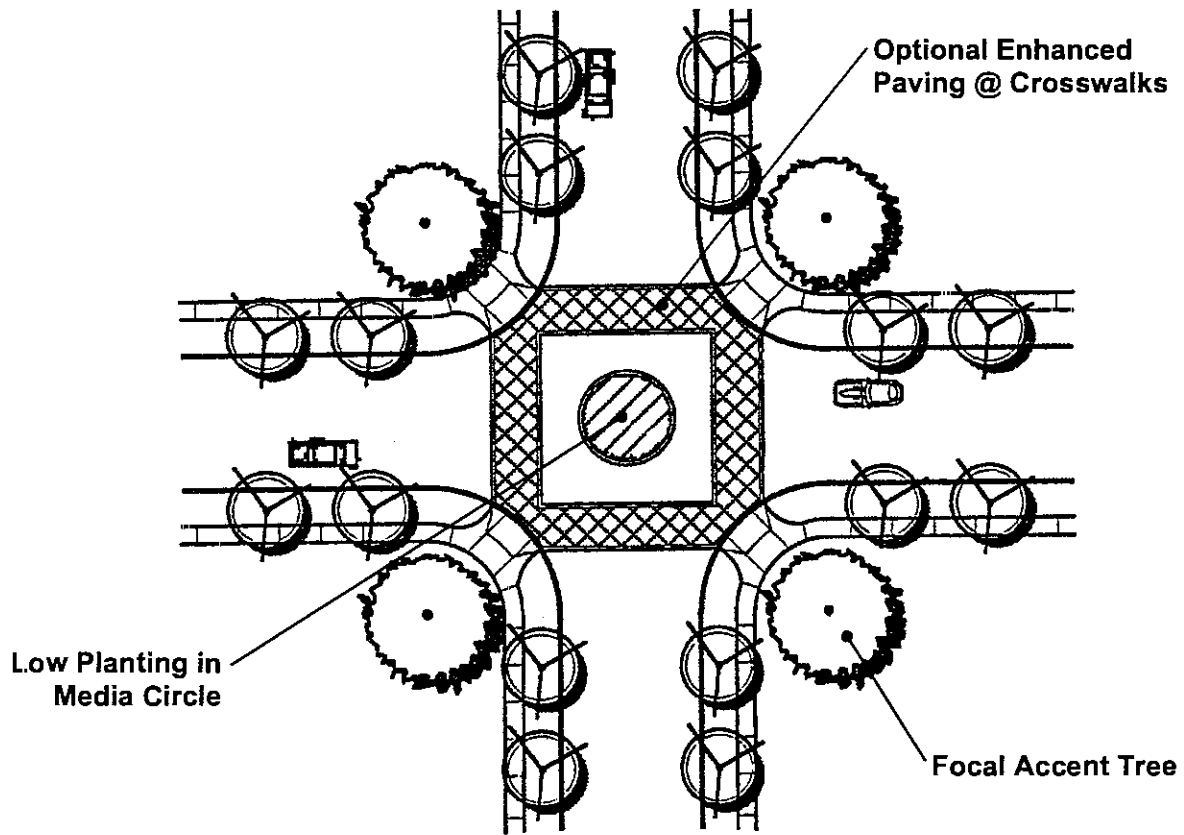


Figure II.4.2.3-11
Traffic Circles

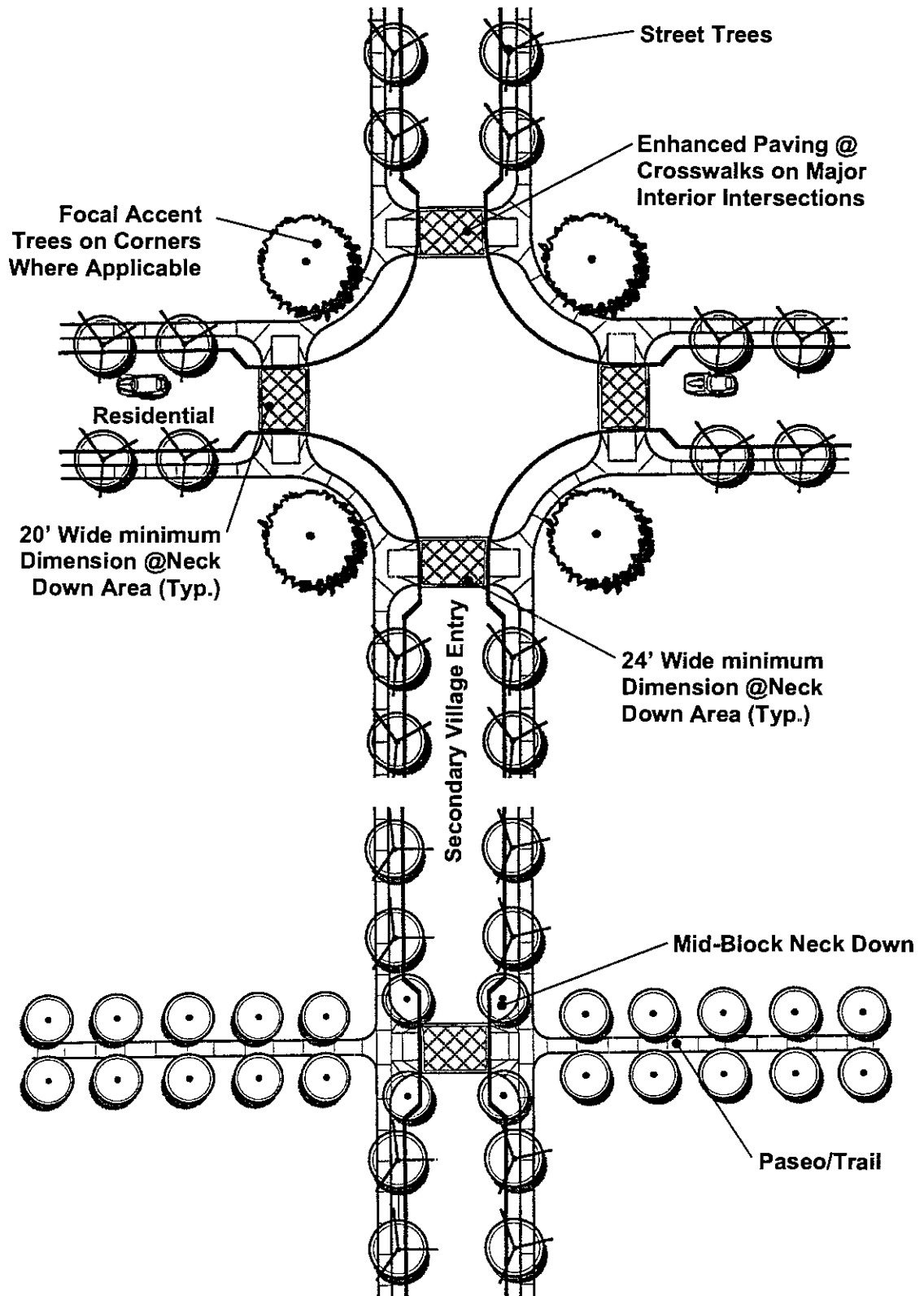


Figure II.4.2.3-12
Neckdowns

II.4.2.4 Parks & Private Recreation Facilities

Village Eleven contains a public neighborhood park, a privately owned town square park and two private recreation facilities. These parks and recreation facilities have been located to create focal points in the village and to be accessible to all villagers. As focal points, they will provide aesthetic elements and contribute to village identity and they will function as meeting places for villagers seeking both passive and active recreational opportunities. To promote park and recreational facility access, paseos traverse neighborhoods and terminate at the facilities. Figure II.4.2.4-1 illustrates the locations of parks, recreation facilities, paseos and trails in the village.

The design of the parks and private recreation facilities will incorporate the Irving Gill-inspired design theme. The theme will be used in the design of buildings, plazas, shade structures, seating and picnic areas. Furnishings such as fountains, benches, fencing and lighting will also adhere to the village design theme. Landscaping will use trees to create accent and focal points as well as shade. Lawns will be used to create multi-use play and picnic areas. Masses of shrubs and ground covers will be used in place of lawns, where appropriate, to lower irrigation and maintenance costs. Parks and private recreation facilities will be designed in compliance with the City Design Manual and Landscape Manual. City-owned parks will be designed in compliance with the City's standards and guidelines for public parks.

Town Square

The one-acre privately owned town square (P-4), located in the village core, serves as the main village focal point and reflects the pedestrian design and urban character of the village. Envisioned as a traditional, formally designed park, it will provide opportunities for passive recreation, community events, and opportunities for public art. The design of the town square should reflect its importance in the village. A strong design element, such as a structure or fountain, will be the focal point of the town square. That element will be designed in the Irving Gill-inspired village design theme. Shade and accent trees, shrubs, vines and groundcovers should create a setting for the focal point and support the design theme. A conceptual plan for the town square is illustrated in Figure II.4.2.4-2.

Neighborhood Park

The 7-acre public neighborhood park (P-1), located in the village core adjacent to the elementary school, will provide active and passive recreational opportunities for village residents. The park is centrally located in the village to provide convenient access to village residents. The location of the neighborhood park between the SDG&E easement and the elementary school optimizes vistas and spaciousness in the village. This setting also minimizes the negative affects of play field lights, noise and traffic on nearby residential neighborhoods. Park amenities may include a multi-purpose open lawn, lighted ball fields and sport courts, picnic shelters, tot lot and a restroom facility and/or maintenance building.

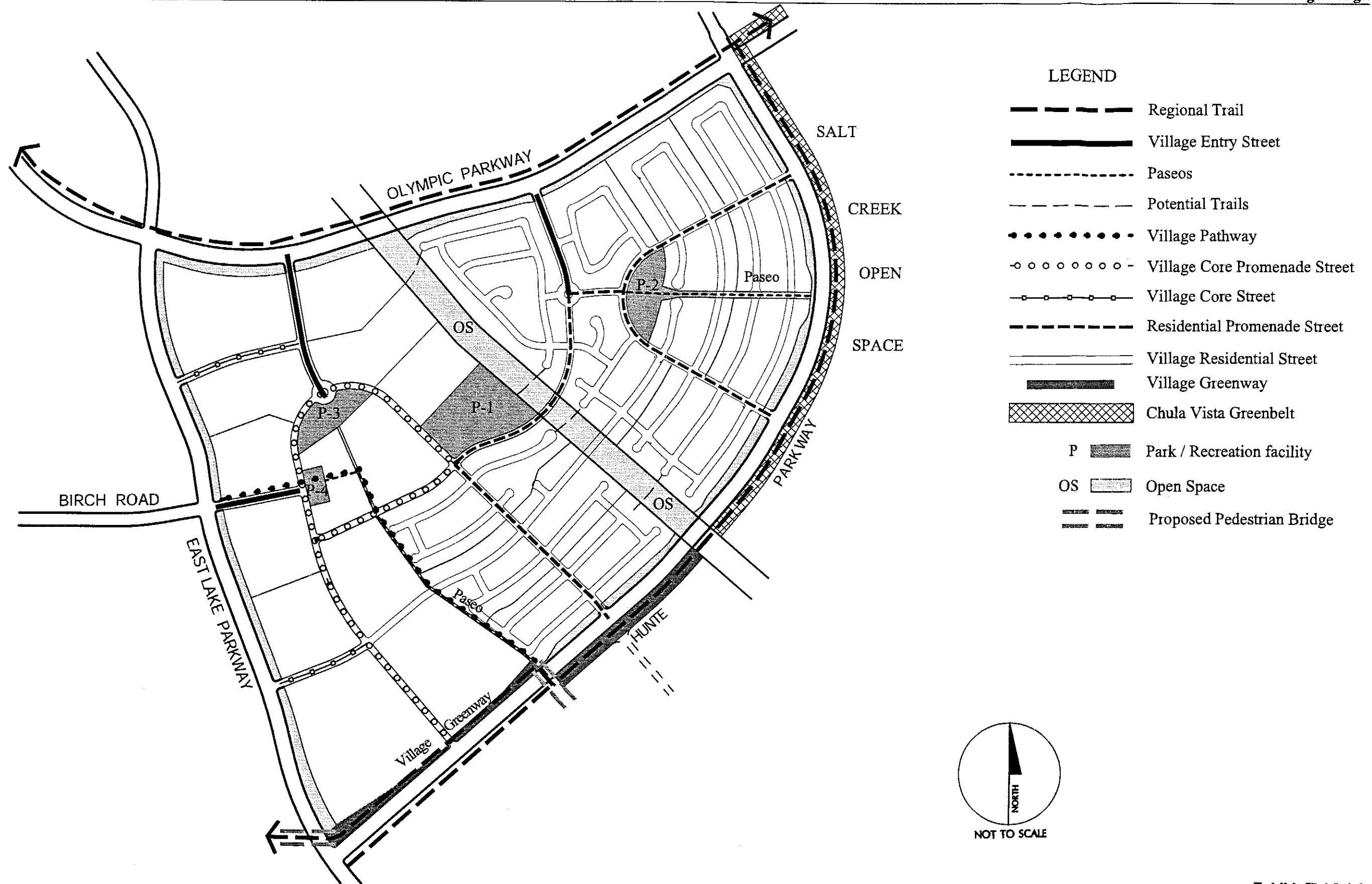
The design of the park will place the main entry close to the center of the village core. A restroom or maintenance building will be sited to create an entry and focal point. A parking lot may be located near the entry and parking on surrounding streets will also serve the park. Picnic and play areas and court sports will also be located near the entry. The larger play fields will occupy the major area of the park and abut the SDG&E/SDCWA easement. The park may be accessed from the east by a trail crossing the easement. Figure II.4.2.4-3 illustrates a conceptual design of the park.

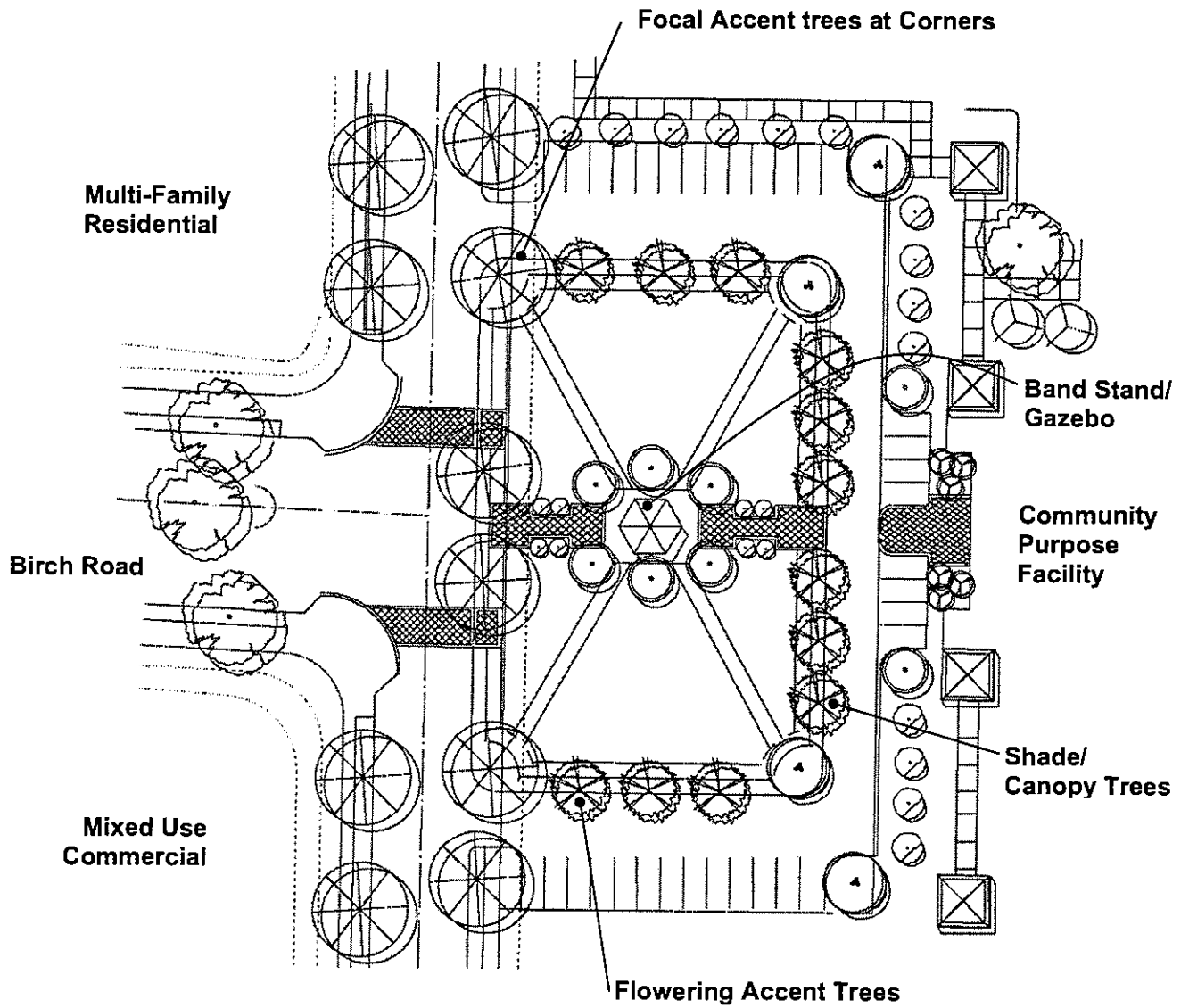
Village Core Private Recreation Facility

Open space within the village includes a private recreation facility (P-3) located at a primary entry to create a focal point in the village core. A paseo connects the facility to the residential neighborhoods. The central location provides a variety of recreational opportunities within walking distance of residences. Recreational facilities in the village core park will augment the limited size and passive nature of recreational spaces within multi-family residential development. The park will provide open lawn, seating and picnic areas, and tot lots. Some facilities, such as community buildings and swimming pools, will be gated and available to members of the homeowners association. A conceptual plan for the site is illustrated in Figure II.4.2.4-4.

Eastern Village Private Recreation Facility

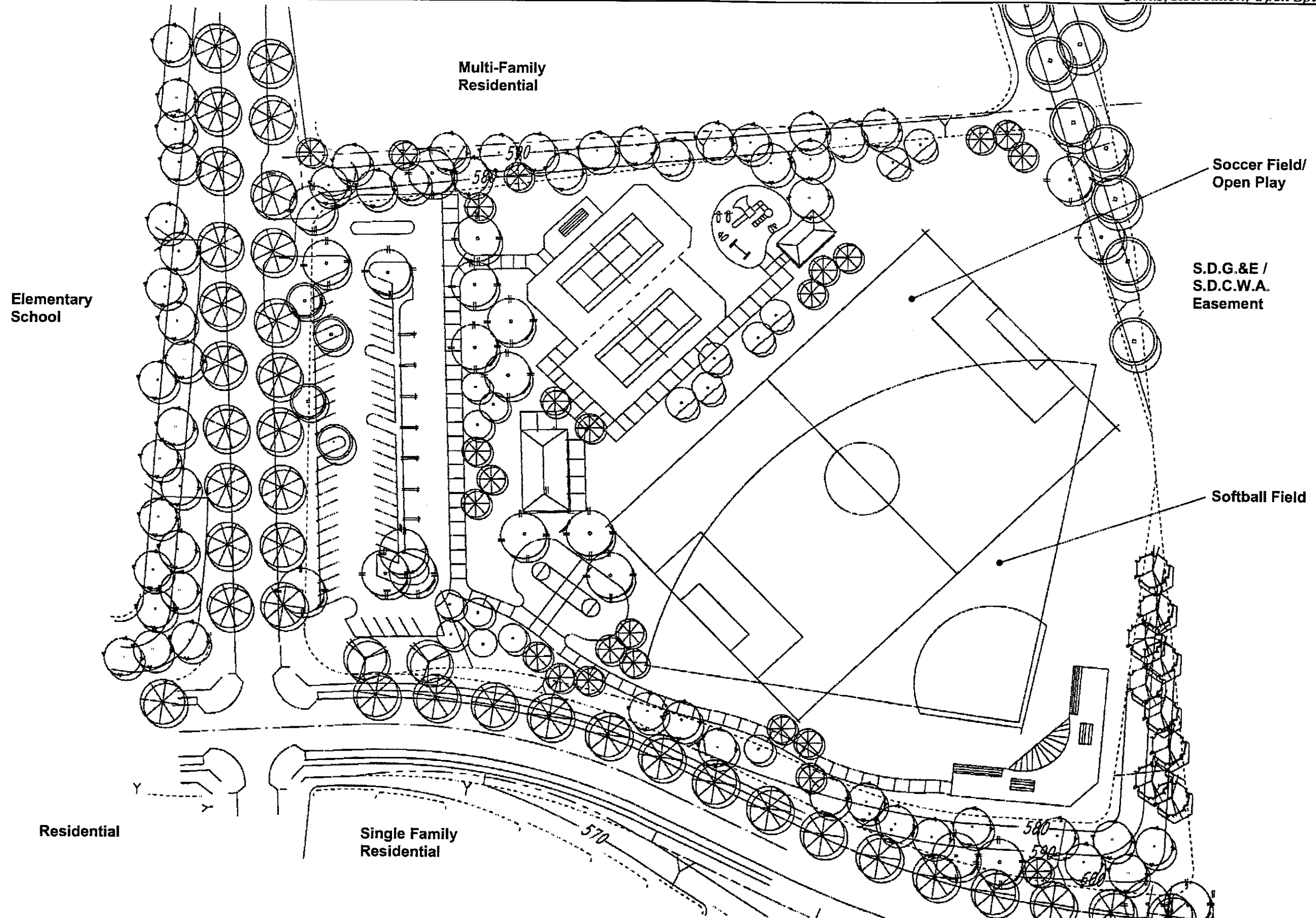
Village open space includes a private recreation facility (P-2) to provide active and passive recreation within walking distance of residences in the eastern portion of the village. The facility is sited to be visible from neighborhood entries and to serve as a focal point for the eastern neighborhoods. The facility is linked to the neighborhoods by a paseo, creating an extended linear park for surrounding neighborhoods. The eastern recreational facility will provide family-oriented recreational in close proximity to neighborhoods. It will include multi-use lawn and picnic areas, seating and tot lots. A gated homeowner's association facility, including a community building and swimming pool, will be included in the design. A conceptual plan for the site is illustrated in Figure II.4.2.4-5.





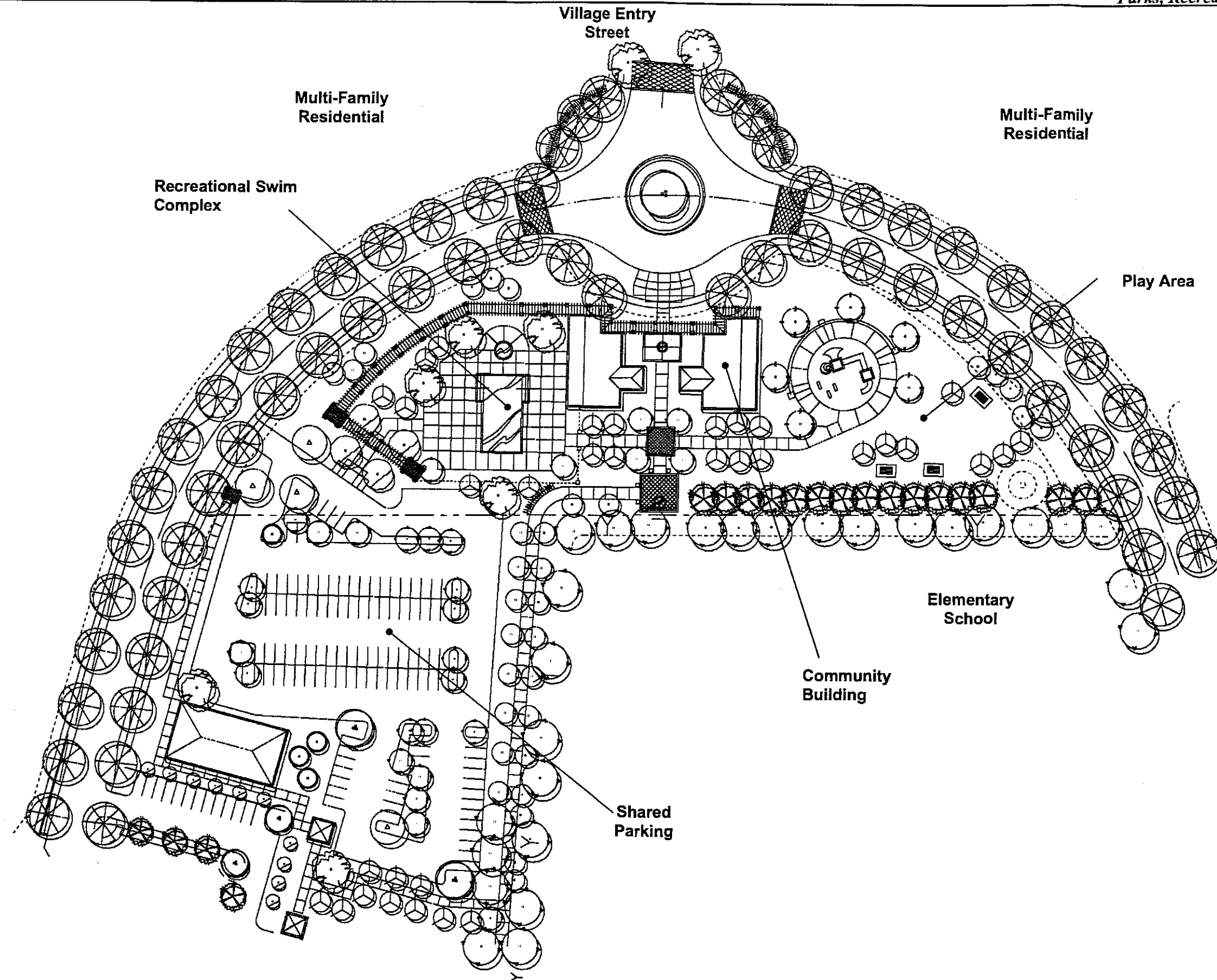
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit

Figure II.4.2.4-2
Town Square (P-4) Concept Plan



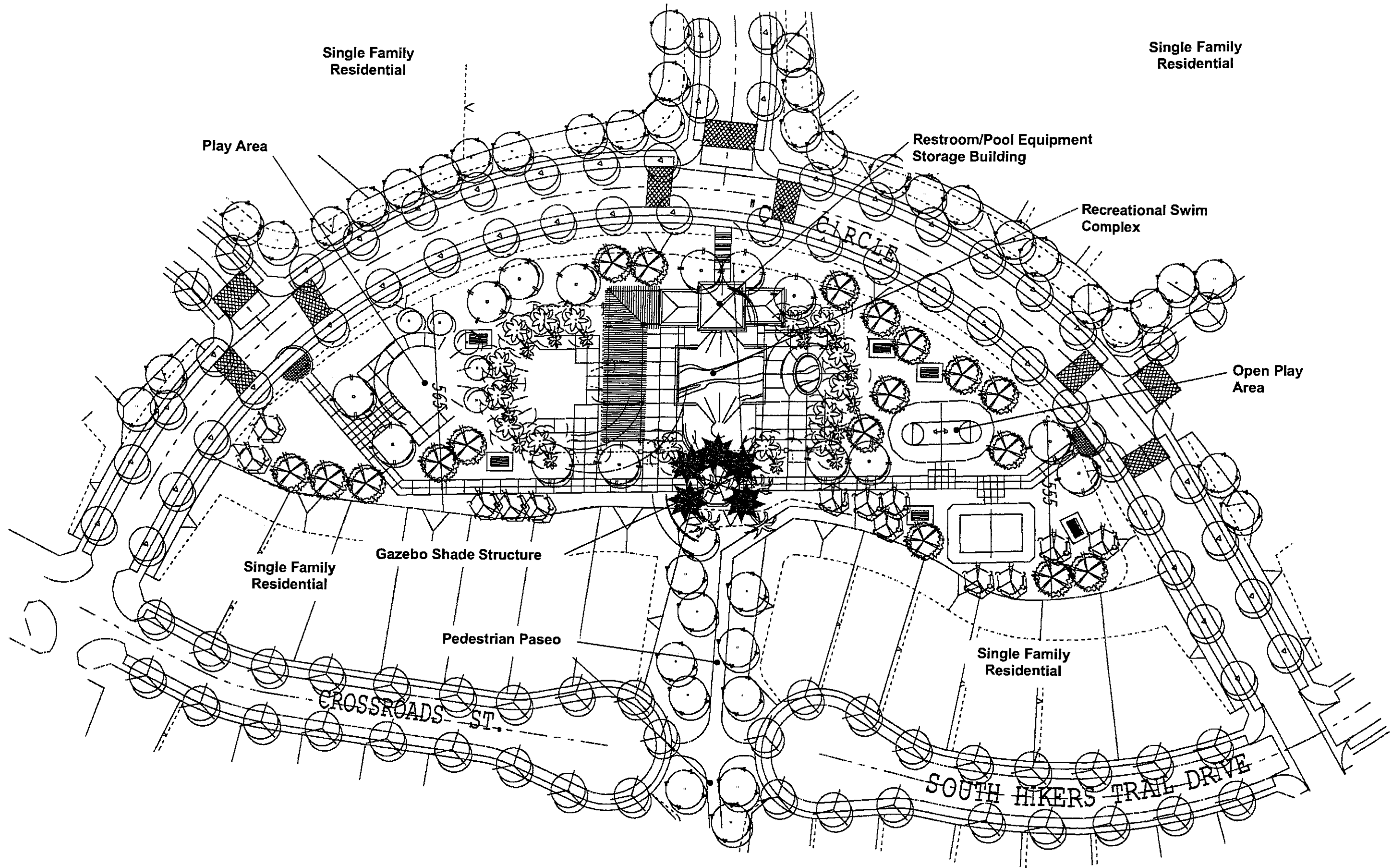
This concept plan is an illustrative example of the neighborhood park. Development of the park is subject to further discretionary review and approval of a specific Park Master Plan. Actual site development may vary from concepts depicted in this exhibit.

Figure II.4.2.4-3
Public Neighborhood Park (P-1) Concept Plan



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Figure II.4.2.4-4
Village Core Private Pedestrian Park (P-3) Concept Plan



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Figure II.4.2.4-5
Eastern Village Private Pedestrian Park (P-2) Concept Plan

II.4.2.5 Pedestrian, Bicycle and Cart Paths

A well-designed pedestrian circulation system is a fundamental component of the village concept. Section II.4.2.3, Streetscapes, describes and illustrates the community trails located on the three major perimeter streets and the pedestrian paths located along all village streets. Additional non-automotive travel-ways in Village Eleven include Regional Trails, the Village Greenway, Village Pathway, paseos and trails that provide an alternative to sidewalks along streets.

Regional Trails

Regional trails are located on the north side of Olympic Parkway and on the south/east side of Hunte Parkway. The trail adjacent to Salt Creek is also within the Chula Vista Greenbelt, a city-wide open space system. Regional Trails are typically 8 to 10-foot wide decomposed granite paths.

Village Greenway

The Village Greenway is a regional, 200-foot wide (average) landscaped open space with trails connecting through Otay Ranch. In this area of Otay Ranch, the Village Greenway provides a connection between the Salt Creek open space to the east and Planning Area 12 (EUC) to the west. The Village Greenway is located along the southern edge of Village Eleven between EastLake Parkway and the western village paseo. The Greenway is proposed to cross Hunte Parkway via a pedestrian bridge and continue on the south side of Hunte Parkway to the SDG&E/SDCWA easement. A pedestrian bridge crossing EastLake Parkway is also proposed. The trail within the Greenway is typically an 8 to 10-foot wide path.

Village Pathway

Village Pathways provide connections between Otay Ranch Villages and access to transit centers. The Village Pathway in Village Eleven connects Planning Area 12 to the University Site. The Village Pathway consists of a widened sidewalk along Birch Road that connects to the paseo in the Village Core and extends south to the Village Greenway along Hunte Parkway.

Paseos

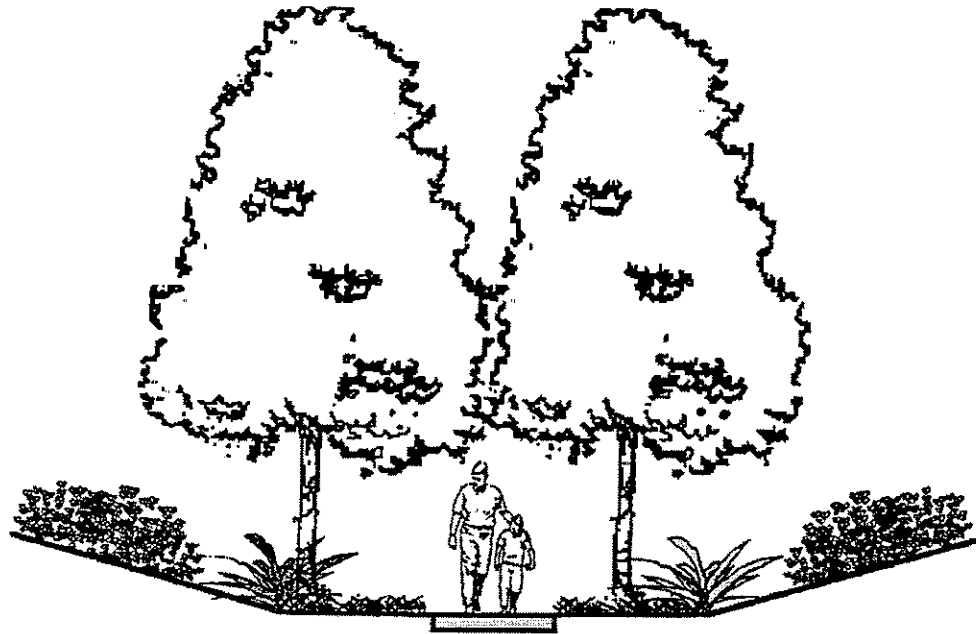
Two paseos are located in Village Eleven. The design and location of the paseos are components in the overall land use and circulation pattern. That overall pattern is a symmetrical grid that creates regularly sized residential neighborhoods defined by streets and paseos. The paseos are central elements in both the east and west areas of the village. Their locations purposefully interrupt the street system to minimize through

traffic in neighborhoods. The residential streets terminate as open cul-de-sacs at the paseos. The paseos create linear greenbelts with view opportunities through the sloping topography of the village. They extend between the private recreation facilities and Hunte Parkway, connecting the centers of the village to the sidewalks along Hunte. The paseos provide an important off-street connection to the recreation facilities and elementary school for most residents of the village.

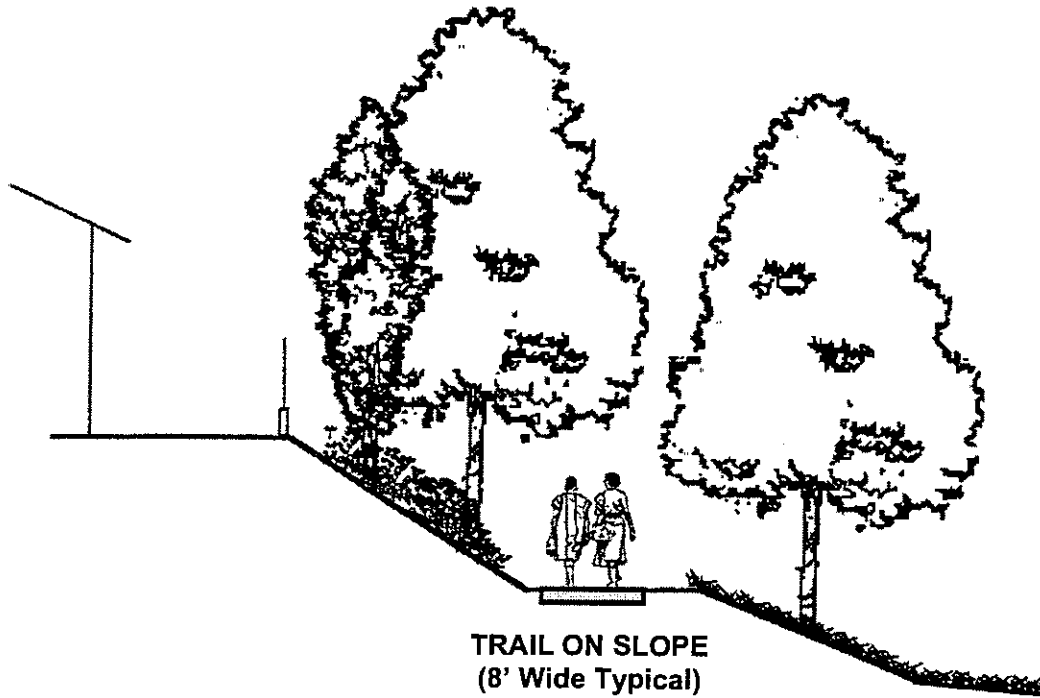
The design of the paseos will provide an 8 to 10-foot wide concrete sidewalk. The pedestrian experience will be enhanced with shade trees, lighting and benches. The landscape design will create an enjoyable walking experience. The design will also promote safety by creating clear views and minimizing hidden areas. Paseos and off-street trails have been designed to be accessible, however, the steep topography necessitates some ramps and stairs may be required where slopes cannot be avoided.

Trails

Rustic trails are proposed to be located within the SDG&E/SDCWA easement. Trails crossing the easement would provide connections between neighborhoods in the eastern part of the village and the village core. The proposed trail design would be an 8-foot wide decomposed granite path. Shade trees, shrubs and groundcovers would enhance the trail. Landscaping within the easement is limited by power lines, accessibility and maintenance required by the utility companies. The location and design of the trails must be by approval of SDG&E and SDCWA. Paseos and trails are illustrated in Figure II.4.2.5-1.



MEANDERING PASEO TRAIL
(8' Wide Typical)



TRAIL ON SLOPE
(8' Wide Typical)

Figure II.4.2.5-1
Paseos and Trails

II.4.2.6 Street Furnishings

Street furnishings make an important contribution to the pedestrian-oriented village. Some furnishings, such as lighting, are necessary simply to use the outdoor space. Other furnishings, such as benches and trash receptacles, are enhancements that encourage people to walk and use the outdoor spaces.

All street furnishings in the village will be designed or selected to promote the village design theme and will be used consistently throughout the village. Transit shelters, trash enclosures, and special features, such as fountains, will be designed similarly to the village monument features. Lighting, benches, bicycle racks, trash receptacles and tree grates will be selected to be compatible with the theme. The design of street furnishings shall comply with the requirements of the City of Chula Department of Public Works and Chula Vista Transit. Figures II.4.2.6-1 and 2 illustrate street furnishings.

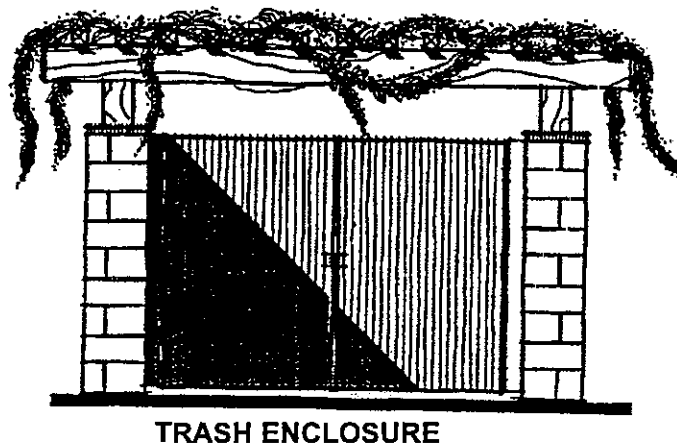
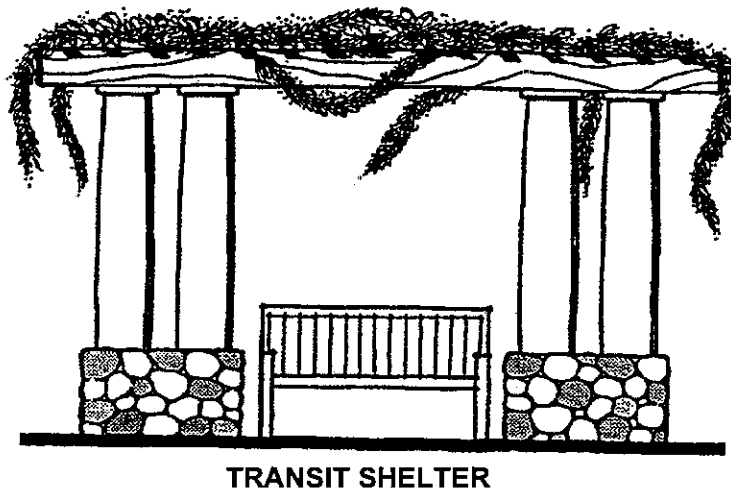


Figure II.4.2.6-1
Conceptual Street Furnishing Designs

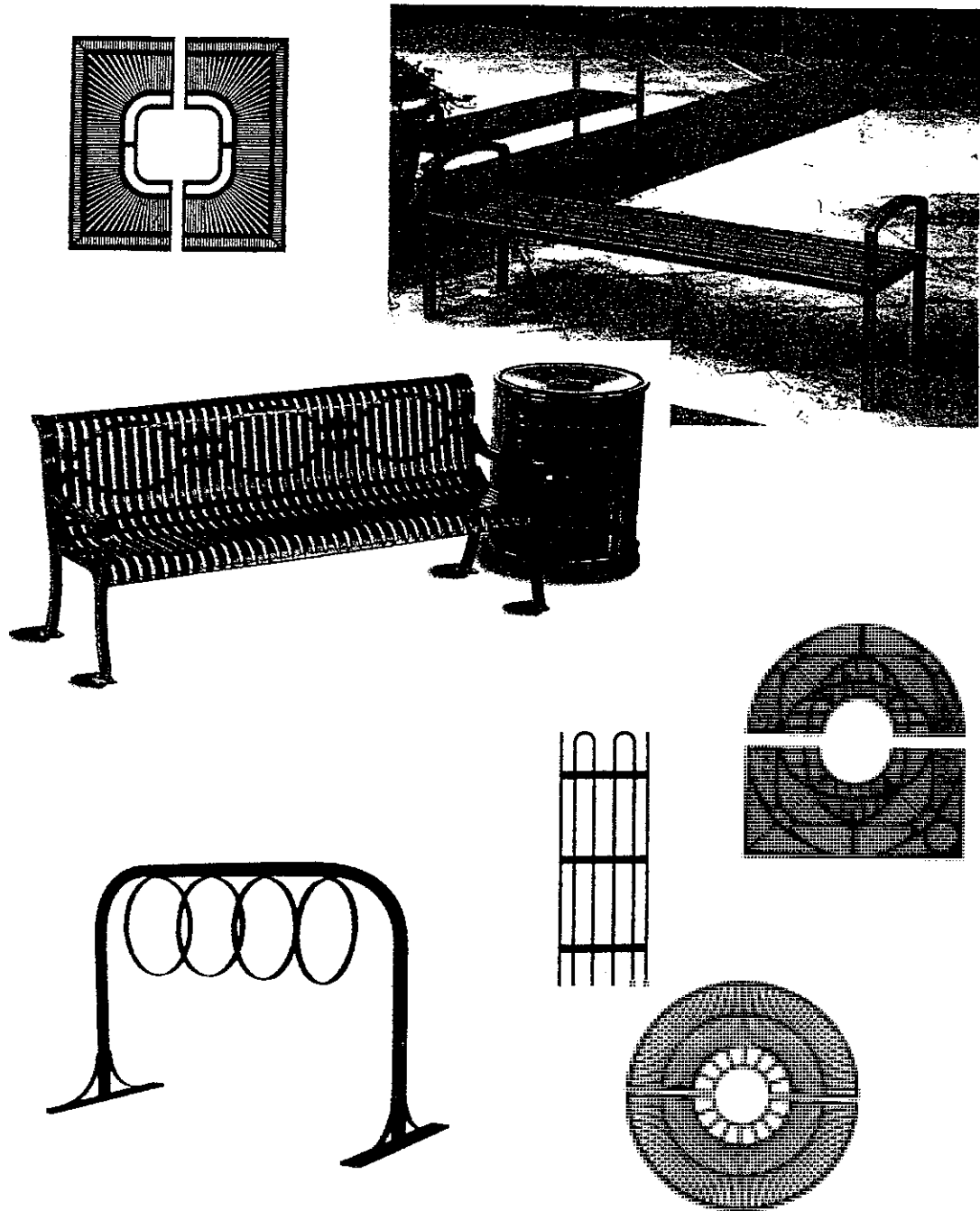


Figure II.4.2.6-2
Conceptual Street Furnishing Styles

II.4.2.7 Lighting

The Village Eleven lighting plan must provide adequate lighting levels for the safety and comfort of the vehicular and pedestrian travel. Specialty lighting provides an aesthetic element in the village when used with thought and discretion. Lighting that will occur in the village includes major street and residential street lighting, pedestrian-scaled lighting, sign, and accent lighting. The 7-acre neighborhood park and junior high school may include play field lighting. Figure II.4.2.6-1 illustrates a lighting style appropriate to the village design theme. The following guidelines should be followed in the provision of lighting:

- All lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.
- Lighting plans shall be prepared for mixed-use/commercial, community facilities, schools and recreation areas and are subject to Site Plan Review. Any such lighting, which will illuminate a residential area past the hour of 10:00 p.m., shall be clearly identified on the lighting plan.
- Lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians
- Lighting shall be directed, or shielded if necessary, to avoid intrusion into residential neighborhoods and the Salt Creek habitat.
- Lighting shall be attractive and suitable to the design theme of Village Eleven
- Lighting shall be manufactured of high quality materials that are visually compatible with design elements, such as street furniture and architecture.
- Specialty street lights may be provided by the San Diego Gas and Electric Company. The preferred design is an acorn style lamp on top of a simulated concrete pole. Specialty lighting shall be maintained by a Community Facilities District or a Homeowner's Association.
- A hierarchy of lighting levels and lighting fixtures will be used for street lights. Village entry and core streets will use taller and brighter fixtures. Residential street lighting will be smaller scale with lower lighting levels.
- Specialty lighting along pedestrian corridors shall be spaced for human scale. Examples are low pole lighting, bollard lighting, and ground-level lighting.
- Accent lighting may be used on all permanent monument or project signs and may consist of uplights, downlights, spotlights, pole lights, bollards, or bar lights.
- Accent lighting is allowed for focal features, such as fountains, trees, overhead structures, or other elements that would provide an aesthetic or safety benefit.
- Accent lighting should be limited to focal points. Subtle lighting should take precedence and over-lighting should be avoided.
- Play field lights, if provided, should provide adequate illumination directed to the play area and shielded from intruding into residential areas.

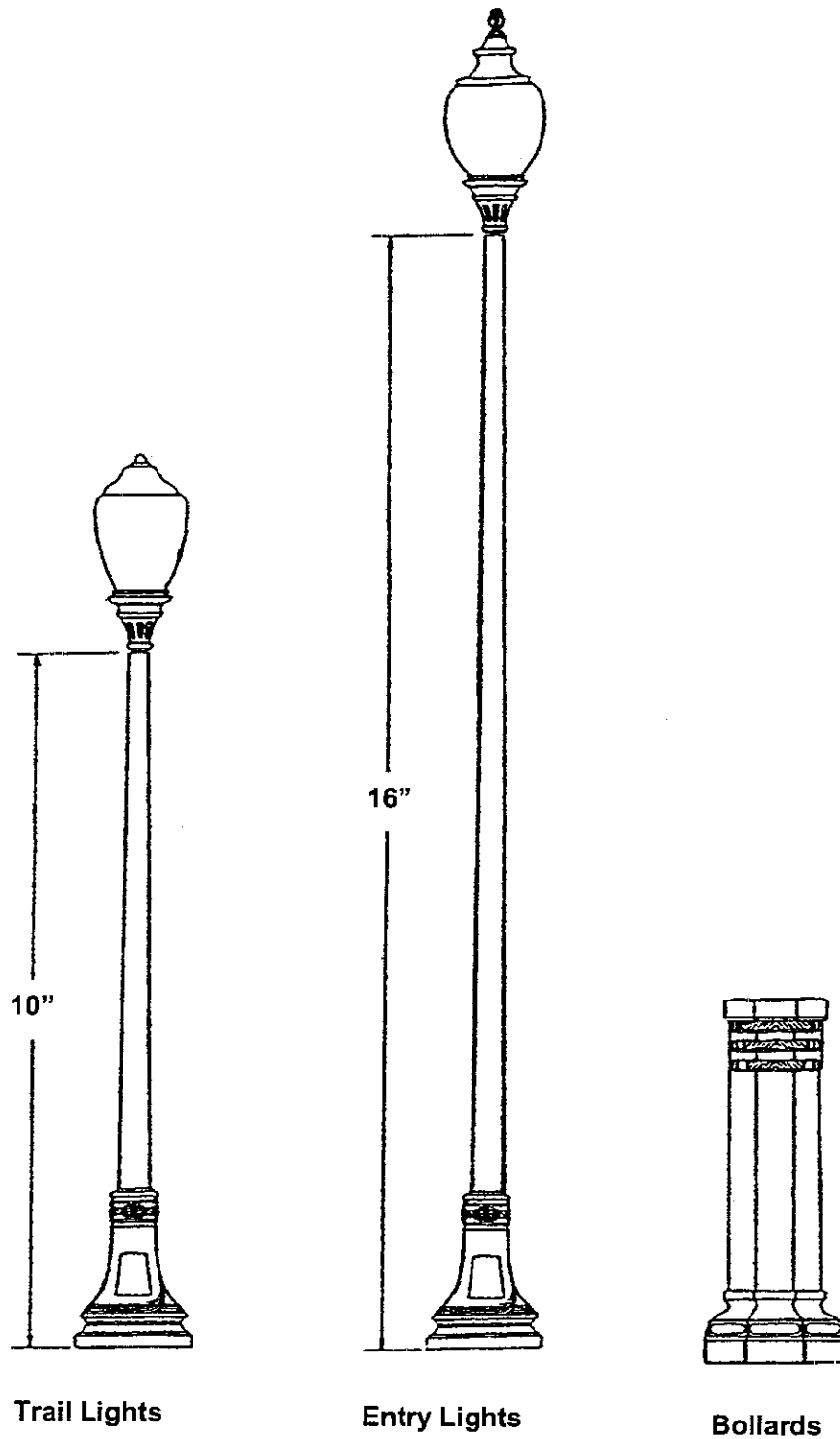


Figure II.4.2.6-1
Conceptual Specialty Lighting Styles

II.4.2.8 Walls and Fencing

Walls and fencing in Village Eleven will be designed as a community identity element that enhances the design theme of the village and unifies the various architectural styles within individual neighborhoods. The primary functions of walls and fencing are to provide security, privacy and noise attenuation. The functional aspects of walls and fencing should be minimized through aesthetically pleasing design and landscape. Openings in fences and walls will be provided to allow pedestrian, bicycle and cart access to paseos and trails. The location and design of noise attenuation walls shall comply with subsequent acoustical analysis studies prepared by the developer and approved by the City. Graffiti control finishes shall be applied as required by the City. A conceptual plan for the location of various types of walls and fencing is illustrated in Figure II.4.2.8-1 and descriptions and illustrations of various types of fencing follow.

Perimeter Walls and Fencing

Perimeter walls and fencing, in conjunction with entry monuments, provide the first character images of Village Eleven. The design theme of the village is expressed through the use of stone pilasters and masonry walls. View fencing will be used wherever noise attenuation or visual screening are not needed to create an open, welcoming image. The precise type of fencing will be determined when final grading and acoustical studies have been completed. The exact materials shall be selected concurrent with development of the Project Landscape Master Plan. Perimeter walls and fencing are illustrated in Figure II.4.2.8-2.

Production Walls and Fencing

Production walls and fencing integrate the village design theme on prominent interior streets. Their design will include masonry pilasters and walls for noise attenuation and privacy, and tubular metal for view fencing. Walls and fencing which are interior to the neighborhoods may use similar or compatible materials and styles appropriate to the project. Figure II.4.2.8-3 illustrates production walls and fencing.

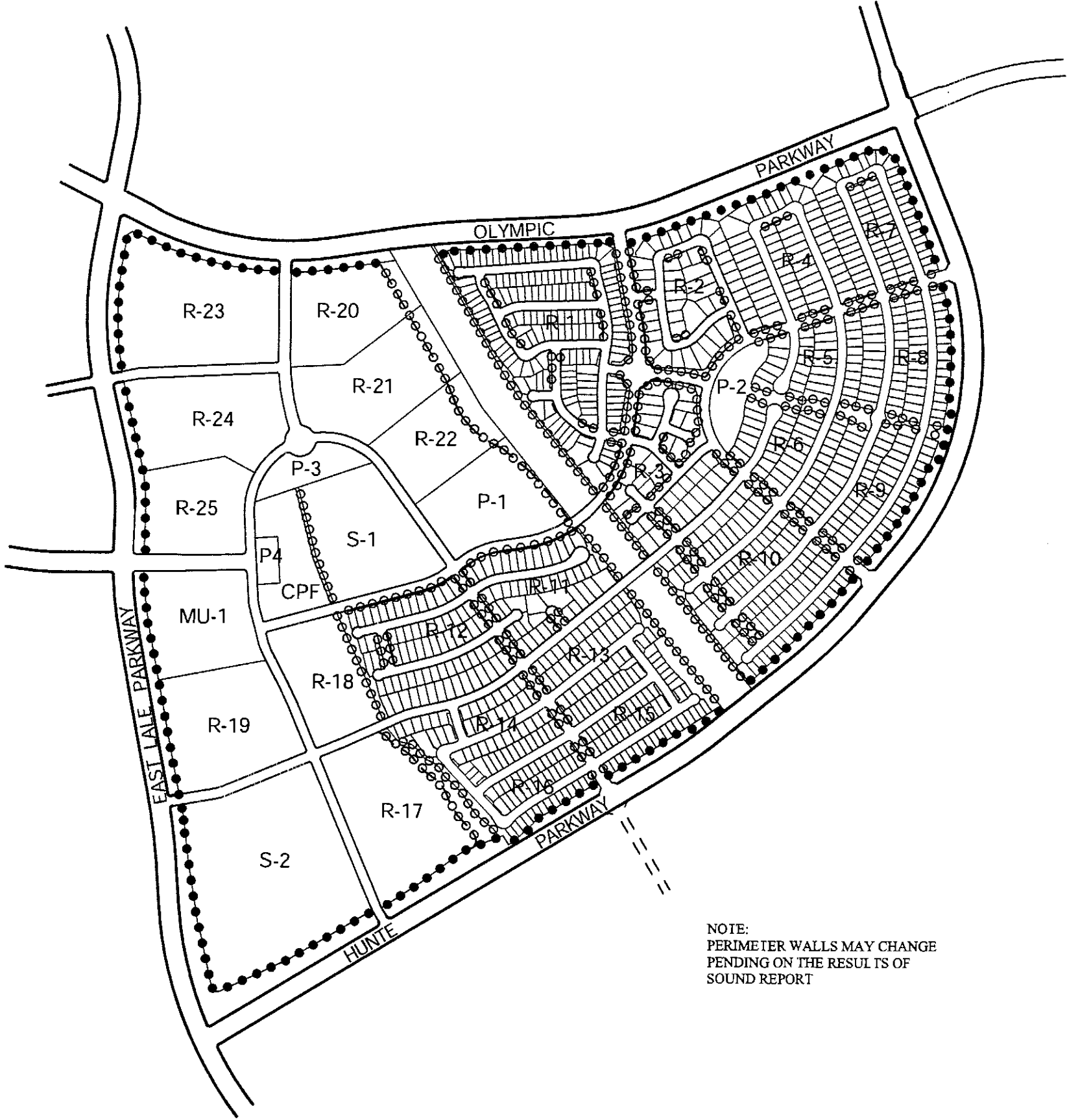
Wood Fencing

Single family residential neighborhoods may use wood fencing for interior side yards and rear yards. This type of fencing is not intended to be viewed from public streets. Connections between residential side yard wood fencing and interior village production walls shall be sensitively designed to minimize views of the wood fencing. This can be achieved through landscaping, extension of the production wall forward of the wood fencing or other side yard embellishments.

Multi-family Residential Walls and Fencing

Fencing for town home and multi-family projects shall be compatible in design to the production walls and fencing and residential wood fencing. The style and materials of walls and fencing will be determined through site plan review. Walls and fencing shall be designed and located according to the following guidelines:

- Walls shall be made of a textured surface material that is compatible with the village design theme.
- The monotony of a long wall shall be broken by visual relief through periodically recessing the wall, constructing pilasters, or off-setting the fence line.
- Landscaping, such as trees, shrubs or vines shall be used to soften the appearance of the wall.
- Sound wall fencing shall be used to mitigate adverse noise impacts on residential units.
- Walls that serve as a subdivision exterior boundary shall be up to six feet in height from the highest finished grade.
- Walls used as rear or side yard walls shall be constructed up to six feet in height depending upon the conditions that exist.
- Combined solid wall and open view fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation and privacy.
- Graffiti control finishes shall be applied where appropriate.



NOTE:
 PERIMETER WALLS MAY CHANGE
 PENDING ON THE RESULTS OF
 SOUND REPORT

FENCE & WALL LEGEND

- PERIMETER THEME WALL/VIEW FENCE
- INTERIOR PRODUCTION WALL/VIEW FENCE

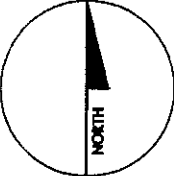
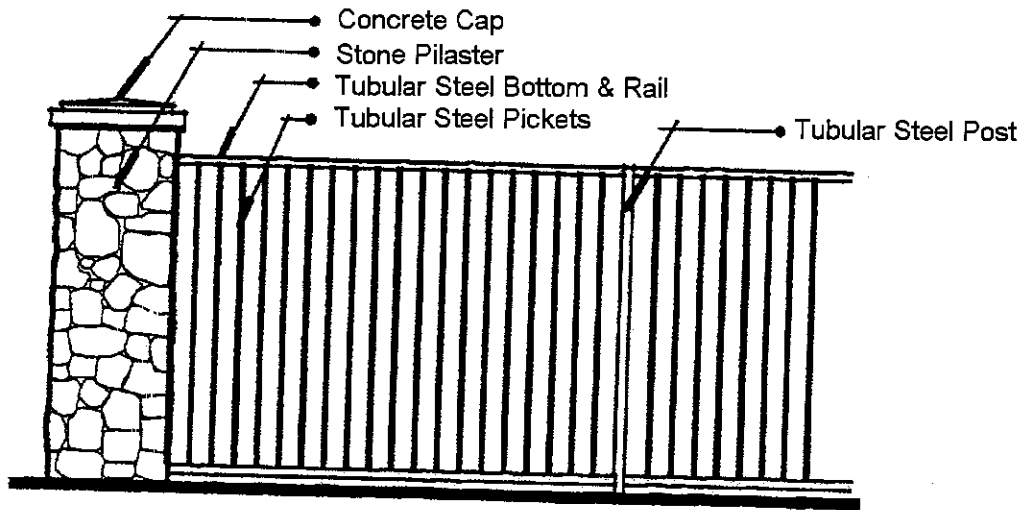
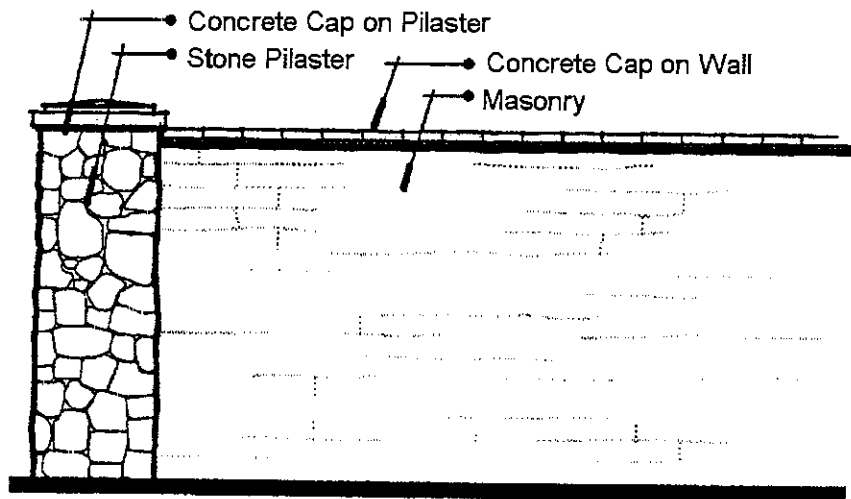


Exhibit II.4.2.8-1
 Walls and Fencing Concept Plan



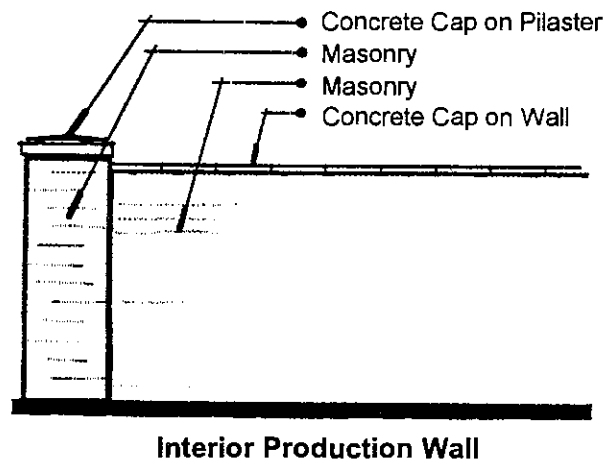
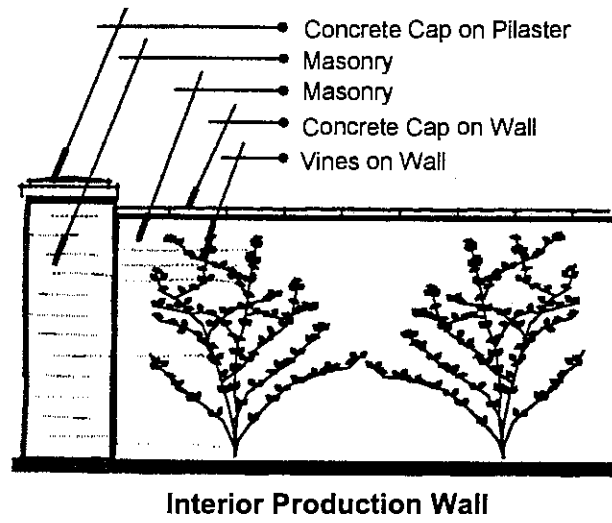
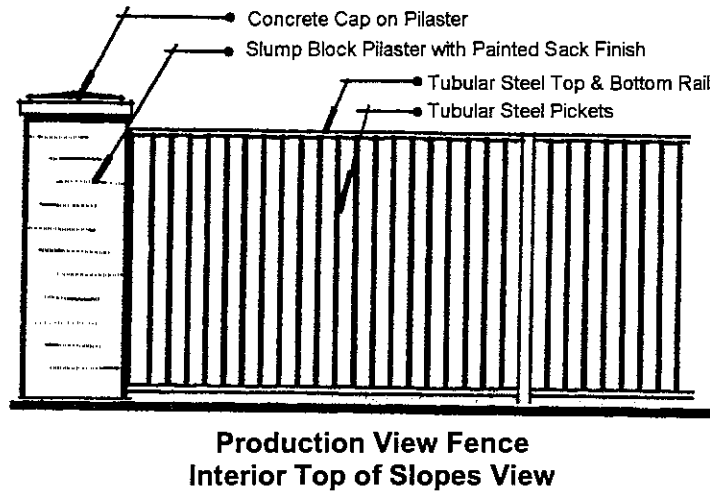
Perimeter View Fence



Perimeter Them Wall

All fences and walls to be 6' high.
Concrete cap on pilaster up to 6' 9" high.

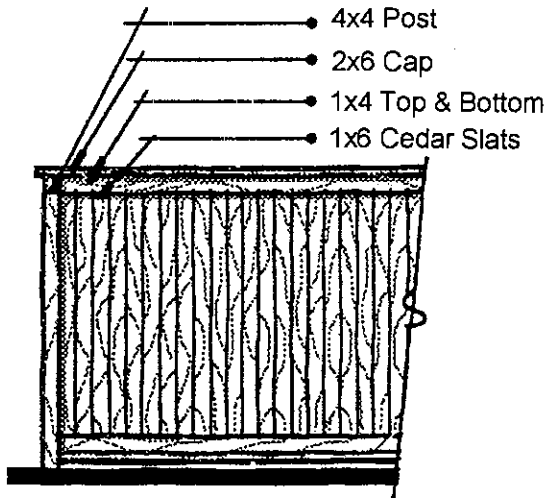
Figure II.4.2.8-2
Perimeter Walls and Fencing Concept



All fences and walls to be 6' high.

Concrete cap on pilaster up to 6' 9" high.

Figure II.4.2.8-3
 Production Walls and Fencing Concept



- Between Lots
- Non-Visible Conditions

All fences are to be 6' high.

Figure II.4.2.8-4
Wood Rear and Side Yard Fencing Concept

II.4.2.9 Art and Cultural Facilities

Opportunities for art and cultural facilities in Village Eleven are provided in both public and private spaces. Public spaces that may accommodate art and performances include the town square and neighborhood park. The traffic roundabouts and traffic calming circles are also potential locations for public art. Public-sponsored art programs are coordinated by the City's Office of Cultural Affairs.

Private spaces that may incorporate public art and performances include the community purpose facility, private pedestrian parks/community buildings and the mixed use commercial area.

II.4.2.10 Accessibility

Public and private developments within Village Eleven shall strive to be accessible to persons with disabilities as prescribed by the Title 25 and Americans with Disabilities Act (ADA) requirements. The steep topography in some areas of the village require street sidewalk gradients to exceed ADA standards and some ramps and stairs may be required in paseos where slopes cannot be avoided.

II.4.3 Village Core Design

II.4.3 VILLAGE CORE DESIGN

The village core is fundamental to the Otay Ranch planning concept and the basis for organizing land uses within Village Eleven. As described in Section II.4.1, the surrounding land uses and physical site conditions largely directed the location and organization of land uses within the village core. Land uses within the core have been organized for compatibility, synergism, and enhancement of the pedestrian orientation of the village. The Village Eleven core contains all of the appropriate land uses to create a vital town center as directed by the Otay Ranch GDP policies. The village core will adhere to the GDP policies for village core design as well as the Otay Ranch Village Design Plan guidelines. A Village Eleven Core Master Precise Plan will also be prepared to establish additional design guidelines within the Village Core.

II.4.3.1 Architectural Theme

As described in the Section II.4.1.3, the village design theme is inspired by the architecture of Irving Gill. Irving Gill designed numerous public and community facilities that are functional and aesthetically pleasing today. Gill emphasized the relationship between indoor and outdoor spaces to create outdoor rooms through the use of pergolas, arbors, colonnades, porches and adjunct building masses. His focus in design combined the Spanish heritage of the region with the clean lines of the modernist movement. In the 1920's, Gill was perfecting the tilt-up concrete building technique used today in commercial building development. These design features are applicable to the mixed use/commercial, community purpose facility, schools, park and other community facilities in Village Eleven. Figures II.4.3.1-1 through 3 illustrate the Irving Gill architecture that will serve as inspiration for the Village Eleven core.

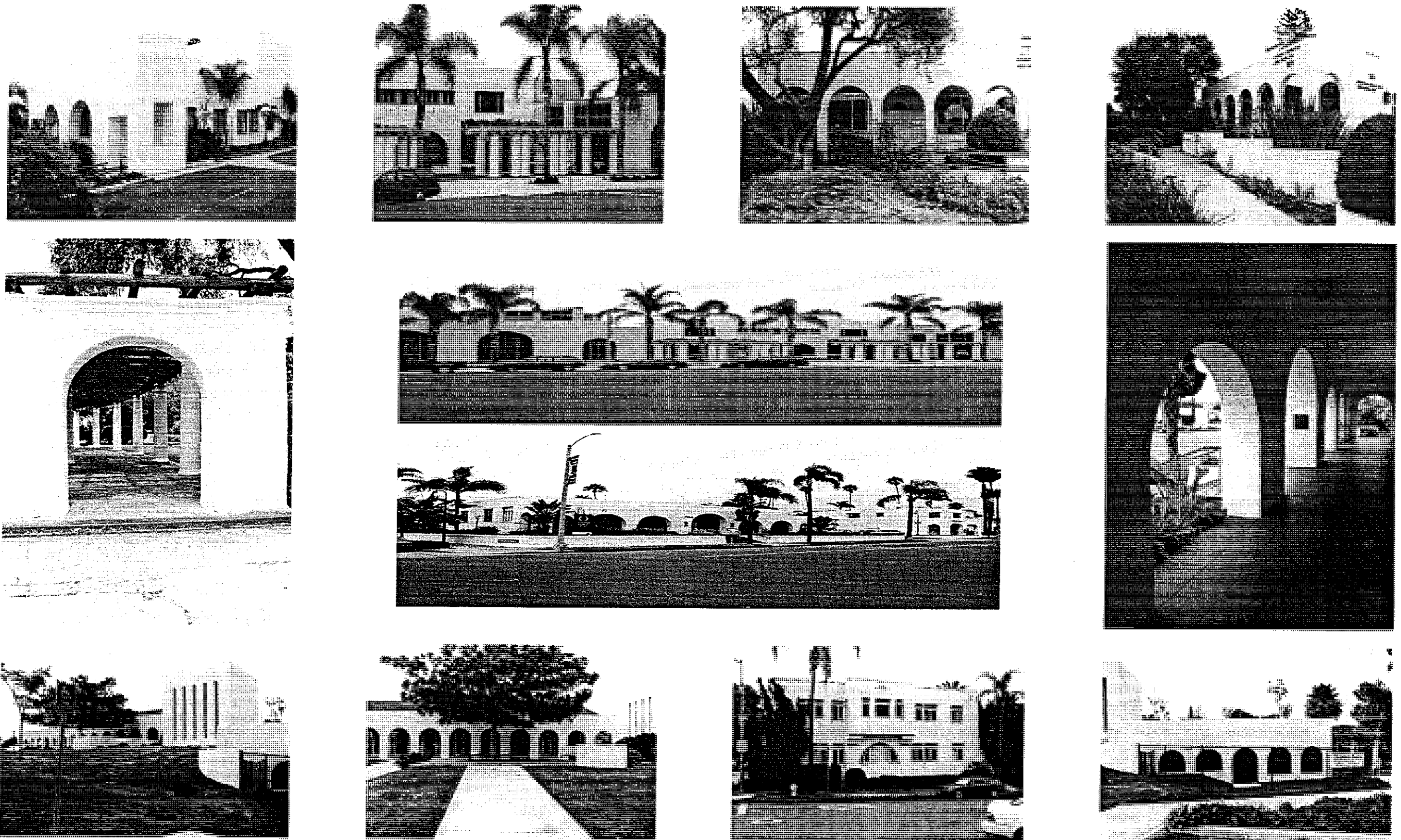


Photo Credit: William Hezmalhalch Architects, Inc

Figure II.4.3.1-1
Irving Gill Community Facilities

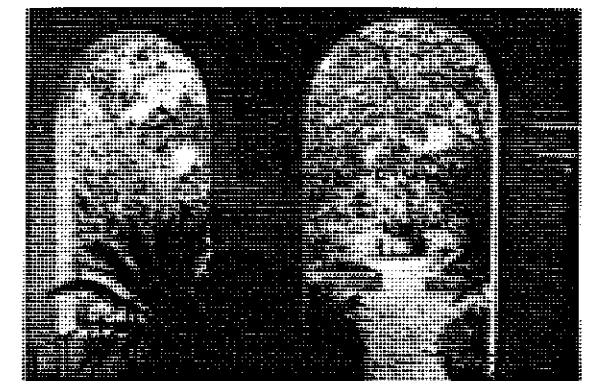
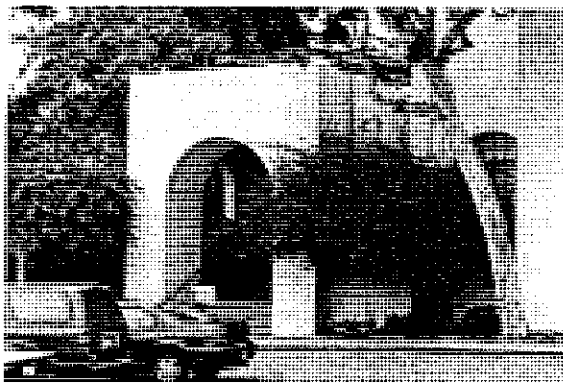
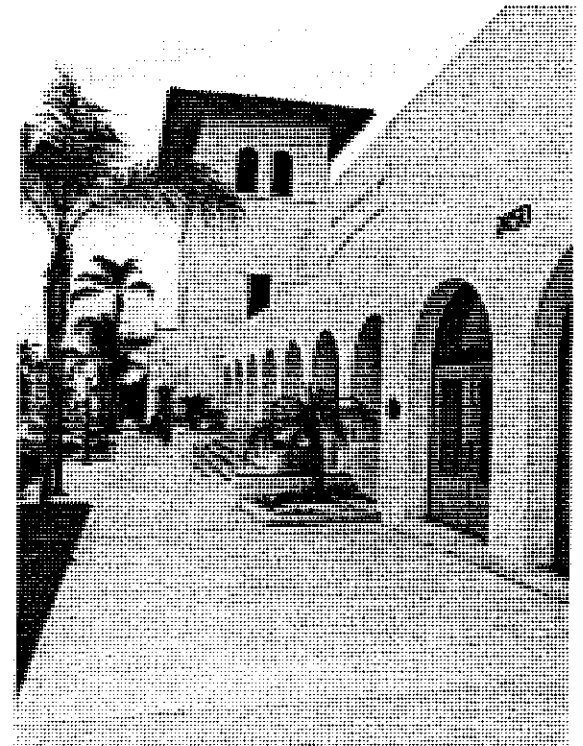
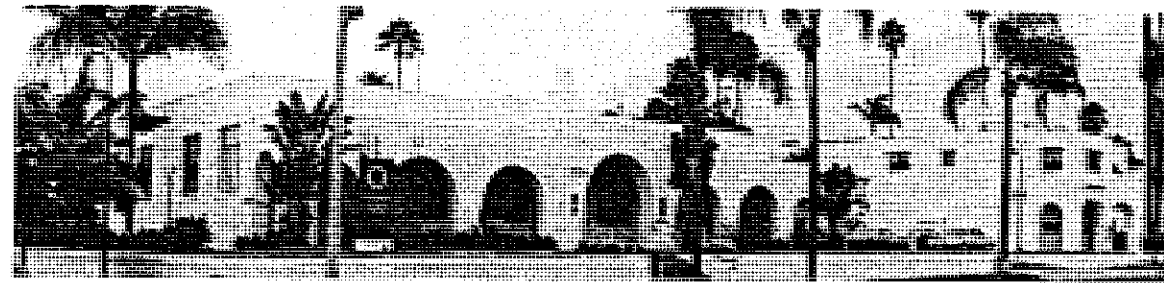
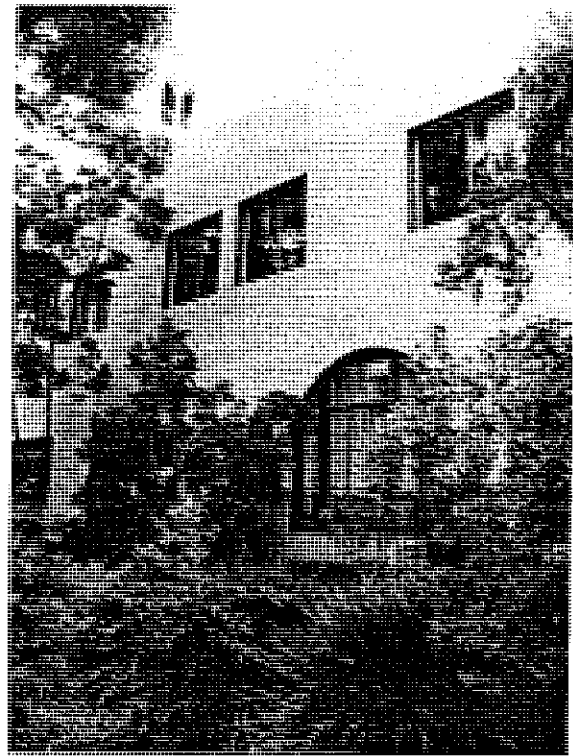
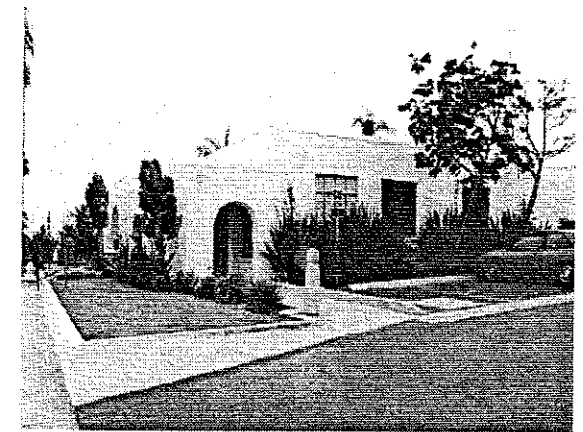
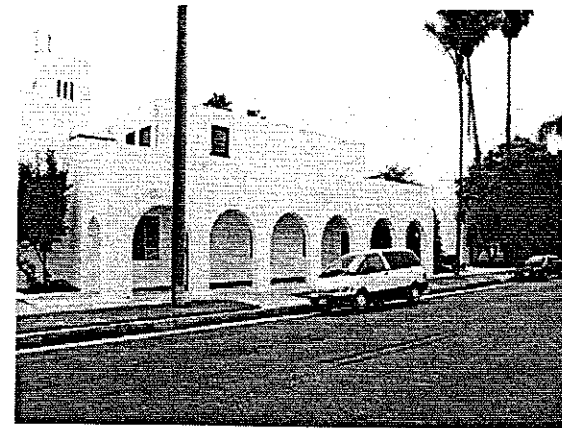
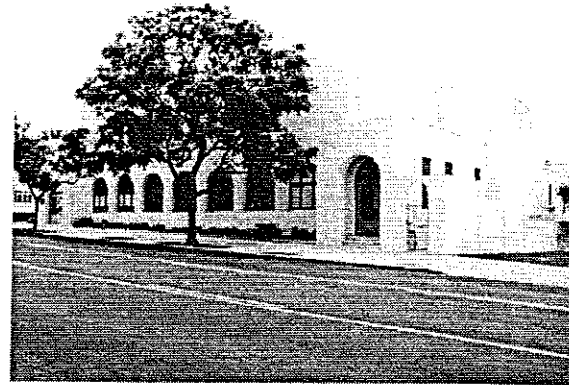


Photo Credit: William Hezmalhalch Architects, Inc.

Figure II.4.3.1-2
Irving Gill - Influenced Architecture

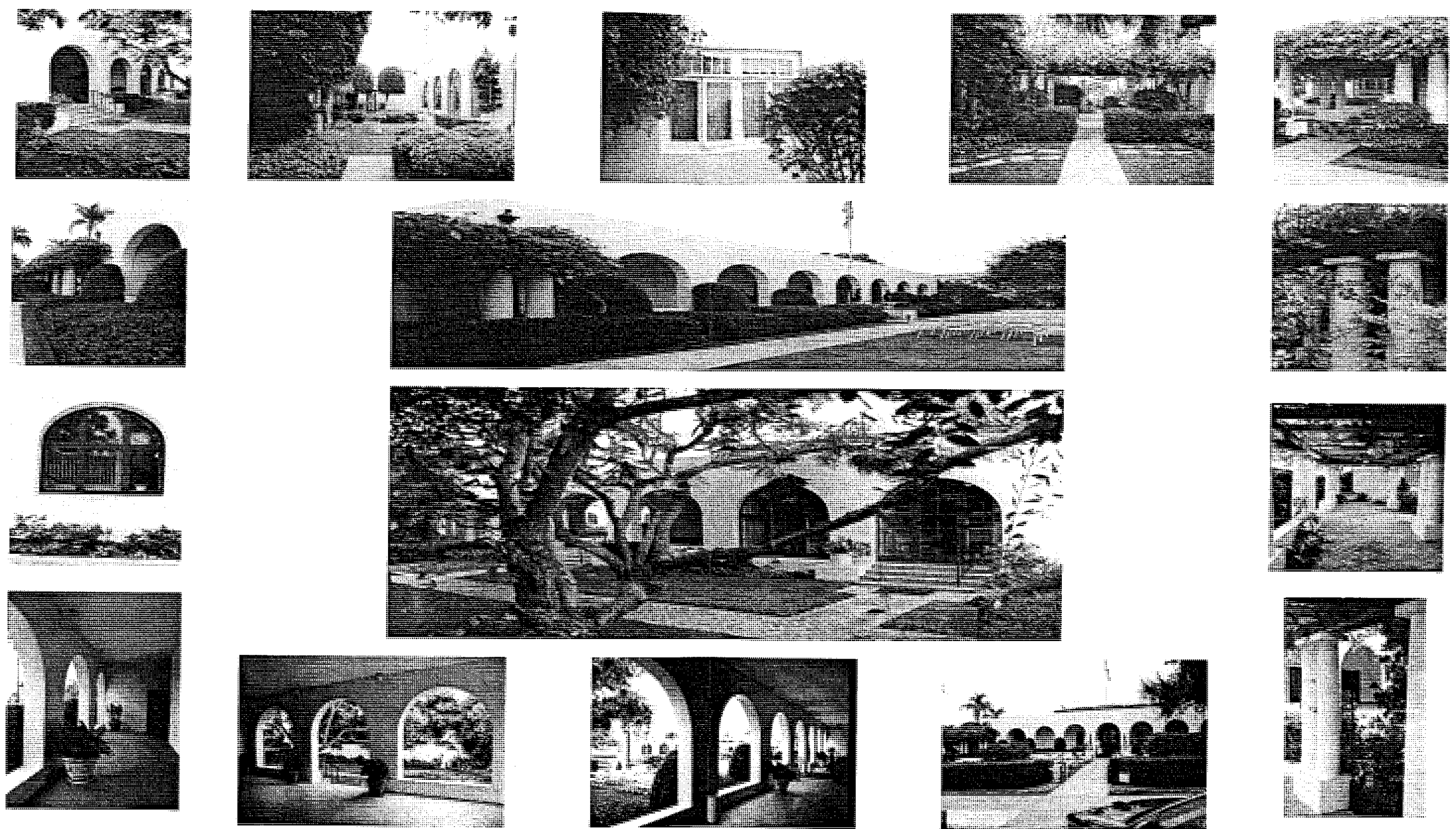


Photo Credit: William Hezmalhalch Architects, Inc.

Figure IL4.3.1-3
La Jolla Woman's Club by Irving Gill

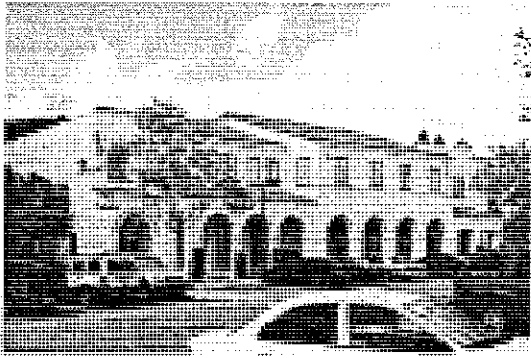
Architectural Design Guidelines

The following guidelines shall apply to the mixed-use/commercial, community purpose facility, elementary school, park and other community buildings within the village core. Although not directly in the village core, the junior high school and the east village pedestrian park community buildings shall also adhere to the guidelines in order to maintain the village design theme throughout Village Eleven.

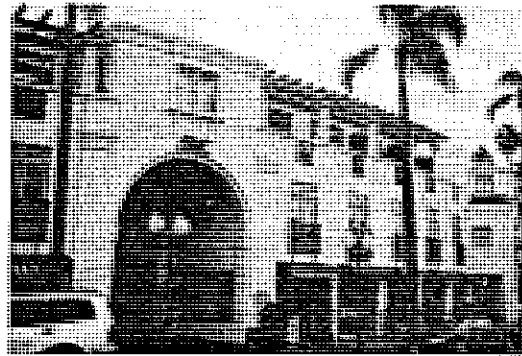
- Landmark architecture shall be located at all focal points and major intersections within the village. "Landmark architecture" should be a distinctive element that creates an accent or focal point, such as a tower.
- Primary building entries shall be oriented to the street to the extent possible.
- Commercial buildings shall be oriented to a village core street to create a traditional "main street."
- Buildings shall be arranged to create outdoor rooms, such as courtyards, wherever possible.
- Exterior building elevations shall incorporate a range of scale-defining elements that relate larger building masses to the pedestrian. Such elements include columns, archways, doorways, upper floor windows and balconies.
- Overhead features that create a sense of enclosure and encourage visitors to linger and enjoy the area may be incorporated into the design. Features such as canopies, arcades and roof overhangs create the sense of enclosure and also protection from sun and rain.
- Building height and massing shall be varied.
- Roof forms shall be compatible with the architectural style and create skyline interest.
- Architecture along the same street or within a complex shall include buildings of similar but varying height and share one or more distinctive element, such as materials, window and door style, detailing, porches, arcades, overhangs, roofing, color, etc.
- Decorative detailing shall be consistent with the overall architectural style and be used as accents. Detail elements include arches, balconies, balustrades, chimneys, cupolas, ceramic tile, moldings, reveals, wrought iron, hand rails, windowsills, finials, and lighting fixtures.
- All utilitarian aspects of development, such as mechanical equipment, gutters, downspouts, storage and refuse collection areas shall be integrated into the building design so as not to be visible from pedestrian and public view areas to the extent possible.
- Exterior staircases shall be compatible with the building architecture.
- Exterior staircases shall be visually perceived as integral to the building or as a significantly defined architectural accent.
- Side and rear elevations of buildings exposed to view shall be articulated or enhanced to provide a pleasing appearance from public or neighboring use views.

Figures II.4.3-4 and 5 illustrate architectural features of commercial and community purpose facility buildings.

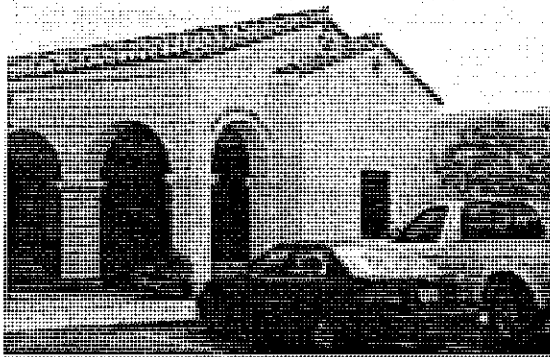
MIXED USE / COMMERCIAL



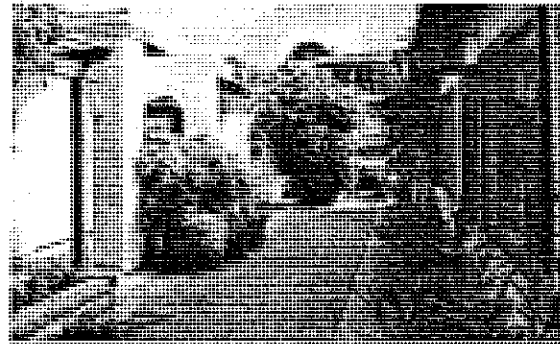
Two-Story Mixed-Use



Two-Story Mixed-Use



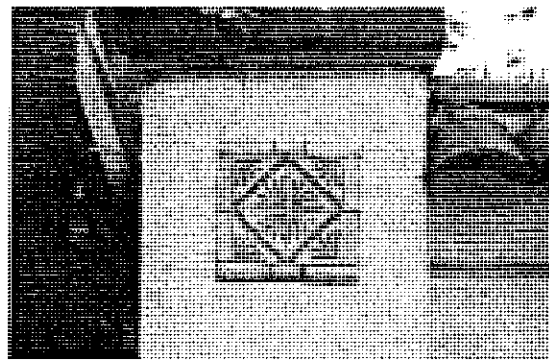
End Elevation Treatment



Interior Paseos



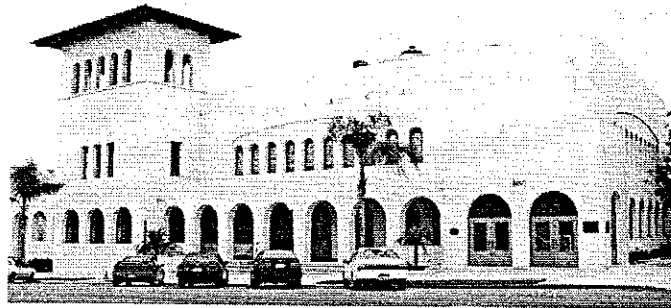
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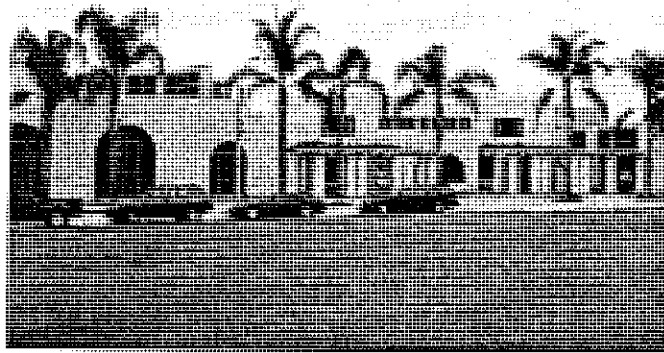
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**Figures II.4.3-4
Mixed-Use/Commercial Architectural Features**

MIXED USE / COMMERCIAL



Church



Museum



Blind Services Center

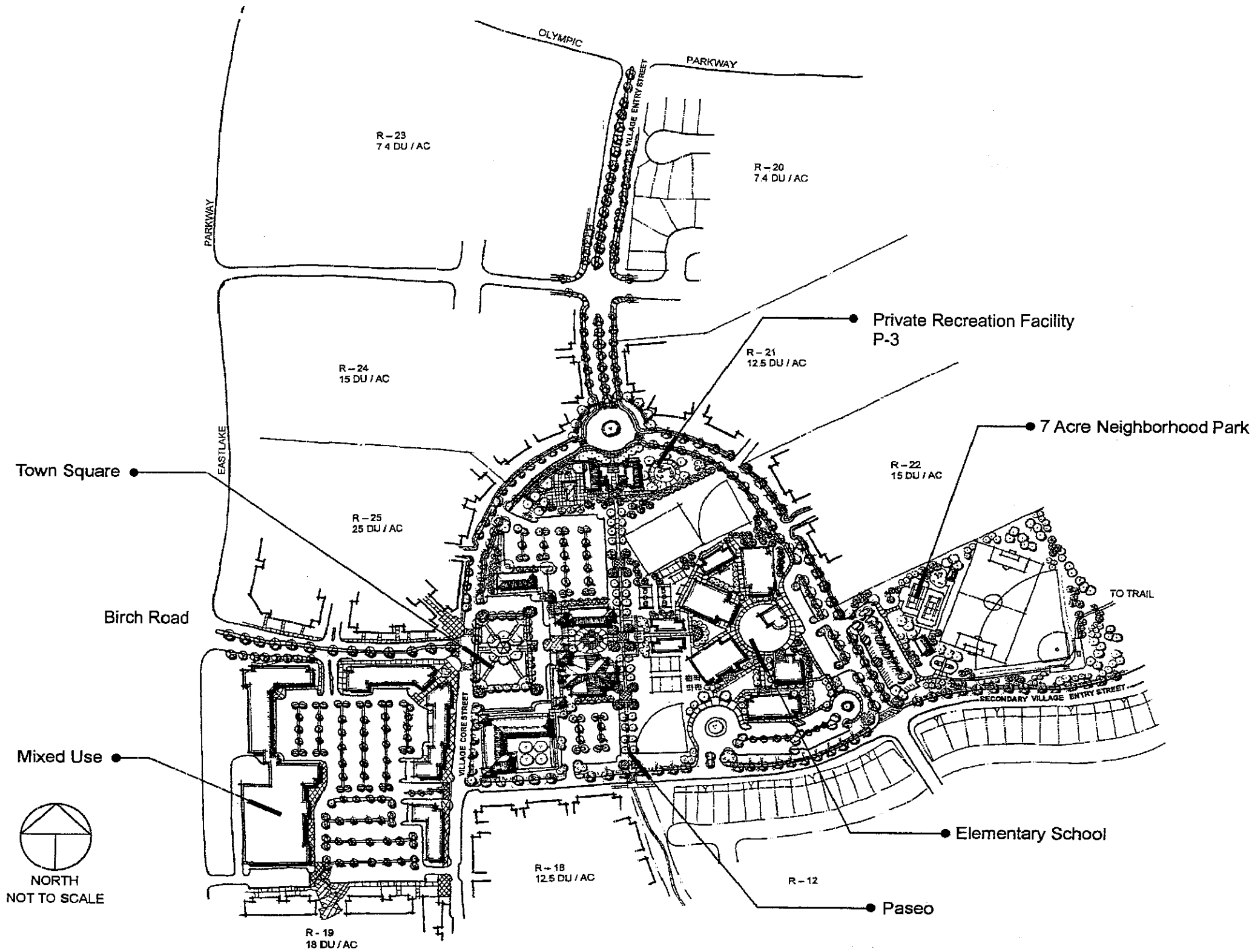
**Figure II.4.3-5
Community Purpose Facility Architecture**

II.4.3.2 Site Planning

The organization of land uses in the village core provides for landmark focal points at village entries, compatible lands uses that can share pedestrian-oriented connecting open spaces, and orientation of buildings toward the street, with parking and utility areas located away from the street. The village core land use plan provides for the siting of land uses to adhere to the following guidelines:

- Locate buildings in proximity to the village streets to create a “main street.”
- Locate entries at the street in close proximity to create articulation and interest in the street scene.
- Locate landmark buildings and landscape features at the entry focal points and at prominent intersections within the village core.
- Site buildings to create outdoor rooms and interconnected pedestrian paths between developments.
- Subordinate vehicular access by locating parking lots, loading and service areas at the rear or sides of development and away from the public and pedestrian areas.
- Locate the town square as a focal point within the village and group buildings around the town square.
- Provide for a village pathway or paseo to connect neighborhoods to the village core and create a pedestrian connection through the core.

Figure II.4.3 2-1 illustrates the village core concept plan.



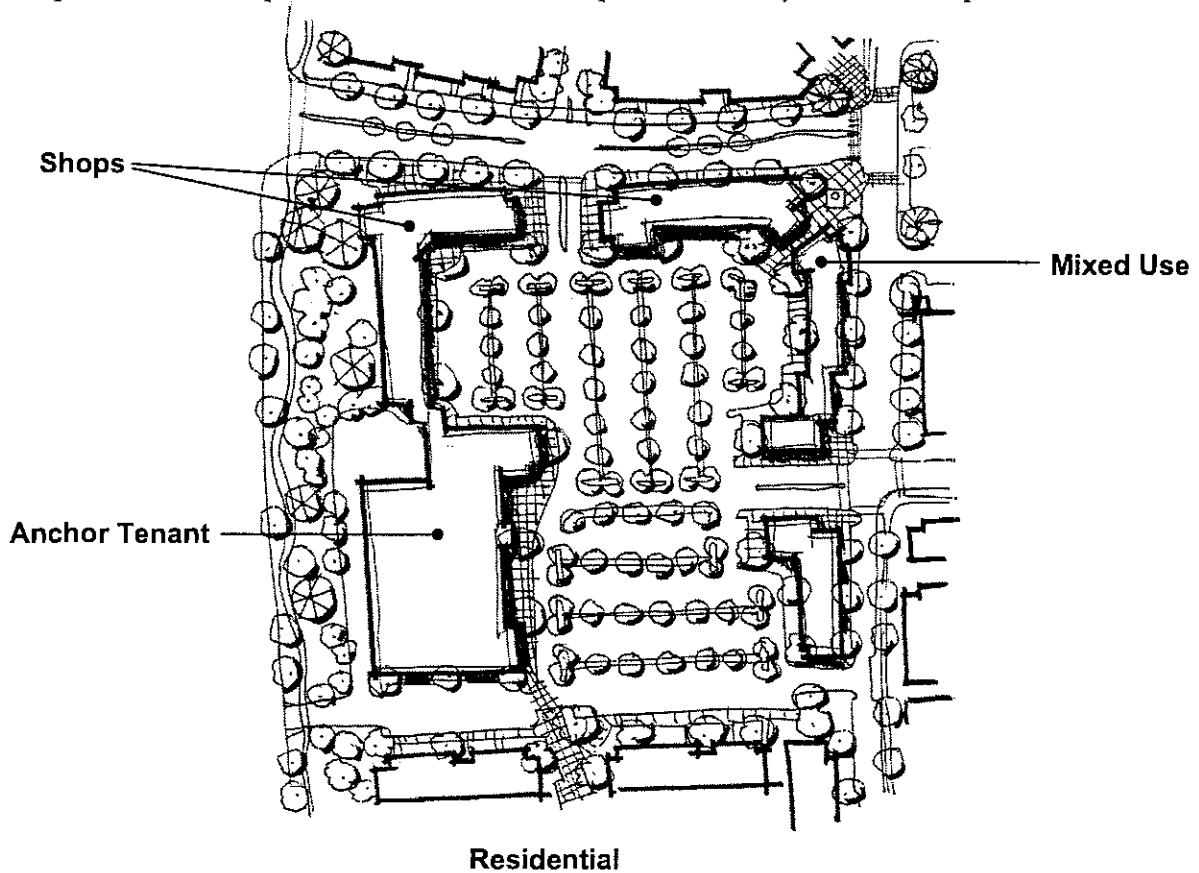
NOTE: Village Core Concept Plan is an illustrative example only.
 Each site will be subjected to further discretionary review.

Figure II.4.3.2-1
 Village Core Concept Plan

Mixed-Use Commercial

A 10-acre site at the western entry to the village is provided to accommodate mixed-use commercial development. The mixed-use nature of the site may include commercial, office and residential uses, as determined by need at the time of development. The size and configuration of the site is intended to provide optimum flexibility for future development. The conceptual plan for the site is a neighborhood shopping center that may include a grocery store and smaller major tenant, such as a drug store, ground floor shops and restaurants and second floor offices and service businesses. Residential units can also be accommodated as lofts or apartments above shops or as a separate building within the site.

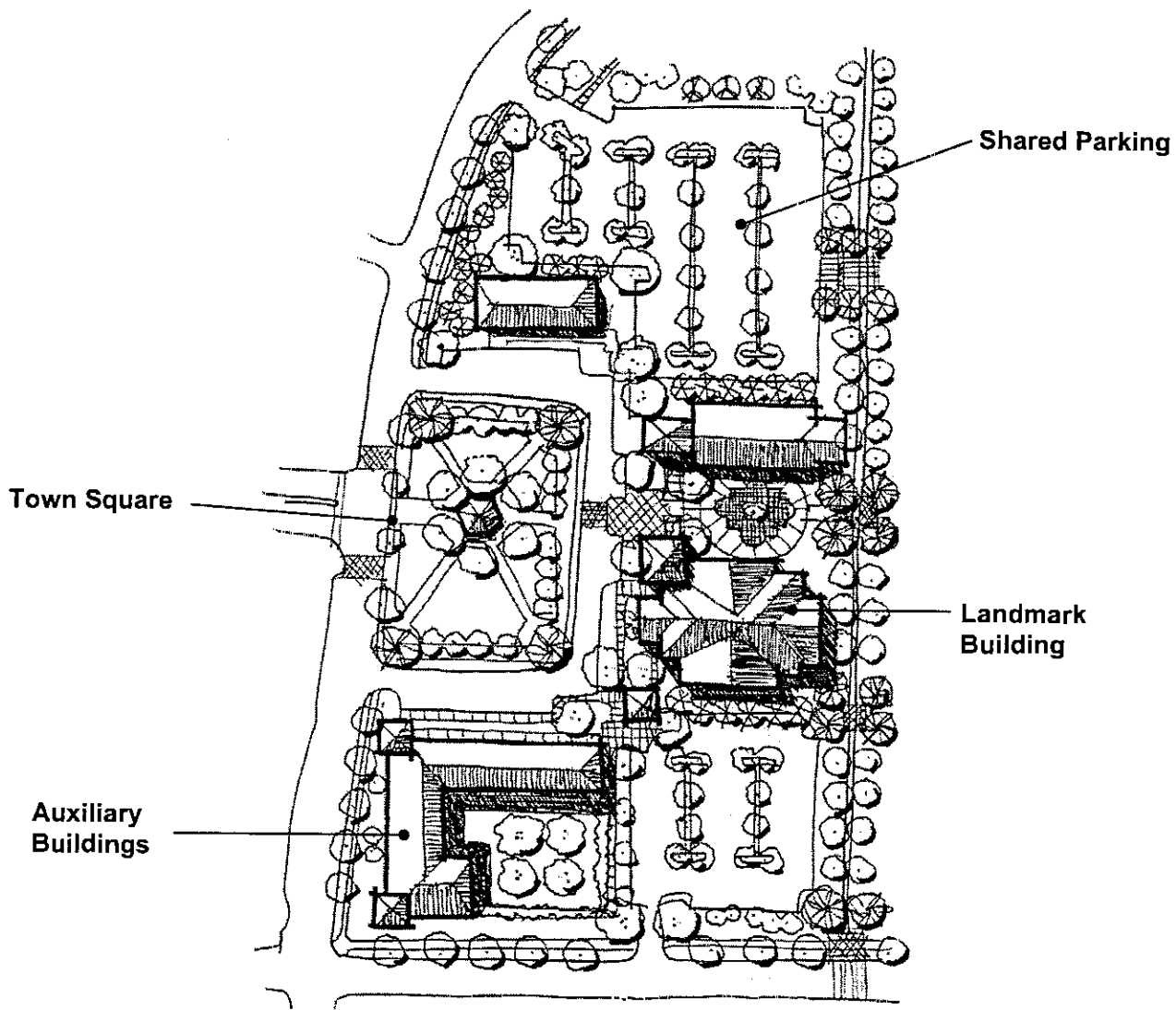
Figure II.4.3.2-2 illustrates the conceptual design for a neighborhood commercial center with a grocery store located at the rear of the site. This arrangement locates the service and loading areas adjacent to EastLake Parkway, away from adjacent residential uses, where noise, lighting and utilitarian aspects can be screened by slopes, berms, walls, and landscaping. A large parking area can be located within easy access of the grocery store entry. Most importantly, the shops and office buildings are located at the edges of the village entry and core streets to create a “Main Street.” The prominent intersection of the village entry and core street should be designed with a landmark feature. The concept plan illustrates a plaza that creates the main pedestrian entry to the development.



**Figure II.4.3.2-2
Mixed-Use/Commercial Concept Plan**

Community Purpose Facility

The community purpose facility site has been located at a focal entry point of the village to create a landmark presence surrounding the town square. In conformance with the Irving Gill design theme, the plan for the site should create a series of outdoor rooms connecting to the village pathway/paseo located on the eastern edge of the site. Figure II.4.3.2-3 illustrates a conceptual plan that locates a landmark building, such as a church, as the focal point with accessory buildings creating the courtyard outdoor rooms. Parking lots are located to the sides of the buildings where they are blocked from view. Potentially, these parking lots may be shared between developments within the village core. This site plan is intended only to illustrate general site planning concepts. The actual community purpose facility that occupies the site may have different requirements for building types, open spaces and parking.



**Figure II.4.3.2-3
Community Purpose Facility Concept Plan**

Schools

Both the elementary and junior high school shall adhere to the village design theme for architecture and site planning. The functional requirements of the schools are quite appropriate to the Irving Gill courtyard site plan design. Figure II.4.3.2-4 illustrates a conceptual design for the elementary school. The site design provides for separate school bus and parent drop off locations, accessed from the two surrounding streets. A parking lot located on the east side of the school could be shared with the neighborhood park across the street. The play fields are complementary to the two adjacent parks and provide an extension of open space within the village core. The village pathway/paseo on the west side of the school provides the opportunity for an off-street path for children to access the school.

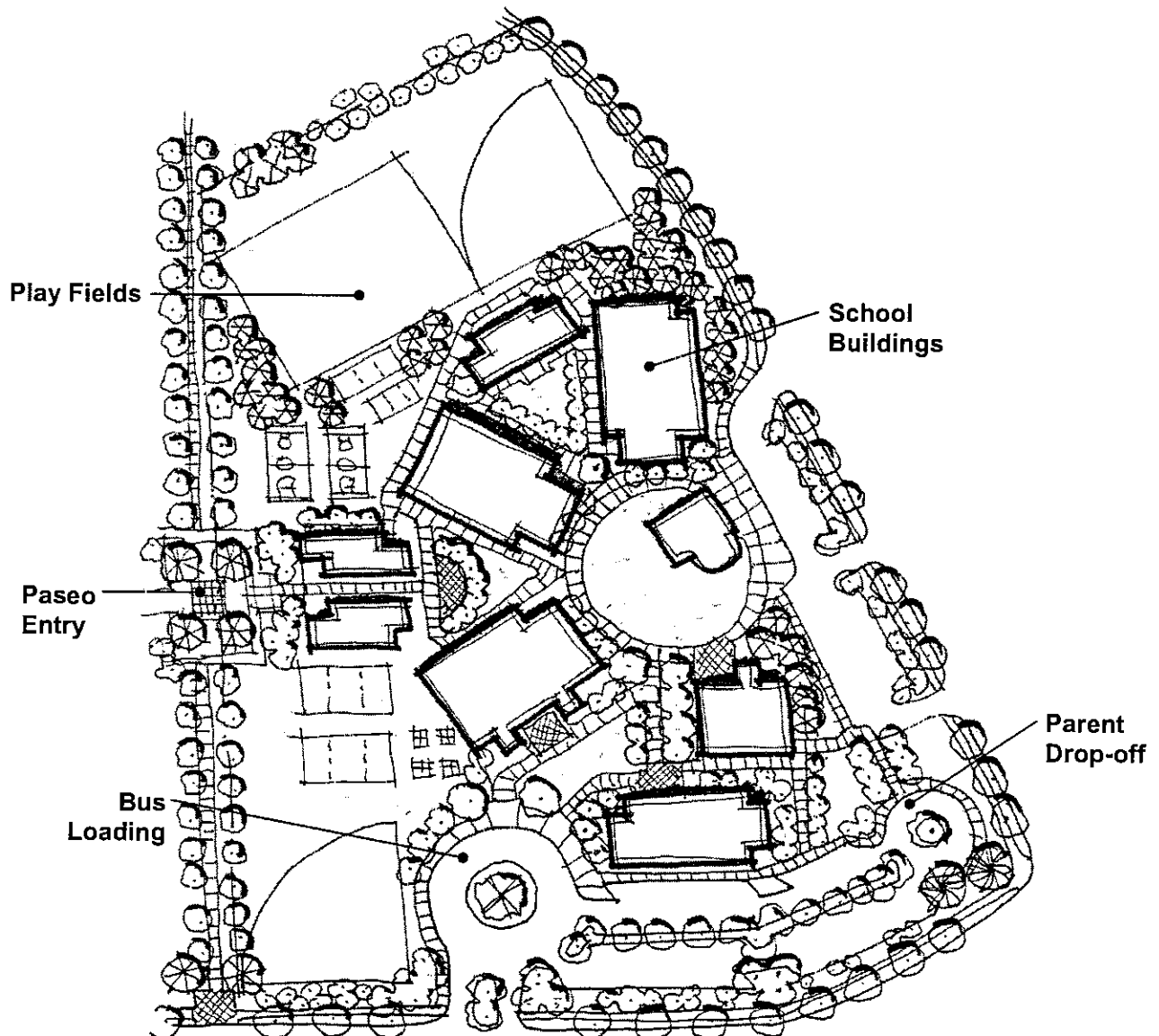


Figure II.4.3.2-4
Elementary School Concept Plan

II.4.3.3 Landscape

The landscape concept for the Village Core is to enhance the pedestrian orientation of the area through landscape and outdoor amenities. Trees will create a sense of identity for the core with formal planting arrangements on streets and a mix of skyline, shade and colorful accent trees. Pedestrian scaled plantings, such as colorful groundcovers, container plantings and vines covering arbors, will enliven the core. Outdoor amenities, such as plazas, enhanced paving, seating areas and lighting will create an atmosphere that is appropriate for shopping, socializing and recreation. Landscape design shall be in conformance with the City of Chula Vista Design Manual and Landscape Manual.

Mixed-Use/Commercial Area

The landscape concept for the mixed-use/commercial area is to create a lively “Main Street” for shopping and outdoor dining. The landscape will include a wide sidewalk along the street, which may be enhanced with decorative paving. Shade trees along the street will be surrounded by grates to allow for pedestrian flow. Planters or benches may be located along the street to provide resting areas. Containers and window boxes with colorful plants can be provided to enliven and accent building entries and outdoor seating areas. Other landscape amenities may include courtyards, outdoor dining areas, fountains or sculpture, bicycle racks, trash containers, newspaper dispensers, and pedestrian-scaled lighting.

Community Facilities Area

The institutional nature of the community purpose facility site provides an opportunity to create outdoor rooms, consistent with the Irving Gill-inspired village design theme. Outdoor rooms for this type of use could be used as public gathering or ceremonial spaces. The village design theme suggests that shade trees, vine-covered arbors and colorful accent plantings enhance the outdoor rooms. Paseos and pedestrian spaces in and around the community purpose facility site should maintain the design theme and enhance the pedestrian experience with amenities such as decorative paving, seating, fountains, public art and decorative lighting. Figure II.4.3.3-1 illustrates landscape enhancements that may be used in mixed-use/commercial and community purpose facility areas.

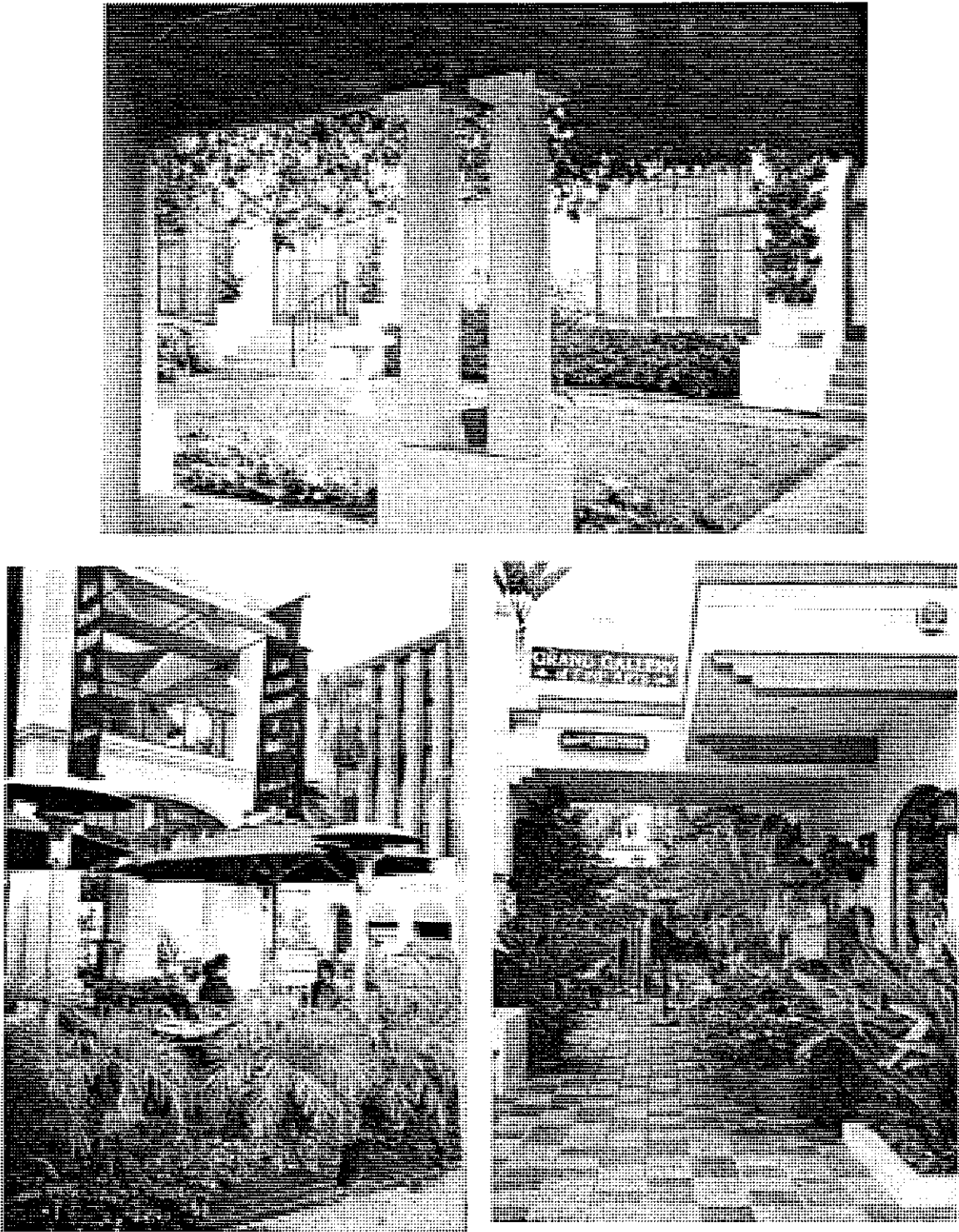


Figure II.4.3.3-1
Landscape Amenities

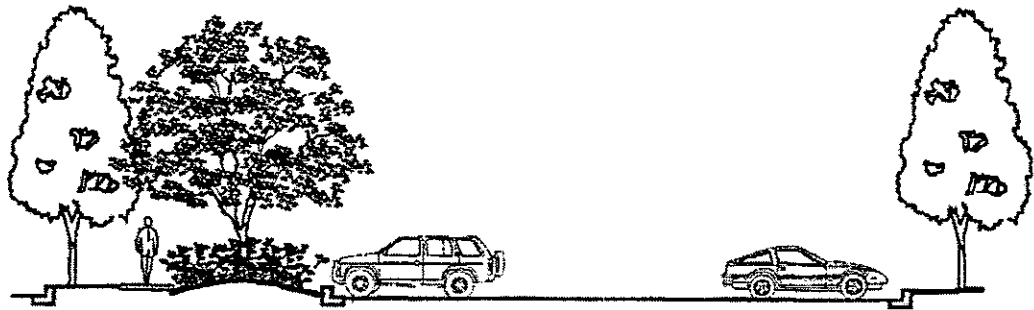
School Areas

The village streets and paseos will provide continuity of the village design theme around the schools. The street-facing areas of the schools will be lined with large canopy shade trees with large parkway areas. The trees will be of sufficient size to provide shade during the hot summer months and tall enough to provide sightline distances for motorists. The sidewalk areas will be adjacent to the parkways, which will provide a safer pedestrian walking path for children. Neckdowns and enhanced paving material may be used to enhance the safety at crosswalks adjacent to the schools.

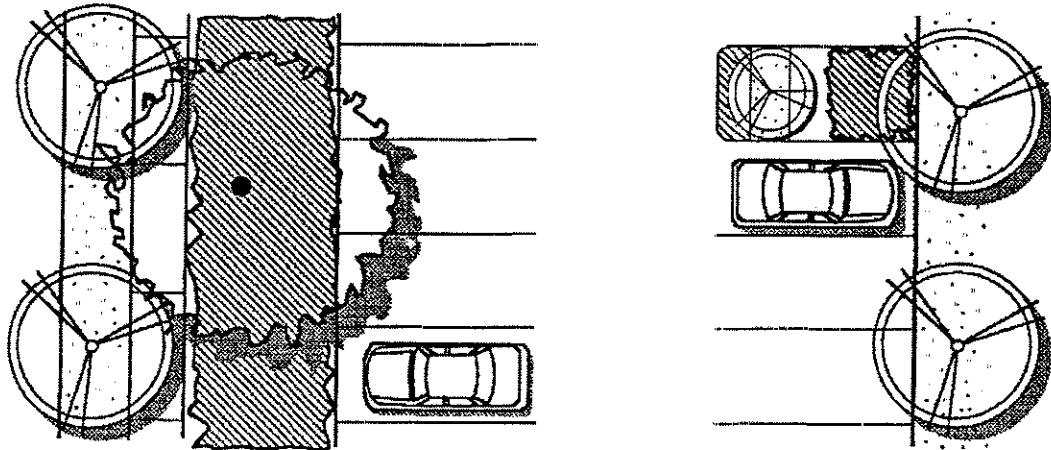
The school districts are encouraged to continue the village design theme within the school grounds. This can be achieved through incorporation of the village tree and plant palette and design features such as pergolas. Perimeter planting within the schools should include a combination of tall vertical trees and large, stately shade trees. This will provide a certain amount of enclosure while allowing for visual access to the school grounds.

Parking Areas

The pedestrian-oriented design theme strives to minimize automobile influences in the village. Landscaping in and around parking lots helps to achieve that objective. Perimeters of parking lots will be screened by berms, low walls or shrubs, approximately 3 feet in height, to block headlight glare yet provide visual access into the lots to enhance pedestrian safety and security. Shade trees, planted within the lots to City standards, are of primary importance in reducing heat and glare from paving and parked cars. Planters should be included within larger lots to visually break up the expanse of paving. Parking area landscape shall be in conformance with the City of Chula Vista Design Manual and Landscape Manual. Figure II.4.3.3-2 illustrates parking lot landscaping.



SECTION



PLAN VIEW

Figure II.4.3.3-2
Parking Lot Landscaping

II.4.3.4 Lighting

The lighting design described in Section II.4.2.7 will be used in the village core as a key element in creating the village theme. The liveliness of the village core can be accentuated through the use of appropriate lighting. The following are guidelines specific to the village core:

Street Lights

The street lights within the mixed use/commercial and the community purpose facility areas should be the most decorative in the village. The proposed decorative fixtures are similar to those used in San Diego in the early part of the century style. They are proposed as decorative metal poles with double light fixtures and metal arms for hanging banners and flower baskets. Street lights adjacent to the pedestrian park, and the elementary school will be compatible in design, but use an acorn fixture on top of a simulated concrete light standard. The light standard may have the same decorative metal arms for hanging banners and flower baskets.

Parking Lighting

The lighting within parking areas will be selected for energy efficiency and village design compatibility. Light fixtures should provide adequate illumination for their intended use, while directing the light onto the paved surface. Glare screens will be used where necessary to reduce the amount of light filtering into adjacent residential land uses. Light fixtures should be selected to match the style and character of the architecture and complement the village design theme.

II.4.3.5 Street Furnishings

The street furnishings will be as described in Section II.4.2.6. Street furnishings within the village core are key elements in enhancing the pedestrian experience and expressing the village theme. The street furnishings in the core may consist of vine-covered arbors and bus stops, benches, trash receptacles, newspaper racks, bicycle racks, kiosk structures, clock towers, banners, hanging baskets, fountains, and public art pieces. Street furnishings shall be maintained by a Community Facilities District or a Homeowner's Association.

II.4.3.6 Signage

Signs within the village core may consist of individual project monument signs, individual tenant signs and directional signs. Sign criteria governing the locations, number and size of such signs are provided in the Village Eleven Planned Community District Regulations. A comprehensive sign plan that includes guidelines for all proposed types of signs will be developed as part of the Village Core Master Precise Plan. Individual Precise Plans for the developments within the village core will provide more specific sign criteria suitable to the developments.

Sign design in the village core will be consistent with the overall design themes described in Section II.4.2.2. Monument signage for the mixed use/commercial, community purpose facility, school, and multi-family residential developments, if desired, shall be consistent with the design for neighborhood monuments.

Commercial development may utilize a variety of signs including wall-mounted, painted wall, awning, hanging, projecting, plaque, banner and window signs. Commercial signs shall be designed to be appropriate to the architecture and pedestrian-scaled. The sign regulations and comprehensive sign plan shall provide specific design parameters. Commercial sign examples are illustrated in Figure II.4.3.6-1.

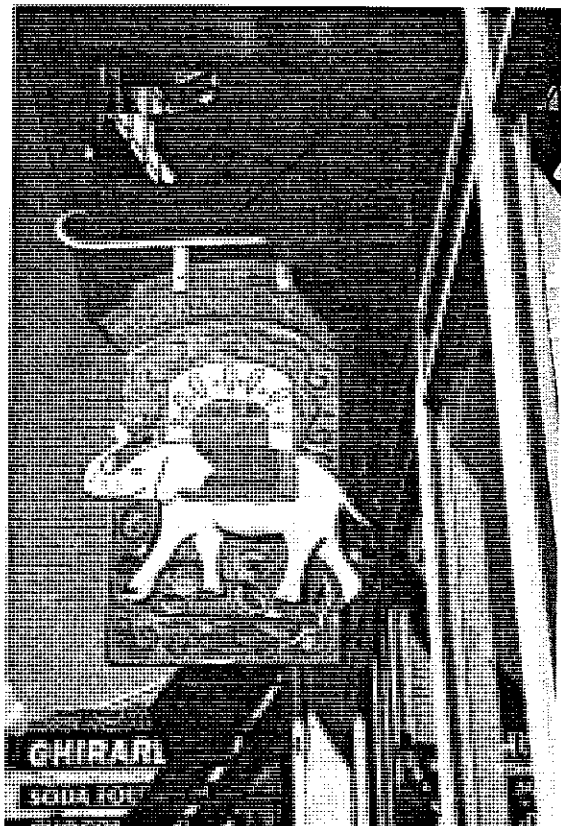
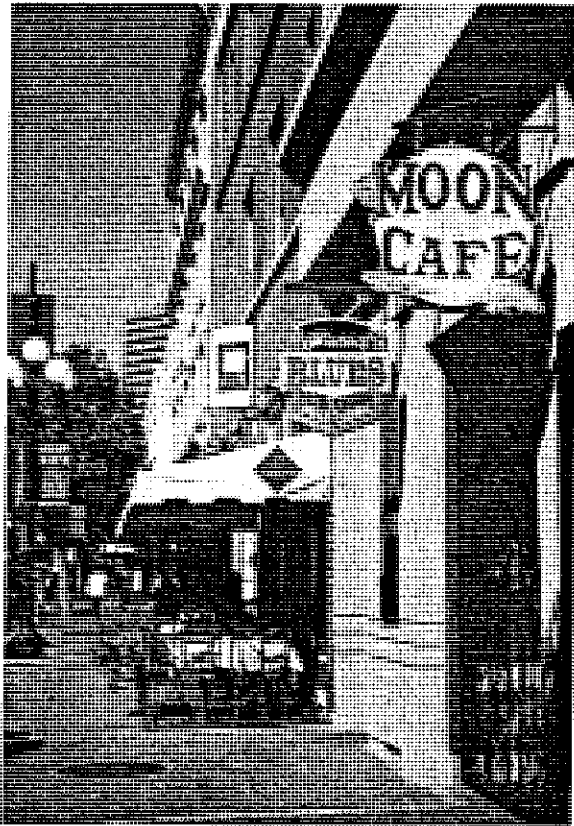


Figure II.4.3.6-1
Commercial Sign Design Examples

II.4.4 Single Family Residential Design

II.4.4 SINGLE FAMILY RESIDENTIAL DESIGN

II.4.4.1 Architectural Themes

The design concepts for residential architecture in Village Eleven have been inspired by San Diego residential architecture from the 1920's to the 1940's. Irving Gill's residential architecture in San Diego included popular styles of the era as well as his own unique style. Gill's residential architecture was a unique interpretation of classical styles using modern construction techniques and designed for the convenience of the homeowner. This is very appropriate today given that all merchant-built housing will be designed and constructed with contemporary building materials and techniques.

Residential architectural styles have been selected to complement the Irving Gill Village Eleven design theme. The selected styles are Cottage, Craftsman, Monterey, Prairie, Spanish Eclectic and Spanish Mission. These styles are attractive, compatible with one another, and they can be easily integrated into the individual style and scale of each neighborhood. It is important to note that these styles are intended for modern adaptation, not recreation of historic homes. The architecture is expected to be somewhat simplified, yet still maintain the unique characteristics that exemplify the style.

This section provides guidance for form, roofs, facades and details that distinguish each style. It is important that these elements are used consistently to maintain the integrity of each style. For example, a shallow-pitched roof with wide eaves is appropriate to the Craftsman style, but not the Cottage style. All of the architectural styles contain pedestrian-oriented façade features. This section also provides guidance for pedestrian-oriented elements appropriate to each style. The styles are described as follows and illustrated in Figures II.4.4-1 through 6.

Cottage

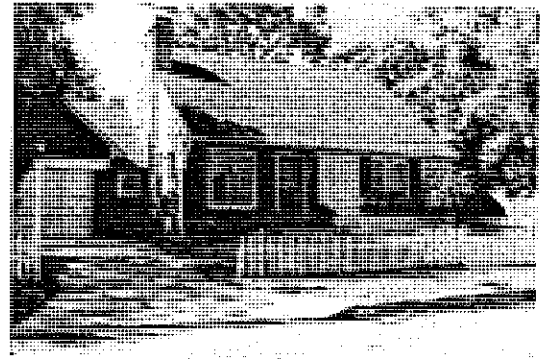
Cottage style derives from English country cottage architecture. The architecture is characterized by rectangular plan forms and steeply pitched roofs. The steep roofs and architectural details create an old-world, “story book” charm. Typical design elements of the Cottage style may include:

- Rectangular plan with some recessed second story area.
- Steeply pitched hip or intersecting gable roofs with narrow eaves, covered with asphalt shingles or smooth, flat concrete tiles.
- Sloping curved roof as an accent.
- Light to medium texture or light lace finish stucco walls.
- Vertical shaped windows with mullions and simple wood trim at front elevation and in high visibility areas.
- Enhanced windows with deep recesses, windows grouped in twos and threes, colonial arched windows, round top windows or vents over rectangular windows and doors at feature locations and shutters.
- Entries with stone detail and small porches with stucco columns and wood railings.
- Second story balconies with wrought iron railings.
- Prominent stucco chimneys with detail caps.
- Stone or brick base veneers.
- White, warm pastel and earth tone walls with dark color accents (trim and shutters).

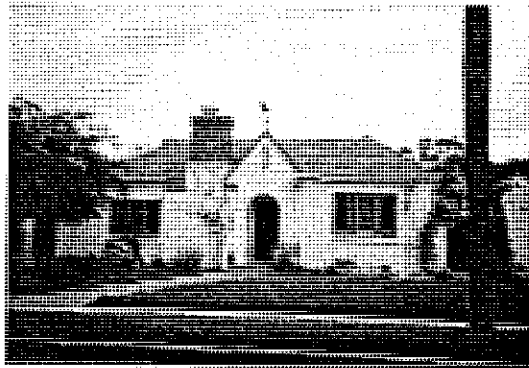
The pedestrian-oriented features of the Cottage style may include:

- Entry porches with wood railings.
- Enhanced, covered entries instead of porches.
- Entries accented with roof features.
- Front facing windows.

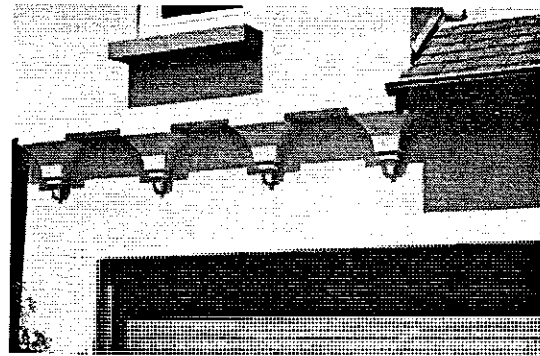
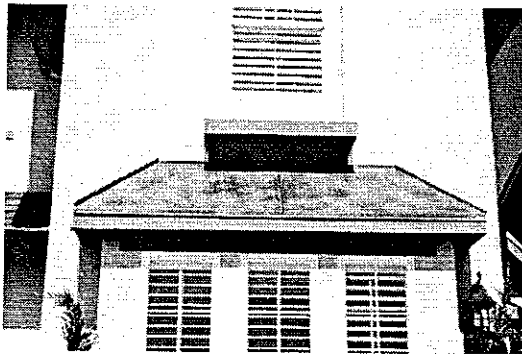
Figure II.4.4.1-1 illustrates historic homes and contemporary adaptations of the Cottage style, as well as detail elements.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-1
Inspiration Imagery- Cottage

Craftsman

The Craftsman style emphasizes harmony with the environment. The horizontal lines of the buildings and indigenous materials, such as wood and stone, are intended to blend into the landscape. In Southern California, the climate provides opportunities for the style to integrate indoor and outdoor living. Craftsman houses typically include living spaces oriented towards patios or courtyards. Typical design elements of the Craftsman style may include:

- Emphasis on horizontal forms.
- Rectangular plan with recessed second floor.
- Low-pitched, side-facing or cross-gabled roofs.
- Varied shed or gable porch roofs.
- Architectural quality asphalt shingles or shingle texture flat concrete tile roofing.
- Wide eaves and exposed beams.
- Broad porches or patios and pergolas supported by stone or heavy columns.
- Stone or brick base accents.
- Blended siding and stucco walls at front elevations.
- Light to medium stucco finish.
- Plain texture shingle siding at front elevations.
- Battered wall accents.
- Wood details such as trim around doors and windows, shaped roof rafter tails, decorative ridge beams and purlins, angled brace supports and outlookers.
- Significant window area at front elevations.
- Vertically hung divided light features and mullioned windows at front elevations and high visibility areas, often in pairs.
- Light earth tones with dark accents or deep earth tones.

Pedestrian-oriented features of the Craftsman style may include:

- Street-facing porches or entry patios.
- Street-facing windows and doors.
- Pergolas or porte-cocheres.

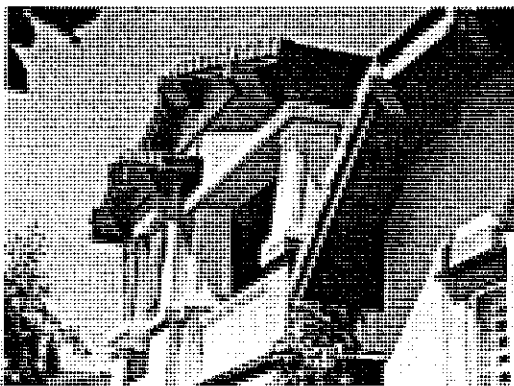
Figure II.4.4.1-2 illustrates historic Craftsman houses and contemporary interpretations of the style. Typical details are also illustrated.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-2
Inspiration Imagery – Craftsman

Monterey

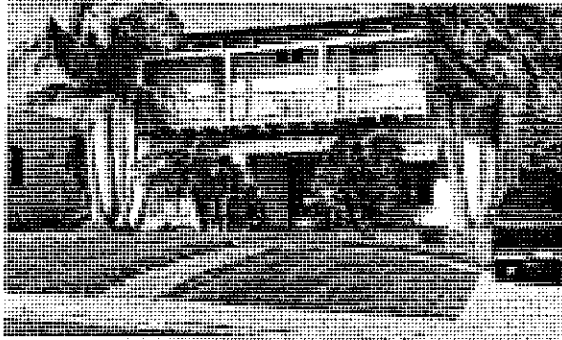
Monterey style is derived from the early California ranchos. House plans are typically a simple, two-story rectangular form, characterized by a large second story balcony or porch and shingle or mission s-tile roofs. Ornamentation is limited to shutters and porch posts, corbels and railings. Typical design elements of the Monterey style may include:

- Simple rectangular form with one story break.
- Shallow pitched, wide-eaved, hipped roof front to back with one intersecting front facing gable roof covered with smooth finish roof tiles.
- Light texture stucco finish walls. Vertical siding accents at gable ends and second floor.
- Simplified Colonial style window and door trims and vertical, multi-paned windows in groups at the front and in high visibility areas.
- Second story balcony with wood railing.
- Accent details including shutters, ornate chimney top trim, round tile gable end vents, wood corbels, rafter tails, recessed accent windows, arched or sloping fin walls, brick veneer wainscot at first floor, and decorative wrought iron.
- White or light colored stucco with matching or contrasting dark brown wood trim.

Pedestrian oriented features of the Monterey style may include:

- Second story balcony or porch.
- Front facing windows.

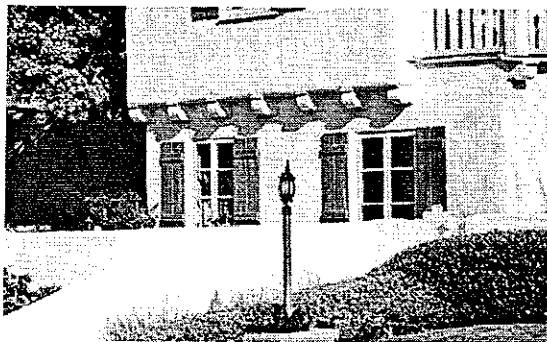
Figure II.4.4.1-3 illustrates the Monterey style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-3
Inspiration Imagery - Monterey

Prairie

Developed by Frank Lloyd Wright and the Prairie School designers, the style is noted for horizontal, rectilinear forms, multiple and low-pitched roofs, broad eave overhangs, banded windows, broad chimneys, contrasting dark linear bands against lighter broad surfaces and minimal ornamentation. Typical design elements of the Prairie style may include:

- Horizontal building lines and base elements such as terraced entries.
- Flat or shallow-pitched hipped roofs.
- Deep eaves, often cantilevered with stucco soffits.
- Smooth, flat concrete roof tiles.
- Fine to medium texture or light lace finish stucco walls.
- Simple or mullioned vertical windows at the first floor and horizontal windows at second floor along belt course.
- Covered porches with flat or arched entry overhead elements and large stucco columns.
- Front facing brick or stone accents on chimney and at porch base.
- Wide range (light to dark) of earth tone colors with contrasting trim.

Pedestrian-oriented features of the Prairie style may include:

- Porches with flat or arched entry and heavy columns.
- Terraced patio entries.
- Street-facing windows and doors.
- Porte-cochere.

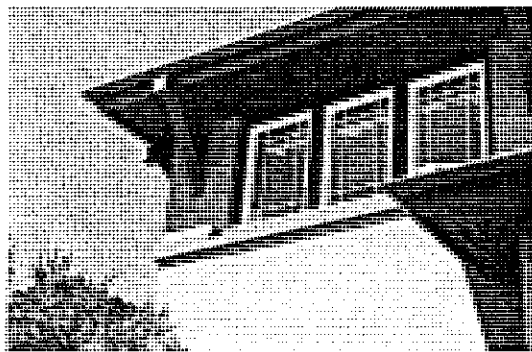
Figure II.4 4.1-4 illustrates the Prairie style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-4
Inspiration Imagery – Prairie

Spanish Eclectic

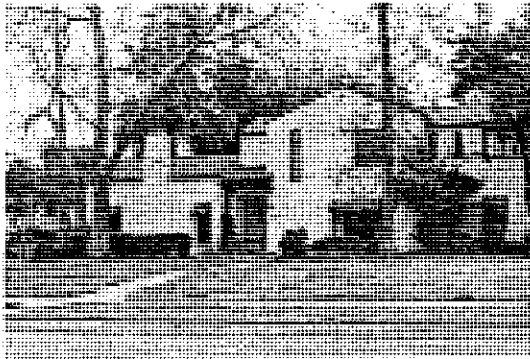
The Spanish Eclectic style includes elements ranging from Moorish to Spanish and Mission Revival architecture. The building massing is varied and decorative elements are incorporated to add interest and character. Typical design elements of the Spanish Eclectic style may include:

- Strong one and two-story elements with varied façade setbacks.
- Shallow pitched, simple hip or single-gable roofs with narrow or no eaves, covered with barrel or s-shaped tiles.
- Shed roof elements over porches or other projections.
- Smooth or lightly textured stucco walls.
- Vertically hung multi-paned windows at the front and in high visibility areas, often in pairs.
- Recessed arched windows and round top windows as features or accents.
- Arched forms for entries, doors and windows.
- Porches supported by arched stucco columns.
- Wrought iron and tile accents.
- White or light walls with dark earth color or bright color accent trim.

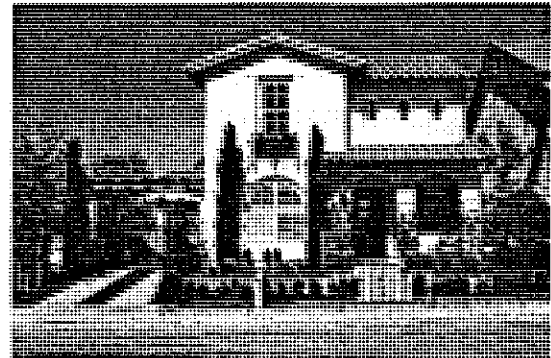
Pedestrian oriented features of the Spanish Eclectic style may include:

- Courtyard patio entries.
- Porches supported by arched forms.
- Front facing windows, often one large arched window.

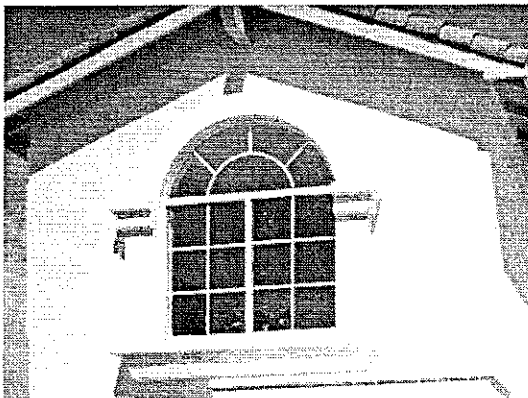
Figure II.4.4.1-5 illustrates the Spanish Eclectic style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-5
Inspiration Imagery – Spanish Eclectic

Spanish Mission

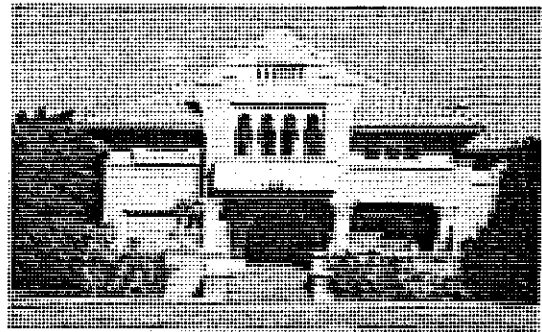
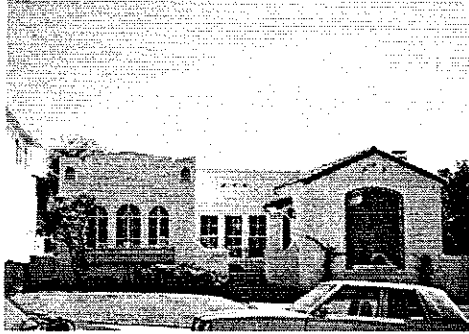
The Spanish Mission style is inspired by the adobe architecture of 18th century Spanish missions. The style is characterized by the appearance of thick, stucco walls, clean lines, arch forms, minimal ornamentation and barrel tile roofs. The simplicity of the style was the basis for Irving Gill's most distinctive architecture. Gill also referenced the Mission style interior courtyards and arcades. Typical design elements of the Spanish Mission style may include:

- Strong one and two-story elements with varied façade setbacks.
- Shallow pitched, simple hip or single-gable roofs with narrow or no eaves, covered with barrel or s-shaped tiles.
- Shed or gable roof elements over porches or other projections.
- Smooth or lightly textured stucco walls.
- Vertically hung multi-paned windows at the front and in high visibility areas, often in pairs.
- Recessed arched windows and round top windows as features or accents.
- Arched forms for entries, doors and windows.
- Porches supported by arched stucco columns.
- Wrought iron and tile accents.
- White or light walls with dark earth color or bright color accent trim.

Pedestrian oriented features of the Spanish Mission style may include:

- Courtyard patio entries.
- Porches supported by arched forms.
- Front facing windows, often one large arched window.

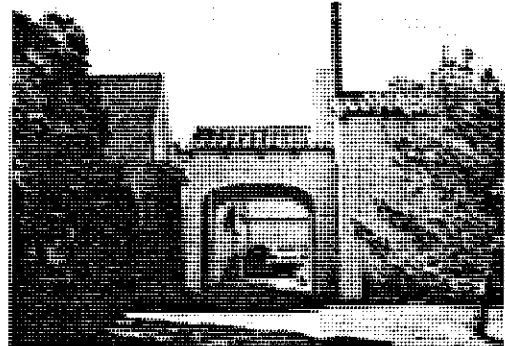
Figure II.4.4.1-6 illustrates the Spanish Mission style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-6
Inspiration Imagery – Spanish Mission

II.4.4.2 Pedestrian-oriented Design

Pedestrian-oriented neighborhood design emphasizes a sense of neighborliness and community through aesthetically pleasing site planning and architecture. Essential elements include attractive architecture, inviting entries and a minimization of utilitarian areas facing the street. The structure of a neighborhood must be understood to better promote its pedestrian-orientation. The area between the street and residence contains a hierarchy of public to private spaces. The street, sidewalk and parkway are perceived as public, common neighborhood use areas. Residential front yards provide a transition space between the public spaces of the sidewalk and street, and the private spaces of the home. The residential entry is the final demarcation area between public and private spaces. Neighborhoods that were developed in the early part of the 20th century typically provided porches, patios or entry courts to create the transition between public and private spaces. These areas were often elevated from the street and partially enclosed to provide a sense of safety and privacy for the residents. These areas served as neighborhood social spaces, since rear yards were used as utility spaces. As people gained more home conveniences, the rear utility yard became a private social area and the front porch no longer served a social purpose. Automobile ownership became widespread, so fewer people walked in neighborhoods, further reducing personal interaction in neighborhoods.

The "Village Concept" described in the Otay Ranch GDP emphasizes pedestrian enhancements and access to public transit. This emphasis is anticipated to recreate the pedestrian-orientation that was dominant in older neighborhoods. The design of residential neighborhoods can complement that orientation by borrowing elements from traditional neighborhoods, such as porches, and minimizing the influence of the automobile. The following sections describe three primary areas of design that will facilitate the creation of pedestrian-oriented neighborhoods: façade elements, garages and driveways, and site planning.

Façade Elements

Residential building facades should be attractively designed with varied features for individual identity and neighborhood interest. Façade features should be pedestrian-oriented in that they provide a connection between the public street and sidewalk and the private residence. Building characteristics are illustrated in Figure II.4.4.2-1 and may include:

- Variations in architectural style.
- Undulating building mass and roof planes.
- Vertical and horizontal stepped massing.
- Visually minimized garages.
- Entry features such as doors, windows, porches, patios, courtyards and trellises oriented towards the street and appropriate to the architectural style.



Porch



Picket Fence



Porte-cochere



Balcony



Window

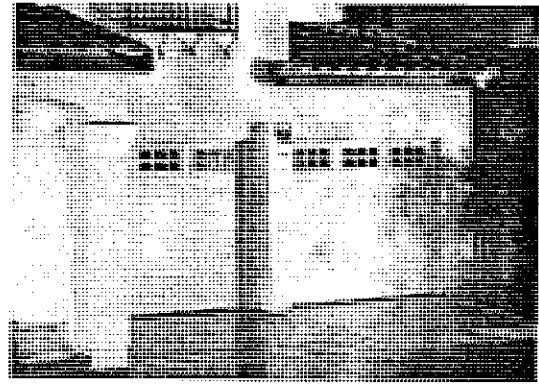
Figure II.4.4.2-1
Pedestrian-Oriented Design Elements

Garages and Driveways

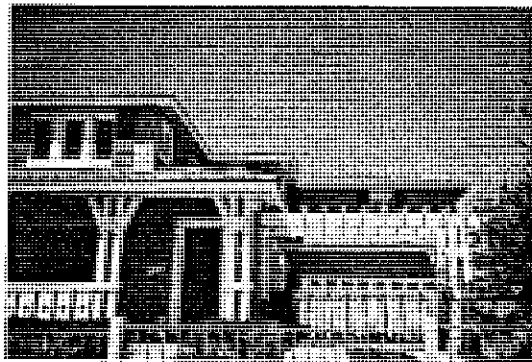
The pedestrian-orientation of a neighborhood places emphasis on the home and front yard rather than the garage. This section describes building massing and plotting techniques, as well as specific solutions for garage placement and façade design. Each merchant builder will be required to meet the intent of the design guidelines by employing the methods described in this section. Builders are encouraged to explore additional design methods to meet the objective of minimizing the visual dominance of garages in neighborhoods. Basic guidelines for garage design are:

- Minimize the impact of garages facing the street by techniques such as varying garage door patterns and utilizing deep recessed doors, varying colors, splitting one large door into two single doors, and integrating door window and coach lights.
- Provide variety through the use of alternative garage configurations such as split, swing-in, and mid to deep recess garages. Use a single type of garage configuration for no more than one-third of the garages in a development.
- Vary the garage setbacks for an average setback of 25 feet from the back of sidewalk.
- Do not place front-facing garages forward of the front building wall.

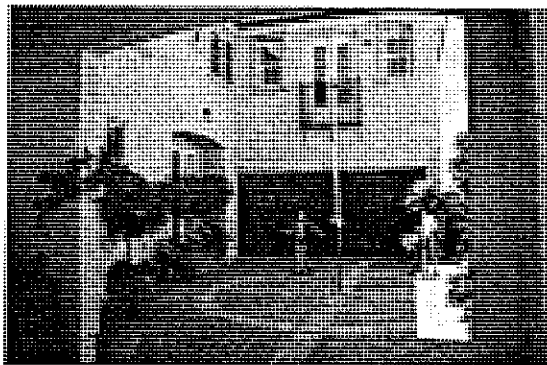
The following Figures II 4.4.2-2 through 6 illustrate garage design options:



Furr out wall plane to visually recess garage doors.

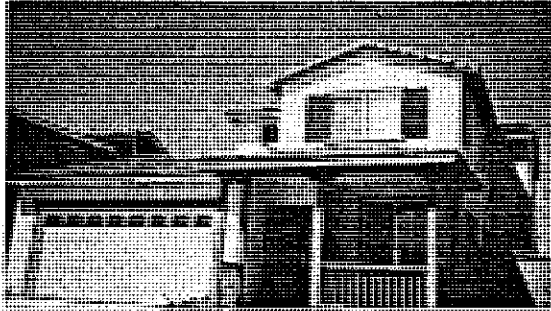


Trellis may span the driveway or trellises may be attached to the garage wall above the door.

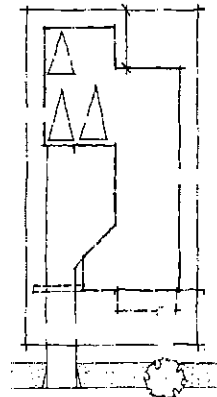


A recessed garage plan with a porte-cochere screens views of the garage and driveway and defines a usable outdoor space.

**Figure II.4.4.2-2
Garage Design Options**

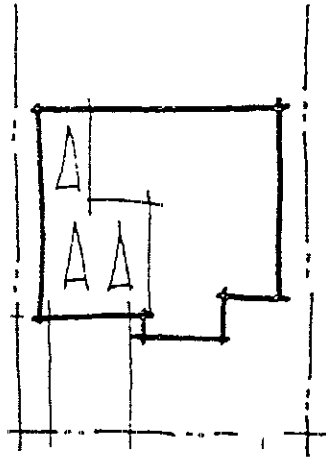


When garages are at minimum setbacks, no garage face should be in front of the architecture.

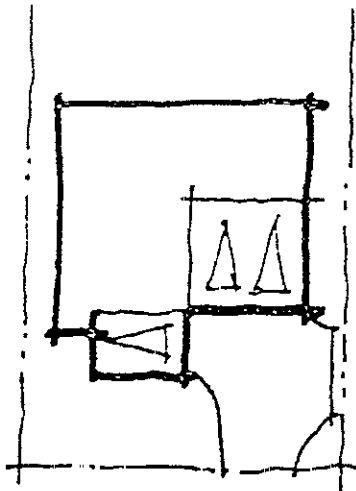


Varied garage locations and setbacks minimize views of garages from street.

Figure II.4.4.2-3
Garage Design Options



Tandem plans reduce the appearance of garages



Split garages minimize views of garage door facing street

Figure II.4.4.2-4
Garage Design Options

The appearance of three front-facing garages should be minimized through one of the following design measures:



Provide porch, courtyard or living space forward of garage.



Offset garage façade plane.



Provide trellis to soften architectural edge.



Furr-outs recess garage doors.

Figure II.4.4.2-5
Garage Design Options

Corner Lots

Homes built on corner lots are often the most visible within the neighborhood. Due to this visibility, the architectural treatment of corner lot homes defines the character of neighborhoods. It is important for each neighborhood to include one house plan that can be used in both interior and corner lot designs. Variety in architectural styles and treatments should also be included to create interest and individual home identity for corner lots.

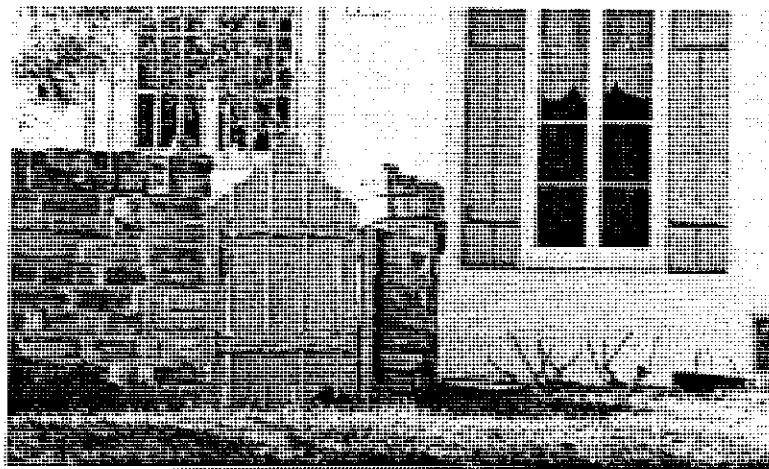
Architectural treatments for corner lots include “wrap around” architecture such as porches, siding, roof treatments, door and window trim and other embellishments. These features enhance the front façade of the house and continue with equal emphasis on the forward side of the house. Variations in the wall planes, or a single component of the building mass may be oriented towards the corner. Entries, windows, garages, landscaped trellises and decorative privacy walls may also be located towards the corner or the side of the house. It is important to note that the terraced design of residential neighborhoods in Village Eleven require side yard slopes on most corner lots. The side yard slopes limit the ability to access garages from the side. Figure II.4.4.2-7 illustrates typical corner lot architectural treatments.

Single Story Elements

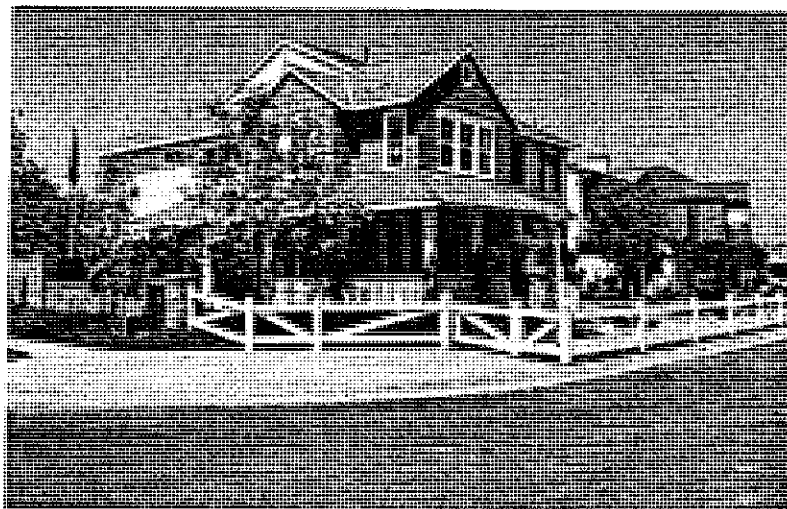
Single story elements at the front and side of homes reduce the overall mass of the building. The Village Eleven Planned Community District Regulations require 33 percent of residences within a neighborhood to incorporate a single story element with a minimum width of 5 feet in width from the side yard setback and 20 feet in depth from the front yard setback. The addition of the single story element results in a 10-foot side yard setback for the second story, creating greater openness in the street scene.



Significant landscaping and privacy wall embellishments.



Decorative entry gate and trellis.



Wrap-around porch.

Figure II.4.4.2-6
Corner Lot Design Options

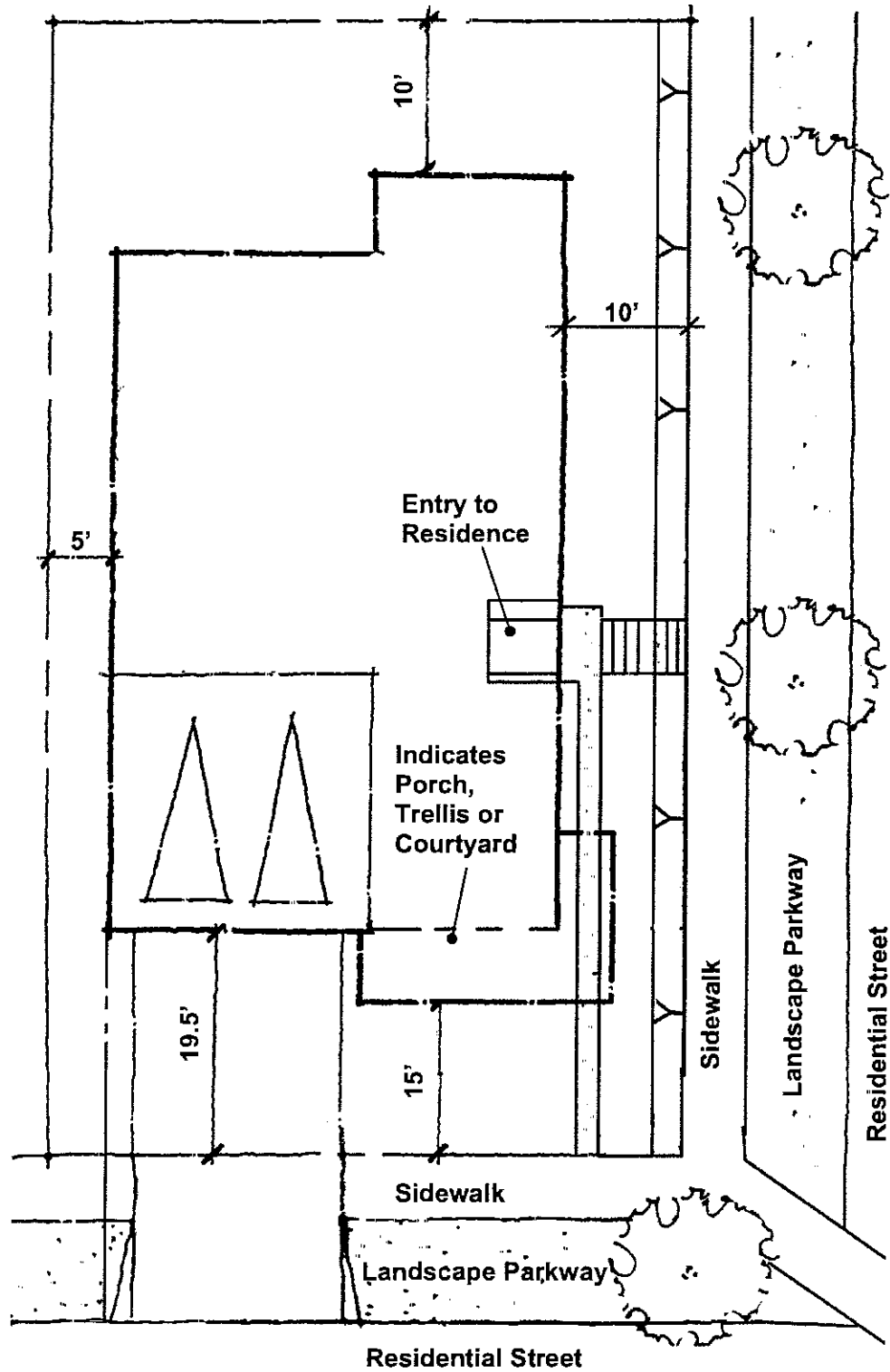


Figure II.4.4.2-7
Corner Lot Design Options Concept

Site Planning and Building Plotting

Appropriate site planning and building plotting are fundamental to creating a pedestrian-oriented neighborhood. Variety is the key to creating a vibrant neighborhood and promoting individual residential identity. Site planning and building plotting in single-family residential neighborhoods should be based upon the following criteria:

- Single-family detached residential lots and setbacks shall encourage variety in the design, orientation and placement of homes, wherever practical.
- Front yard building setbacks shall be varied, where possible, to avoid a monotonous pattern of houses.
- Where slopes in side yards allow for varied side yard setbacks, provide more useful private open space in side yards and avoid a monotonous pattern of houses.
- A minimum of three housing plans shall be provided to provide variety and compatibility with lot configurations.
- Housing plans shall provide for a variety of designs for garage locations and treatments.
- Housing plans shall provide for a variety of designs for entry features.
- One housing plan shall be designed for use on both interior and corner lots.
- Side entry floor plans may be used on both interior and corner lots, provided that the entry is clearly defined and the front elevation includes front-facing windows, porches or other pedestrian-oriented design features.
- Housing plans used on corner lots shall provide for architectural features, such as porches or entry trellises to wrap around the street-facing corner.
- Production wall fencing shall be integrated into the design of corner lots to provide for reduced wall length and other enhancements to side yards.
- Where the rear of a lot abuts a street, the design shall provide for a privacy wall and landscaping consistent with the village streetscape theme.
- Grade differentials within neighborhoods shall be used to add variety and enhance the sense of open space between residences.

Building/Lot Schematics

The following illustrations are options for site planning and building plotting on various sized lots. These are only some illustrations of possible prototypical concepts and are not intended to constrain more creative solutions. The examples provide for minimum setbacks and do not address special lot configurations, such as non-perpendicular lot lines, allowances for easements or other potential constraints.

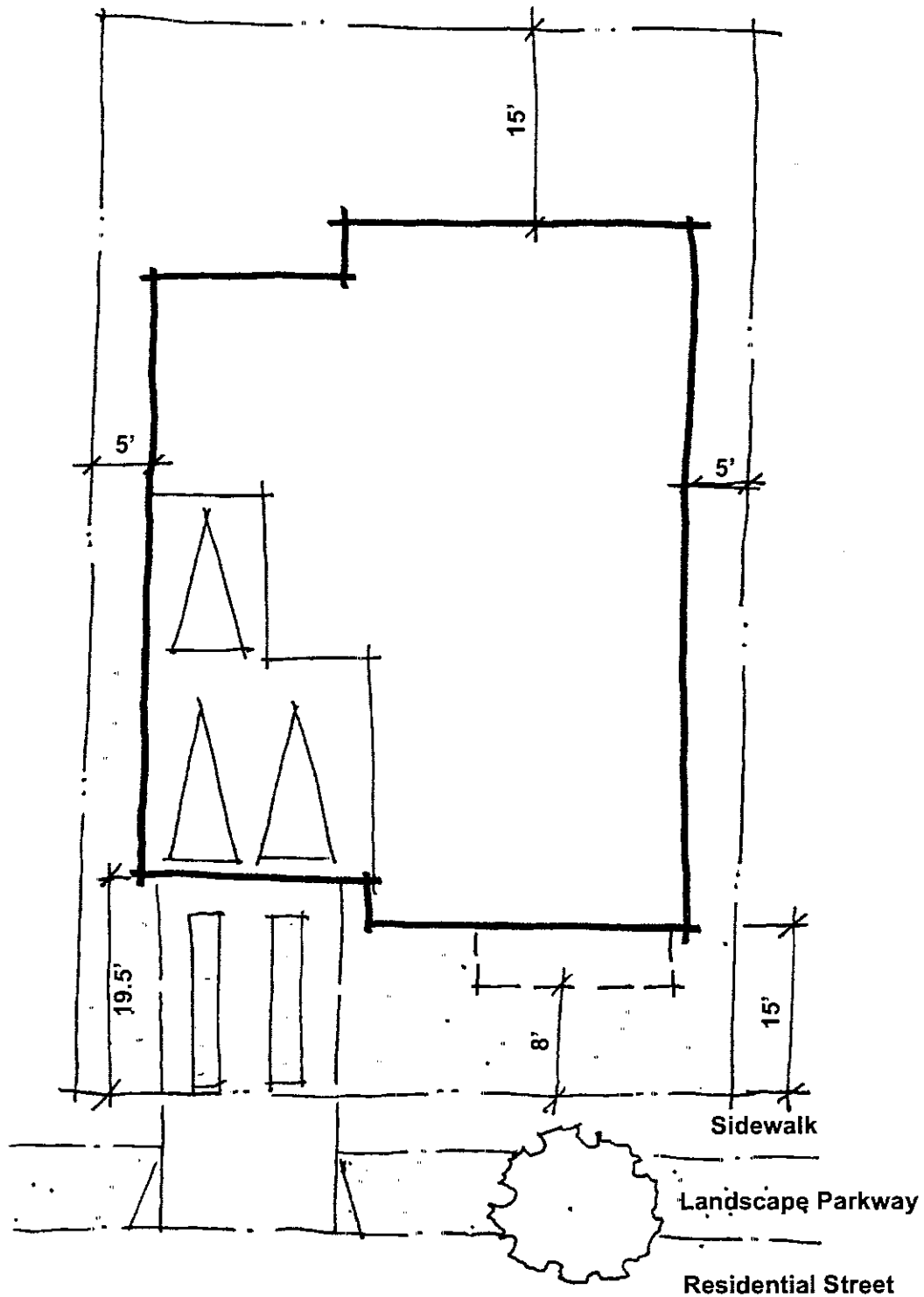
60 x 100 Lot (6,000 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

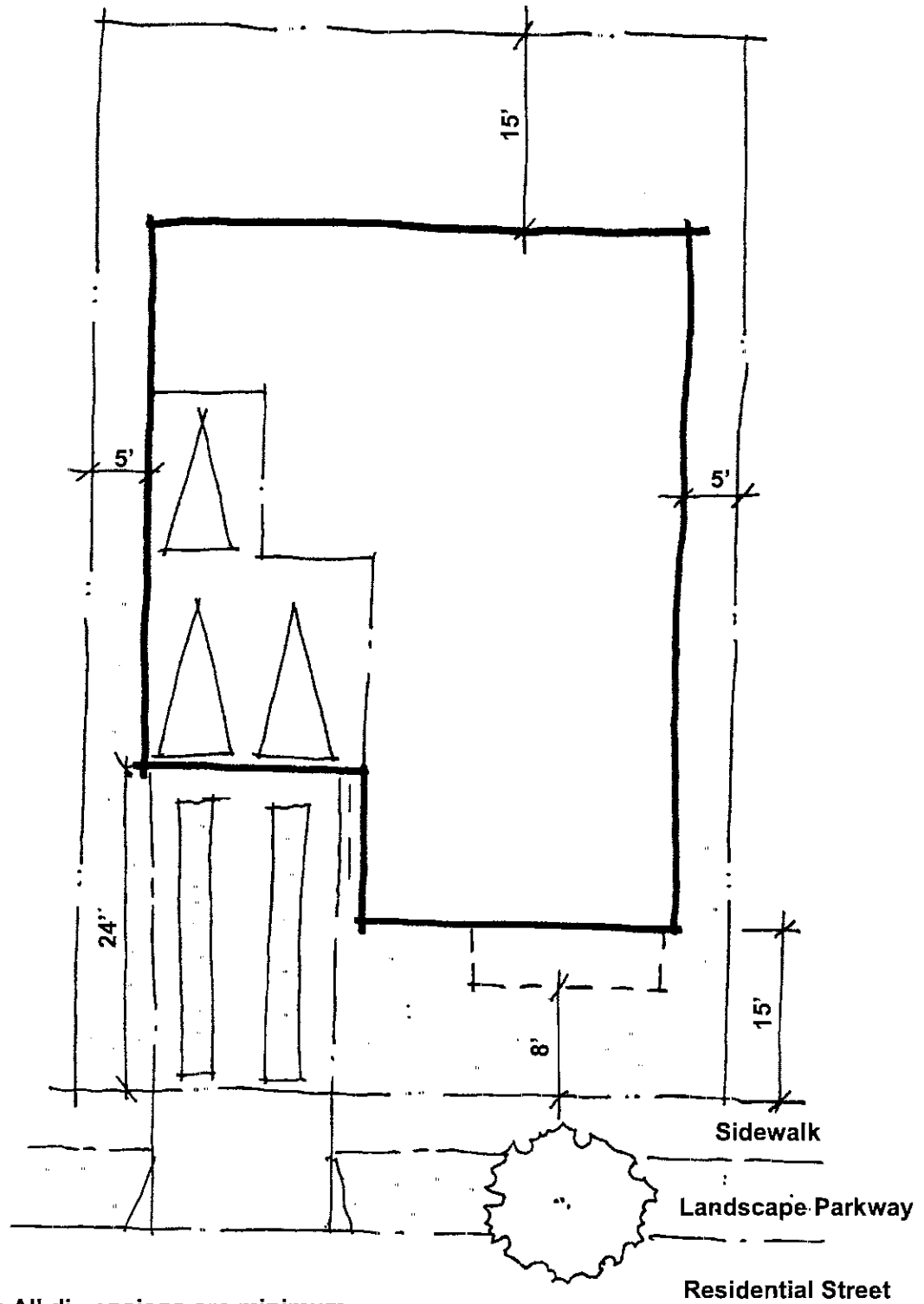
Garage Plotting Options

- 2 or 3 car garages
- Shallow recessed
- Deep recessed
- Side entry
- Split
- Tandem



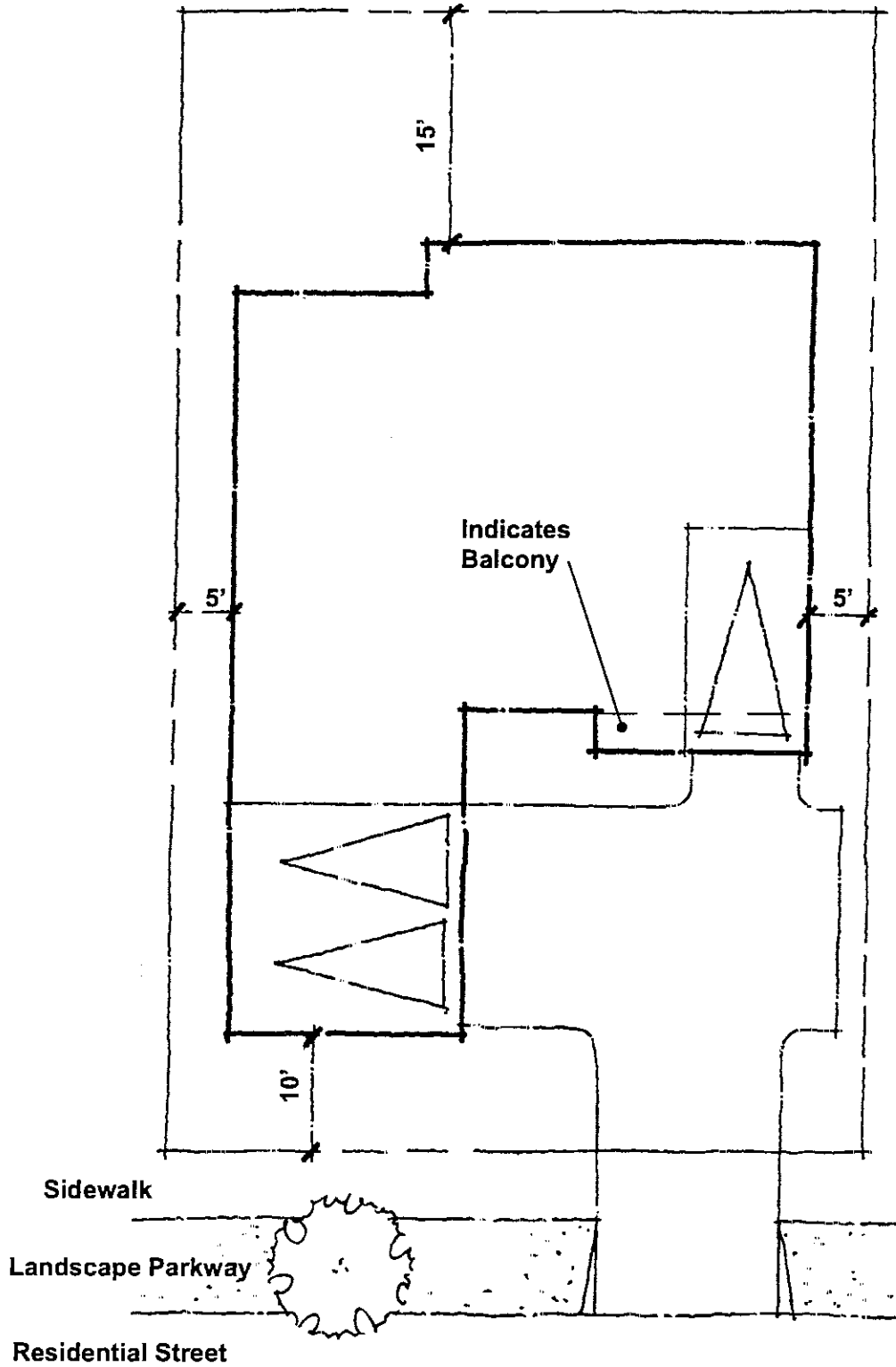
Note: All dimensions are minimum.

Figure II.4.4.2-8
60 x 100 Lot – Shallow Recessed Tandem Garage Concept



Note: All dimensions are minimum.

Figure II.4.4.2-9
60 x 100 Lot – Mid-Recessed Tandem Garage Concept



Note: All dimensions are minimum.

Figure II.4.4.2-10
60 x 100 Lot - 2 Side Entry, 1 Front Entry Garage Concept

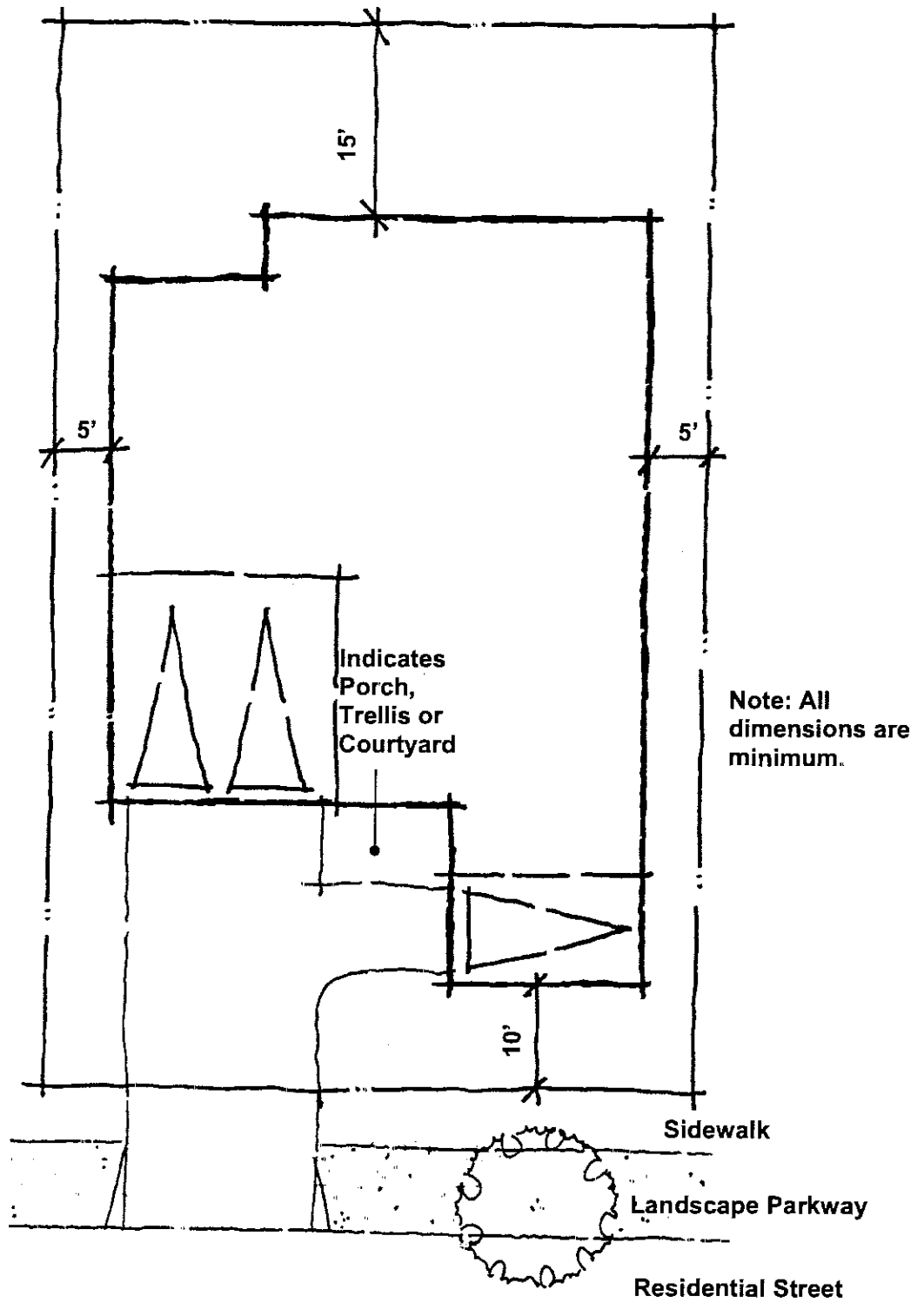


Figure II.4.4.2-11
60 x 100 Lot – 1 Side Entry, 2 Front Entry Garage Concept

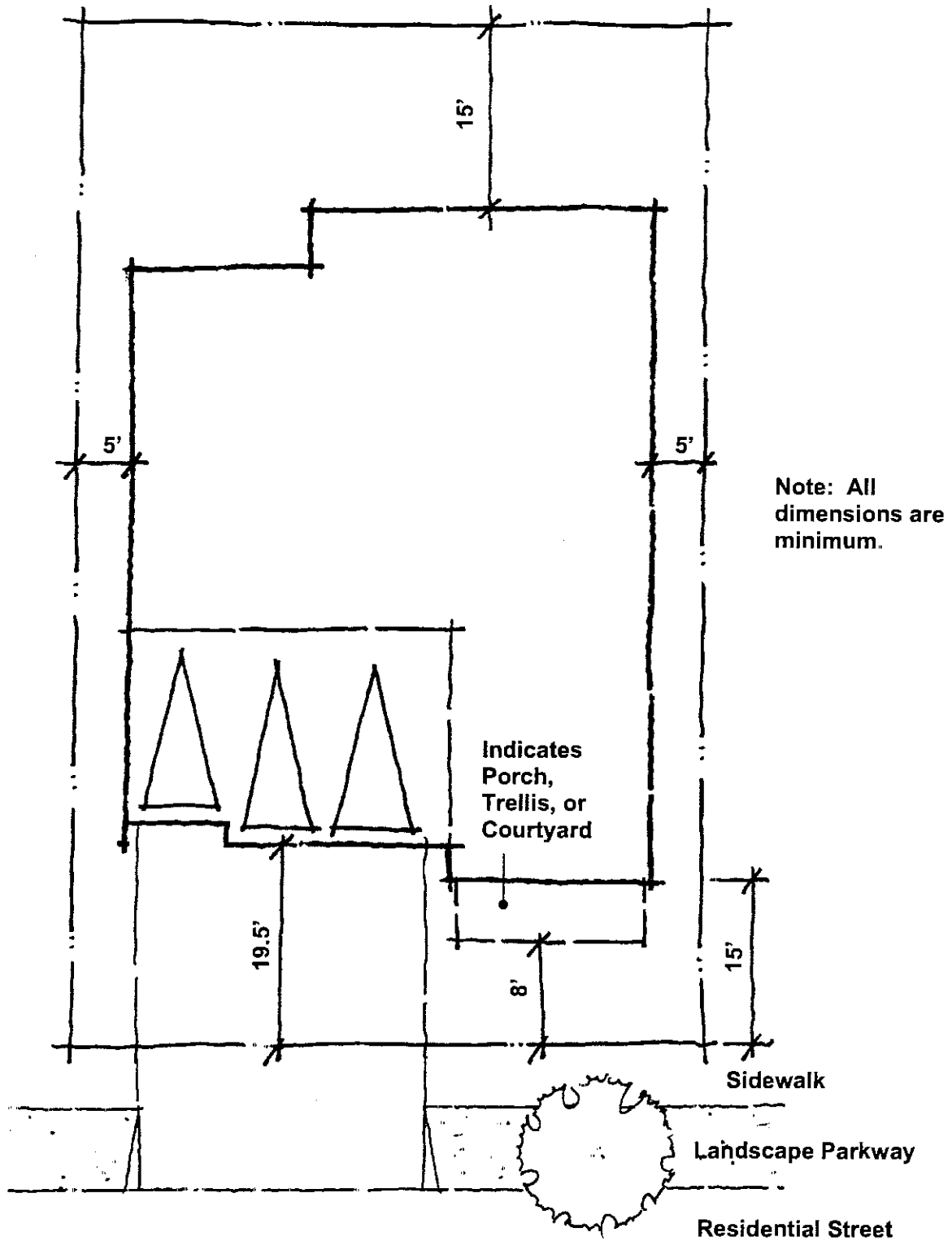


Figure II.4.4.2-12
60 x 100 Lot – Shallow Recessed 3 Car Garage Concept

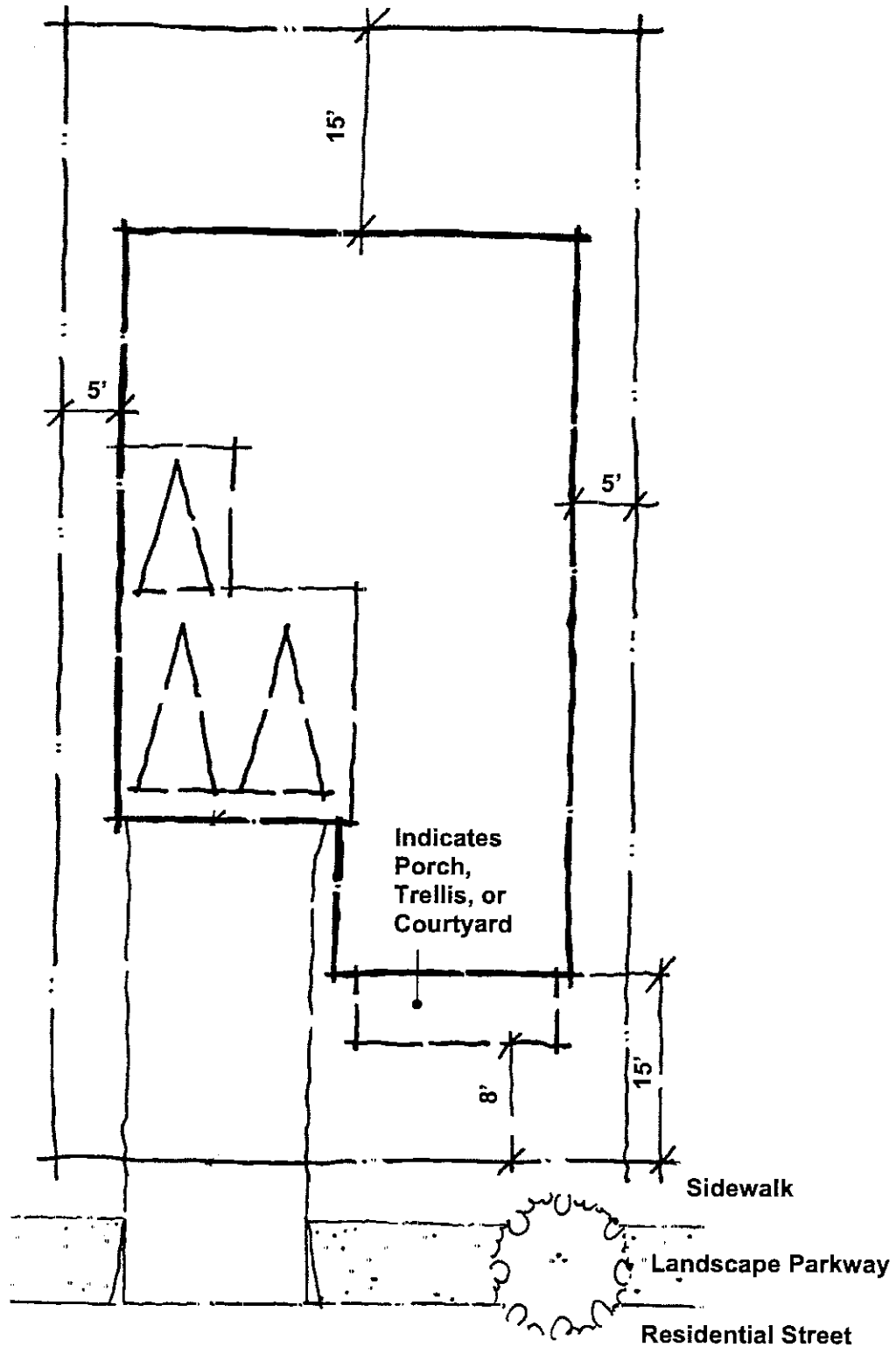
50 x 100 Lot (5,000 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 or 3 car garages
- Shallow recessed
- Deep recessed
- Side entry
- Split
- Tandem



Note: All dimensions are minimum

Figure II.4.4.2-13
50 x 100 Lot – Mid Recessed 3 Car Tandem Garage Concept

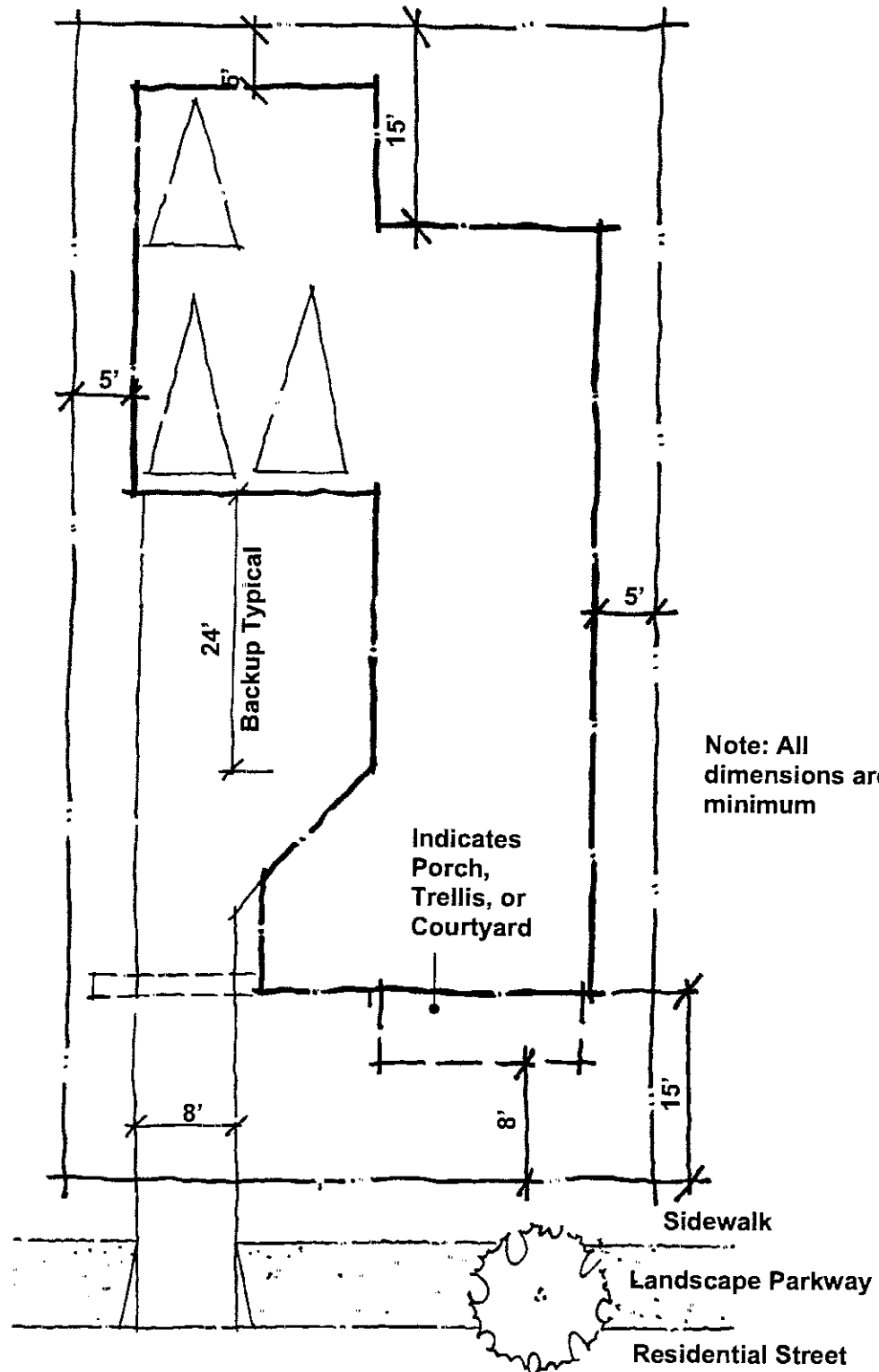


Figure II.4.4.2-14
50 x 100 Lot – Deep Recessed 3 Car Tandem Garage Concept

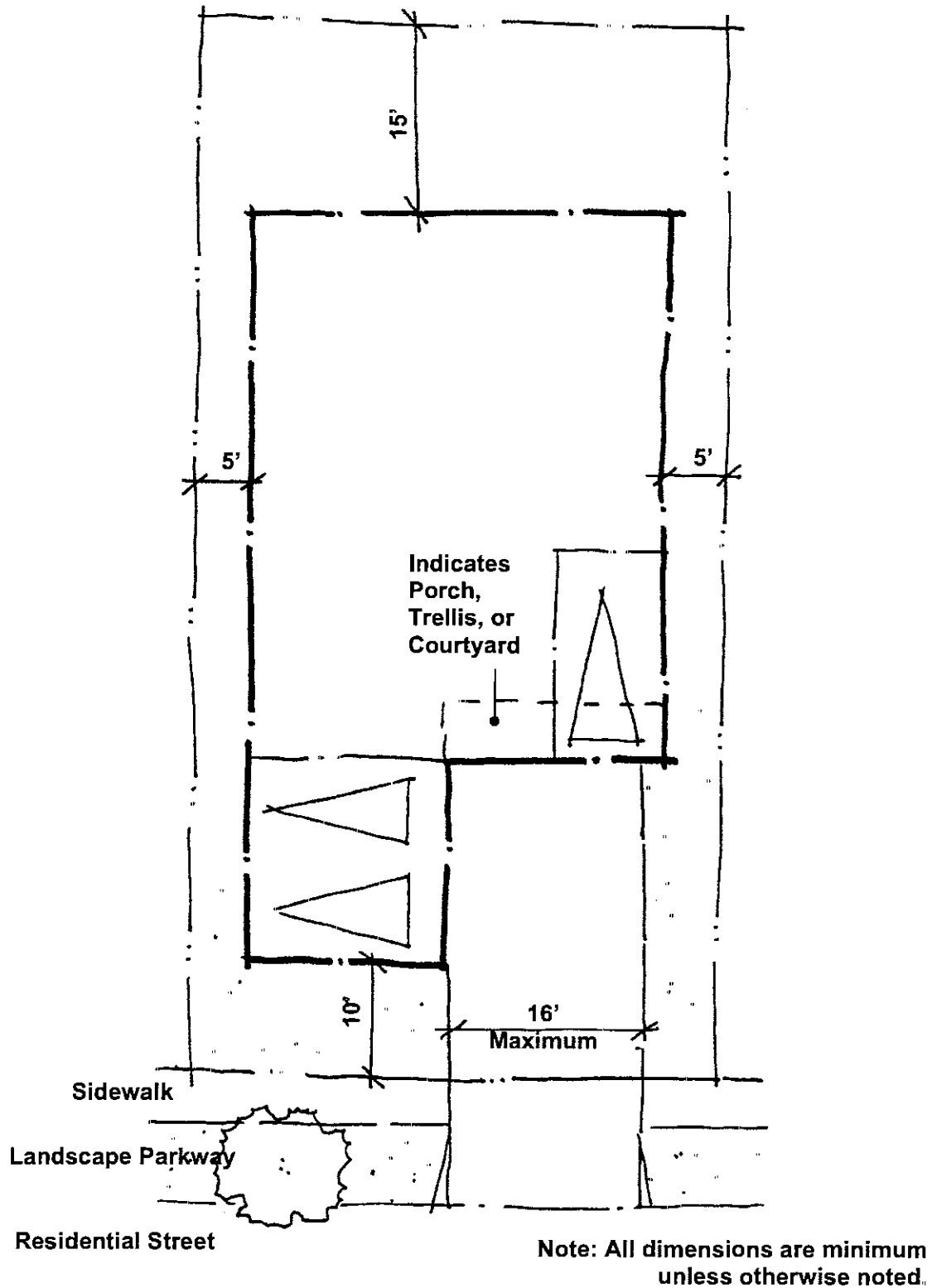
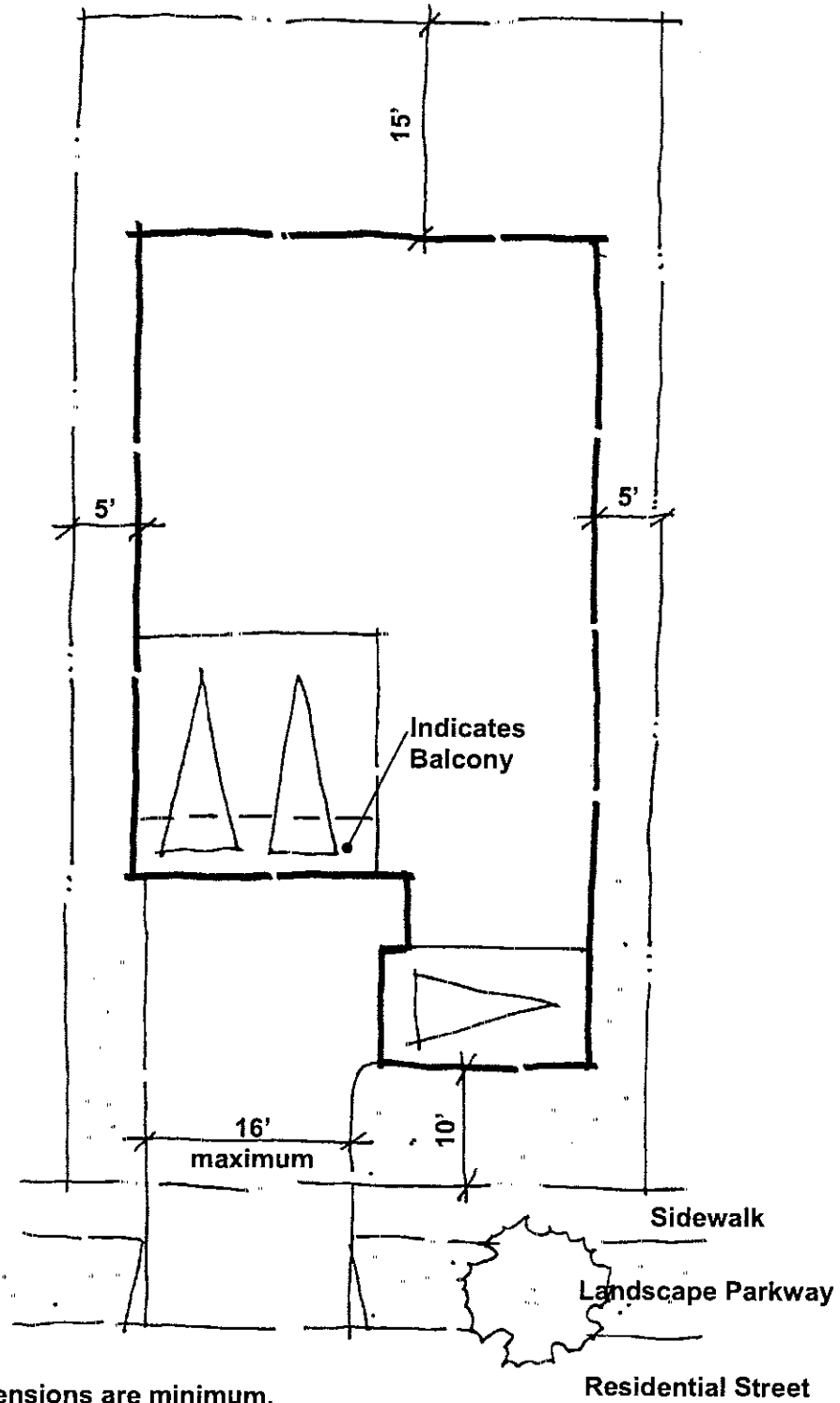


Figure II.4.4.2-15
50 x 100 Lot – 2 Side Entry, 1 Front Entry Garage Concept



Note: All dimensions are minimum, unless otherwise noted.

Figure II.4.4.2-16
50 x 100 Lot – 1 Side Entry, 2 Front Entry Garage Concept

50 x 90 Lot (4,500 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 or 3 car garages
- Shallow recessed
- Deep recessed
- Side entry
- Split
- Tandem

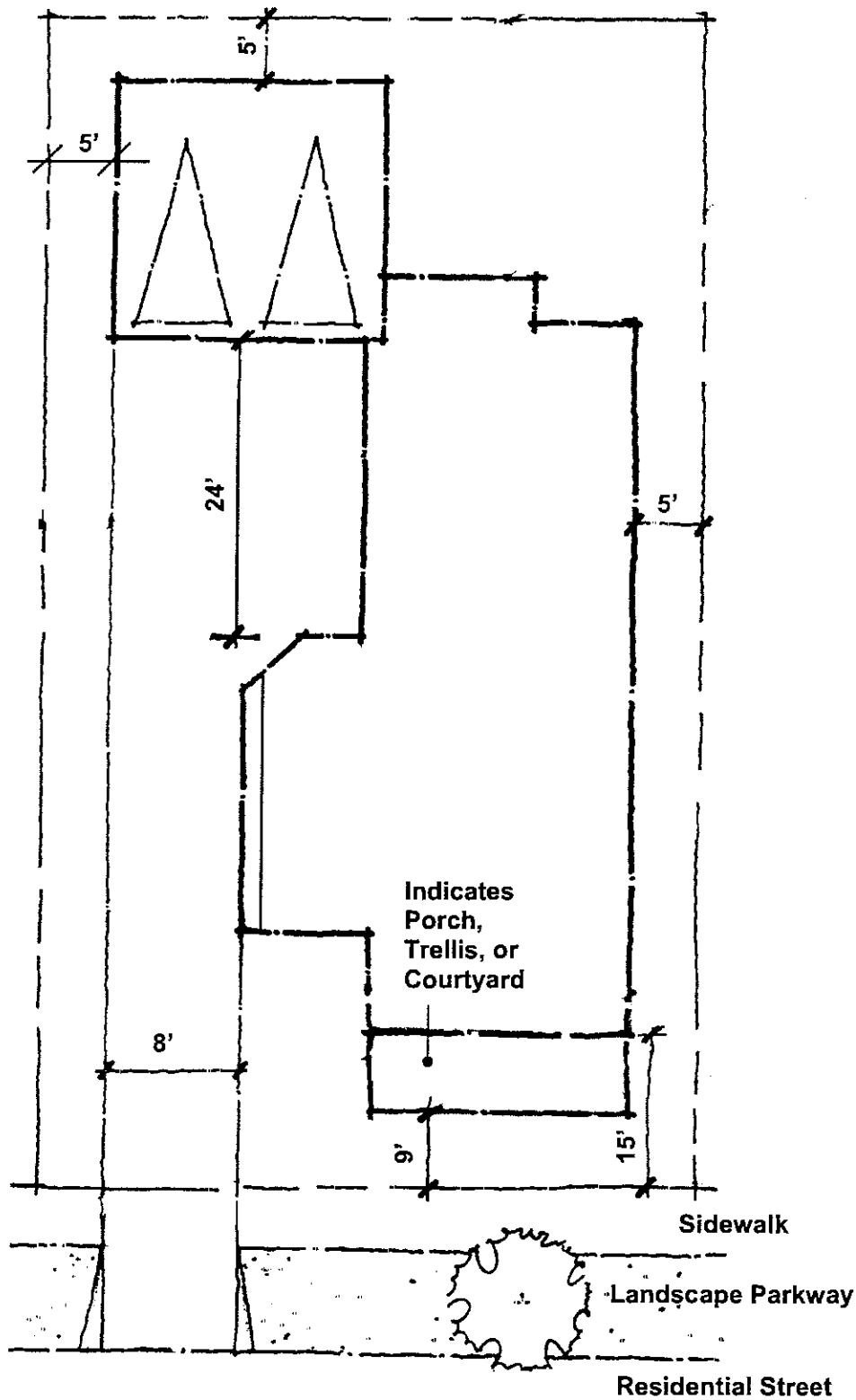
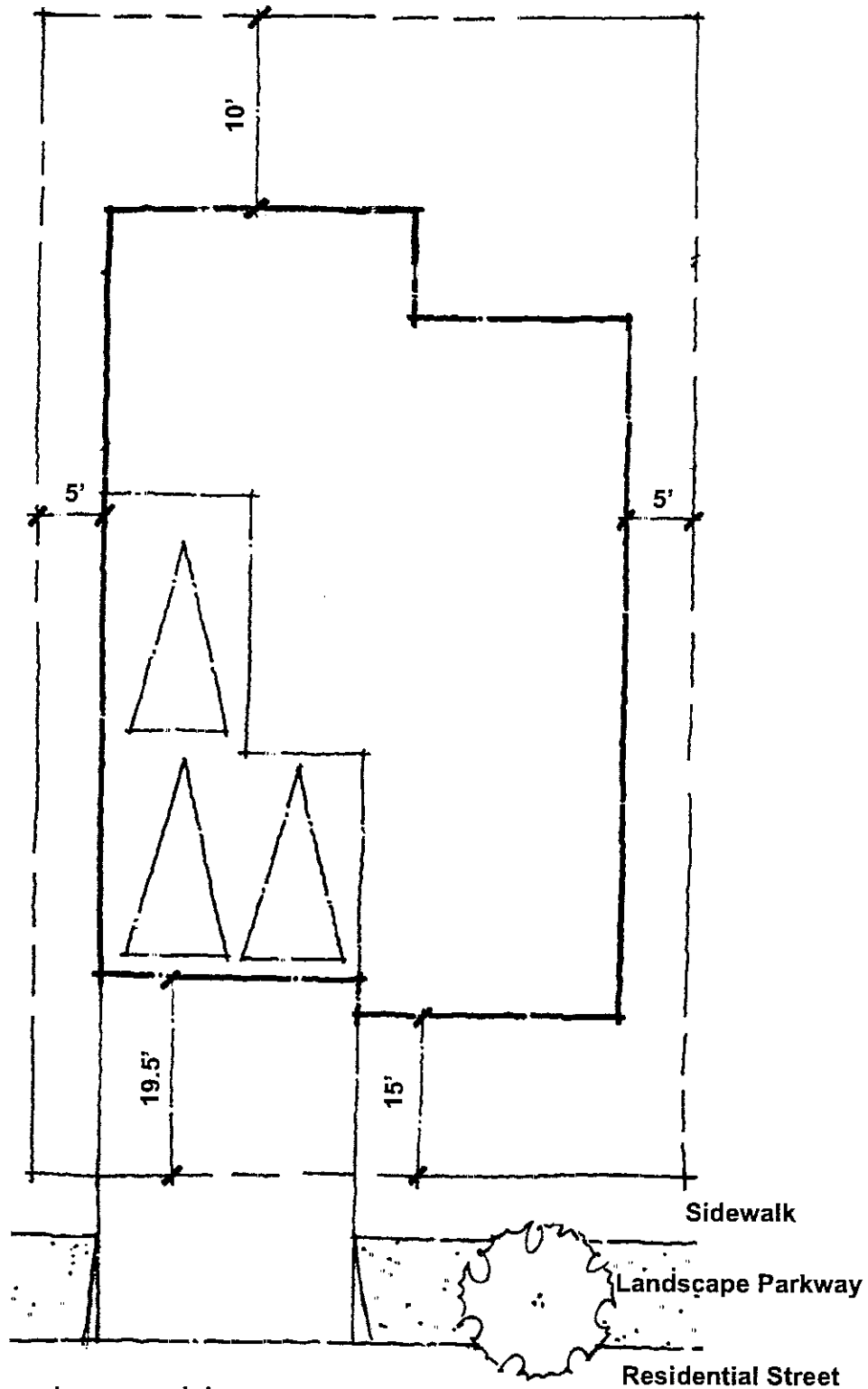
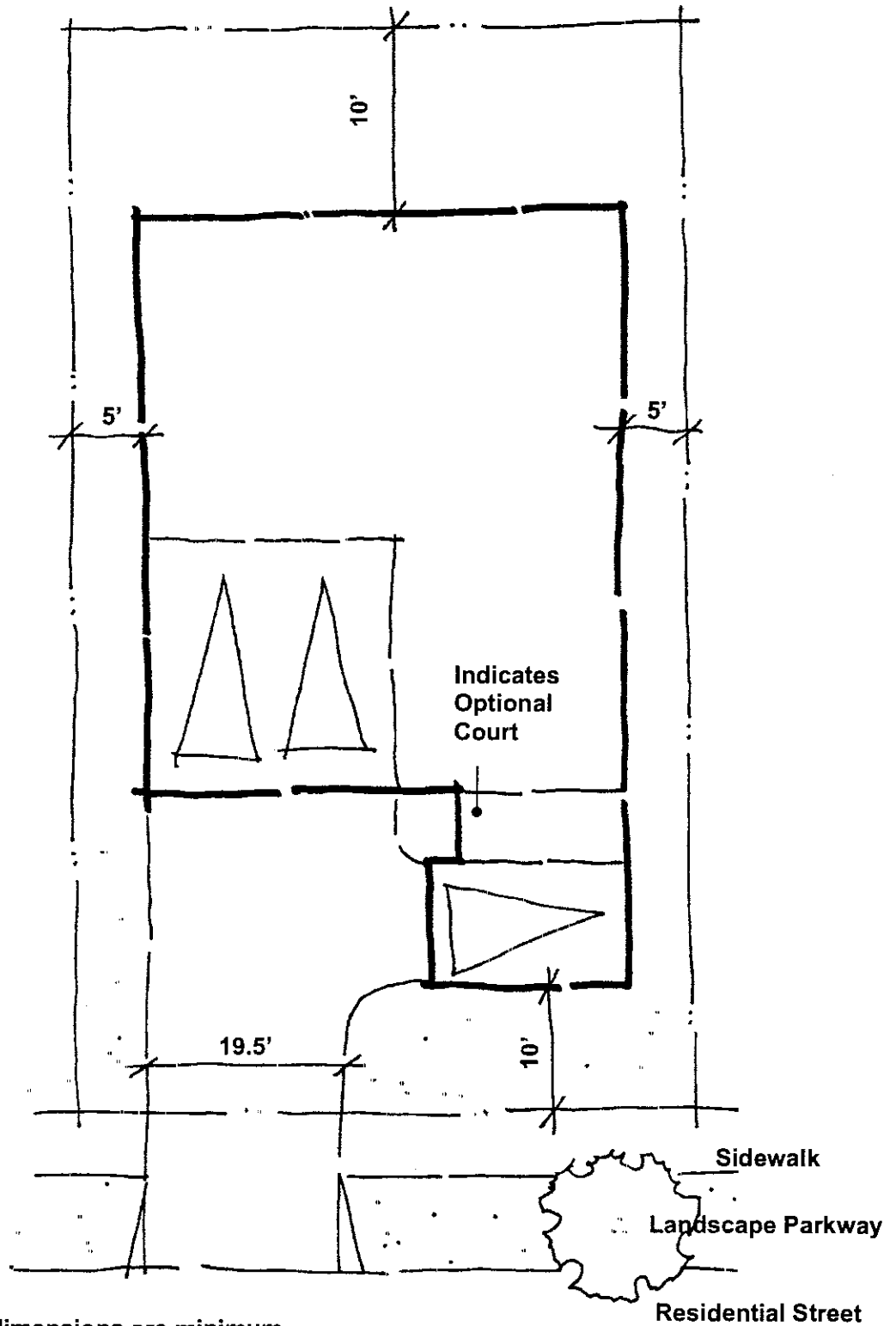


Figure II.4.4.2-17
50 x 90 Lot – Deep Recessed Garage Concept



Note: All dimensions are minimum

Figure II.4.4.2-18
50 x 90 Lot – Shallow Recessed 3 Car Tandem Garage Concept



Note: all dimensions are minimum

Figure II.4.4.2-19
50 x 90 Lot – 1 Side Entry, 2 Front Entry Garage Concept

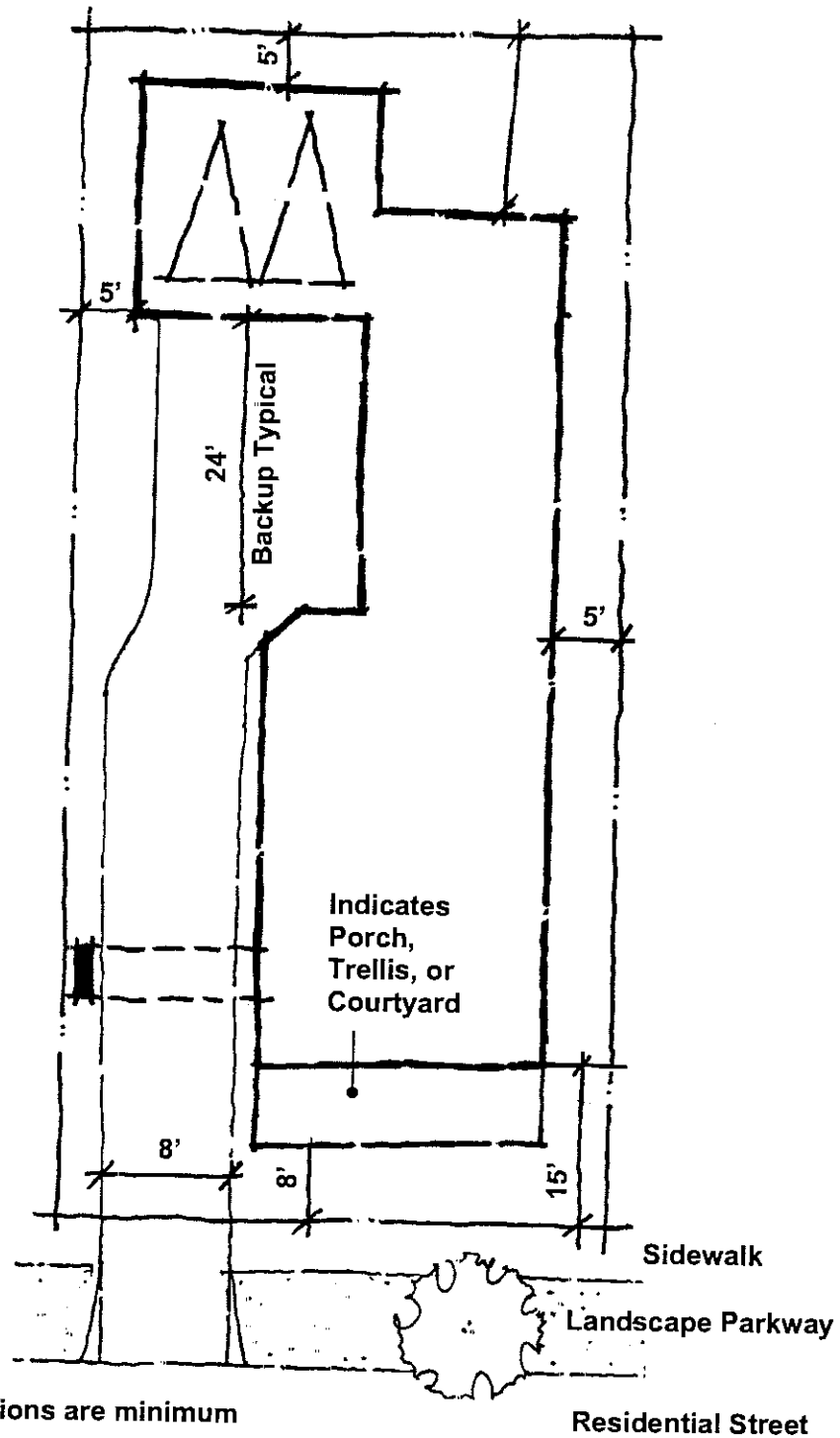
45 x 100 Lot (4,500 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

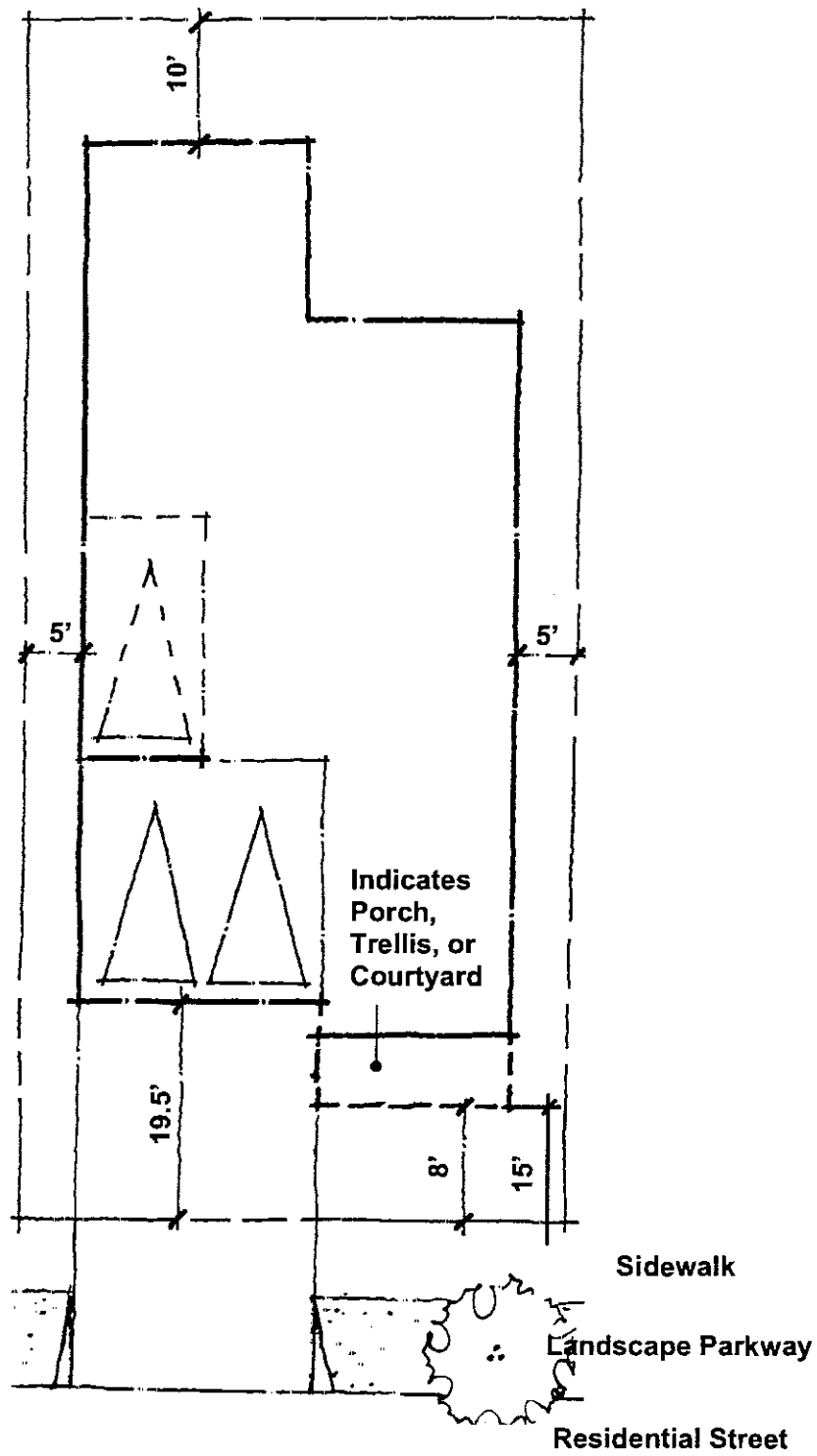
Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Split
- Tandem for 3rd garage



Note: All dimensions are minimum

Figure II.4.4.2-20
45 x 100 Lot – Deep Recessed Garage Concept



Note: all dimensions are minimum

Figure II.4.4.2-21
45 x 100 Lot – Shallow Recessed Garage Concept

45 x 90 Lot (4,050 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Split

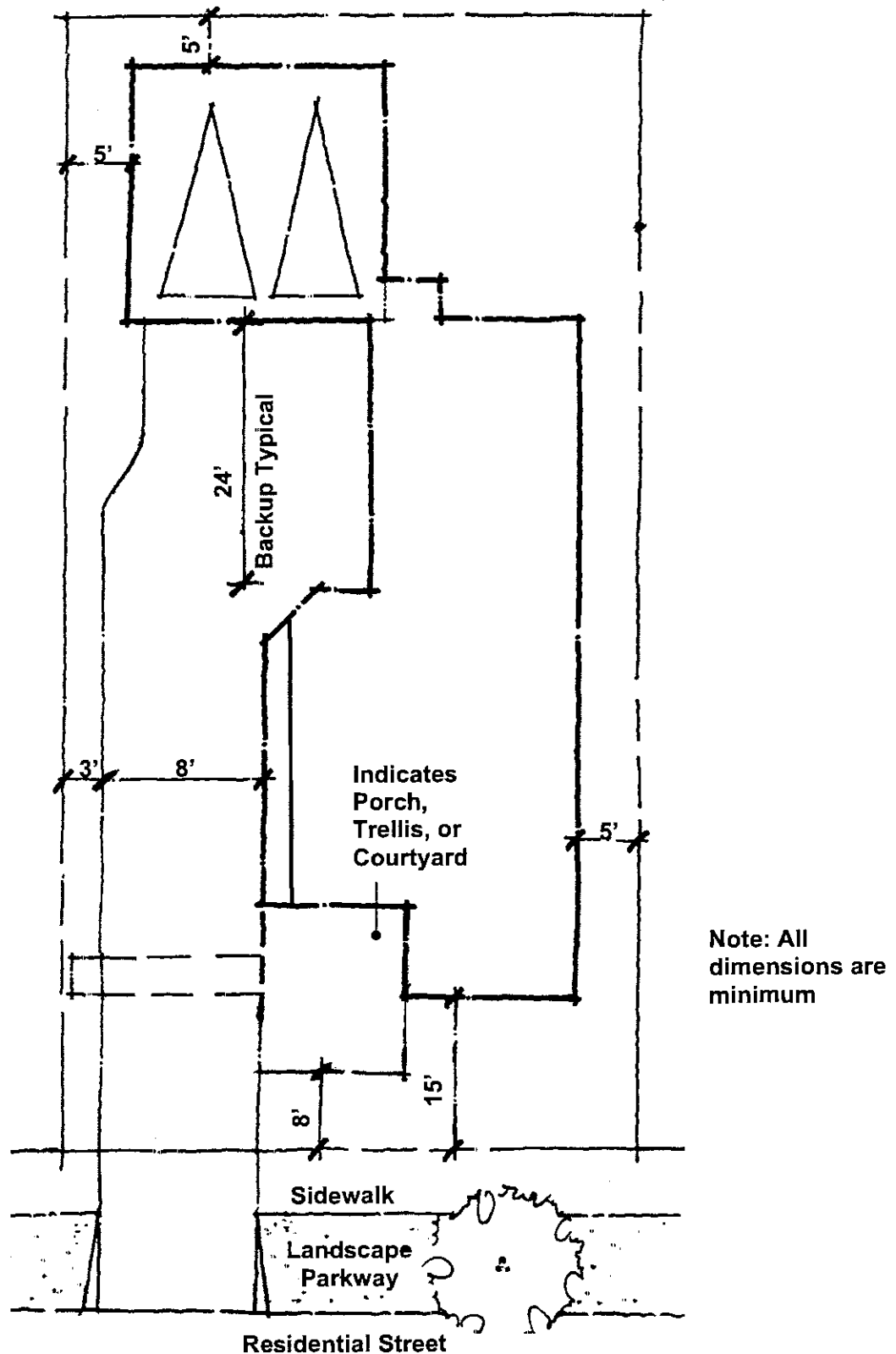


Figure II.4.4.2-22
45 x 90 Lot – Deep Recessed Garage Concept

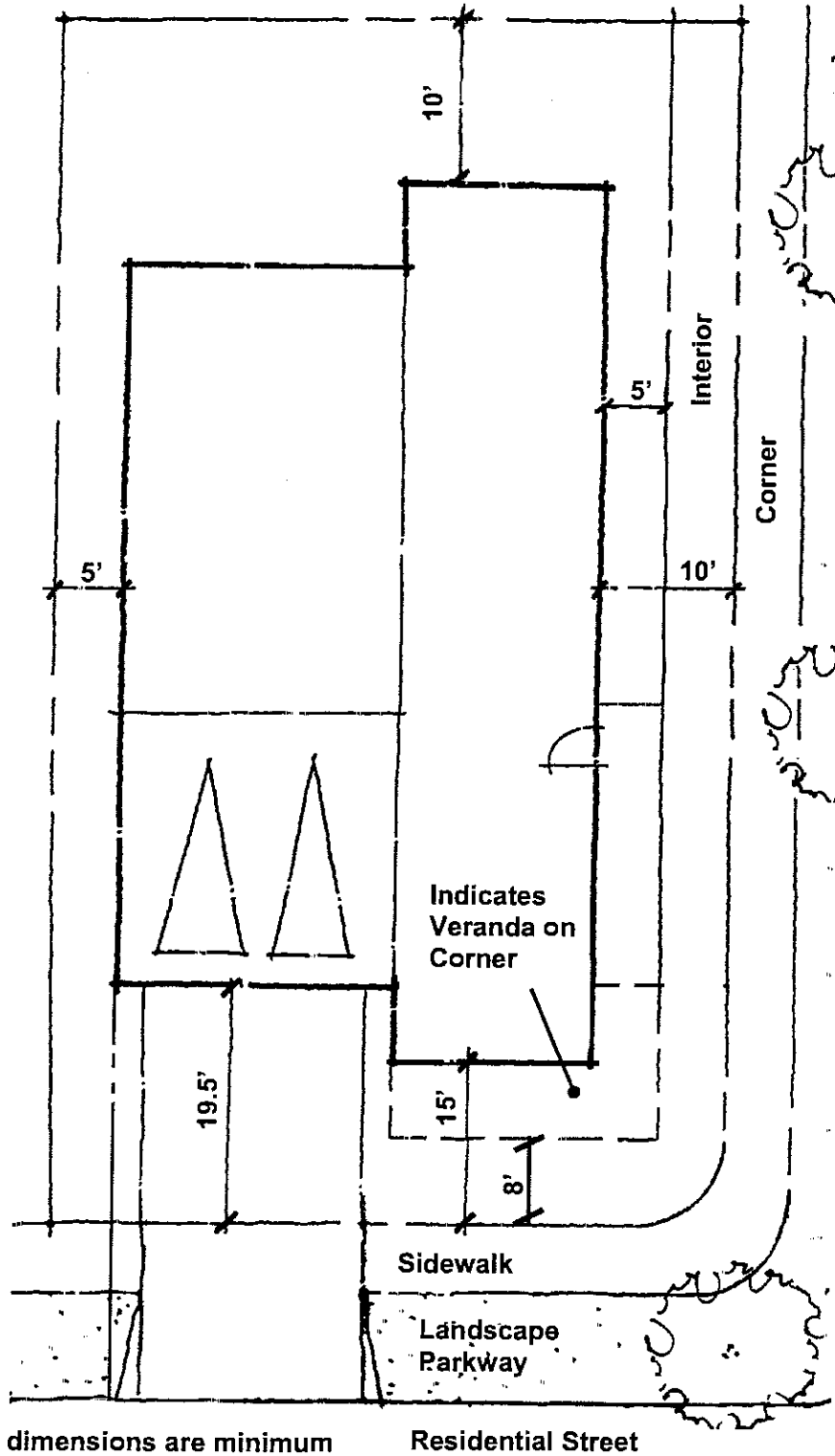


Figure II.4.4.2-23
45 x 90 Lot – Shallow Recessed Garage Concept

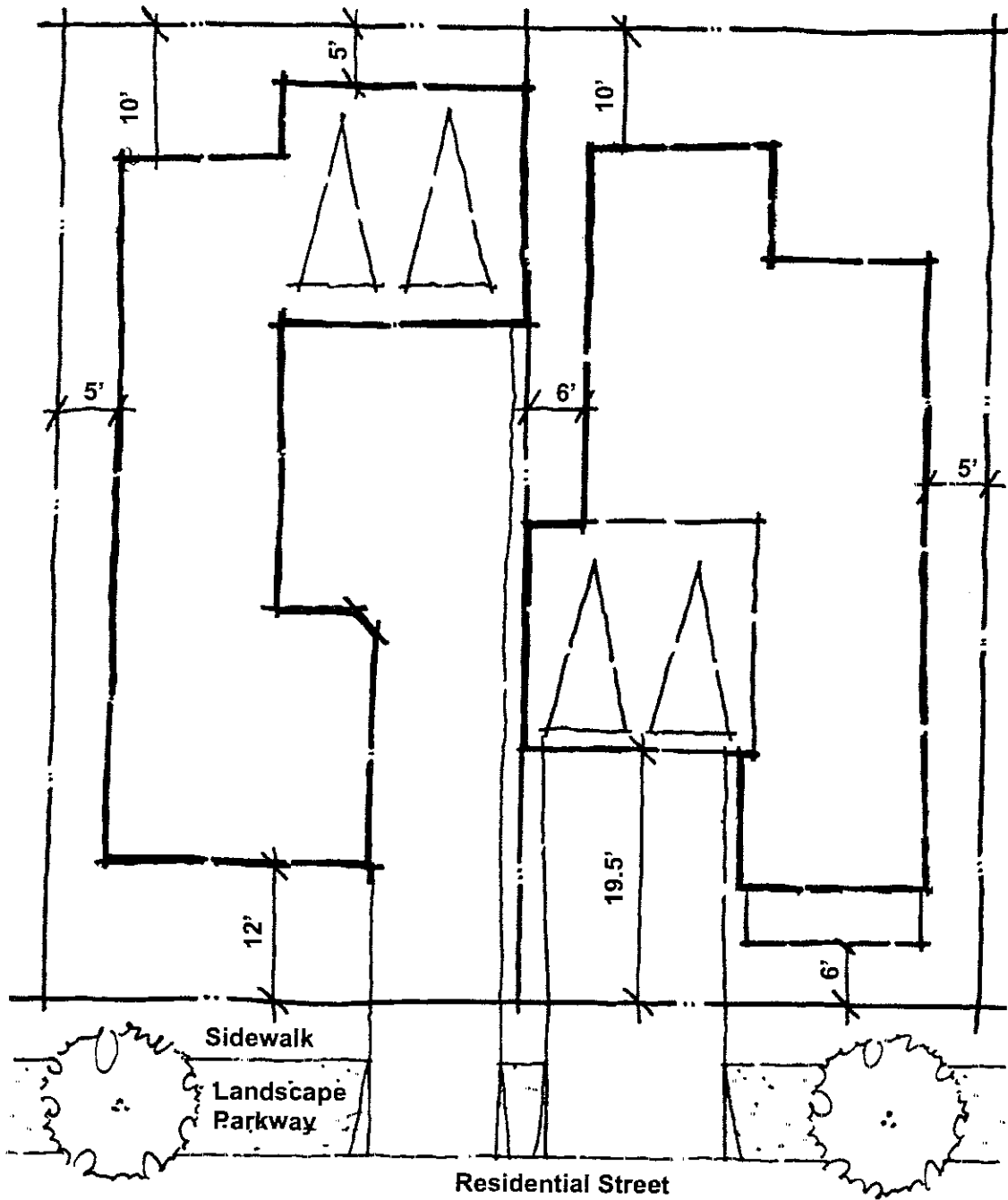
40 x 90 Lot (3,600 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entry features toward street with doors at front or side.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Split



Note: All dimensions are minimum

Figure II.4.4.2-24
40 x 90 Lot – Two Pack Layout, Zero Lot Line Configuration Concept

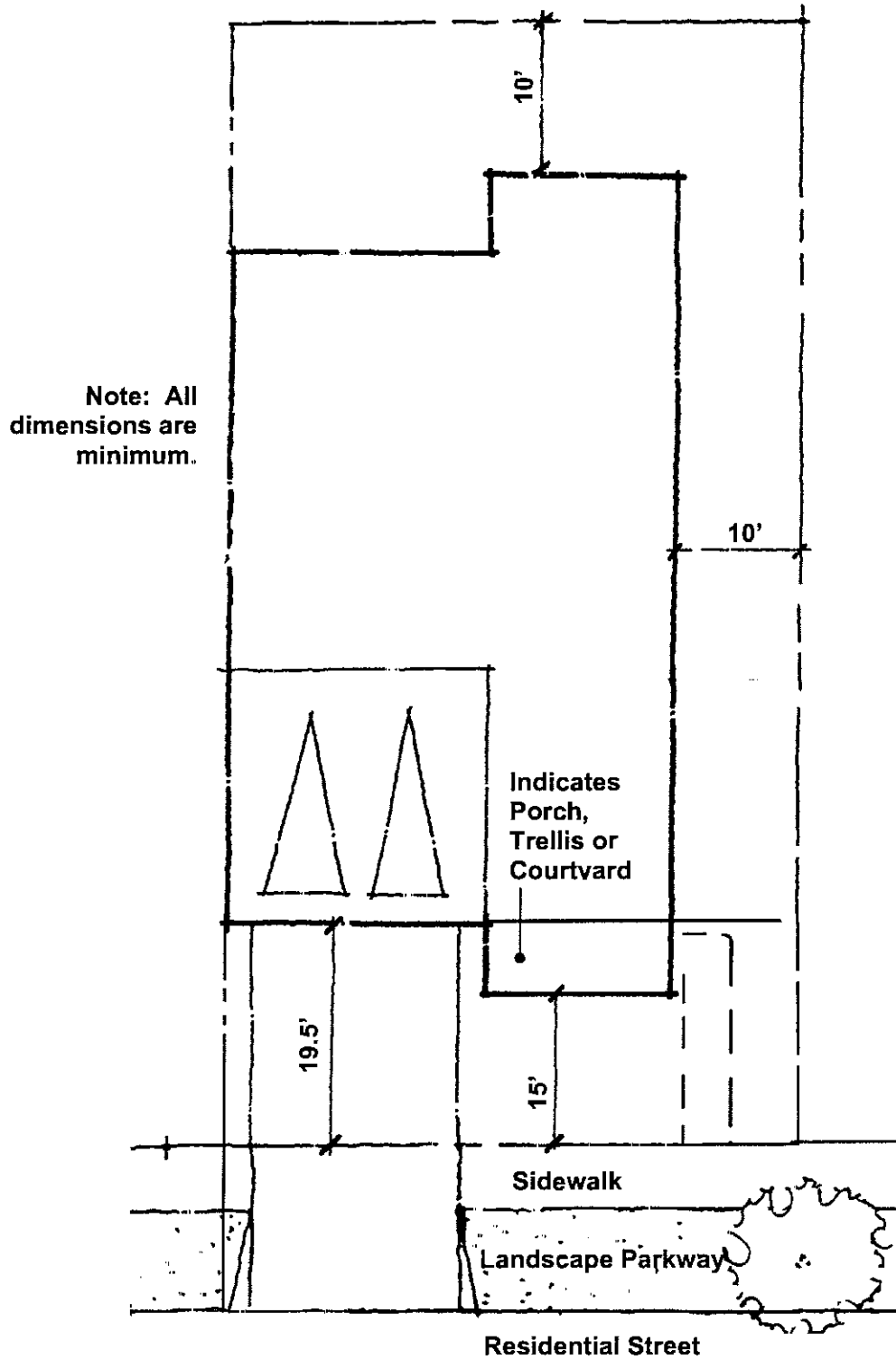


Figure II.4.4.2-25
40 x 90 Lot – Zero Lot Line Configuration Concept

40 x 85 Lot (3,400 SF) Plotting Concepts

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entry features toward street with doors at front or side
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed

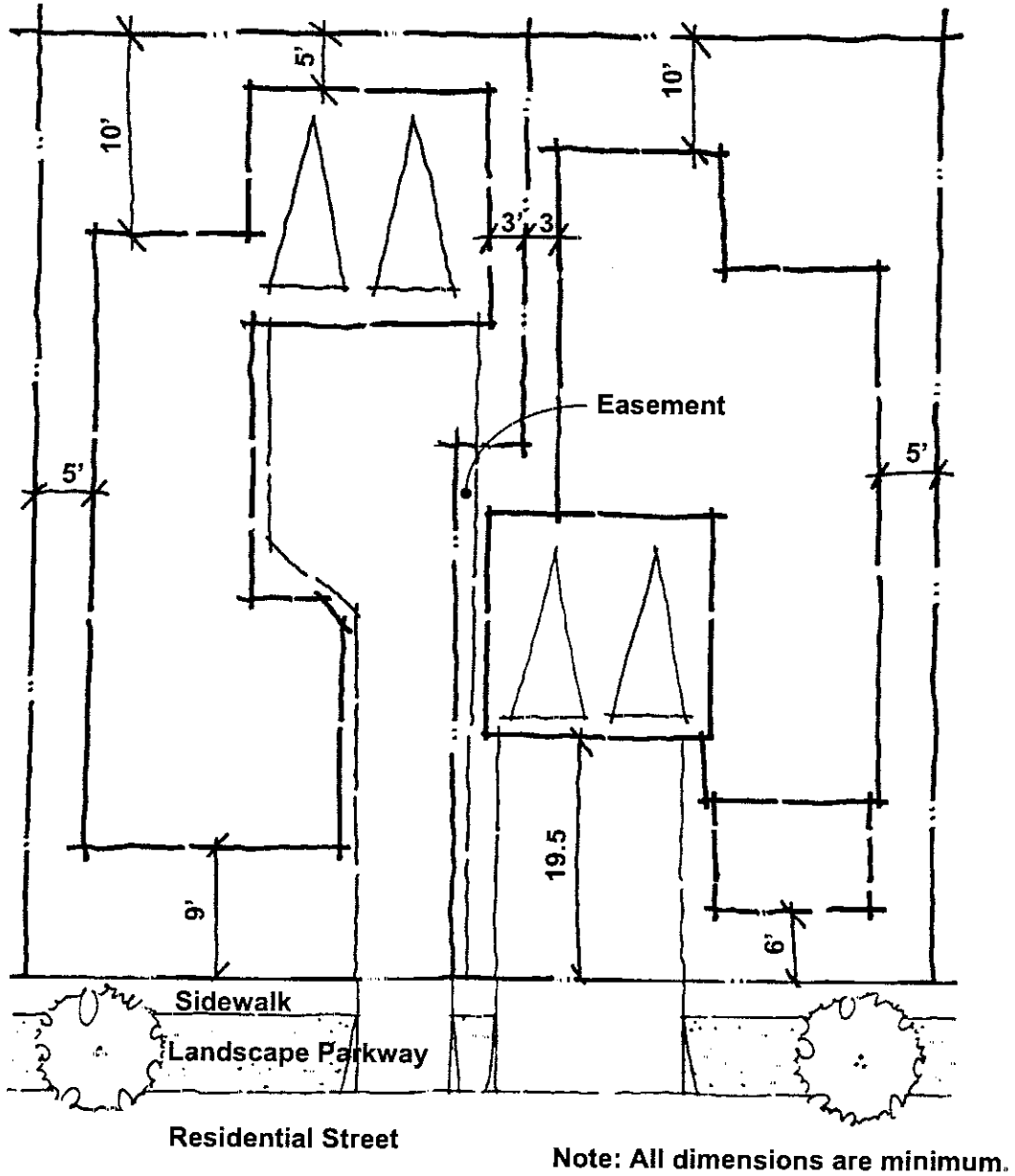


Figure II.4.4.2-26
40 x 85 Lot – Two Pack Z Lot Layout Configuration Concept

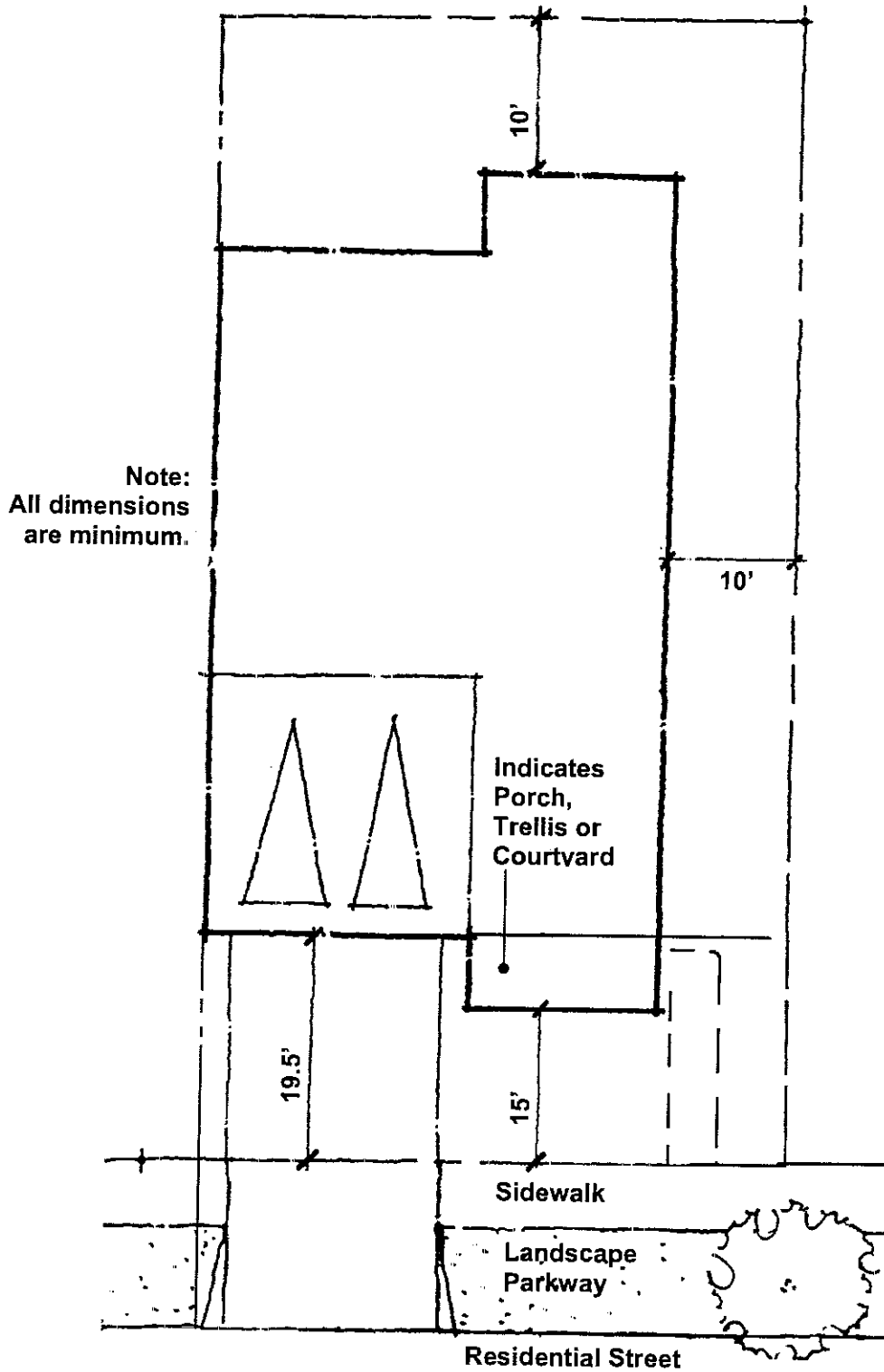


Figure II.4.4.2-27
40 x 85 Lot – Zero Lot Line Configuration Concept

II.4.5 Multifamily Residential Design

II.4.5 MULTI-FAMILY RESIDENTIAL DESIGN

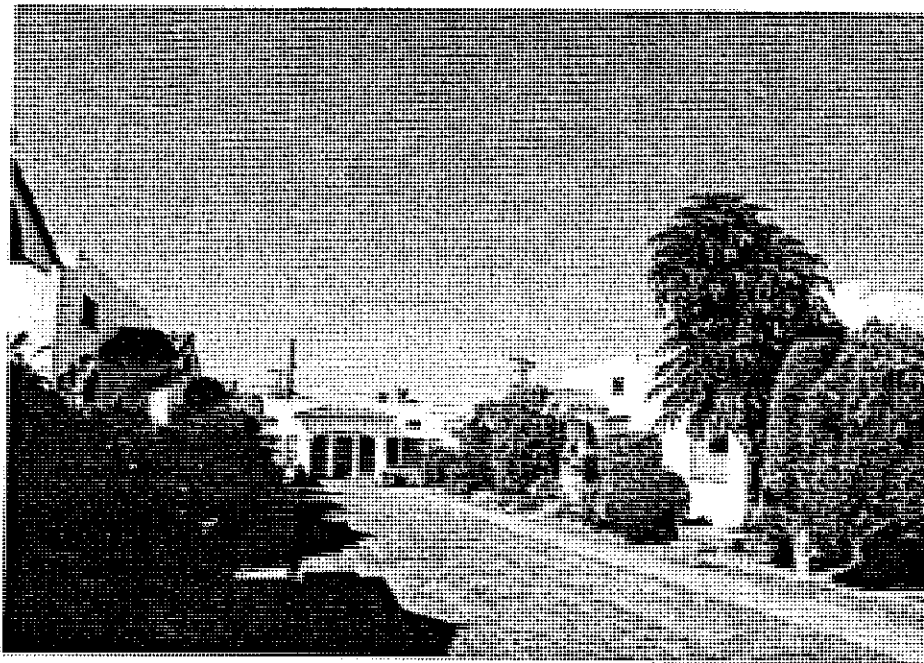
II.4.5.1 Architectural Themes

The multi-family residential neighborhoods are located in the western portion of Village Eleven. As a fundamental component of the village core, the architecture of multi-family development should be compatible with the Irving Gill architectural theme of the village core community buildings. The appropriate architectural styles are described in the previous Section II.4.4.1-1, Single Family.

Multi-family residential in Village Eleven may include a variety of housing types, ranging from small lot, detached homes, to medium to high-density townhouses and flats. Figures II.4.5.1-1 through 3 illustrate historic and contemporary applications of appropriate architectural styles for a range of multi-family housing densities.

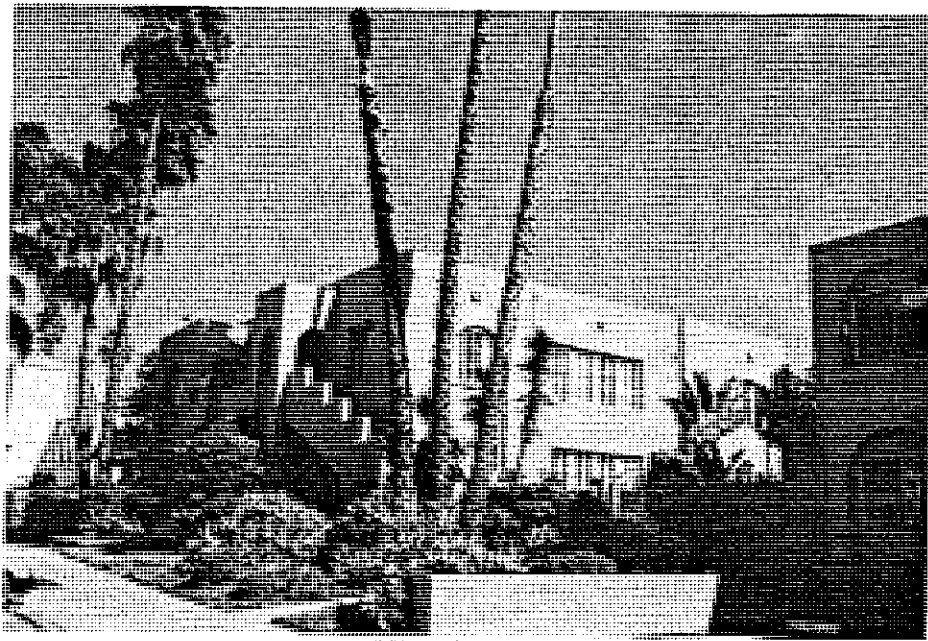


Historical Reference



Historical Reference

Figure II.4.5.1-1
Inspiration Imagery – Courtyard and Small Lot



Historical Apartments

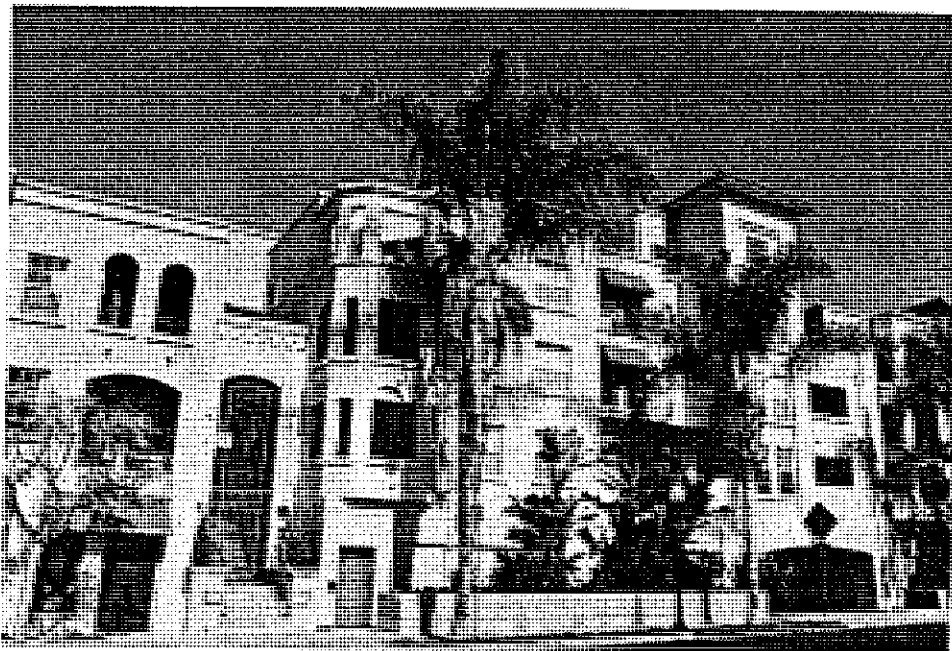


Contemporary Townhomes

Figure II.4.5.1-2
Inspiration Imagery – Medium to Medium High Density



Historical Reference



Modern or Current Applications

Figure II.4.5.1-3
Inspiration Imagery – Medium High to High Density

II.4.5.2 Pedestrian-oriented Design

The pedestrian-oriented village concept is enhanced by the intensity of multi-family development in the village core located in proximity to public transit, shopping, and community facilities. It is anticipated that residents of multi-family developments will take advantage of the available opportunities to walk to neighboring shops, the town square and pedestrian park. Pedestrian access and amenities are fundamental components of the village core. The siting, access, entries and architecture of multi-family development should complement the pedestrian orientation of the village.

Multi-story attached developments, such as townhomes and apartments are the primary focus of the guidelines in this section. The small lot, detached residential developments within the multi-family category shall adhere to the guidelines for single family residential development. However, examples of site planning for small lot residential development are included in this section to identify the particular site requirements of that type of housing.

Façade Elements

Multi-family residential development should be designed to promote variety and enhance the human-scaled pedestrian activity of the village. The following guidelines suggest methods for creating vital, interesting architecture:

- Developments should be unique, but share fundamental architectural characteristics consistent with the village theme styles.
- Building elevations that are visible from all village and major roadways shall be articulated with elements such as wall offsets, balconies, and windows, appropriate to the architectural style.
- The architectural style along the same street or within an individual development shall be compatible through the use of similar building heights, materials, window or door style, detailing, porches, arcades, overhangs, roofing or color.
- Varied building elements and roof pitches should be employed to avoid monotony.
- Each development shall provide a well-articulated, identifiable pedestrian entry oriented towards the village street.
- Distinctive building elements shall be oriented towards the corners of prominent village core and entry street intersections.
- Street facing facades shall incorporate a range of scale-defining elements that relate larger building masses to the scale of the pedestrian. Elements may include trellises, columns, archways, doorways, porches or patios and upper floor balconies and windows.
- Individual residential unit entries shall be oriented towards the village streets wherever possible.
- Internal residential units shall be connected to the village streets by courtyards or landscaped walkways wherever possible.

- Stairs shall be sensitively designed and integrated into the overall building design.
- Utilitarian areas, including parking, loading, mechanical equipment and trash enclosures, shall be screened from view from village streets to the extent possible.

Figure II.4.5.2-1 illustrates pedestrian-oriented design elements for multi-family developments.



Residential Entries from Street



Balcony



Window



Trellis



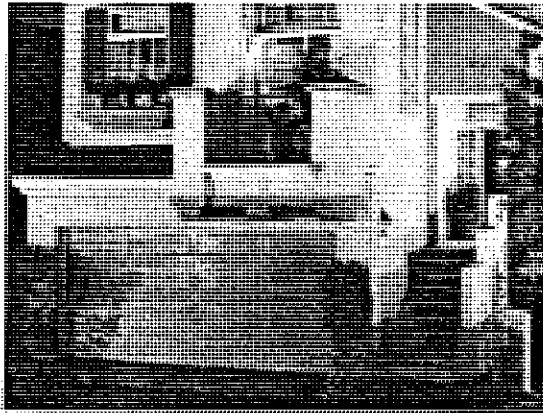
Trellis

Figure II.4.5.2-1
Pedestrian-oriented Design Elements

Parking, Carport and Garage Design

Views of parking areas, carports and garages should be minimized to create the pedestrian-oriented village. Section II.4.4, Single Family Residential, provides guidelines for the design of garage facades that may also be applied to multi-family garages. The following guidelines provide direction for location and design of multi-family parking facilities and Figure II.4.5.2-2 illustrates some design options:

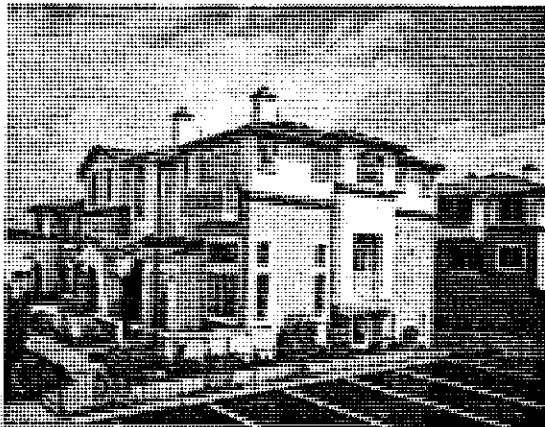
- Parking and vehicular access shall be located to the rear or within each development and separated from the pedestrian-oriented street frontage.
- Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors.
- Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.
- All surface and covered parking within multi-family areas shall be separated from village streets, tops or toes of slopes, patios or courtyards with a landscaped buffer. The buffer shall include screening elements such as low walls or masses of shrubs to screen headlights and glare from reflective car surfaces.



Architecture Minimizes Garage



Side Entry Garage



Alley-Accessed Garages



Garage Court

Figure II.4.5.2-2
Garage Design Options

Site Planning and Building Plotting

The site planning and plotting of multi-family residential buildings will contribute to the pedestrian-oriented village concept. Site planning which focuses on the pedestrian includes design that orients entries towards village core streets and minimizes views to garages and parking areas. The following guidelines are provided for siting and building plotting of multi-family developments.

- Developments fronting on to village core streets shall be oriented towards the street with reduced setbacks, multiple entries and pedestrian connections to ground floor units.
- Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways in the Irving Gill-inspired village design theme.
- Building orientation should consider indoor and outdoor privacy, noise, solar access and overall aesthetic appearance.
- Where grade differentials occur between the street and a development, the differential may be used to create separation between the public street and private living space. Interesting entries incorporating steps, porches or landings may be integrated into the design.
- Developments adjacent to major streets surrounding the village and adjacent to village entry streets may be buffered with sound and privacy walls. Walls and view fences located along village entry streets shall incorporate inviting entry openings for both pedestrians and cars.
- The building architecture that is visible beyond sound and privacy walls shall be well-articulated with pedestrian-oriented features, such as second story windows and balconies.
- On village core streets, the use of solid masonry walls should be minimized and used primarily between buildings to screen parking areas or to enclose private entries and courtyards.

Building Lot Schematics

A wide variety of housing types are suitable for Village Eleven and creative site planning solutions are encouraged. The following Figures II.4.5.2-3 through 12 illustrate site planning and building plotting for small lot, townhome and apartment developments. These examples are not intended to be all-inclusive or restrictive. The following plotting concepts list minimum setbacks, however, these may be reduced or modified through the Design Review process. That process provides for consideration of unique site planning and architectural solutions for multi-family housing.

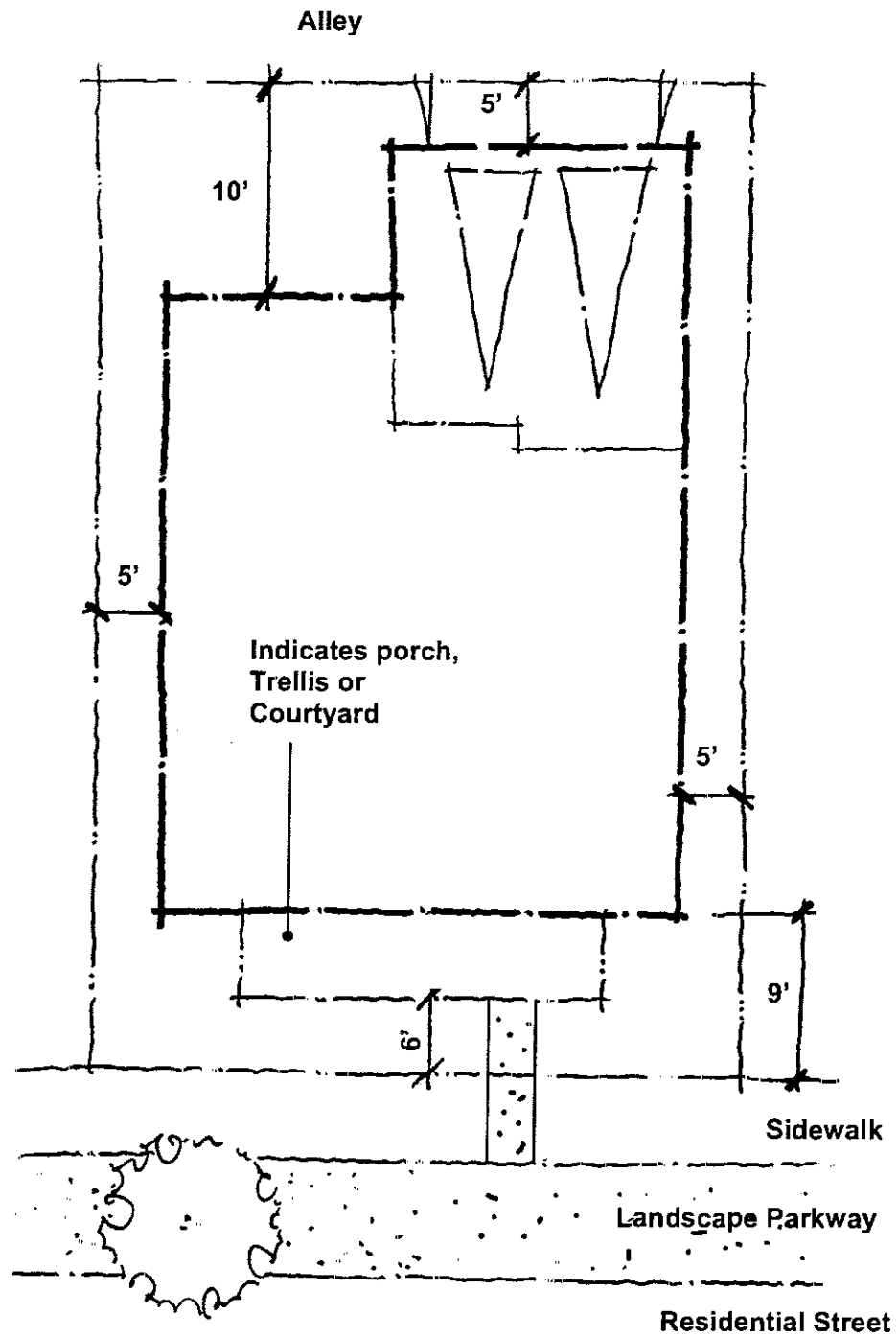
Small Lot Residential (Multi-Family Land Use)

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entry features toward street with doors at front or side.
- Provides for private, usable rear yards.

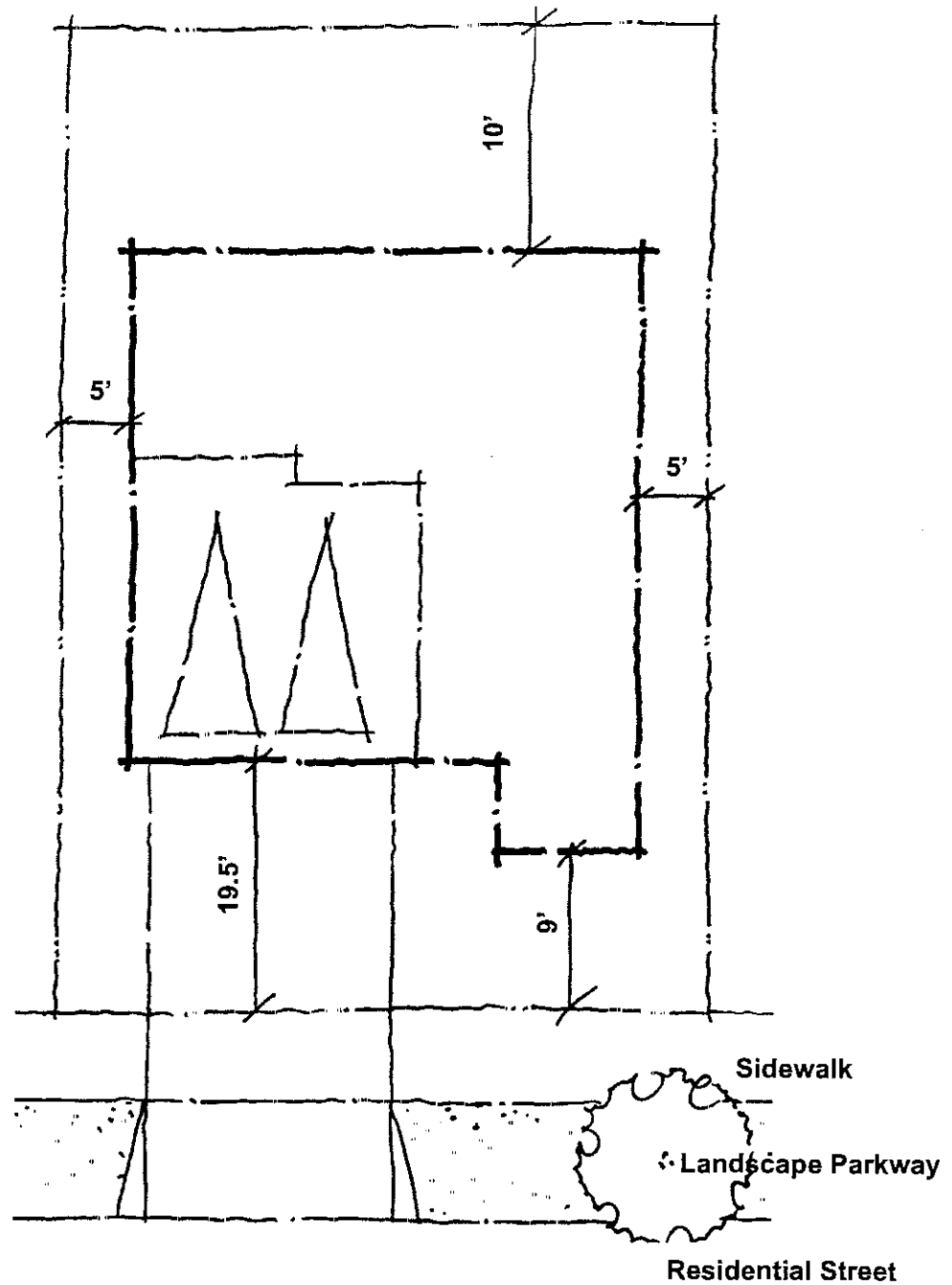
Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Alley entry
- Parking court



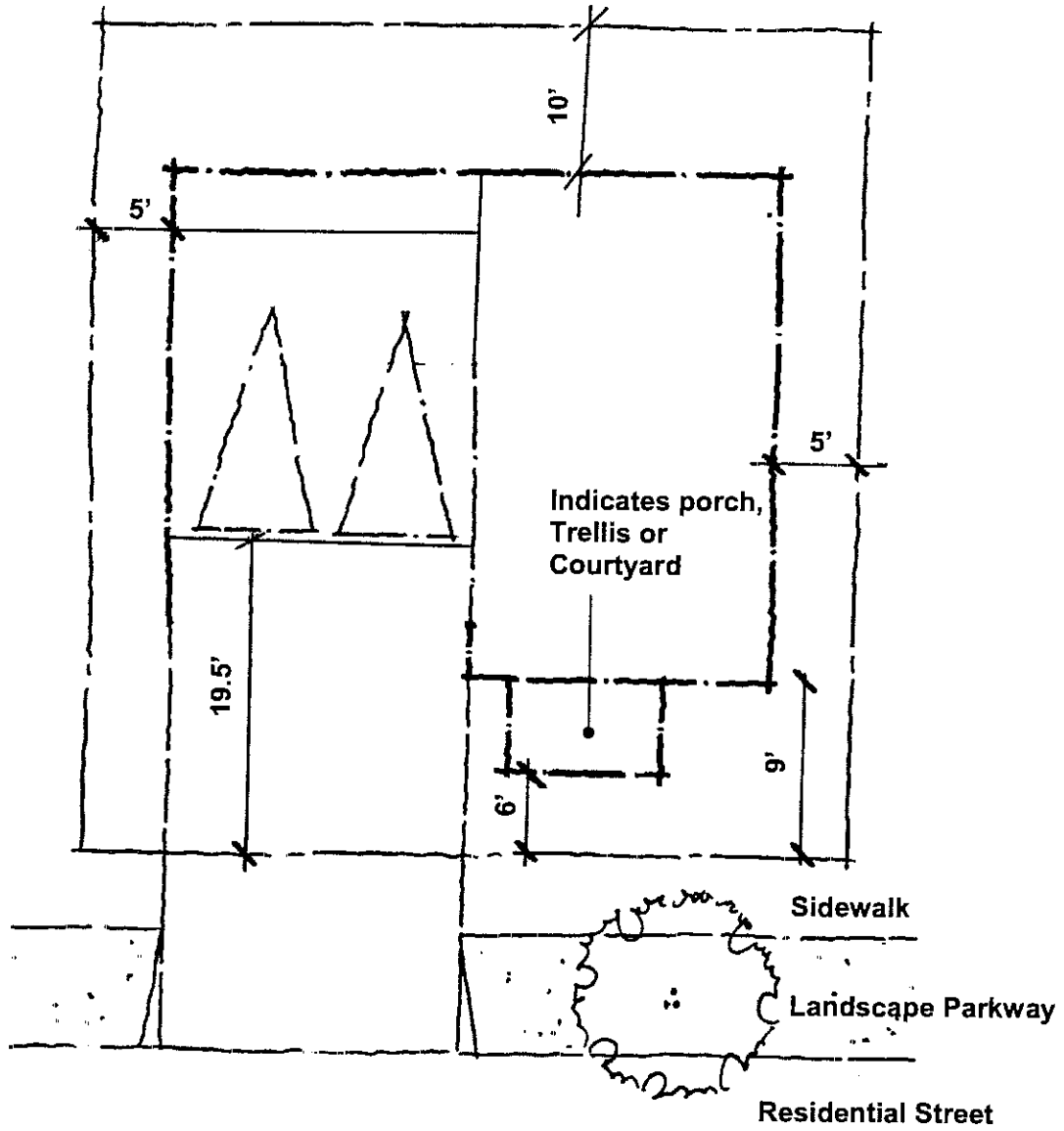
Note: All dimensions are minimum.

Figure II.4.5.2-3
40 x 70 Small Lot Alley Entry 2-Car Garage Concept



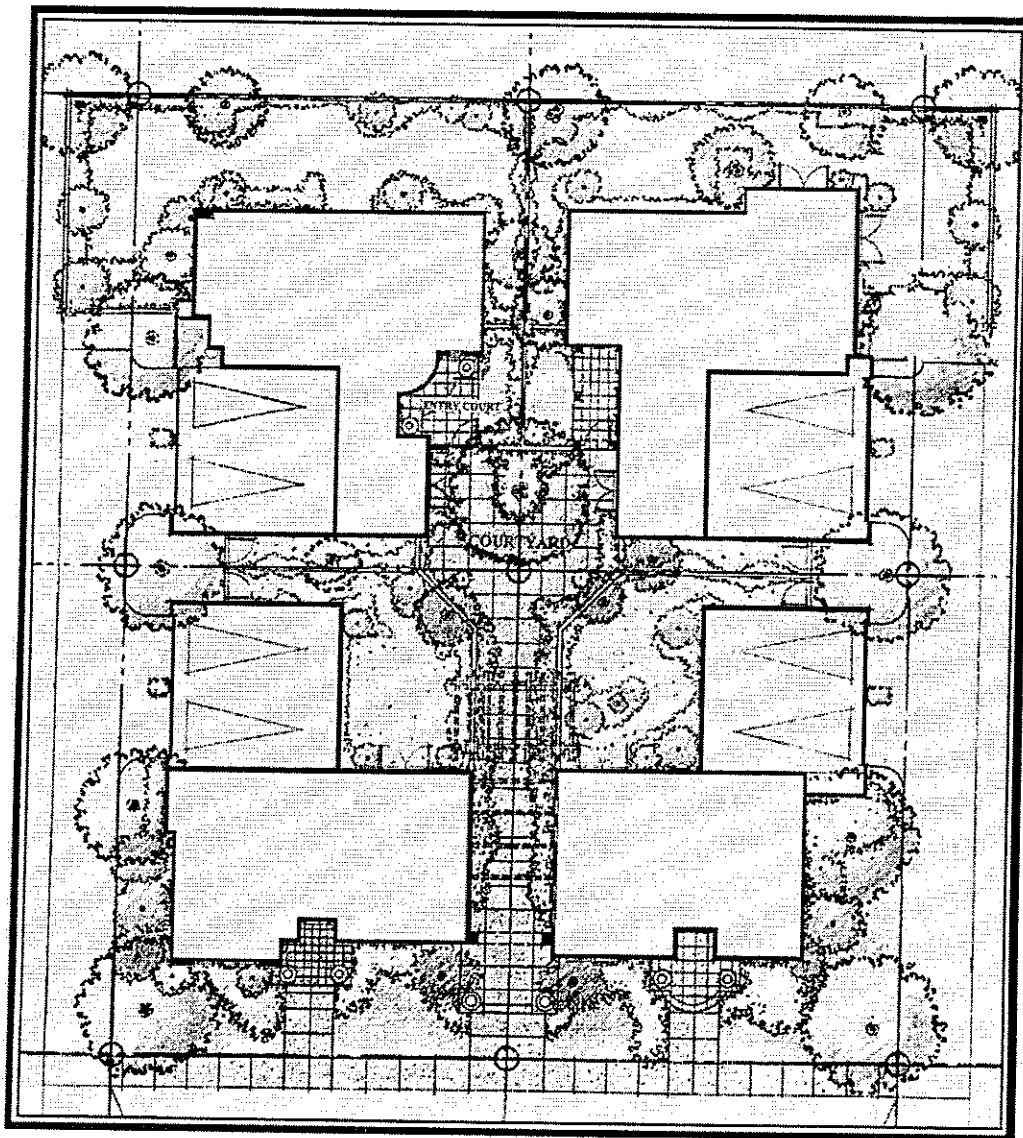
Note: All dimensions are minimum.

Figure II.4.5.2-4
40 x 70 Small Lot Front Entry 2-Car Garage Concept



Note: All dimensions are minimum.

Figure II.4.5.2-5
50 x 55 Small Lot Front Entry 2-Car Garage Concept



Taylor Woodrow
Alley Loaded w/ Courtyard
Builder Magazine August 2000
Carmelita @ Woodlands

Figure II.4.5.2-6
Small Lot Alley Entry Courtyard Cluster Concept

12.5 – 15 du/ac Townhomes

Characteristics:

- Optimizes architecture on the street frontage.
- Garages located in alleys or parking courts.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entries toward street or interior pedestrian courtyards or walkways.
- Provides for private open space.

Garage Plotting Options

- Alley entry
- Internal street
- Tandem
- Carport

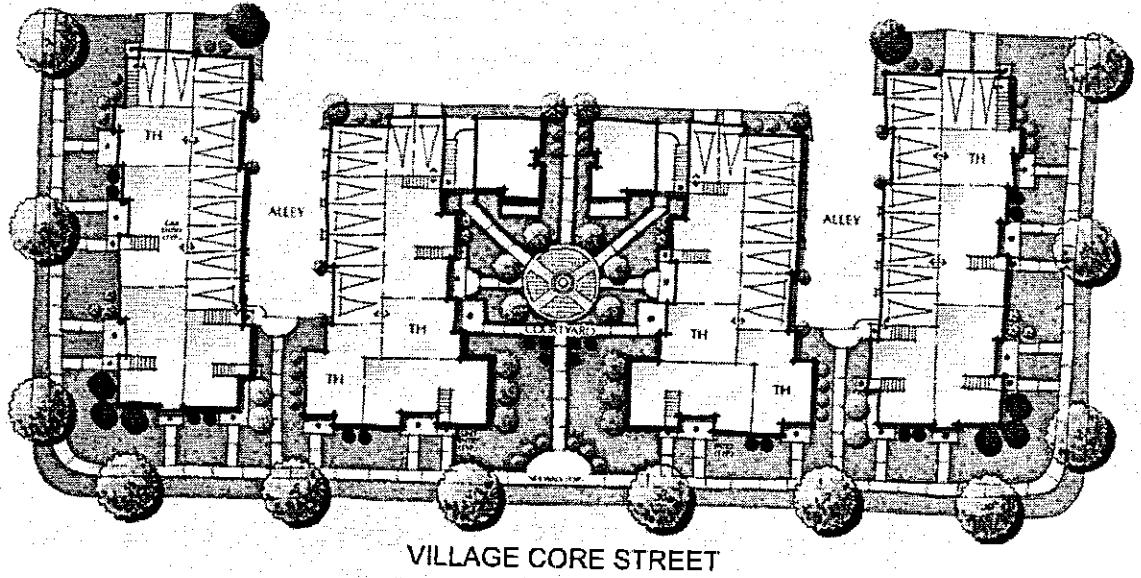


Figure II.4.5.2-7
12.5 – 15 du/ac 2 Story Courtyard Townhomes Concept

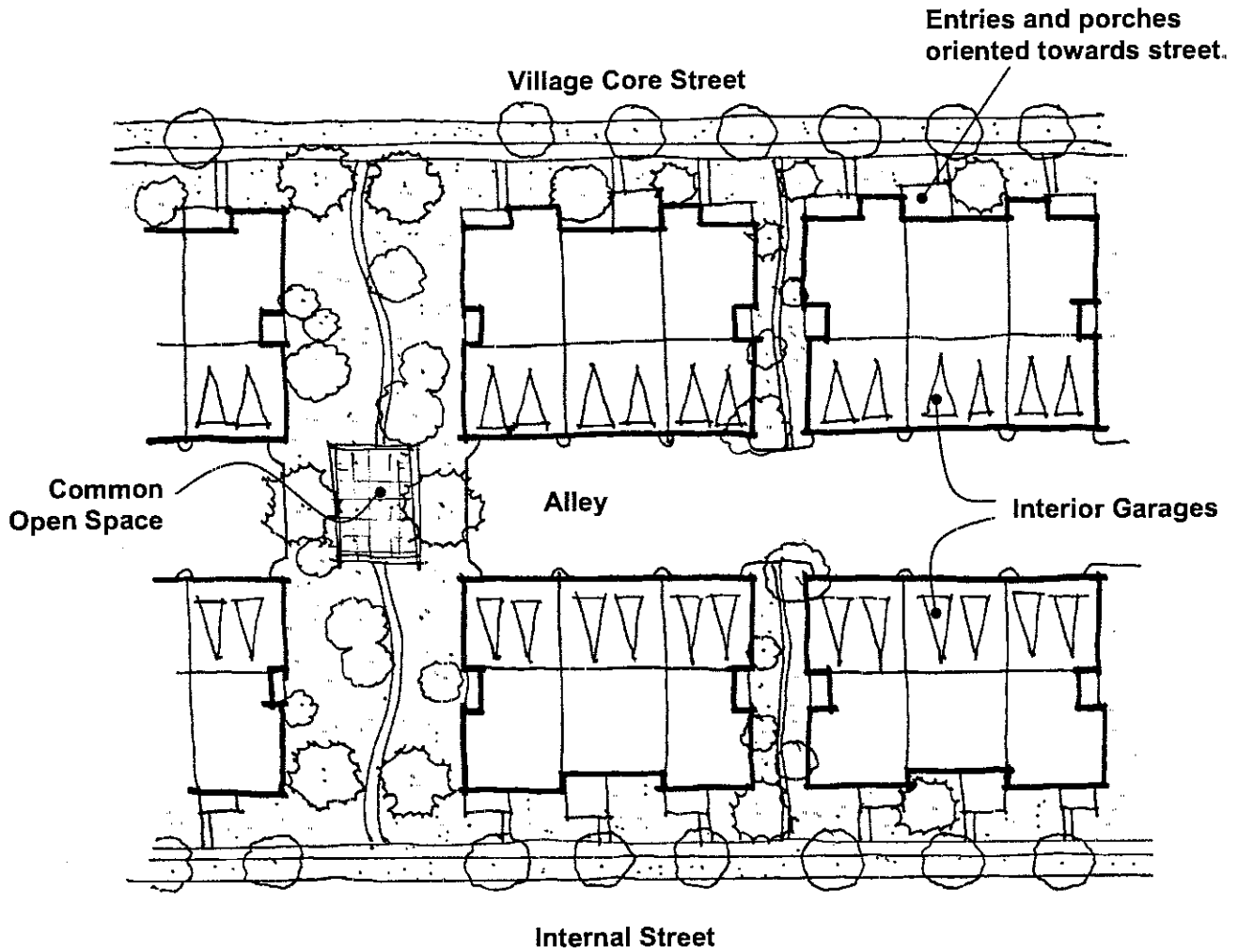


Figure II.4.5.2-8
12.5 – 15 du/ac 2 Story Common Green Townhomes Concept

15 –18 du/ac 2 and 3-Story Townhomes with Carriage Units or Flats

Characteristics:

- Optimizes architecture on the street frontage.
- Garages located in alleys or parking courts.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entries toward street or interior pedestrian courtyards or walkways.
- Provides for private open space.

Garage Plotting Options

- Alley entry
- Court entry
- Internal street
- Tandem
- Carport

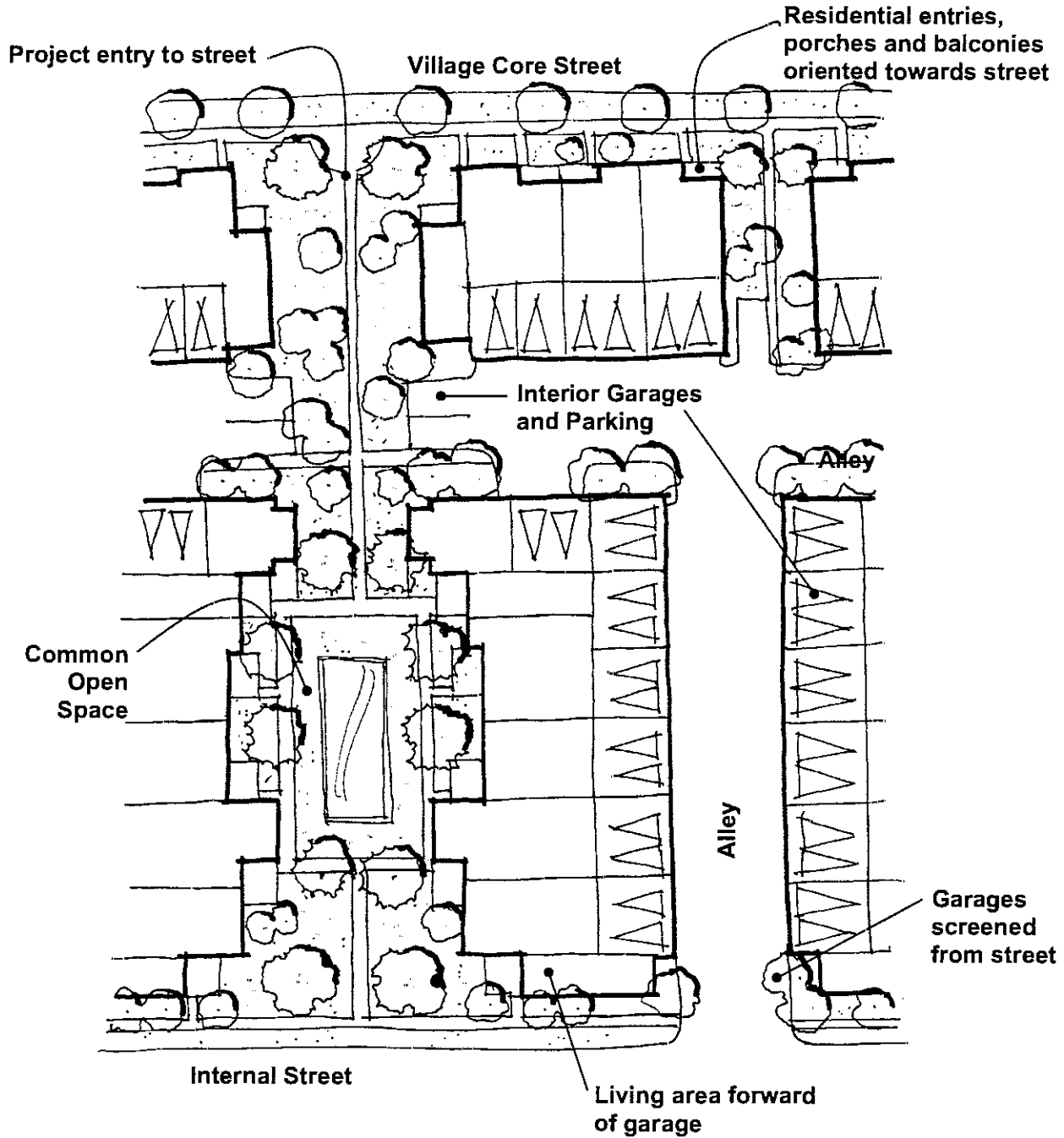


Figure II.4.5.2-9
15-18 du/ac 2 and 3-Story Townhomes with Carriage Units or Flats Concept

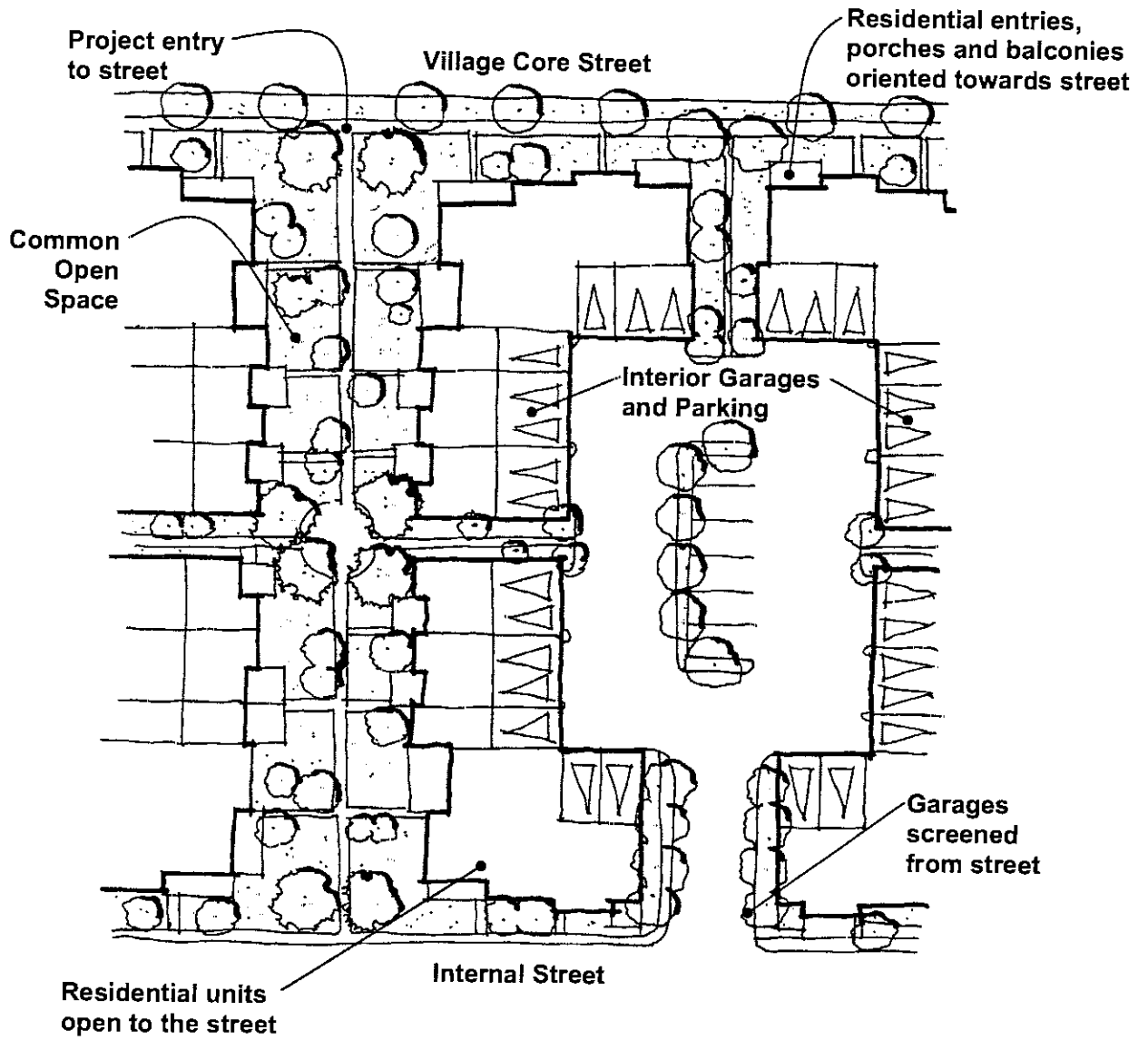


Figure II.4.5.2-10
15-18 du/ac 2 and 3 Story Townhomes and Flats Concept

18-25 du/ac 2, 3 and 4 Story Townhomes and Stacked Flats

Characteristics

- Optimizes architecture on the street frontage.
- Garages located in alleys or parking courts.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entries toward street or interior pedestrian courtyards or walkways.
- Provides for private open space.

Garage or Carport Plotting Options

- Alley entry
- Court entry
- Internal street
- Tandem
- Carport

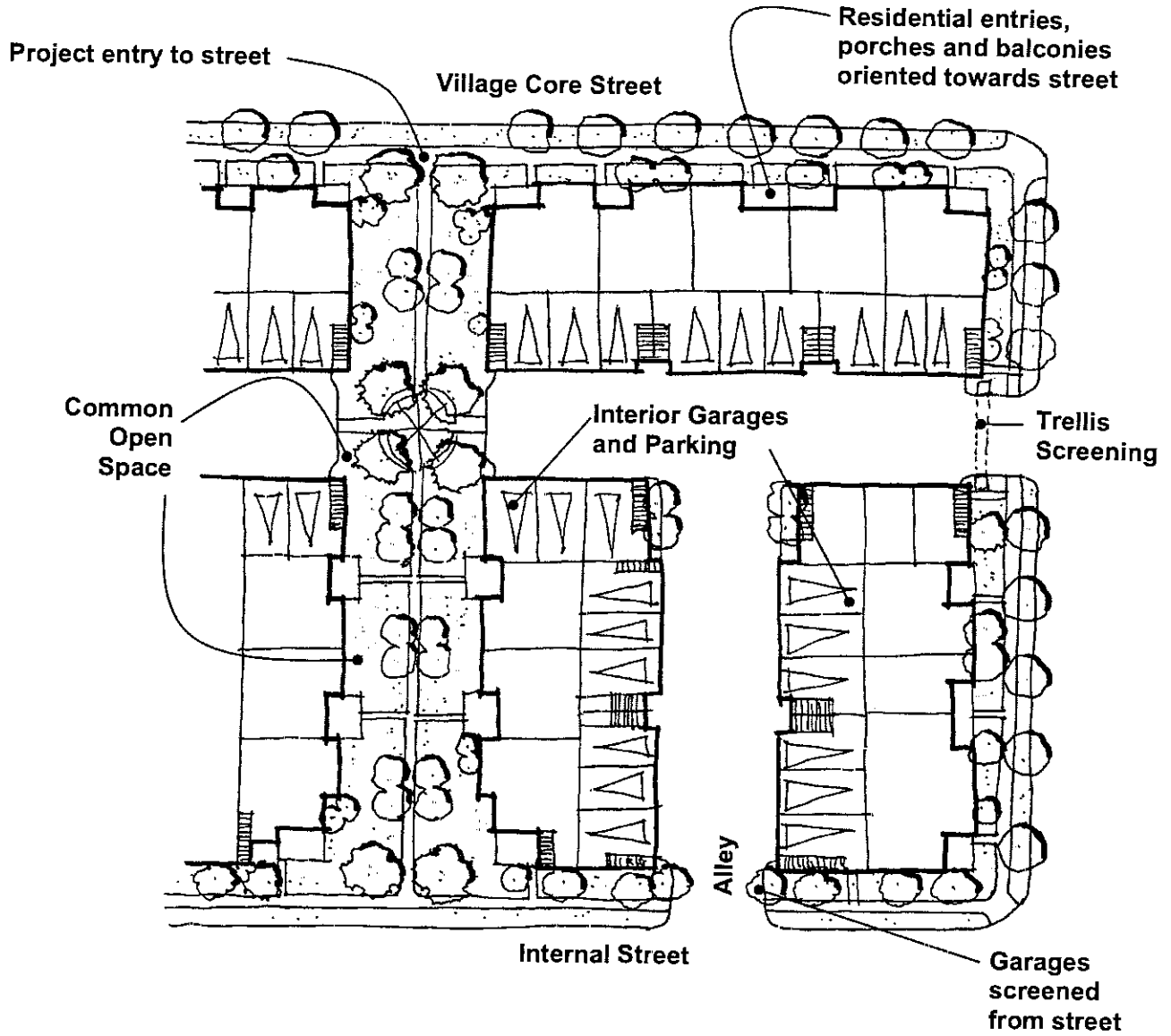


Figure II.4.5.2-11
18 du/ac 2 and 3 Story Townhomes and Flats Concept

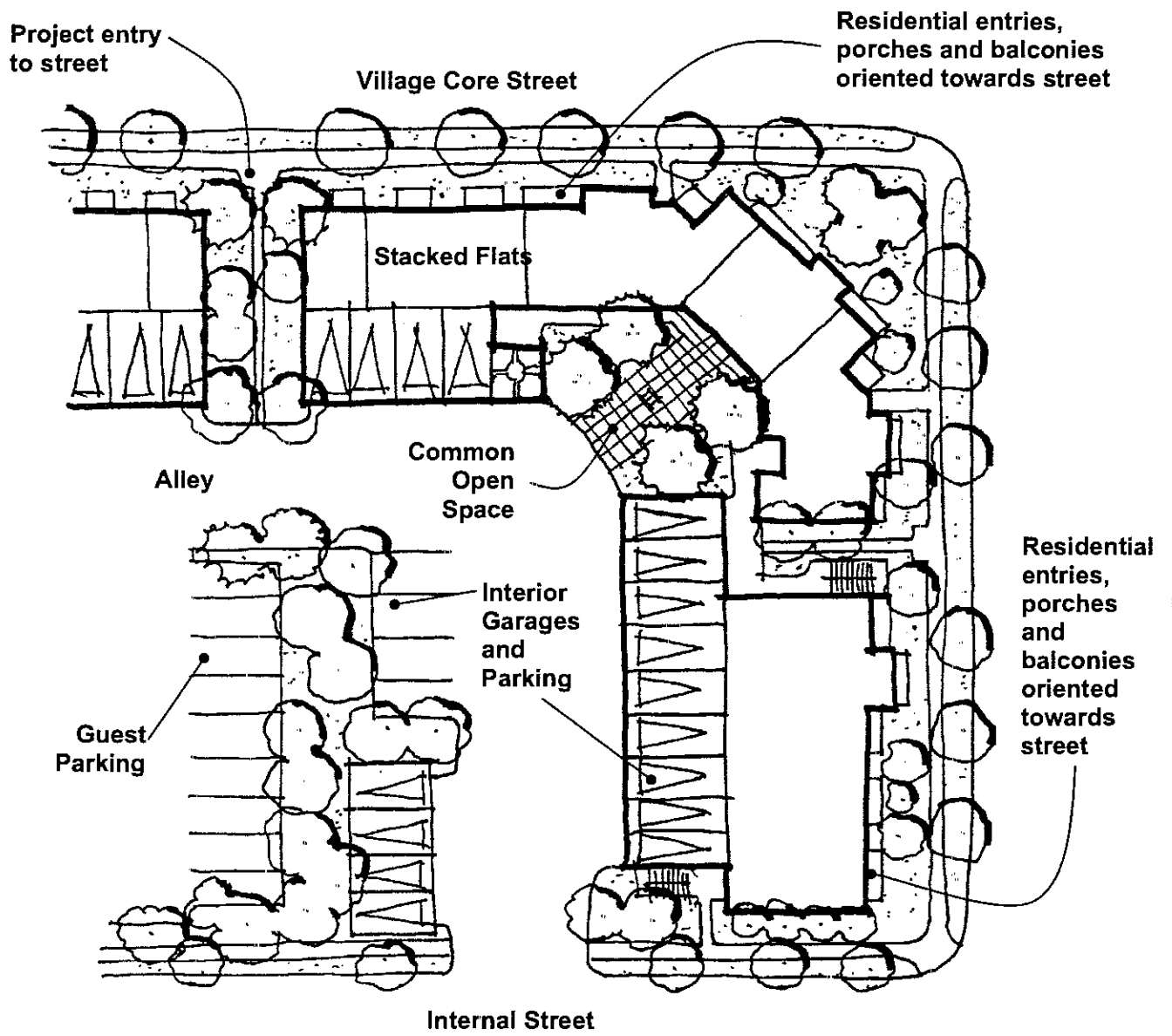


Figure II.4.5.2-12
25 du/ac 2 and 3 Story Stacked Flats Concept

II.4.5.3 Landscape

The streetscapes surrounding multi-family developments shall be implemented as described and illustrated in Section II.4.2.3. Landscape in multi-family developments shall adhere to the Chula Vista Design Manual and Landscape Manual. The front and side yard landscaping shall be complementary to the streetscape and adhere to the overall village design theme. The interiors of multi-family residential projects shall provide for common and private outdoor spaces that are functional and aesthetically pleasing. Interior landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the village design theme. Individual developments may provide common amenities as desired, however, the village core private recreation facility and the neighborhood park are intended to provide for active recreation and community meeting space. The following guidelines are for multi-family landscapes:

- All of the front, side, and rear yard areas and all interior common area landscapes are to be installed by the builder and commonly maintained by a homeowner's association (H.O.A.). Private patios and courtyards, if provided, may be landscaped and maintained by the individual homeowners.
- The landscape is to be comprised of trees, shrubs, vines, and ground covers that are consistent with the overall village theme.
- Tree plantings in the front yard areas shall be varied to provide interest in the landscape.
- Side and rear yard areas shall be landscaped to soften the architecture and provide privacy for residential units.
- All planting areas are to be permanently irrigated and use low water consumptive plant material wherever practical.
- Slope areas shall be planted with drought tolerant trees and shrubs.
- Trees planted on slope areas shall be arranged in such a manner as to allow for some vistas to distant hills where practical and to screen undesirable visual sightlines to streets, buildings, or other features.
- Landscape and irrigation plans shall be prepared by a licensed landscape architect.
- Transformer and cable box locations are to be carefully planned and coordinated with both the utility company and the landscape architect. Transformers and cable boxes should be located to be unobtrusive and screened from view with plantings where possible.
- Mailboxes and mail box structures are to be designed to complement the architectural style of the development for which they are intended. Ganged mail boxes are to be used with a maximum of 4 boxes per cluster. Only Postmaster approved boxes will be allowed.
- Trash enclosures shall be designed to complement the architectural style of the development for which they are intended.
- Large expanses of asphalt paving shall be avoided and the appearance softened by landscape screening where possible.

II.4.6 Landscape Design

II.4.6 LANDSCAPE DESIGN

The Otay Ranch overall landscape design concept for Village Eleven is derived from its adjacency to Salt Creek. The design concept is intended to take advantage of the flavor of the foothills views toward Salt Creek and integrate the village between natural areas and urban development. The design theme of Village Eleven recognizes this unique transition area by creating semi-formal landscapes in the village core, parks and paseos, and informal landscaping at the interface with open spaces.

The overall landscape design theme and landscape for specific development types (i.e., streetscapes, village core, residential, and slopes) have been described in previous sections. This section provides additional guidelines and plant palettes.

Guidelines are provided in this section to assist the project builders, landscape architects, and the contractors in the design and construction process for the planting and irrigation of Village Eleven. These guidelines shall be used in conjunction with the Otay Ranch Overall Design Guidelines, the city of Chula Vista Design Manual and Landscape Manual, as well as the appropriate Federal, State, and County codes:

General

- All landscape and irrigation plans shall be prepared by a licensed California landscape architect and shall be submitted to the City of Chula Vista, and to the Master Developer for review and approval prior to the start of construction. All submissions shall demonstrate compliance with the "Landscape Design and Development Guidelines" section contained herein.
- These guidelines are design concept guidelines only and are not intended to be used for engineering and or construction purposes. The fence and wall concepts shown are for aesthetic reference only. It is the responsibility of the project merchant builder to have the appropriate consultants (civil, structural, and geotechnical engineers as well as architects, and landscape architects) to provide the necessary structural details, and specifications for the construction of these fences, walls, monuments or other structures based on the concepts provided herein.

II.4.6.1 Slope and Erosion Control

Manufactured slopes will occur throughout the village as described in the previous section. The following conditions shall be applied to all manufactured slopes:

- Erosion control shall be required for all graded areas to protect newly created slopes or denuded areas from erosion or unsightly appearance.

- Based on the surrounding setting and design intent of the area, compatible plant material should be informally grouped to stabilize and accent the slope.
- Slopes adjacent to Salt Creek shall be graded to blend with the natural contours. Slope planting shall consist of native plant materials.
- Manufactured slopes along Olympic, Hunte and Eastlake Parkways shall be planted to reinforce the Otay Ranch design theme and adhere to scenic corridor guidelines and the approved Olympic Parkway Master Plan.
- Slopes located within neighborhoods shall be planted to provide vertical interest and buffer adjacent uses.
- Permanent, interior slopes shall be planted with a mixture of compatible, drought tolerant species and shall have a permanent automatic irrigation system.
- Individual homeowner lot slopes shall have permanent plantings and irrigation systems.
- Where necessary, cut slopes shall be serrated to aid in plant revegetation and help retard erosion.

II.4.6.2 Brush Management/Fuel Modification Plan

Brush management is required where the development abuts native areas. In Village Eleven, development is separated from native areas by Hunte Parkway and the 75-foot landscape buffer which should provide adequate protection. The SDG&E/SDCWA easement is regularly maintained by the utility companies to minimize vegetation and potential fire hazard. If deemed necessary, a brush management program will be implemented to the satisfaction of the City of Chula Vista and the Fire Authority.

II.4.6.3 Irrigation

Landscape and irrigation installation shall conform to the City of Chula Vista Landscape Manual. Standard details will be followed to assure uniformity and a high quality of materials and construction. The following general irrigation concepts shall be considered in the design and installation of irrigation systems in Village Eleven.

- Sprinkler systems shall be circuited according to the following criteria:
 - Provide 100 percent coverage
 - Zone separately to top, toe and center of slope
 - Contour along slope, where possible
 - Zone separately to north/east and south/west exposures
 - Zone for different plant water requirements
 - Different root depth zones
- Irrigation shall be permanent, below ground and automatically controlled for adequate establishment of plant material.
- Temporary irrigation may be used in certain situations, such as slopes planted with native species adjacent to Salt Creek.

- Irrigation systems shall be installed as soon as possible after grading, and prior to amending soils, plant installation or any hydroseeding.
- Pop-up operation type sprinkler heads shall be used adjacent to all walks, drives, curbs, parking areas and public rights-of-way to avoid breakage and reduce maintenance costs.
- Irrigation sprinkler heads used to water slopes shall have application rates which reduce the amount of run-off and shall be of a type, such as stream rotors, which do not apply water in a fixed, steady stream.
- Sprinklers with proper nozzles shall be selected to compatibly provide water to their landscape. Soil information shall be obtained prior to the design of any irrigation system.
- Trees shall be irrigated with bubbler systems.
- As it becomes available, reclaimed water is proposed to be used for all commonly maintained slopes, parks and public rights-of-way including landscape buffer easements.
- Proper irrigation techniques shall be used throughout the village to maximize efficient water usage.

II.4.6.4 Street Planting Standards

- Parkway separating the sidewalks from the vehicular traffic will be sized to accommodate the mature growth of the street trees.
- Root barriers and deep watering (bubbler) systems shall be used.
- Routine tree pruning and maintenance will be conducted pursuant to City standards. Depending on the location of street trees, pruning activities may be the responsibility of the City, a CFD or HOA.

II.4.6.5 Landscape Maintenance Standards

The developer will be responsible for landscape maintenance during project implementation. Ultimate responsibility for maintenance will belong to individual private property owners, Community Facilities District, Homeowner Associations and public agencies. Definition of these responsibilities will occur during the subdivision review process. The following summarizes how landscape maintenance responsibilities are intended to be divided within Village Eleven.

Individual Private Property Owner Maintenance

The individual property owner will be responsible for maintaining landscaping within privately owned areas, such as individual residential lots.

Community Facilities District and Homeowners Association

Landscape areas not maintained by private property owners or a public agency will be maintained through Community Facilities Districts and Homeowners Associations. Such areas will include common areas, common slope areas, common open space, private parks, entry landscaping, walls facing the public right-of-way, trails, paseos, and landscape improvements in the utility/SDG&E easement. Certain public landscaped areas may also be included, as determined by the Director of Public Works, such as detention basins and enhanced median and parkway landscaping in the public right-of-way.

Public Agency Maintenance

Public agencies will be responsible for maintaining the landscape on publicly owned land. These areas include landscaping within street and highway rights-of-way (unless maintained by a homeowners association or a community facilities district), public parks, schools, SDG&E utility easements and other similar public lands.

Public Works Department

Public streets, walks, parkways and trails which are located on public land and drainage structures other than those designed as swales or brow ditches will be the maintenance responsibility of the Public Works Department (unless maintained by a homeowners association, a community facilities district or individual property owners).

II.4.6.6 Plant Palettes

The following plant lists have been selected to complement the village design theme. These lists are not intended to be all-inclusive or restrictive. Street trees species are subject to approval by the Department of Parks and Recreation Landscape Division and the Department of Public Works.

Street Trees

Olympic Parkway Master Plan

Alnus rhombilfolia	White Alder
Phoenix dactylifera	Date Palm
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

Eastlake Parkway

Alnus rhombilfolia	White Alder
Cinnamomum camphora	Camphor Tree
Eucalyptus spp.	Eucalyptus
Jacaranda acutifolia	Jacaranda
Olea europaea 'Fruitless'	Fruitless Olive
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

Hunte Parkway Adjacent to Village Eleven Only

Alnus rhombilfolia	White Alder
Cinnamomum camphora	Camphor Tree
Eucalyptus spp.	Eucalyptus
Jacaranda acutifolia	Jacaranda
Olea europaea 'Fruitless'	Fruitless Olive
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

Village Entry Streets

Cinnamomum camphora	Camphor Tree
Olea europaea 'Fruitless'	Fruitless Olive
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Prunus calleryana 'Bradfordii'	Bradford Pear
Schinus molle	California Pepper Tree
Tristania conferta	Brisbane Box

Secondary Village Entry Streets

Jacaranda acutifolia
Lagerstroemia indica 'Faurei'
Magnolia g. 'Samuel Sommer'
Phoenix canariensis
Platanus racemosa
Platanus acerifolia
Schinus molle
Tristania conferta

Jacaranda
Crape Myrtle
Magnolia
Canary Island Palm
California Sycamore
London Plane Tree
California Pepper Tree
Brisbane Box

Village Core Streets

Cinnamomum camphora
Eucalyptus sideroxylon rosaea
Phoenix canariensis
Phoenix dactylifera
Platanus acerifolia
Prunus calleryana 'Bradfordii'
Tristania conferta

Camphor Tree
Red Ironbark
Canary Island Palm
Date Palm
London Plane Tree
Bradford Pear
Brisbane Box

Residential Streets

Arbutus unedo
Agonis flexuosa
Bauhinia variegata
Betula pendula
Brachychiton populneum
Cassia leptophylla
Cinnamomum camphora
Eucalyptus ficifolia
Geijera parviflora
Gleditisa tricanthos inermis
Jacaranda mimosifolia
Lagerstroemia x 'Faurei'
Liquidambar 'Palo Alto'
Melaleuca linariifolia
Melaleuca quinquinervia
Melaleuca nesophilla
Metrosideros excelsa
Pistachia chinensis
Podocarpus gracilior
Quercus ilex
Tabebuia chrysotricha

Strawberry Tree
Peppermint Tree
Purple Orchid Tree
European White Birch
Bottle Tree
Gold Medallion Tree
Camphor Tree
Red-Flowering Gum
Australian Willow
Honey Locust
Jacaranda
Crape Myrtle
Sweet Gum
Flaxleaf Paperbark
Cajeput Tree
Pink Melaleuca
New Zealand Christmas Tree
Chinese Pistache
Fern Pine
Holly Oak
Golden Trumpet Tree

Minor Otay Ranch Community Entry Trees

The following is a list of trees for use at the community entry located at the intersection of Olympic and Hunte Parkways. The design of these areas shall be coordinated with the Olympic Parkway Landscape Master Plan.

Trees

Jacaranda acutifolia	Jacaranda
Olea europaea 'Fruitless'	Fruitless Olive
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date palm
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

Village Core Trees and Shrubs

The following is a list of trees and shrubs for use within developments in the village core:

Trees

Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus sideroxylon rosaea	Red Ironbark
Gleditisa tricanthos inermis	Honey Locust
Jacaranda acutifolia	Jacaranda
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Pyrus kawakamii	Evergreen Pear
Prunus calleryana 'Bradfordii'	Bradford Pear
Tipuana tipu	Tipu Tree
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	True Green Elm

Shrubs

Agapanthus africanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica'	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Cuphea hyssopifolia	Breath of Heaven
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii'	Escallonia
Lantana spp	Lantana

Lavendula spp.	Lavender
Ligustrum 'Texanum'	Texas Privet
Limonium perezii	Statice
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'Wheeleri'	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

Residential

The following is a list of, shrubs, vines, ground covers and slope trees and shrubs proposed for use within residential developments.

Shrubs

Agapanthus africanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica'	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii'	Escallonia
Lantana spp	Lantana
Lavendula spp.	Lavender
Limonium perezii	Statice
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'Wheeleri'	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

Vines

Bougainvillea spp.	Bougainvillea
Clytostoma callistegoides	Violet Trumpet Vine
Distictis buccinitoria	Blood Red Trumpet Vine
Gelsemium sempervirens	Carolina Jessamine
Mandevilla 'Alice du Pont'	Mandevilla
Trachelospermum jasminoides	Star Jasmine

Ground Covers

Delosperma alba	White Trailing Ice Plant
Gazania spp.	Gazania
Hedera spp	Ivy
Lonicera japonica 'Halliana'	Halls Honeysuckle
Myoporum parvifolium	Prostrate Myoporum
Pelargonium peltatum	Ivy Geranium
Potenitlla verna	Cinquefoil
Rosmariums officinalis 'prostratus'	Prostrate Rosemary
Vinca spp	Periwinkle

Turf

Marathon or Medallion Tall Fescue Blend

Vertical / Screen Trees for Sideyard Areas

Brachychiton populneum	Bottle Tree
Eucalyptus spp.	Eucalyptus
Melaleuca quinquinervia	Cajeput Tree
Pinus canariensis	Canary Island Pine
Tristania conferta	Brisbane Box

Slope Trees

Eucalyptus spp.	Eucalyptus
Geijera parviflora	Australian Willow
Melaleuca nesophilla	Pink Melaleuca
Metrodsideros excelsa	New Zealand Christmas Tree
Pinus spp.	Pine
Tristania conferta	Brisbane Box

Slope Shrubs

Acacia redolens	Dwarf Acacia
Baccharis pilularis spp.	Dwarf Coyote Bush
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Eleagnus pungens	Silverberry
Heteromeles arbutifolia	Toyon
Limonium perezii	Statice
Nerium oleander 'Petite Pink'	Dwarf Oleander
Plumbago auriculata	Cape Plumbago

Raphiolepis indica	Indian Hawthorne
Rosmarium officinalis 'prostratus'	Prostrate Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum tinus	Laurustinus

SDG&E/SDCWA Easement Adjacent Planting

Dense screen buffer planting on slopes adjacent to the easement will be necessary to block undesirable views and to soften the appearance of the manufactured slope. The plant palette for these areas may include the following:

Trees

Eucalyptus sideroxylon rosaea	Red Ironbark
Liquidambar styraciflua 'Palo Alto'	Liquidambar
Pinus canariensis	Canary Island Pine
Pinus halepensis	Aleppo Pine
Populus fremontii	Fremont Cottonwood
Tristania conferta	Brisbane Box

Shrubs

Calliandra inaequilatera	Pink Powder Puff
Eleagnus pungens	Silverberry
Pittosporum tobira 'variegata'	Mock Orange
Raphiolepis indica	Indian Hawthorne
Tecomaria capensis	Cape Honeysuckle
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

Hunte Parkway Transition Planting

The parkway along Hunte that is adjacent to Salt Creek will be planted with shrubs and groundcovers that are compatible with the Salt Creek habitat preserve.

Shrubs

Anemopsis californica	Yerba Mansa
Baccharis salicifolia	Mule-Fat
Baccharis sarothroides	Coyote Bush
Isocoma menziesii	Coast Golden Bush
Encelia californica	California Encelia
Heteromeles arbutifolia	Toyon
Mimulus guttatus	Yellow Monkey Flower
Rhmanus californica	Coffeberry
Rhus integrifolia	Lemonadeberry
Ribes speciosm	Fuschia Flowered Gooseberry

Edge Plan - Hunte Parkway Native Slope Planting

An “Edge Plan” is required for all development adjacent to the Preserve. The Edge Plan area is a public or privately owned 100-foot wide strip of land adjacent to the preserve. The Edge Plan area of Village Eleven is occupied by natural and manufactured slopes and Hunte Parkway. Parkways and the 75-foot wide buffer adjacent to residential development in Village Eleven provide additional separation between development and the Preserve. The Edge Plan for Village Eleven is provided in the Appendices of the Village Eleven SPA Plan. The following is an excerpt from the Edge Plan describing landscape requirements:

Invasive Species

Policy:

No invasive non-native plant species shall be introduced into areas immediately adjacent to the Preserve. All slopes immediately adjacent to the Preserve should be planted with native species that reflect the adjacent native habitat. The plant list contained in the “Wildland / Urban Interface: Fuel Modification Standards,” dated November 1995 and provided as Appendix H of the Subarea Plan, must be reviewed and utilized to the greatest extent feasible when developing landscaping plans in areas adjacent to the Preserve. No restrictions shall be placed on plantings internal to the project.

Compliance:

Landscape along Hunte Parkway will not contain any invasive exotic species, as listed by the City. The slope located between Hunte Parkway and the Salt Creek Preserve boundary will be planted with native species compatible with the surrounding landscape. The area may be planted with container stock or hydroseed mix. The following is a list prepared by a qualified biologist, of species to be planted on manufactured slopes.

Shrubs

Artemisia Californica	California Sagebrush
Encelia Californica	Bush Sunflower
Eriogonum fasciculatum	California Buckwheat
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia Californica	California Poppy
Isocoma menziesii	Coast Goldenbush
Isomeris arborea	Bladderpod
Lotus scoparius	Deerweed
Lupinus succulentus	Arroyo Lupine
Mimulus puniceus	Mission Red Monkey Flower
Orthocarpus puppurascens	Owl’s Clover
Salvia apiana	White Sage
Salvia mellifera	Black Sage
Sisyrinchium bellum	Blue Eyed Grass

II.4.7 Design Review Process

II.4.7 DESIGN REVIEW PROCESS

II.4.7.1 Introduction

Formal design review processes have been established to ensure all development within Otay Ranch is consistent with the Overall Design Plan, Village Eleven Design Plan and Planned Community District Regulations, and the City of Chula Vista policies and development standards. The process requires preparation of site, landscape and architectural plans that will be reviewed and approved by the Master Developer, City of Chula Vista Zoning Administrator and City of Chula Vista Design Review Committee, depending on the type of proposed project. The various review processes are described in the following sections.

II.4.7.2 Master Developer Review

Village Eleven will be developed primarily by Brookfield Shea Otay, LLC, the Master Developer. Some parcels may be developed by Merchant Builders, so a design review process is also provided for that circumstance.

The design review process includes two integrated procedures: design review and approval by the master developer and review and approval by the City of Chula Vista. The process requires the Merchant Builder to formulate the design for their parcel and review it with the Master Developer prior to formal application and review by the City. The review requirements of the Master Developer are intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community. The items to be included in the Merchant Builder's design submittal package to the Master Developer would typically consist of preliminary site, landscape and architectural plans. Following acceptance of the Merchant Builder's schematic design, a continuing exchange of information will be expected as the design is finalized and the City's review process begins. Final, approved plans shall be provided to the Master Developer.

II.4.2.3 Zoning Administrator Design Review

The Zoning Administrator is authorized to approve applications on several subjects as provided in Section 19.14.030 of the Chula Vista Zoning Code, specifically including: Site, Architectural and Landscape Plan approval. Public buildings under 20,000 square feet in size are subject to Administrative Design Review. The Administrative approval process shall be used for all single-family detached units on lots of/or exceeding an average size of 3000 square feet, including all proposals in the SF3 and SF4 zone designations which have tentative subdivision map approval. All proposals shall be consistent with the Planned Community District Regulations and Village Eleven Design Plan.

II.4.2.4 Design Review Committee

All proposals for single-family detached units on lots less than an average size of 3000 square feet, all proposals within the RM1 and RM2 zone designations, and all proposals for non-residential land uses, shall be approved through the Design Review Committee approval process. The Design Review Committee shall review plans as required by the Village Eleven Planned Community District Regulations, and as provided herein. They shall base their findings on the City's Design Manuals and this Village Design Plan. Refer to Sections 19.14.581 through 19.14.600 of the Zoning Ordinance for additional information.

II.4.2.5 Appeals

An appeal to the Planning Commission on a decision to the Design Review Committee may be filed within ten days after the decision as provided for in Section 19.14.583 of the City's Zoning Ordinance.

APPENDIX GDP Compliance

APPENDIX

GDP Compliance

The Otay Ranch General Development Plan (GDP) requires that each Village Design Plan include a discussion of compliance with the village policies identified in the Land Use Section of the GDP. This chapter includes a re-statement of the description and policies for Village Eleven (in italics) followed by a response of the proposed land use and design plans that demonstrate compliance.

GDP Village Eleven Description:

Village Eleven is an Urban Village. Urban Villages are adjacent to existing urban development and are planned for transit oriented development with higher densities and mixed uses in the village cores. Village Eleven contains

- *A maximum of 1,335 single-family residential units*

Response: The Village Eleven SPA proposes 1,308 single-family residential units.

- *A maximum of 1,055 multi-family residential units*

Response: The Village Eleven SPA proposes 996 multi-family residential units.

- *Build-out population of approximately 7,194*

Response: Village Eleven is comprised of 2,304 residential units, with a population of 6,935 persons, based on the generation factor of 3.01 persons/residential unit.

- *A junior high school*

Response: The Sweetwater High School District proposes locating a 25-acre junior high school in Village Eleven.

- *Open space corridor*

Response: An open space corridor is provided. Additional description is provided in the Parks and Open Space Policies section of this chapter.

- *A village core area containing:*

- *Commercial uses in a mixed use setting*

Response: A 10-acre mixed used/commercial site is proposed within the village core.

- *Public and community purpose facilities*

Response: A 5.5-acre community purpose facility site is proposed in the village core. Additional requirements for community purpose facilities may be met within the mixed use area and shared school and private recreation facilities.

□ *A transit stop*

Response: A bus stop is proposed in the village core in proximity to the town square.

□ *An elementary school*

Response: An elementary school is proposed in the village core.

□ *Multi-family residential*

Response: 993 units with densities up to 25 dus/ac are proposed within the village core.

□ *A Town Square/Village Green/Main Street*

Response: A one-acre town square is the focal point of the village core.

□ *Affordable Housing*

Response: Affordable housing can be provided as upper-level residential units above commercial uses within the mixed use area, within the 5.5-acre CPF site, and within multi-family or other residential areas in the village core.

□ *Neighborhood Park*

Response: A 7-acre (net) neighborhood park is proposed to be centrally located within the village core. The strategic location of the neighborhood park provides an open space connection between the SDGE/SDCWA easement and the elementary school open space. The park location provides opportunities for sharing play fields with the school and it acts as a buffer between the school and the transmission lines located in the SDGE/SDCWA easement to the east.

Village Character Policies:

□ *The village character should be guided by the following qualities.*

□ *Location adjacent to the Salt Creek corridor.*

Response: The character of Village Eleven is influenced by the adjacent, environmentally sensitive Salt Creek habitat. The dense, urban character of the village core transitions to lower density, single family residential uses for compatibility with the natural habitat. The landscape theme complements the development pattern by locating compatible plant species in the Hunte Parkway streetscape.

□ *High intensity of the village land uses.*

Response: Higher intensity land uses, including commercial, mixed use, medium, medium high and high density residential, community purpose facility and schools are concentrated in the western portion of the village adjacent to the EUC and freeway commercial developments to the west.

□ *Compatibility with the Eastern Urban Center.*

Response: The highest intensity of land uses within Village Eleven are located in the western portion. These uses are compatible with the adjacent EUC and provide a transition between the EUC and less intensive residential uses to the east.

□ *Views to the mountains to the northeast, east and southeast, and the Salt Creek corridor.*

Response: The grading concept for the village follows the natural terrain which slopes down towards the southeast. The village is proposed to be terraced, creating public open spaces and residential neighborhoods with views towards the surrounding mountains and open spaces.

□ *Village Eleven shall contain a regional greenbelt/open space corridor which connects to and through the Eastern Urban Center.*

Response: The proposed design of Village Eleven provides a greenbelt along the southern boundary of the village. This location will connect the EUC with the university/Village Ten site to the south and the regional trails in Salt Creek and Otay Valley.

□ *Multi-Family residential uses should be located within and outside the village core to provide housing opportunities adjacent to the Eastern Urban Center and freeway commercial area.*

Response: Multi-family residential occurs within and around the village core, adjacent to the EUC and freeway commercial areas.

Village Core Policies

□ *The Village core land uses should provide a medium density transition to the Freeway Commercial areas to the west.*

Response: The village core land uses provide a transition between the freeway commercial and residential areas. Proposed residential densities transition from high density nearest the core to medium density at the perimeter of the core.

□ *The village core should utilize the greenbelt/open space corridor as an identifying feature.*

Response: A paseo provides a direct connection between the greenbelt and the village core.

Parks and Open Space Policies:

Application of the 3 acres per 1,000 residents standard would result in the requirement of 19.3 acres of local parks contributions for Village Eleven. To satisfy this requirement, a

neighborhood park and town square are planned for the village. The remaining obligation is satisfied through the provision of community parks in Otay Ranch.

Response: Village Eleven proposes 2,304 units with a population of 6,935 persons, requiring 19.3 acres of local parks. The proposed park plan provides a 7-acre public neighborhood park and 1-acre private town square for a total of 8-acres of fully credited parks. The remaining 11.3-acre requirement will be met through PAD fees, pursuant to the City Park Land Development Ordinance, to be used for community parks elsewhere in the Otay Ranch.

The plan also proposes a 3-acre private recreation facility in the village core and a 3.8-acre private recreation facility in the eastern portion of the village.

The following policies shall guide the design of parks and open spaces in Village Eleven:

- A regional greenbelt/open space link will be provided through the village, connecting Wolf Canyon, the Eastern Urban Center and Salt Creek. This connection may take several forms, including a greenbelt, parks, trails, or promenade streets. The GDP/SRP Land Use map provides a concept for the linkage through the village.*

Response: Village Eleven proposes two connections through the village between the Eastern Urban Center and Salt Creek. One connection is a village pathway that provides a link through the village core and within a paseo. A second connection is a greenway provided along the southern boundary of Village Eleven between Eastlake Parkway and the SDG&E/SDCWA easement.

- Natural open space areas adjacent to Salt Creek identified on the GDP/SRP Land Use Map shall be preserved outside of individual private lots. Natural open space character along the canyon shall be based upon the concepts developed in the Overall Ranch Design Plan and refined in the Village Design Plan for this village.*

Response: The natural open space of Salt Creek is preserved and is outside the boundary of Village Eleven. Hunte Parkway separates the development and preserve areas. Landscaping along Hunte Parkway will be compatible and complement the native vegetation of Salt Creek.

- Setbacks and landscaping shall be provided along Hunte Parkway in keeping with open space scenic corridor guidelines in the Overall Ranch Design Plan (requirements set forth in Section E, Implementation).*

Response: Setbacks and landscaping along Hunte Parkway adhere to scenic corridor guidelines and the Overall Ranch Design Plan. An average 75-foot wide landscape area is provided between the street and the development area. The village landscape will transition from ornamental to native-compatible at the edge of Salt Creek.

- Pedestrian trails shall link the village with Salt Creek and the Otay Valley Regional Park.*

Response: Pedestrian trails provide linkages between the village, Salt Creek and the Otay Valley Regional Park. Pedestrian trail linkages include a regional trail along

Olympic Parkway, sidewalks along all surrounding major streets, and paseos extending through the village.

- *The Environmental resources contained in Salt Creek Canyon shall be protected through careful buffering, landscaping and grading techniques.*

Response: Hunte Parkway provides a buffer between development areas and Salt Creek. The Village Eleven grading concept and surface drainage plans address urban runoff. Landscaping provides for native and native-compatible plant species.

- *The SDG&E/SDCWA easement shall be integrated into the design of the village as open space. This easement may be utilized for road crossings, parking and limited landscaping, however, no habitable structures may be placed in the area. Residential and school uses should be buffered from the SDG&E powerlines. The width of the buffer will conform to school district requirements.*

Response: The utility easement provides an opportunity for open space, views and trails. Trails are proposed within the easement, provided such uses will be allowed by the utility companies. Two road crossings over the easement connect the east and west portions of the village. The school is buffered from the easements through its location beyond the distance required by the state safety standards (250 feet minimum for 345 kv lines). The neighborhood park is located adjacent to the easement to provide a buffer between the easement and the school. Residential neighborhoods are buffered from the easement by topography and landscaping. The grading plan for Village Eleven locates manufactured slopes outside the easement, creating additional separation from development areas. Manufactured slopes will be planted with a combination of trees and shrubs that can provide visual screening and separation.

Other Village Eleven Policies:

- *Landform grading guidelines were developed as part of the Overall Ranch Design Plan and shall be further refined in the Village Design Plan.*

Response: A combination of contour grading and landscaping are proposed to create aesthetically pleasing manufactured slopes. Grading guidelines are provided in this Village Design Plan.

- *Design guidelines which address the visual quality of development adjacent to Salt Creek shall be defined in the Overall Ranch Design Plan and further refined in the Village Design Plan for Village Eleven.*

Response: The Overall Ranch Design Plan describes the “Riparian Meander” design theme that unifies the Ranch. The design treatment along Salt Creek will emphasize its riparian character through the use of appropriate native and native-compatible plant species.

Otay Ranch Village Eleven
Village Core Master Precise Plan

June 2003

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TABLE OF CONTENTS

I. INTRODUCTION 1

A Background and Purpose 1

B Village Core Concept 1

C Related Documents & The Village Core Master Precise Plan 2

D Design Framework 2

E Village Core Guiding Principals and Components .. 3

 1 Village Core Components 3

 2 Master Precise Plan 5

II. DESIGN REVIEW PROCESS.....6

A Introduction and Summary 6

B Master Precise Plan 6

C Individual Precise Plan (Site Plan) 6

D Design Review 6

III. MASTER PRECISE PLAN8

A Purpose/Role 8

B Master Precise Plan Illustration 8

C Individual Precise Plan (Site Plan) 10

D Mandatory Site Plan Elements 10

IV. MASTER PRECISE PLAN DESIGN GUIDELINES.....13

A Introduction 13

B Circulation & Parking 14

C Village Core District 17

 1 Building Siting and Urban Character 17

 2 Architecture 19

 3 Landscape Architecture 30

 4 Lighting 37

 5 Furnishings 39

 6 Signage 41

D Village Secondary Residential District 47

 1 Building Siting and Urban Character 47

 2 Architecture 52

 3 Landscape Architecture 61

 4 Lighting 64

 5 Furnishings 65

 6 Signage 65

V. DESIGN REVIEW CHECKLISTS.....68

Mixed Use Site MU-1 69

Town Square Site P-4 71

Community Purpose Facility Site CPF-1 72

Private Recreation Facility Site PRF	73
Residential Sites R-21 & R-22	75
Residential Site R-24	77
Residential Site R-25	79
Residential Site R-19	81
Residential Site R-18	83
Residential Site R-12	85
Residential Site R-11	86

TABLES

Table 1 - Village Core District Building Materials & Finishes	28
Table 2 - Village Core District Hardscape & Wall Materials/Finishes	35
Table 3 - Village Core District Approved Plant List	36
Table 4 - Village Secondary Residential District Building Materials & Finishes	59
Table 5 - Village Secondary Residential District Hardscape and Wall and Fence Materials/Finishes	62
Table 6 - Village Core District Approved Plant List	63

EXHIBITS

Exhibit 1 – Design Districts	4
Exhibit 2 – Village Eleven Core Master Precise Plan Illustration	9
Exhibit 3 – Mandatory Master Precise Plan Elements	12
Exhibit 4 – Core Pedestrian Circulation	15
Exhibit 5 – Core Vehicular Circulation & Transit Stops	16
Exhibit 6 – Perspective View of Village Core	18
Exhibit 7 – Mixed Use Architectural Character	22
Exhibit 8 – Community Purpose Facility Architectural Character	23
Exhibit 9 – Exterior Stair Examples	24
Exhibit 10 – Preferred Roof Forms	25
Exhibit 11 – Preferred Window Configurations	26
Exhibit 12 – Balcony Treatments	27
Exhibit 13a– Parking Design Concept	31
Exhibit 13b– Parking Design Concept	32
Exhibit 13c– Parking Design Concept	33
Exhibit 14 - Perimeter Wall and Fencing Design	34
Exhibit 15 – Conceptual Specialty Lighting Styles	38
Exhibit 16 – Transit Shelters & Trash Enclosures	39
Exhibit 17 - Street Furnishings	40

Exhibit 18 – Signage Examples	46
Exhibit 19 – Corner Design Features	49
Exhibit 20 – Pedestrian Oriented Architectural Features	50
Exhibit 21 – Mandatory Elements for Village Secondary Residential District	51
Exhibit 22 – Exterior Stair Examples	55
Exhibit 23 – Preferred Roof Forms	56
Exhibit 24 – Preferred Window Configurations	57
Exhibit 25 – Balcony Treatments	58
Exhibit 26 – Village Eleven Neighborhood Monument Sign	67
Exhibit 27 – Mixed Use Concept Plan	70
Exhibit 28 – Central Village Core Concept Plan	74
Exhibit 29 – Residential Sites R-21 & 22	76
Exhibit 30 – Residential Site R-24	78
Exhibit 31 – Residential Site R-25	80
Exhibit 32 – Residential Site R-19	82
Exhibit 33 – Residential Site R-18	84

I. INTRODUCTION

A. BACKGROUND AND PURPOSE

The Otay Ranch Village Eleven is an urban village within the Otay Ranch Planned Community. It has been carefully designed as one of several urban, pedestrian-oriented areas designed within a "village" context, where core activities are centrally located in the community. The "village," an essential building block of the Otay Ranch Community, is vital to its success as a planned community and is intended to foster a premier quality of life for Otay Ranch residents and their neighbors. This Village Eleven Core Master Precise Plan ("Master Precise Plan") describes the development plan and design for the Village Eleven core.

B. VILLAGE CORE CONCEPT

The village core concept was first approved by the City of Chula Vista in October 1993 with the approval of the Otay Ranch General Development Plan (GDP). This concept was further developed in the Otay Ranch Overall Design Plan approved by the City of Chula Vista in June 1996. The "village" concept serves as the basic building block in organizing land uses within Otay Ranch.

The development plan for Otay Ranch Village Eleven is described in the Otay Ranch Village Eleven Sectional Planning Area (SPA) Plan, approved by the City of Chula Vista on October 23, 2001. The plan supports the village concept by endeavoring to create a commercial and social activity core within the village. It is comprised of a variety of land uses and development intensities. Land uses in the village core include a mixed use/commercial center, town square, community purpose facility, private recreation facility, elementary school, neighborhood park, and medium to medium-high density residential units. The village core identity is based on a traditional "main street" theme that includes tree-lined streets with pedestrian amenities including bus stops, benches and lighting. The secondary area of the village includes residential neighborhoods with a range of housing types and sizes, a second community purpose facility and a middle school.

C. RELATED DOCUMENTS & THE VILLAGE CORE MASTER PRECISE PLAN

The Otay Ranch GDP-defined "village core" is guided by several documents that provide increasing levels of detail for implementing the goals, objectives and policies. The Otay Ranch GDP and Overall Design Plan provide ranch-wide land use designations, policies and design guidance. The Village Eleven Sectional Planning Area (SPA) Plan is the planning document that describes the land uses and other planning elements for Village Eleven. Development regulations (zoning) for the village are described in the Village Eleven Planned Community District Regulations, design guidelines are provided in the Village Eleven Design Plan, park and open space guidelines are provided in the Village Eleven Open Space, Parks and Trails Master Plan and implementation is described in the Village Eleven Public Facilities Finance Plan.

This Village Eleven Core Master Precise Plan provides a more specific level of detail for the design of the village core portion of Village Eleven. It provides the entitlement bridge linking the approved policies and land use designations of the Village Eleven SPA, the development standards and the design guidelines with subsequent project-level approvals within the village core. It serves as the framework design document that encompasses streetscape and landscape design, signage programs, and architectural and lighting guidelines. Each project developed within the village core will be submitted as an "Individual Precise Plan" and evaluated for compliance with this Core Master Precise Plan.

D. DESIGN FRAMEWORK

The following is a summary of the guiding principles and components established for village cores by the Otay Ranch Overall Design Plan:

- Create a design that is responsive to an established "unifying design elements" that reinforce the regional setting of the Otay Valley Parcel and that create a consistent community level design framework
- Maintain design and planting along Olympic Parkway consistent with the approved Olympic Parkway Master Plan
- Provide connections to the cores of adjacent villages
- Implement a mixed-use or main street design concept for the village core
- Maximize connections to the village core from secondary area residential development with pedestrian and bicycle routes
- Create a pedestrian-friendly community that encourages non-vehicular trips and that fosters interaction amongst residents
- Create a pedestrian-friendly environment with activity, enclosure and comfort in specific areas
- Create a sense of place with a highly identifiable character with the most visible and intensive use areas conveying the strongest design theme

- Encourage a unified architectural style within the commercial core, which can accommodate pedestrian-oriented urban design concepts and is consistent with the established community character.

This Master Precise Plan has been prepared in order to achieve these objectives and to help ensure the successful development of the Village Core over time.

E. VILLAGE CORE GUIDING PRINCIPLES AND COMPONENTS

The village core is a mixed-use area with related land uses configured in a pedestrian-friendly environment. It is the commercial, social and community design focal point for the village. The following summarizes the guiding principles and components established for the village core.

- The village core mix and intensity of residential, retail, office, park and public uses, all within a ten minute walking distance of each other, should be designed to encourage mass transit and non-vehicular modes of transportation, providing convenient access for residents, visitors and employees alike.
- The village core should contain both active and passive uses that consider the needs of children, adolescents, young adults, couples, and the elderly, that are interwoven with work, shopping and the residential areas.
- The arrangement of uses within the village should be responsive to market viability and phasing considerations. Uses that can be economically developed early in the development program should be arranged to allow for a logical progression of development within the core over time.

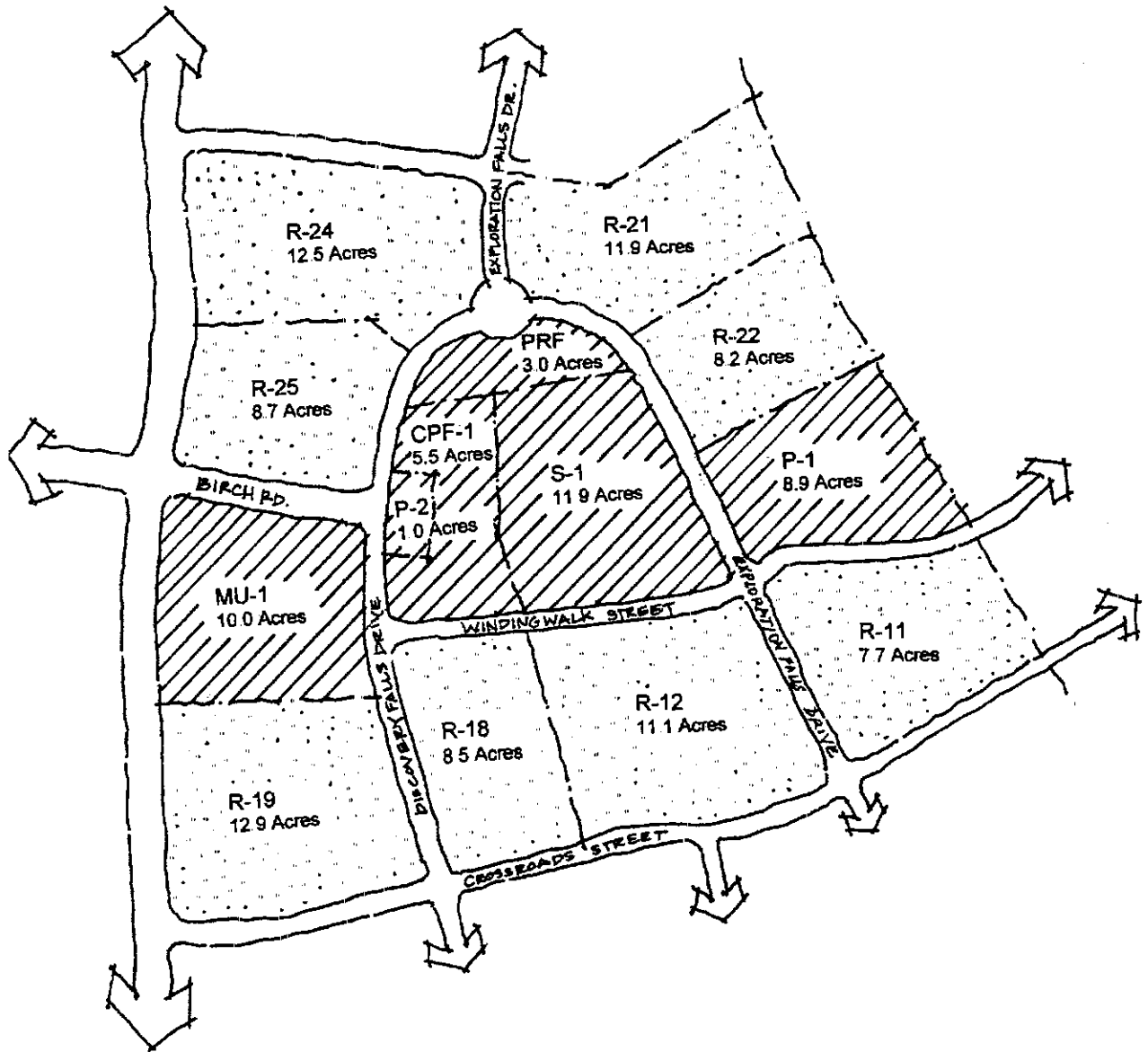
The provisions provided in the Village Eleven Design Plan shall be applied in the design of each development parcel.

1. Village Core Components

The Village Eleven Core consists of two Design Districts that group sites according to their function within the village core concept. The two Design Districts are as follows:

- Village Core District
- Village Secondary Residential District

The primary focus of this document is on the Village Core District as this area contains the greatest intensity and diversity of uses. However, the integration of the surrounding residential areas into the core is important and addressed within this document. The residential guidelines contained in the Village Eleven Design Plan shall be applied to the design of these residential parcels unless specified otherwise.



Village Core District



Village Secondary Residential District

Exhibit 1
 Design Districts

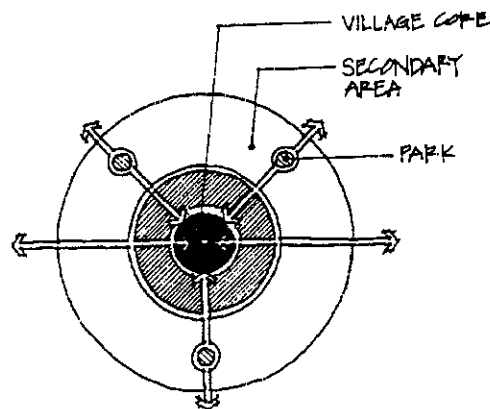
2. Master Precise Plan

This Master Precise Plan establishes a detailed framework to address the following for the village core:

- Building design/Siting – Locations of proposed structures
- Pedestrian/Vehicle/Transit Access – Identification of pedestrian, bicycle and vehicle access and circulation
- Urban character/Architecture/Landscape Architecture – Identification of architectural style and key urban elements
- Lighting/Signing/Street Furnishings – Specifications for lighting fixtures, signs and street furnishings

This document establishes parameters within which design solutions can be developed, while maintaining the overall community design objectives. The Master Precise Plan contains both specific mandatory criteria and general design recommendations. Specific mandatory criteria are established for features, elements and/or standards essential to establishing a unifying design theme for the village core and for achieving the intended character and use mix. General design recommendations are provided to promote a well-designed and functional project while allowing individual project expression within the framework of the Village Eleven Design Plan and Master Precise Plans.

In addition to providing site developers and designers with a framework plan, the Master Precise Plan, and subsequent Individual Precise Plans, serve as important tools for reviewing and evaluating schematic, preliminary and final plans for individual projects. This document does not provide precise design solutions but merely establishes controls and guidelines to insure that the village core is developed as a cohesive, integrated community over time. Clarification of ambiguities in the provisions of the Village Eleven Core Master Precise Plan are at the sole discretion of the Director of Planning and Building.



VILLAGE CORE CONCEPT

II. DESIGN REVIEW PROCESS

A. INTRODUCTION AND SUMMARY

The design review process for all development in the Otay Ranch Village Eleven Core involves a two part, integrated procedure: 1) review and approval by the master developer and 2) and approval by the City of Chula Vista in conformance with the City's Design Review process. This document provides the criteria by which all development is reviewed for compliance with the design concepts identified by the Village Eleven SPA Plan and Design Plan.

B. MASTER PRECISE PLAN

The Village Eleven SPA Plan and Village Eleven Design Plan provide design concepts and guidance for all development within Village Eleven. This Master Precise Plan, in conjunction with the Village Eleven SPA and Design Plan, provides additional detailed criteria and establishes the framework for evaluating development within the core area of Village Eleven.

The Master Precise Plan is reviewed and approved by the City of Chula Vista Design Review Committee.

C. INDIVIDUAL PRECISE PLAN (SITE PLAN)

Each planning area or neighborhood within the Village Eleven Core is required to have an Individual Precise Plan ("Site Plan") prepared and approved through the City of Chula Vista Design Review process. The Design Review Application generally consists of site, architectural and landscape plans. All applications will be reviewed for consistency with the concepts and guidelines set forth in this Master Precise Plan, the Village Eleven Planned Community District Regulations, Village Eleven Design Plan, Chula Vista Design Manual, Landscape Manual and Zoning Ordinance, except as modified or supplemented in this text.

D. DESIGN REVIEW

In general, Design Review submittals shall be processed according to the procedures established by the City's Zoning Ordinance. Consideration for approval by the Design Review Committee shall be granted for applications that are consistent with the Village Eleven SPA Plan, Village Eleven Design Plan, the Master Precise Plan, Master Precise Plan Illustration and the mandatory provisions.

An application for approval of a Design Review application shall be accompanied by all required maps and data that identify the elements of development as listed in Chula Vista Design Manual, Landscape Manual and Section 19.14.450 of the Zoning Ordinance. All Design Review submittals shall demonstrate consistency with Master Precise Plan design guidelines, Master Precise Plan Illustration (see Section III), and Design Criteria checklists (see Section V). Projects that are inconsistent with the adopted Master Precise Plan Illustration and mandatory provisions of this Master Precise Plan, may be approved at the discretion of the Design Review Committee, however, amendments to these documents would be required prior to or concurrent with approval.

Upon approval of any Design Review application, an annotated illustration of the approved project shall be incorporated as a component of the Master Precise Plan Illustration (see Section III). This modification of the Master Precise Plan Illustration shall be an administrative action and shall not be considered an amendment.

Design Review applications shall be reviewed by the Design Review Committee, and shall be considered by the Planning Commission and City Council only on appeal, pursuant to Section 19.14.480 of the Zoning Ordinance.

**VILLAGE CORE CONCEPT PLAN
(Village Design Plan)**



MASTER PRECISE PLAN



**INDIVIDUAL PRECISE PLAN
(Future)**

III. MASTER PRECISE PLAN

A. PURPOSE/ROLE

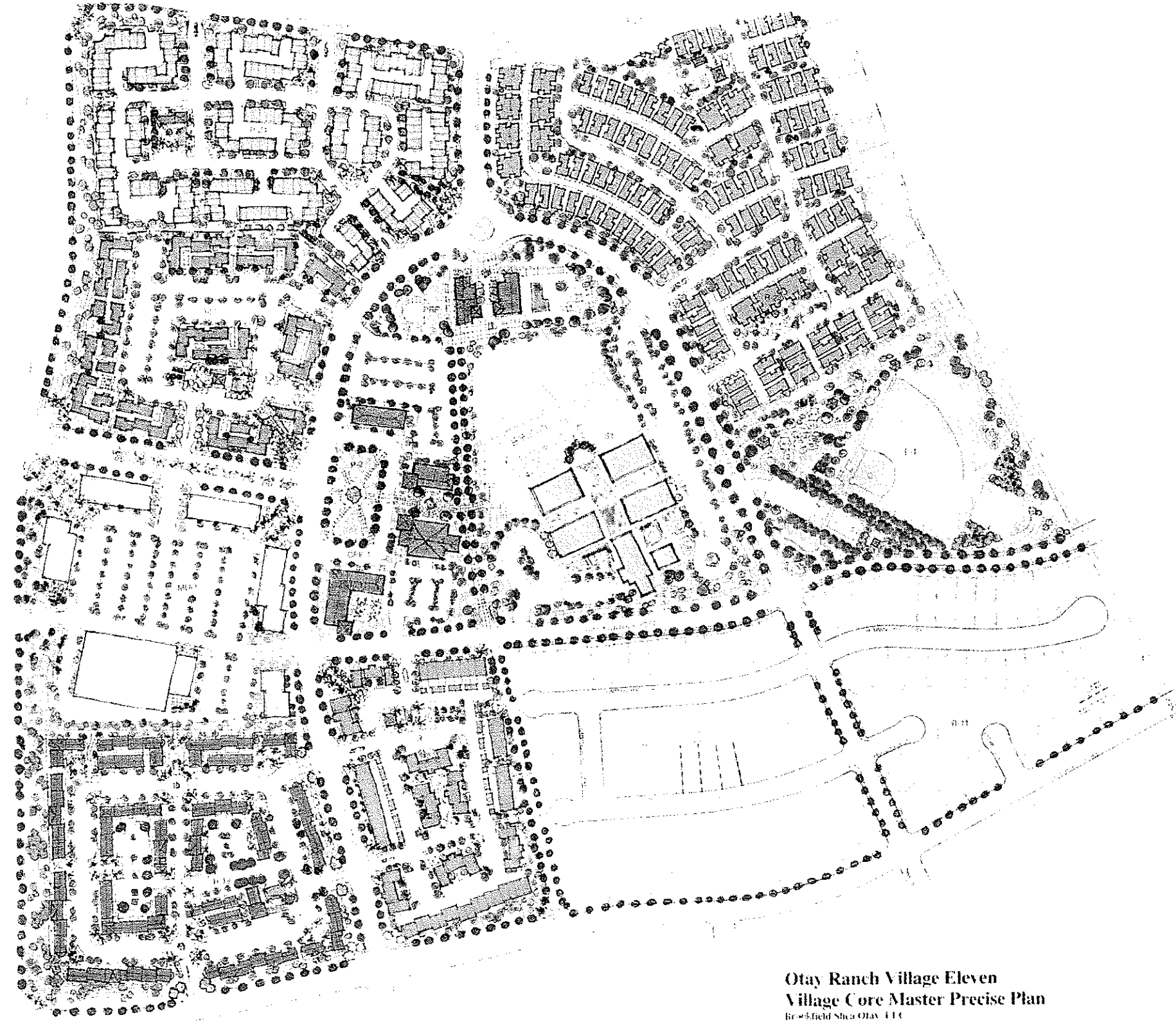
From a community/urban design perspective, the Village Eleven Core is the most intensely developed, structured, manicured and formally designed area in the village. The design program for the core area should create a sense of identity that extends beyond its precise plan boundaries and into the less structured and less intensively developed residential areas comprising the remainder of Village Eleven.

The Village Eleven Core will consist of a variety of land uses, buildings and outdoor spaces within a pedestrian-oriented context. The Village Core District integrates varied land uses (commercial, mixed use, community purpose facility, elementary school, neighborhood park and private recreation facility) to create a vital village center. The Village Secondary Residential District consists of a variety of residential housing types within and surrounding the Village Core District.

The Master Precise Plan described in this section will be used to ensure overall design consistency with the village core. The Plan provides unifying themes that can be applied to diverse uses developed over a period a time. The Plan addresses the overall land use character, diversity and conceptual building, parking and open space relationships within the village core and adjacent areas.

B. MASTER PRECISE PLAN ILLUSTRATION

The Master Precise Plan Illustration (Exhibit 2) graphically depicts a generalized design plan for the Village Eleven Core. Although generalized, many elements are mandatory as described further in this text.



Otay Ranch Village Eleven
Village Core Master Precise Plan
Br #5field Shea Otay 111

Exhibit 2
Village Core Master Precise Plan Illustration

C. INDIVIDUAL PRECISE PLAN (SITE PLAN)

Individual Precise Plans ("Site Plans") of any development in the Village Eleven Core must be consistent with the Master Precise Plan Illustration and the site-specific design criteria identified in the following section. The Master Precise Plan Illustration conceptual design is used as the consistency evaluation for the character and general building/parking/pedestrian circulation relationships for individual site plans. Thus, consistency with the Master Precise Plan Illustration should not be based on identical appearance, but on compatibility in character and content

Site Plans shall be consistent with the Master Precise Plan Illustration in the following areas:

- Access and circulation patterns, both non-vehicular and vehicular (including parking);
- Major landscape, hardscape, signing, color and material themes;
- Complementary architectural design, building scale and orientation; and,
- Village Core Design Plan Elements/Site Design Guidelines in Section IV.

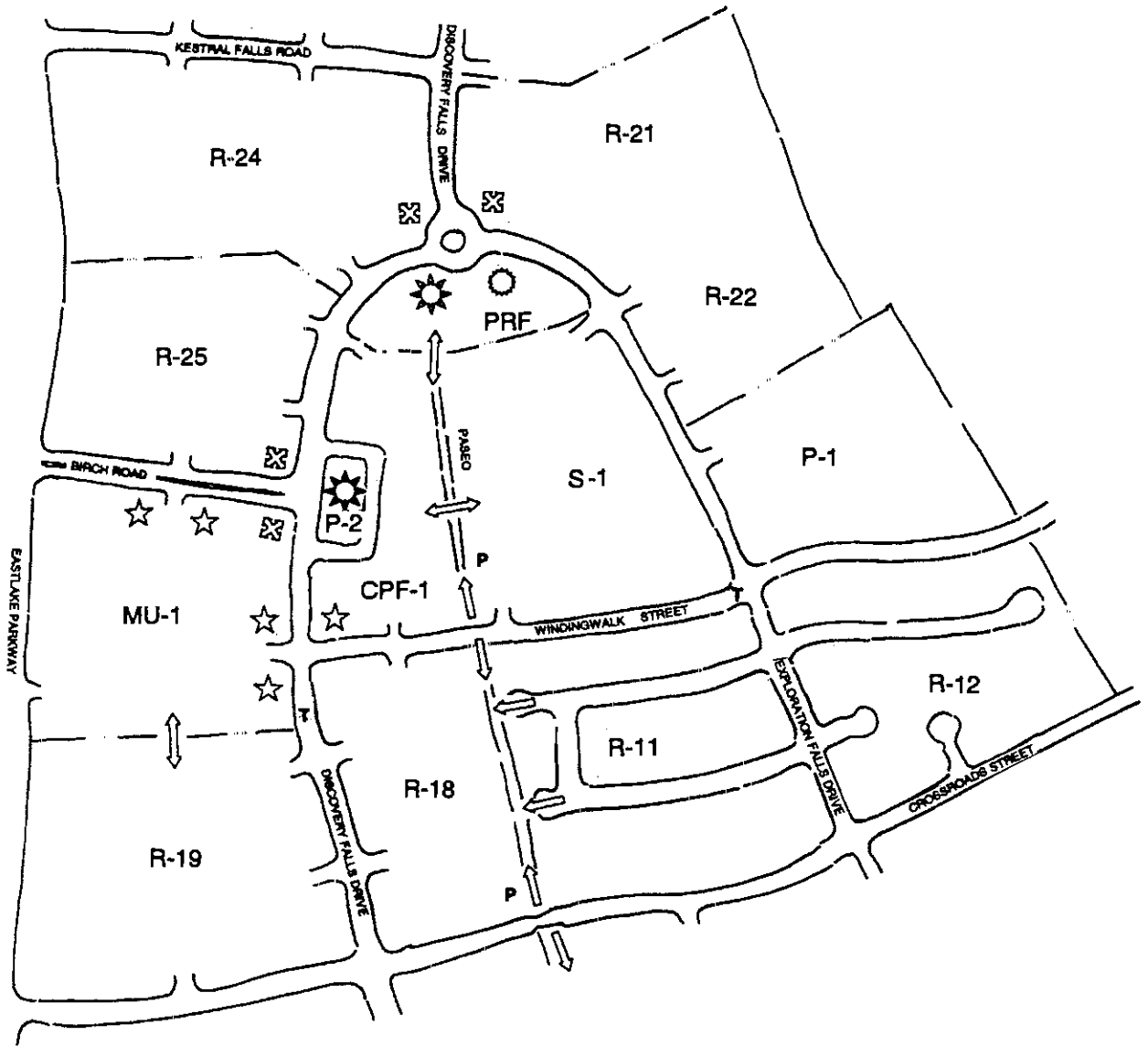
Each Site Plan submittal shall include a depiction of the adopted Master Precise Plan Illustration with the proposed project incorporated into the exhibit. The applicant shall annotate this exhibit to identify the design features that demonstrate consistency with the Master Precise Plan Illustration. Should the proposed Site Plan necessitate refinements or minor adjustments to other areas of the Village Core, the proposed refinements or adjustments shall be identified. The Master Developer and the Design Review Committee may approve design refinements to the Master Precise Plan Illustration in conjunction with the submittal of a Site Plan. Site Plans shall be reviewed for consistency with the guidelines of the Village Eleven Design Plan and this Master Precise Plan

D. MANDATORY SITE PLAN ELEMENTS

Certain features or facilities are required to implement major community design themes or to create a specific character or aesthetic within the Village Eleven Core. The following elements must be incorporated into Site Plans and implemented in their development

- Implement the pedestrian-oriented concepts that require specific building, walkway and paving, street furnishings, parking, orientation and setbacks
- Provide Community Purpose (CPF), Commercial/Mixed-Use and Neighborhood Park synergy
- Provide non-vehicular circulation connections to Secondary Areas surrounding the core
- Implement landscape and hardscape schemes consistent with design concepts for Village Eleven

- Architectural /building focal points shall be provided at the terminuses of the Village Entry Streets. When a building is an architectural/building focal point it should be designed to enhance the streetscape. It should be visually distinctive through the use of architectural enhancements such as vertical elements, detailing of the street-side building elevation(s), enhanced balconies, exterior window treatments, and "landmark" structures such as a tower or plaza.
- The commercial area shall include a building with "landmark" qualities to establish an identity for the village core.
- The building on the CPF site shall be sited and designed to serve as a village landmark and carefully coordinated with the design and architecture of the commercial/mixed-use site.
- Residential buildings shall be oriented to the Village Entry Streets, Village Core Streets and Village Core Promenade Streets wherever possible and an architectural/building focal point shall be provided at or near the Village Entry/Village Core Promenade corners.
- Residential buildings shall have enhanced architectural elevations when visible from Village Entry and Village Core Promenade Streets.
- Mandatory Precise Plan elements shall be consistent with the specifications or other requirements of the Village Eleven Design Plan. These features are graphically depicted in Exhibit 3.








- | | | | |
|---|--|---|---|
|  | Village Landmark | P | Pedestrian Paseo |
|  | Village Landmark Building |  | Interior Pedestrian Connection |
|  | Focal Point | T | Transit Stop |
|  | Secondary Landmark
With Pedestrian Access | MU-1 | Village Mixed-Use
Main Street Commercial |

Exhibit 3
Mandatory Master Precise Plan Elements

IV. MASTER PRECISE PLAN DESIGN GUIDELINES

A. INTRODUCTION

This section of the Master Precise Plan provides guidelines for the Village Eleven Core. Each Site Plan area within the Village Core shall be designed in conformance with these guidelines. These guidelines serve as the basis for review and evaluation of all proposed Site Plans by the Master Developer and the City Design Review Committee.

The Circulation and Parking plan and design guidelines for the Village Core are provided in the first part of this Section. The Circulation component addresses pedestrian, vehicular and transit access within the Village Core. Off-street parking area design guidelines are also provided.

Design guidelines are provided to address the distinct requirements for the Village Core District and the Secondary Residential District. Guidelines are provided for:

- Building Siting and Urban Character
- Architecture
- Landscape Architecture
- Lighting
- Furnishings
- Signage

Each of these elements contributes to the distinct identity of the Village Core. However, the specific application or required design solution may vary with the type of development and its location within the Village Core.

B. CIRCULATION & PARKING

The circulation plan for the Village Core adheres to the Otay Ranch "village" concept that promotes pedestrian and transit access and reduces dependence on vehicles. The following are design guidelines for circulation within the Village Core:

- Vehicle access shall be clearly subordinated to pedestrian access. Traffic shall be limited along the street. Single back door vehicle access to the rear of buildings shall be allowed, potentially under a building bridge.
- All service and loading areas shall be access from an alley or rear parking area. No loading shall occur on the street or pedestrian oriented sides of a building. No garage type loading doors shall be located on a building façade directly facing a public or promenade street.
- Parking lots, walkways and courtyards shall be designed at a human scale to promote pedestrian and bicycle movement and reduce the impersonal expansiveness of large spaces.
- A Village Pathway extends along Birch Street and a paseo through the Village Core. The Village Pathway provides a pedestrian corridor to allow groups to comfortably pass each other. Frequent opportunities to sit, relax and observe shall be provided through the inclusion of benches, steps, planters and short walls within and adjacent to the Village Pathway.
- The use of electric carts shall be promoted by providing travel ways and special parking spaces within the core.
- Pedestrian, bicycle and electric cart access routes shall be maximized. Pedestrian connections shall be provided to link the Village Core District and Village Secondary Residential District.
- Pedestrian, bicycle and electric cart access routes along the Village Pathway shall provide convenient access to the planned transit stops at the mixed use/commercial site and along Windingwalk Street.
- Transit stops should be provided with adequate walkway lighting and well-designed shelters.
- Public and private developments within the Village Core shall strive to be accessible to persons with disabilities as prescribed by the Title 24 and Americans with Disabilities Act (ADA) requirements.
- Parallel parking shall be provided on streets in the Village Core in conformance with the approved street classifications for Village Eleven.
- Parking lots shall be located to the rear of buildings or internally to individual project areas wherever possible and separated from the pedestrian-oriented street frontage.

Exhibit 4 illustrates the conceptual pedestrian circulation plan and Exhibit 5 illustrates the conceptual vehicular circulation plan and transit stops within the Village Core.

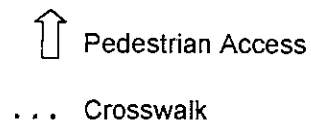
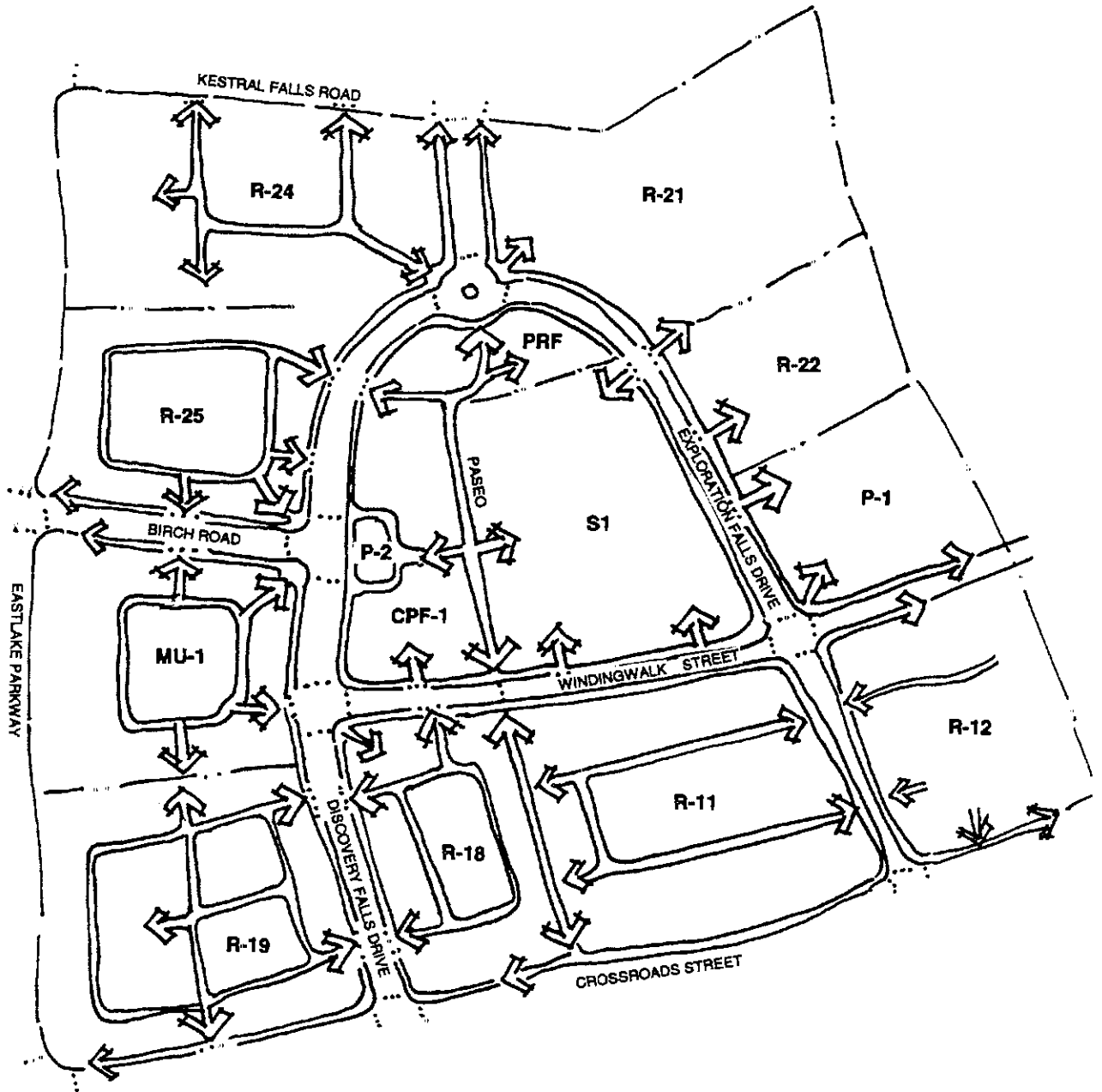


Exhibit 4
Core Pedestrian Circulation

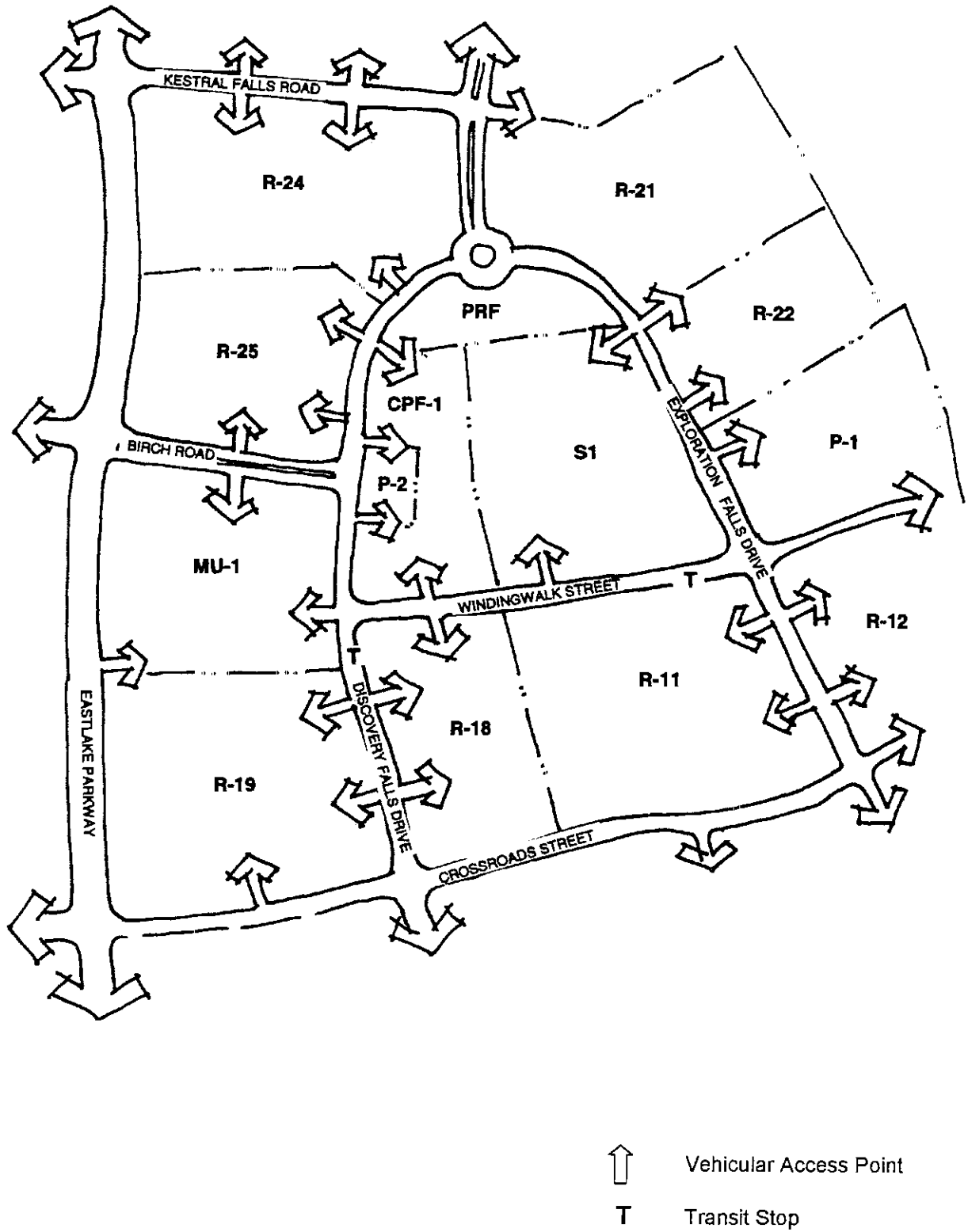


Exhibit 5
Core Vehicular Circulation & Transit Stops

C. VILLAGE CORE DISTRICT

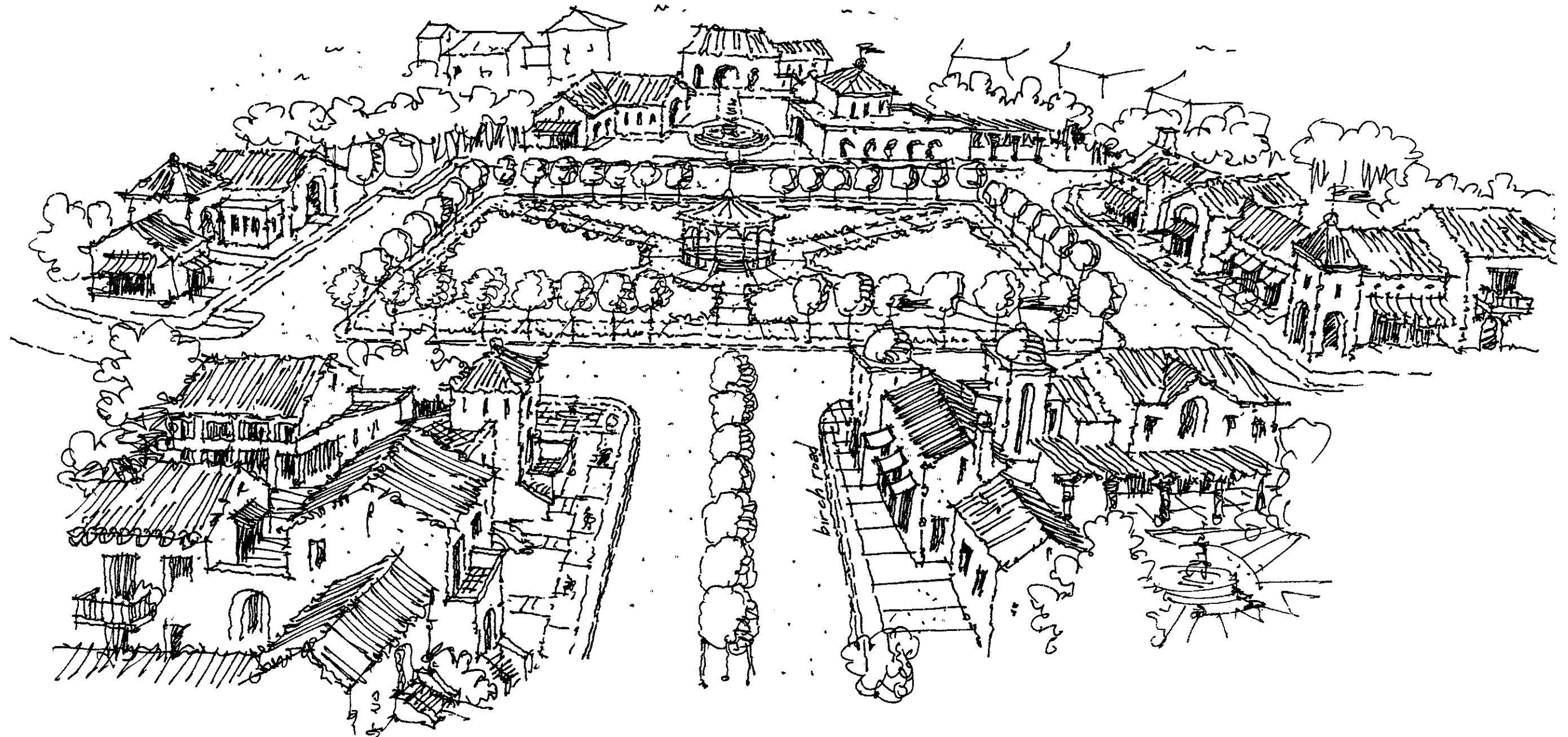
The Village Core District is composed of the Mixed-Use/Commercial, Town Square, Community Purpose Facility, Private Recreation Facility, Elementary School and Neighborhood Park sites. This district within the core is the most structured and urban area within the core. The design intent is to be primarily pedestrian-oriented with subordinated vehicular activity. Pedestrian-friendly urban design elements include pedestrian scaled storefronts and lighting, amenities such as seating and shade trees, and social interaction spaces such as outdoor cafes and plazas.

1. Building Siting and Urban Character

The organization of land uses in the Village Core provides for landmark focal points at village entries, compatible land uses that can share pedestrian-oriented connecting open spaces, and orientation of buildings toward the street, with parking and utility areas located away from the street. The Village Core land use plan provides for the siting of land uses to adhere to the following guidelines:

- Locate the town square as a focal point within the village and group buildings around the town square.
- Locate landmark buildings and landscape features at the entry focal points and at prominent intersections within the Village Core.
- Site buildings to create outdoor rooms and interconnected pedestrian paths between developments.
- Locate buildings in proximity to the village streets to create a "main street." Building setbacks are prescribed for each street classification in the Village Eleven Design Plan. The Village Eleven PC District Regulations minimum building setback from the street is 15 feet, measured from the face of street curb.
- Locate pedestrian entries at the street in close proximity to create articulation and interest in the street scene. Design emphasis on the entries improves the street scene and helps distinguish individual shops in a multi-tenant building. Storefronts shall incorporate display windows to encourage interaction with the street scene.
- Each project or land use shall provide a well-articulated, identifiable entry for both the pedestrian and vehicle, from street/walkway to building. Project entries and connections to and into buildings shall be enhanced with landscaping, hardscape detail and architectural accents.
- Subordinate vehicular access by locating parking lots, loading and service areas at the rear or sides of development and away from the public and pedestrian areas.
- Provide for a village pathway or paseo to connect neighborhoods to the Village Core and create a pedestrian connection through the core.

The following Exhibit 6 provides a perspective view of the Village Core from the Birch Road entry that illustrates these guidelines.



Note: The Irving Gill-inspired design theme allows the use of flat roofs in addition to the roof forms shown in this conceptual graphic

Exhibit 6
Perspective View of Village Core

2. Architecture

As described in the Village Eleven Design Plan, the design theme is inspired by the architecture of Irving Gill. The design intent is not to replicate Gill architecture, but to utilize his design concepts to establish a theme for Village Eleven. Gill emphasized the relationship between indoor and outdoor spaces to create outdoor rooms through the use of pergolas, arbors, colonnades, porches and adjunct building masses. His focus in design combined the Spanish heritage of the region with the clean lines of the modernist movement. These design concepts are applicable to the mixed use/commercial, community purpose facility, schools, park and other community facilities in Village Eleven. The following guidelines shall apply to those development sites within the Village Core

- Landmark architecture shall be located at all focal points and major intersections within the village. "Landmark architecture" should be a distinctive element that creates an accent or focal point, such as a tower.
- Primary building entries shall be oriented to the street to the extent possible.
- Commercial buildings shall be oriented to a village core street to create a traditional "main street."
- Buildings shall be arranged to create outdoor rooms, such as courtyards, wherever possible.
- Exterior building elevations shall incorporate a range of scale-defining elements that relate larger building masses to the pedestrian. Such elements include columns, archways, doorways, upper floor windows and balconies.
- Overhead features that create a sense of enclosure and encourage visitors to linger and enjoy the area may be incorporated into the design. Features such as canopies, arcades and roof overhangs create the sense of enclosure and also protection from sun and rain.
- Building height and massing shall be varied.
- Roof forms shall be compatible with the architectural style and create skyline interest.
- Architecture along the same street or within a complex shall include buildings of similar but varying height and share one or more distinctive element, such as materials, window and door style, detailing, porches, arcades, overhangs, roofing, color, etc.
- Decorative detailing shall be consistent with the overall architectural style and be used as accents. Detail elements include arches, balconies, balustrades, chimneys, cupolas, ceramic tile, moldings, reveals, wrought iron, hand rails, windowsills, finials, and lighting fixtures.
- All utilitarian aspects of development, such as mechanical equipment, gutters, downspouts, storage and refuse collection areas shall be integrated into the building design so as not to be visible from pedestrian and public view areas to the extent possible.
- Exterior staircases shall be compatible with the building architecture.
- Exterior staircases shall be visually perceived as integral to the building or as a significantly defined architectural accent.

- Side and rear elevations of buildings exposed to view shall be articulated or enhanced to provide a pleasing appearance from public or neighboring use views.

The following feature-specific guidelines apply to the architecture within the District:

Arcades and Loggias

- Arcades and loggias are a major architectural element and should be used to support the design theme of interconnecting indoor and outdoor spaces.
- Traditional ratios and proportions between columns, the diameter and height of columns and the width of the arch need to be carefully considered

Arches

- Full or flat arches of appropriate scale are preferred over pointed arches
- Arches and their supports shall convey appropriate depth.
- Careful consideration shall be given to the wall surface above the arch, so that sufficient wall surface is present between the key of the arch and the next architectural element above.

Awnings

- Canvas awnings should generally be simple angled surface, preferably with open sides and plain or decorative valances
- Horizontal segmented curved awnings and domed awnings are generally prohibited. Curved awnings may only be used in those instances where they are appropriate to an arched opening. The awning should be placed within the arch so that the form and depth of the arch is still visually apparent
- Internally lit awnings are prohibited

Exterior Staircase

- Exterior staircases shall be compatible with the architectural character of the building.
- Exterior staircases shall visually read as a volume integral to the building or as a significant defined architectural accent.

Ground Mounted Equipment

- Small ground mounted equipment shall not be readily visible from public view. Where the equipment is potentially visible from public view, it shall be screened with an enclosure that is consistent with the architecture of the building
- The equipment shall not be a multiple type equipment installation that requires a large enclosure

Ground Surfaces

- Surfaces shall be broken up into appropriately scaled geometric patterns that are related to the design of the building, to the general area within which the building is located or to the plantings surrounding the surface.

- Large uninterrupted paved horizontal surfaces shall be avoided. If such cases occur, the surfaces shall be broken up and closely coordinated with the design of adjacent structures.

Roofs

- Roof forms shall be appropriate to the style of the building
- Flat roofs shall be surrounded by a parapet of a height that will screen any rooftop equipment
- Projecting cupolas, towers, varied chimney forms or similar features are required for landmark buildings. In many cases such roof projections can be used to house ventilation and other heating and cooling equipment.
- When solar collectors are used, they shall be either integrated into the roof surface, placed behind projecting parapets or fully enclosed into roof wells.

Window and Door Openings

- Openings shall be designed to suggest the thickness of traditional masonry wall surfaces
- Doors and windows that occur in the openings shall be recessed away from the outer wall surfaces
- Mullions shall break up glass areas so that their scale is compatible with the buildings
- Large unbroken expanses of glass or other shiny or reflective surfaces are prohibited

Exhibits 7 through 12 illustrate conceptual architectural design for the Village Core District. Table 1 provides a list of preferred, acceptable and prohibited building materials and finishes.

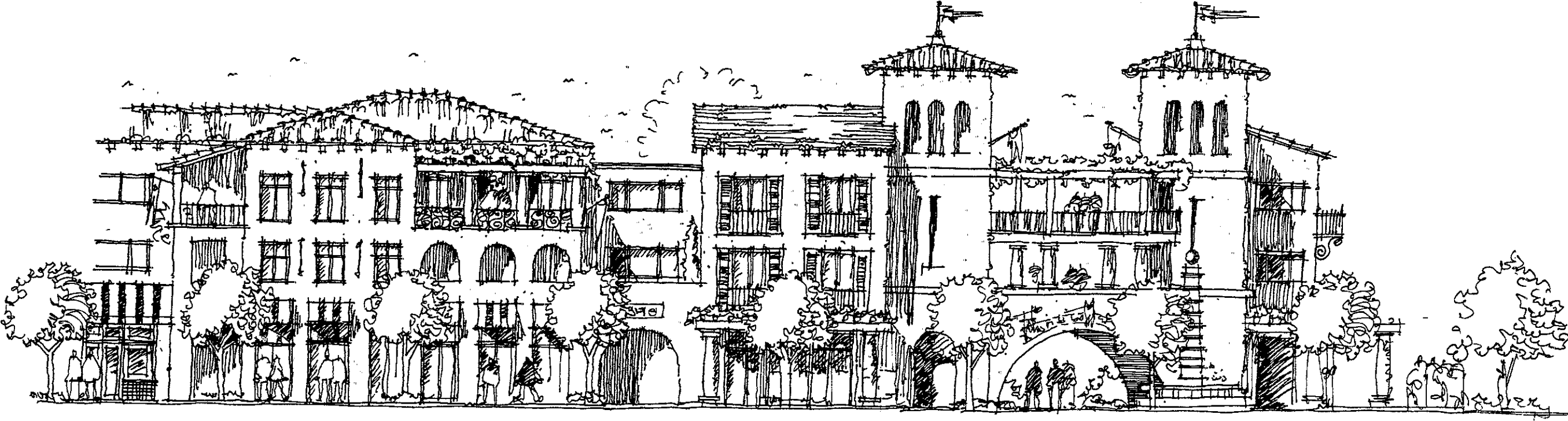


Exhibit 7
Mixed Use Architectural Character

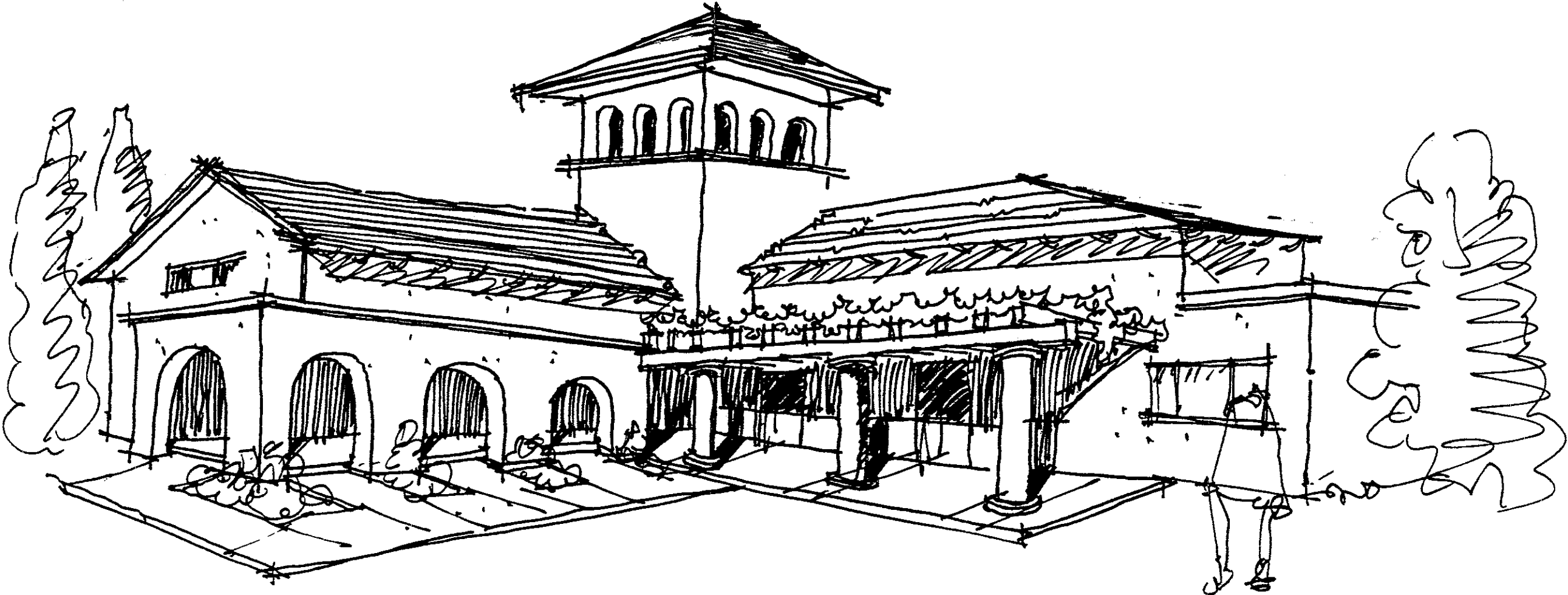


Exhibit 8
Community Purpose Facility Architectural Character



PLANNING & BUILDING DEPARTMENT

March 30, 2008
Eastlake Comm. Church
Re: Payment for sign violations

Dear Sir or Madam,

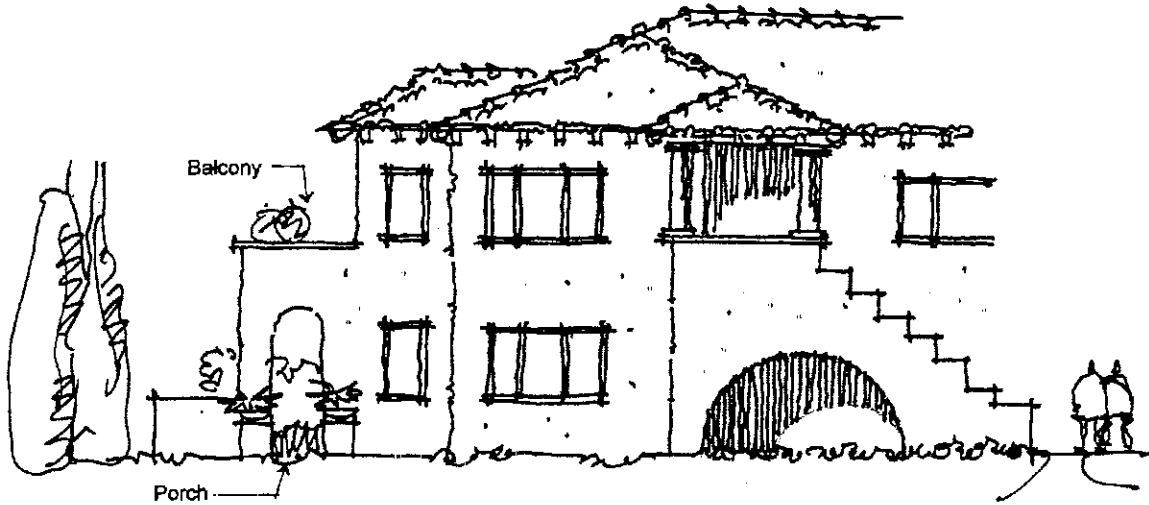
We received a check #17532, dated 4/24/08 for the sign violations along Otay Lakes Rd. We thank you for making your payment for the Administrative Citation you were issued, however, we have to send back the check with this explanation. The check must be for the exact amount of \$200.00 not as the check is written for \$250.00.

I have made an entry in the file for your case regarding the payment so that when I receive the correct amount I can apply the info and make you have a \$0 balance and close the case.

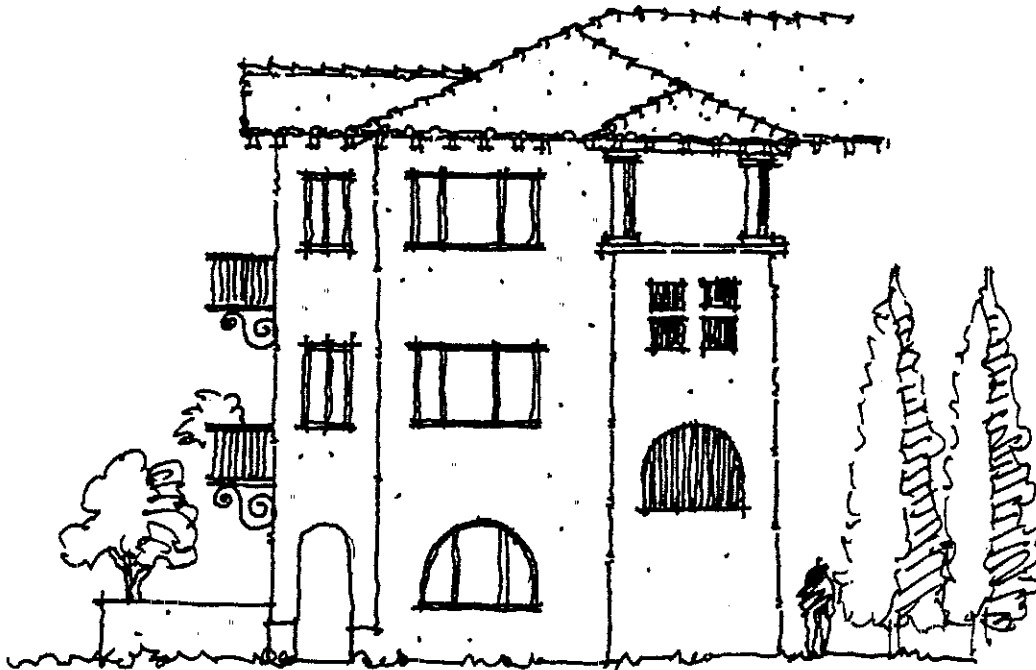
Thank you for your cooperation in this matter. Once the new check is received, then I can close out the case and file the paperwork.

Thank you,

Tom Addison
Code Enforcement Officer



2-story stair element incorporating exterior stairs into building architecture



3-story stair element incorporating exterior stairs into building architecture

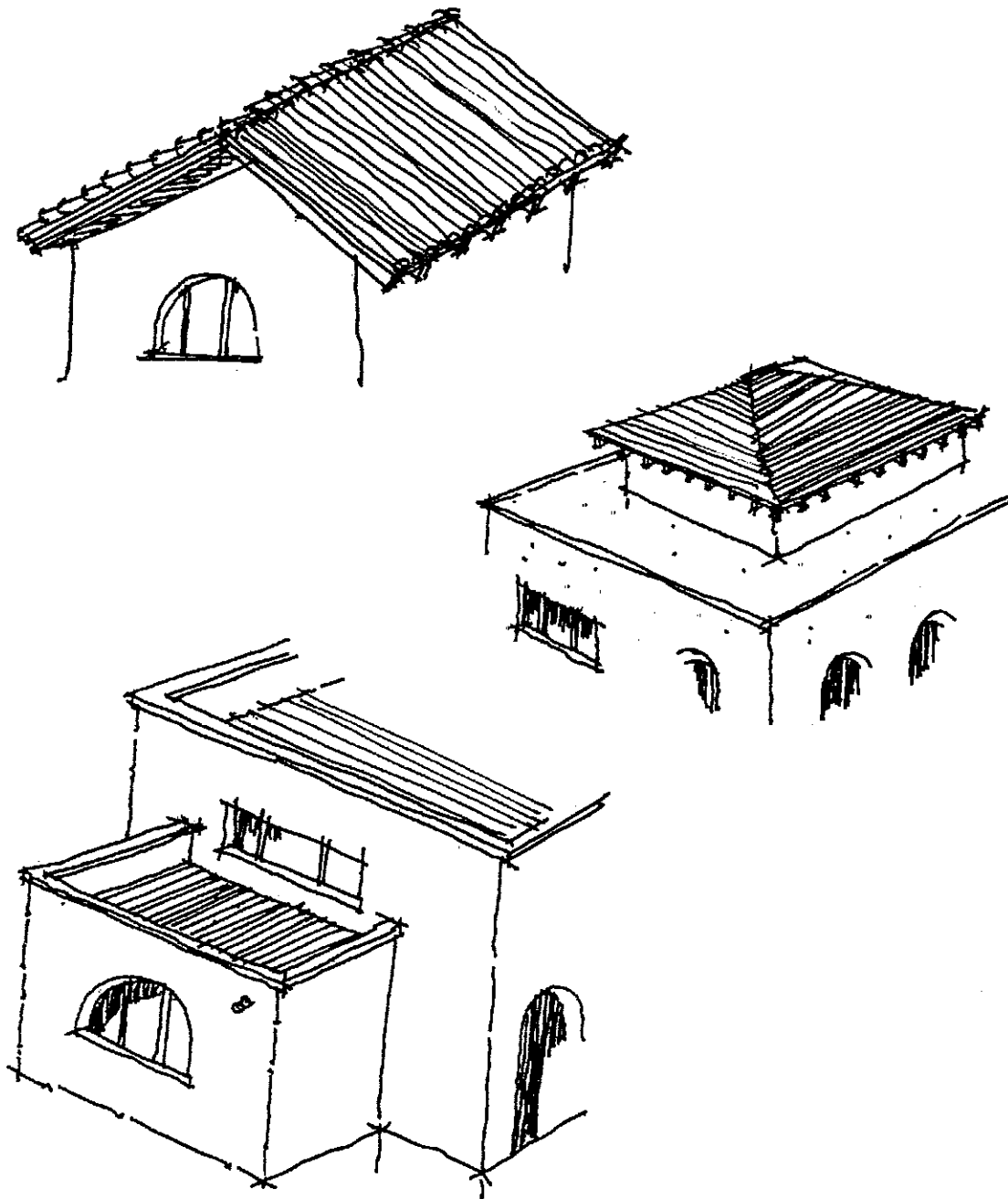
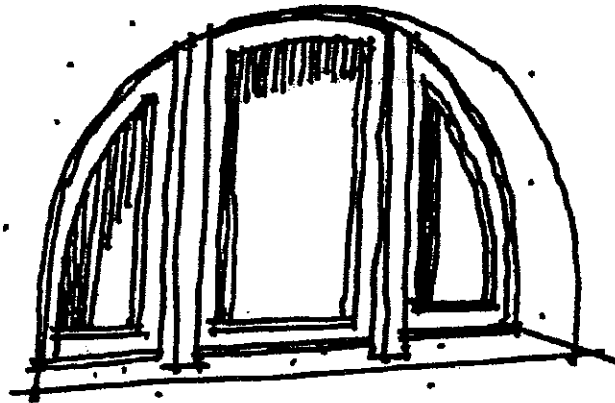
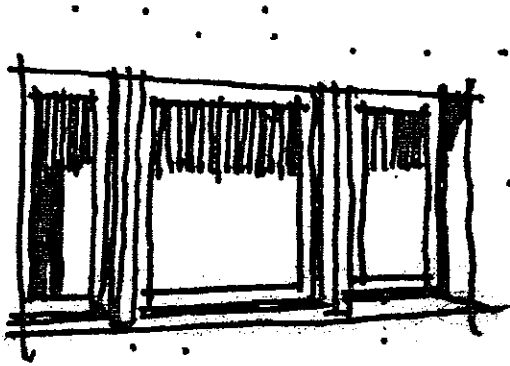


Exhibit 10
Preferred Roof Forms



FEATURES:

- Horizontality
- Fixed center lights wit narrow, operable windows to each side
- Flat or arched head

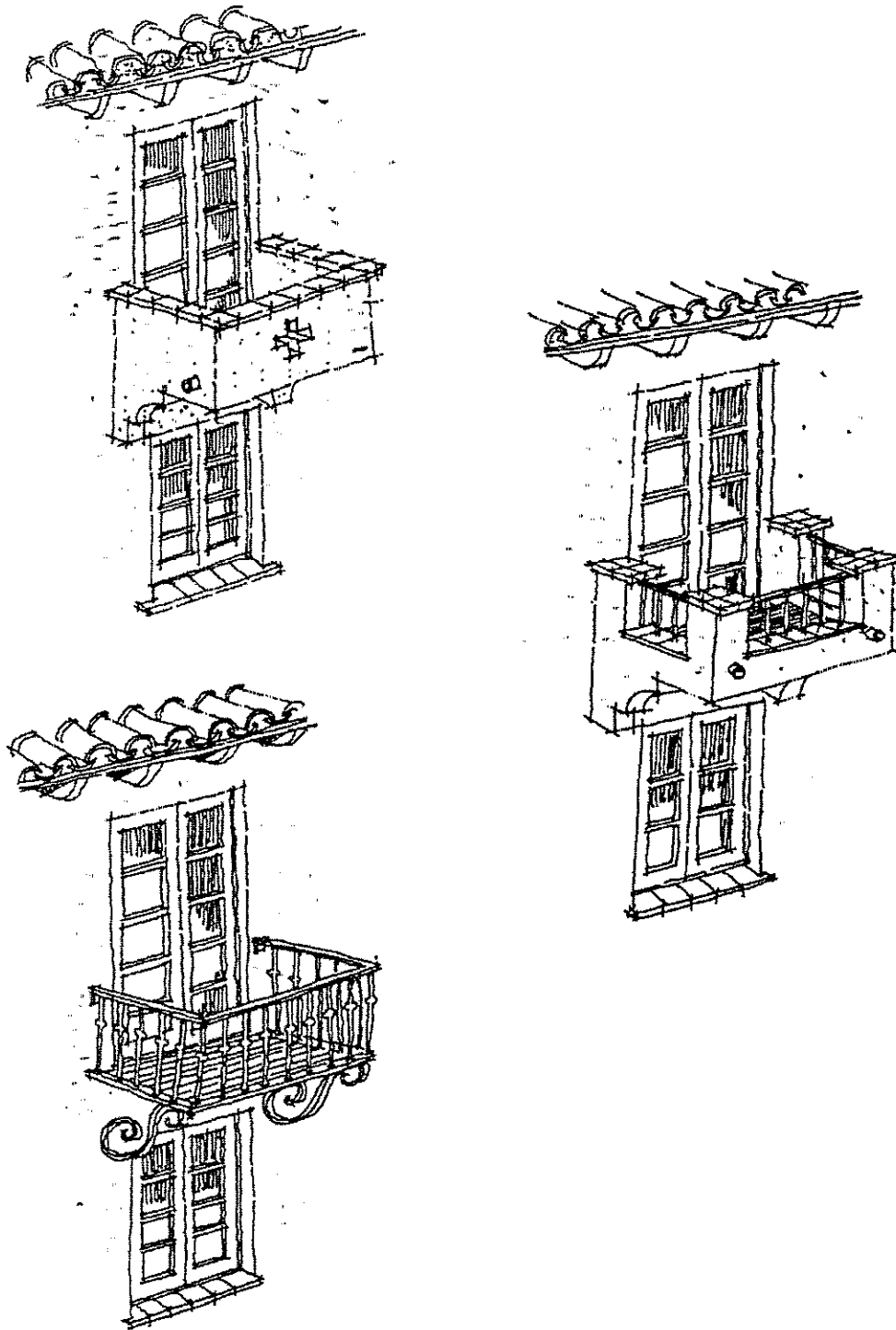


Exhibit 12
Balcony Treatments

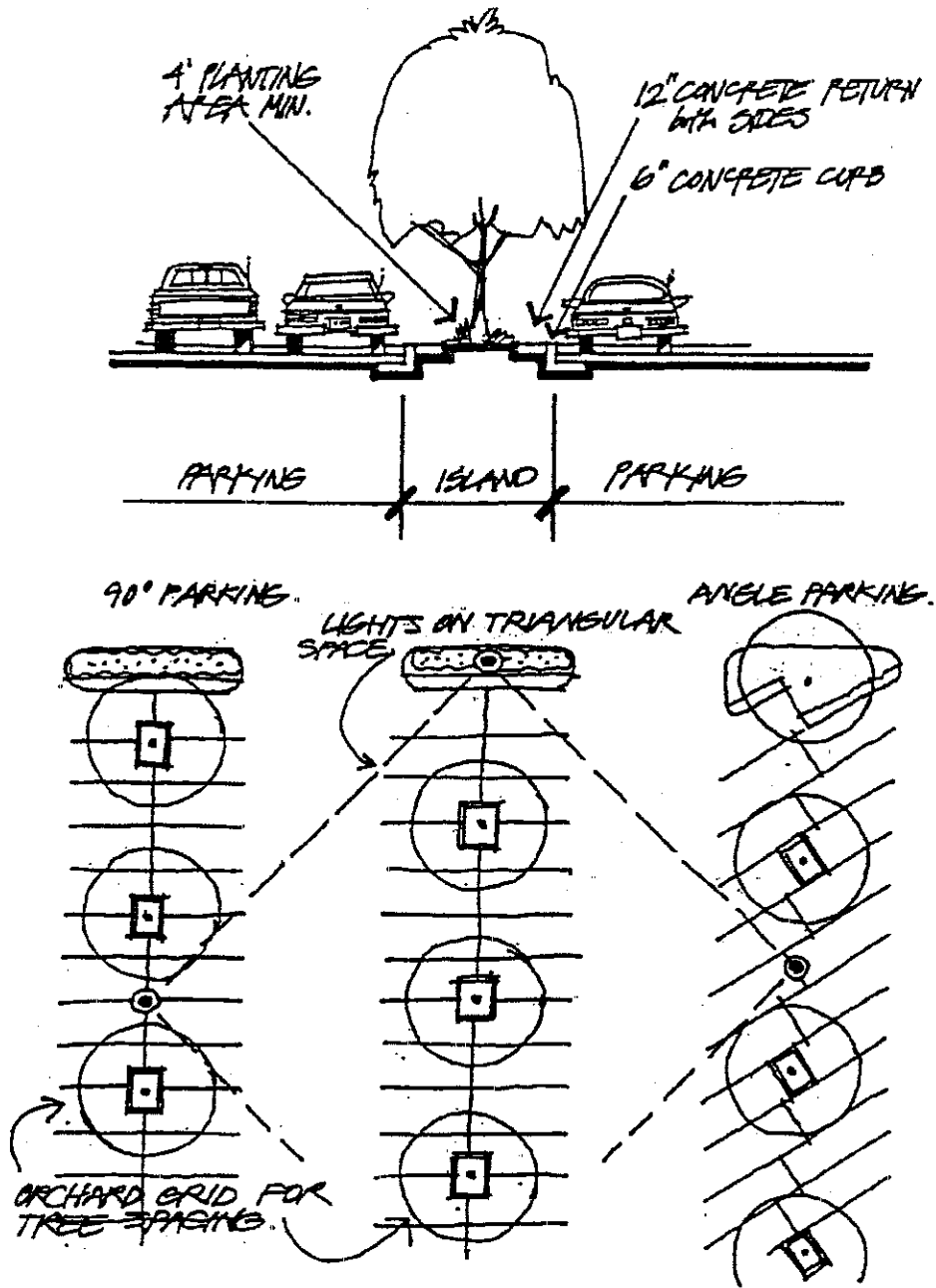
TABLE 1 Village Core District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
ROOFING				
Flat Concrete	X			Warm Colors
Galvanized Corrugated Metal		X		
Galvanized Metal Fascia		X		
Wood Fascia		X		
Slate		X		
Copper		X		
S Barrel Tile	X			
Pan Mission Tile	X			
Colored Ceramic Tile	X			For accent use/and or patterned roof
Bitumen		X		Flat surfaces only
Wood Shake			X	
Wood Shingle			X	
Asphalt Shingle			X	
EXTERIOR WALLS/SIDING				
Community Stone	X			Otay Ranch Utah Desert stone
Community Block	X			
Galvanized Corrugated Metal		X		24 gauge minimum
Brick Veneer		X		
Wood Battens		X		Horizontal or vertical
Wood Shingle			X	
Chain Link			X	Allowed in City Park
STUCCO				
Smooth Hand-Trowel Finish	X			
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Wood Shuttered		X		Satin finish or painted, warm colors
Large Expanse of Glass			X	
STOREFRONT WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Large Expanse of Glass			X	
AWNINGS				
Canvas	X			Simple angled; open sided preferred
Sheet Metal			X	Anodized
Plastic			X	
Domed			X	
Internally Lit			X	

TABLE 1 (continued) Village Core District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
TRELLISES				
Metal	X			Anodized
Wood		X		Satin finish, warm colors
ARCADES				
Community Stone	X			Otay Ranch Utah Desert stone
Wood		X		Satin finish, warm color
Stucco Finish		X		Smooth hand trowel
Ceramic Tile Accents		X		Accents only
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
DOORS				
Wood Framed	X			Satin finish or painted, warm colors
Metal Framed	X			Galvanized metal
Louvered	X	X		Galvanized metal
Roll-Up	X		X	Galvanized metal, non-street facing
Steel	X		X	Galvanized metal and painted
Glass	X			Galvanized metal frame
Non-Tempered Glass			X	Traditional character
COLUMNS				
Community Stone	X			Otay Ranch Utah Desert
Wood		X		Stain finish, warm colors
Concrete		X		Smooth hand-trowel finish
Metal		X		Anodized
Ceramic Tile Accents		X		Accents only
Raw Metal			X	
GATES				
Metal	X			Galvanized and painted
Wrought Iron		X		
Tubular Steel	X			
Raw Metal			X	
Wood			X	
Chain Link			X	Allowed in City Park

3. Landscape Architecture

Landscaping consisting of both hardscape and softscape treatments shall reinforce the urban character of the District and reflect ordered, formal treatments rather than random, natural appearing solutions. Design guidelines for landscape architecture are as follows:

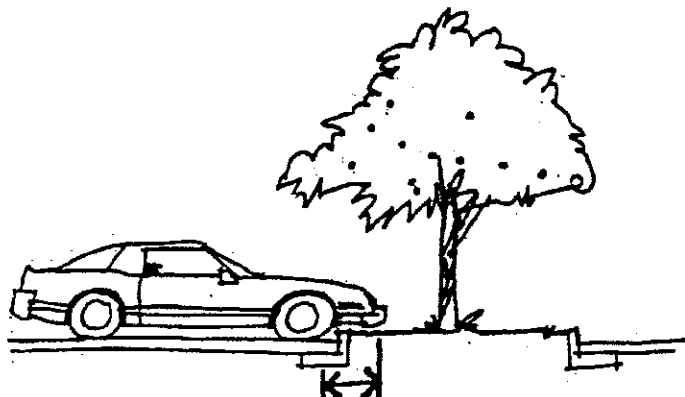
- The creation of outdoor "rooms," such as courtyards, outdoor dining areas, plazas, paseos, formalized walkways, arbors, and arcades shall be emphasized to support the Irving Gill design theme.
- Amenities such as enhanced paving, seating areas and lighting shall be incorporated into the landscape to create an atmosphere that is appropriate to shopping, socializing and recreation. Hardscape material use is described in Table 2.
- The use of steps, retaining walls and structures for grade separations in this District is preferred over landscaped banks to emphasize the urban character and to provide defined spaces for seating, etc.
- Tree design use shall include a mix of skyline, shade and colorful accent trees. A list of approved trees is provided.
- Pedestrian scaled plantings, such as colorful groundcovers, container plantings and vine covered arbors will enliven the area. A list of approved trees and shrubs is provided.
- Parking areas shall be screened by a landscape buffer that may include berms, low walls or shrubs approximately 3 feet in height to block headlight glare yet provide visual access into the areas to enhance security.
- Trees shall be planted in parking areas to provide shade and reduce glare from paving and parked vehicles. Planters shall be located in the parking areas to visually break up the expanse of paving.
- Parking area landscaping shall be in conformance with this Master Precise Plan, the Village Eleven Design Plan and the City of Chula Vista Design Manual and Landscape Manual. (see Exhibit 13)
- All village perimeter walls and fencing shall be designed in conformance with the Village Eleven Comprehensive Wall and Fence Plan (see Exhibit 14). Table 2 lists additional wall and fencing materials that may be used within individual developments.



Note:

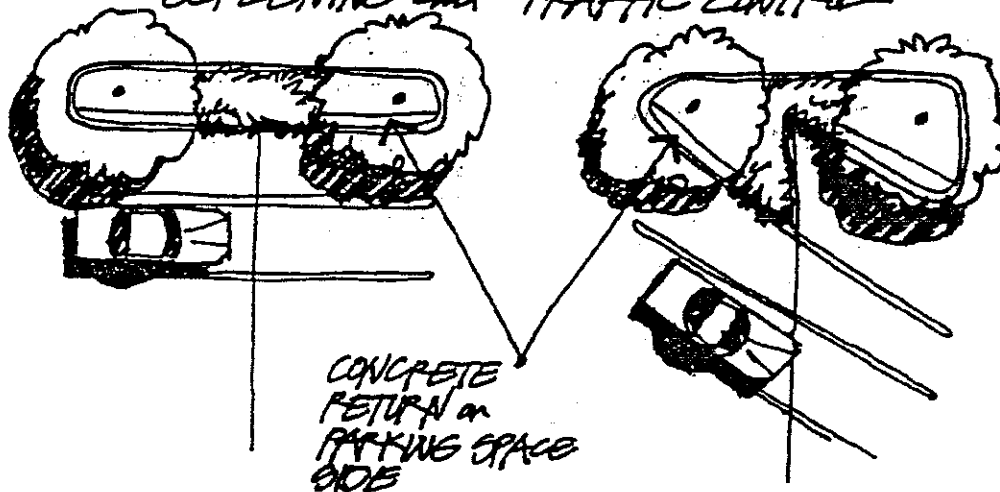
- Parking Design shall be consistent with these illustrations from the Otay Ranch Village Design Plan
- All parking facilities shall adhere to the City of Chula Vista Design Manual and Landscape Manual requirements for landscaping within parking areas
- All landscaped parking lot islands shall have a minimum inside dimension of four (4) feet and shall contain a twelve (12) inch wide walk adjacent to the parking stall and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland concrete cement curbing for a total width of seven (7) feet.

Exhibit 13a
Parking Design Concept



INSTEAD OF USING PRE-CAST
CONCRETE BUMPER STOPS, EXTEND
PLANTING AREA and USE CURB
AS A WHEEL STOP.

PROVIDE SUBSTANTIAL PLANTERS
IN THE CURB OF PARKING BAYS for
SCREENING and TRAFFIC CONTROL



CONCRETE
RETURN on
PARKING SPACE
SIDE

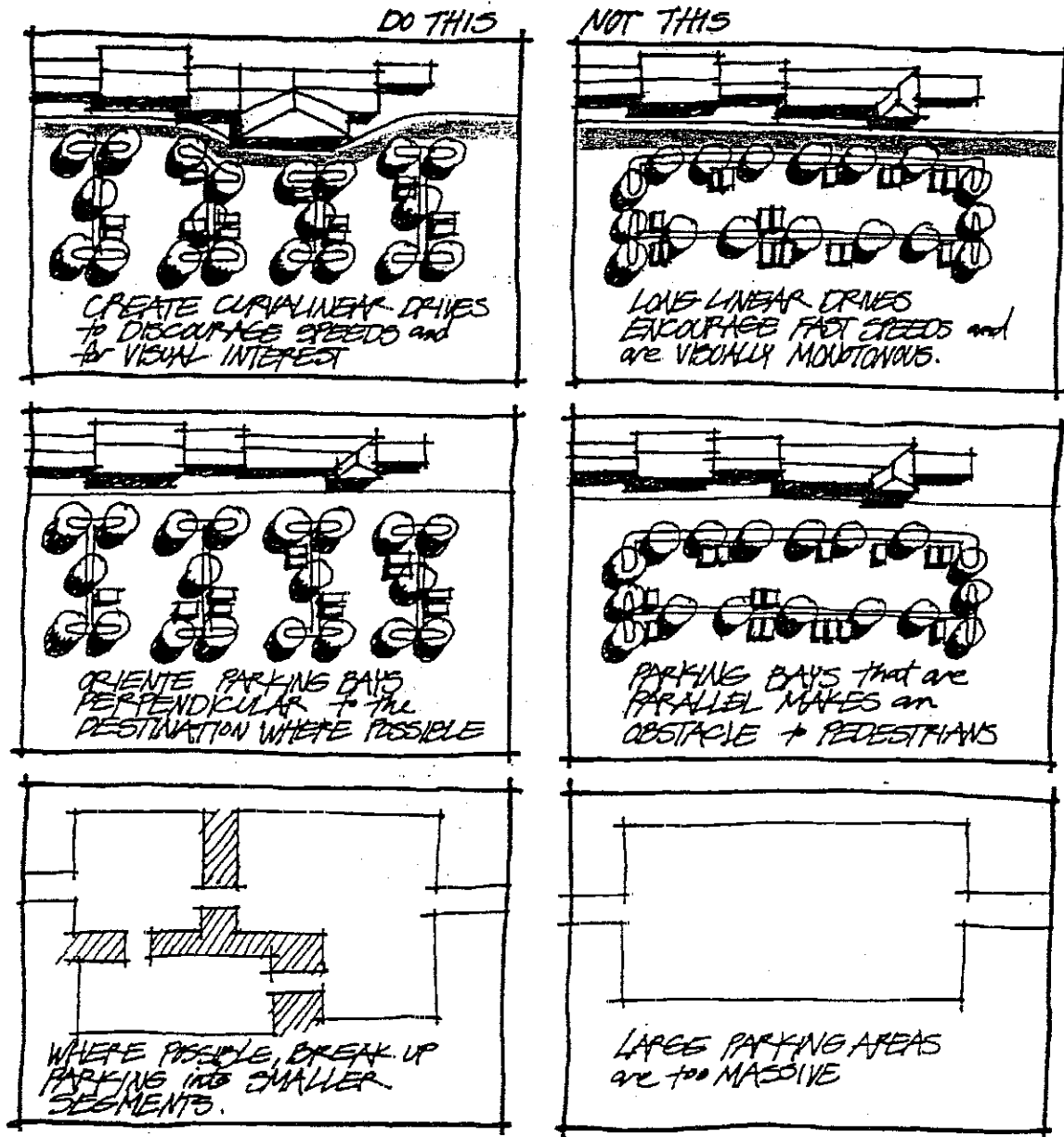


Exhibit 13c
Parking Design Concept

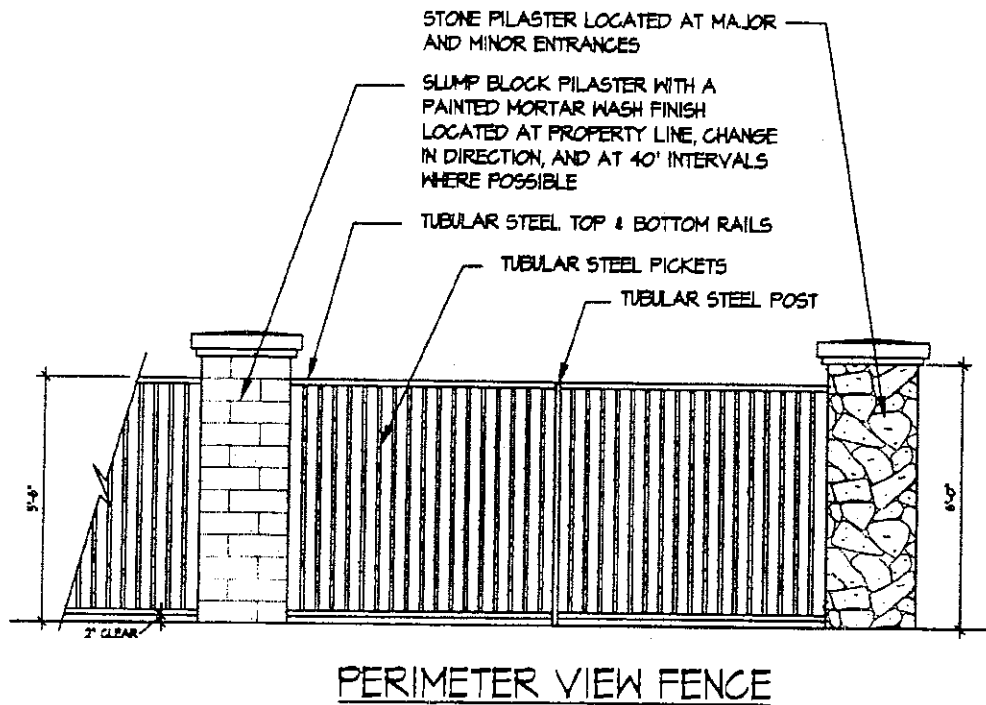
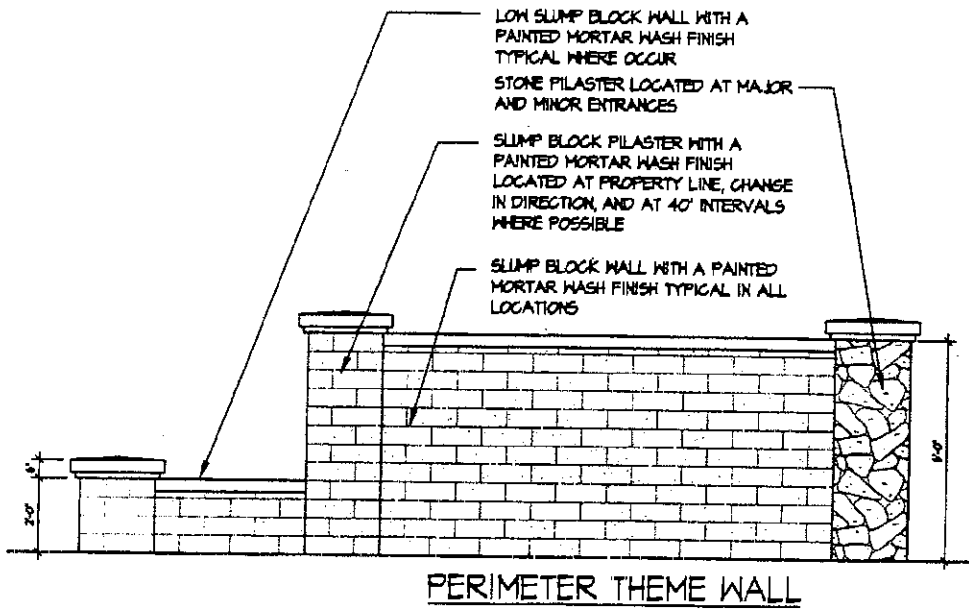


Exhibit 14
Perimeter Wall and Fencing Design

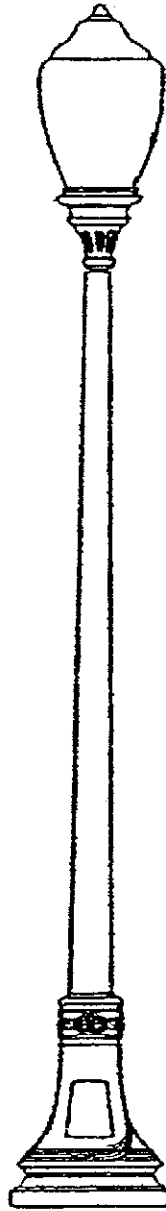
TABLE 2	
Village Core District Hardscape and Wall and Fence Materials/Finishes	
PAVING	Material/Finish
Sidewalk	Natural color concrete, broom finish
Village Pathway	Integral color "Adobe Tan" I M Scofield C-21, light broom finish & rumble scoring
Plazas & Special Outdoor Areas	<p><u>Permitted Materials:</u></p> <ul style="list-style-type: none"> • Washed aggregate: natural color 3/8" aggregate (match median protective walks) Saw cut pattern, 24-30" square • Natural Stone paving complimentary to color and palette for Village Eleven • Interlocking pavers, pattern and color compatible with color and material palette for Village Eleven. • Natural stone unit pavers. • Colored concrete (natural stone colors) with textured finishes • Stamped or patterned concrete (natural stone colors) • Fired clay pavers • Pre-cast concrete pavers (natural stone finishes and colors). • Terrazzo. • Ceramic Tile Accents <p><u>Prohibited Materials:</u></p> <ul style="list-style-type: none"> • Predominantly black or dark gray pavement • Intense primary colored paving • Common gravel • Asphalt or asphaltic concrete • Decomposed granite (Allowed in City Park)
WALLS & FENCING	
Walls	<p><u>Permitted:</u></p> <ul style="list-style-type: none"> • Village Eleven Perimeter Theme Masonry • Adobe Brick (coated) • Natural Stone (Otay Ranch Utah Desert or similar) • Block or steel framed stucco (smooth, dash coat, bumpy-smooth/Santa Barbara style, combed or sand finish only) • Pre-cast concrete • Brick • Slump stone (coated) <p><u>Prohibited:</u></p> <ul style="list-style-type: none"> • Wood structural walls • Other "styles not in keeping with the architectural theme"
Fencing	<p><u>Permitted:</u></p> <ul style="list-style-type: none"> • Wrought Iron (with approved finishes) • Decorative steel or aluminum (with approved finishes) • Decorative wood <p><u>Prohibited:</u></p> <ul style="list-style-type: none"> • Chain Link (Allowed in City Park) • Wood lath • Split rail • Plastic • Other "styles not in keeping with the architectural theme"

TABLE 3	
Village Core District Approved Plant List	
Street Trees	
<u>Exploration Falls (Olympic Parkway to Roundabout):</u>	
Prunus calleryana 'Bradfordii'	Bradford Pear (Parkway)
Jacaranda acutifolia	Jacaranda (Median)
<u>Exploration Falls Drive (From Roundabout South):</u>	
Platanus acerifolia	London Plane Tree
<u>Discovery Falls Drive (Roundabout to Hunte Parkway):</u>	
Platanus acerifolia	London Plane Tree
<u>Birch Road:</u>	
Olea europaea 'Fruitless'	Fruitless Olive (Parkway)
Phoenix dactylifera	Date Palm (Median)
<u>Windingwalk Street:</u>	
Tristania conferta	Brisbane Box
<u>Crossroads Street (Eastlake Parkway to Discovery Falls Drive):</u>	
Cinnamomum camphora	Camphor Tree
<u>Crossroads Street (From Discovery Falls Drive East):</u>	
Jacaranda acutifolia	Jacaranda (Median)
<u>Kestral Falls Road:</u>	
Cinnamomum camphora	Camphor Tree
Village Core Trees and Shrubs	
<u>Trees</u>	
Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus sideroxylon rosaea	Red Ironbark (requires City Arborist review)
Gleditisa tricanthos inermis	Honey Locust
Jacaranda acutifolia	Jacaranda
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Pyrus kawakamii	Evergreen Pear
Prunus calleryana 'Bradfordii'	Bradford Pear
Tipuana tipu	Tipu Tree (requires City Arborist review)
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	True Green Elm
<u>Shrubs</u>	
Agapanthus alricanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Cuphea hyssopifolia	Breath of Heaven
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii	Escallonia
Lantana spp	Lantana
Lavendula spp.	Lavender
Ligustrum 'Texanum	Texas Privet
Limonium perezii	Statice
Pittosporum tobira 'variegata	Mock Orange
Pittosporum tobira 'Wheeleri	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

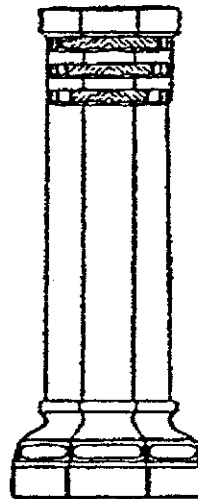
4. Lighting

A unified lighting concept utilizing thematic fixtures has been developed for the Village Core District. A low intensity, twelve (12) foot high pole mounted fixture is used along the Village Entry, Village Core Promenade, Village Core, Residential Promenade Streets and paseos. An eighteen to twenty two (18-22) foot high, pole mounted fixture is specified for parking areas. Exhibit 15 illustrates Village Core lighting fixtures. The following general lighting guidelines apply to the Village Core District:

- Lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians
- Lighting shall be directed, or shielded if necessary, to avoid intrusion into residential neighborhoods and the Salt Creek habitat
- Lighting shall be attractive and suitable to the design theme of Village Eleven
- Lighting shall be manufactured of high quality materials that are visually compatible with design elements, such as street furniture and architecture
- Specialty street lights may be provided by the San Diego Gas and Electric Company. The preferred design is an acorn style lamp on top of a simulated concrete pole. Specialty lighting shall be maintained by a Community Facilities District or a Homeowner's Association
- A hierarchy of lighting levels and lighting fixtures will be used for street lights. Village entry and core streets will use taller and brighter fixtures. Residential street lighting will be smaller scale with lower lighting levels
- Specialty lighting along pedestrian corridors shall be spaced for human scale. Examples are low pole lighting, bollard lighting, and ground-level lighting
- Accent lighting may be used on all permanent monument or project signs and may consist of uplights, downlights, spotlights, pole lights, bollards, or bar lights.
- Accent lighting is allowed for focal features, such as fountains, trees, overhead structures, or other elements that would provide an aesthetic or safety benefit.
- Accent lighting should be limited to focal points. Subtle lighting should take precedence and over-lighting should be avoided
- Play field lights, if provided, should provide adequate illumination directed to the play area and shielded from intruding into residential areas



12- Foot Pedestrian Lights



Bollards

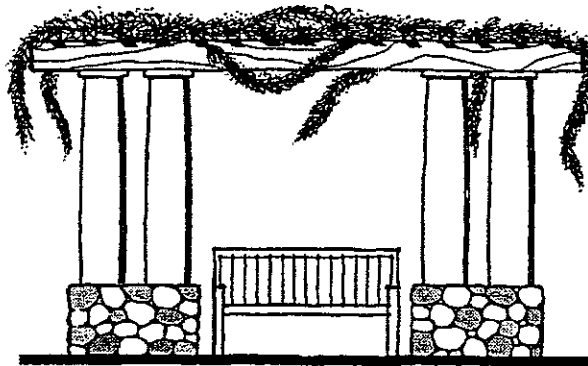
Note: Lighting fixture model, color and finishes to be as specified by Phase 1 improvement plans.

Exhibit 15
Conceptual Specialty Lighting Styles

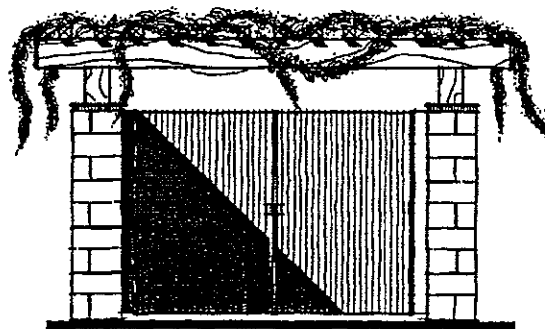
5. Furnishings

Street furnishings make an important contribution to the pedestrian-oriented village. Some furnishings, such as lighting, are necessary simply to use the outdoor space. Other furnishings, such as benches and trash receptacles, are enhancements that encourage people to walk and use the outdoor spaces. Exhibit 16 illustrates transit structures and trash enclosures and Exhibit 17 illustrates street furnishings. The following are design guidelines for furnishings:

- All street furnishings in the village will be designed or selected to promote the village design theme and will be used consistently throughout the village.
- Benches, bicycle racks, trash receptacles and tree grates will be selected to be compatible with the design theme.
- Transit shelters, trash enclosures, and special features, such as fountains, will be designed similarly to the village monument features.
- Trash and recycling receptacles shall be designed in accordance with the City of Chula Vista's policies for Recycling and Solid Waste Guidelines.

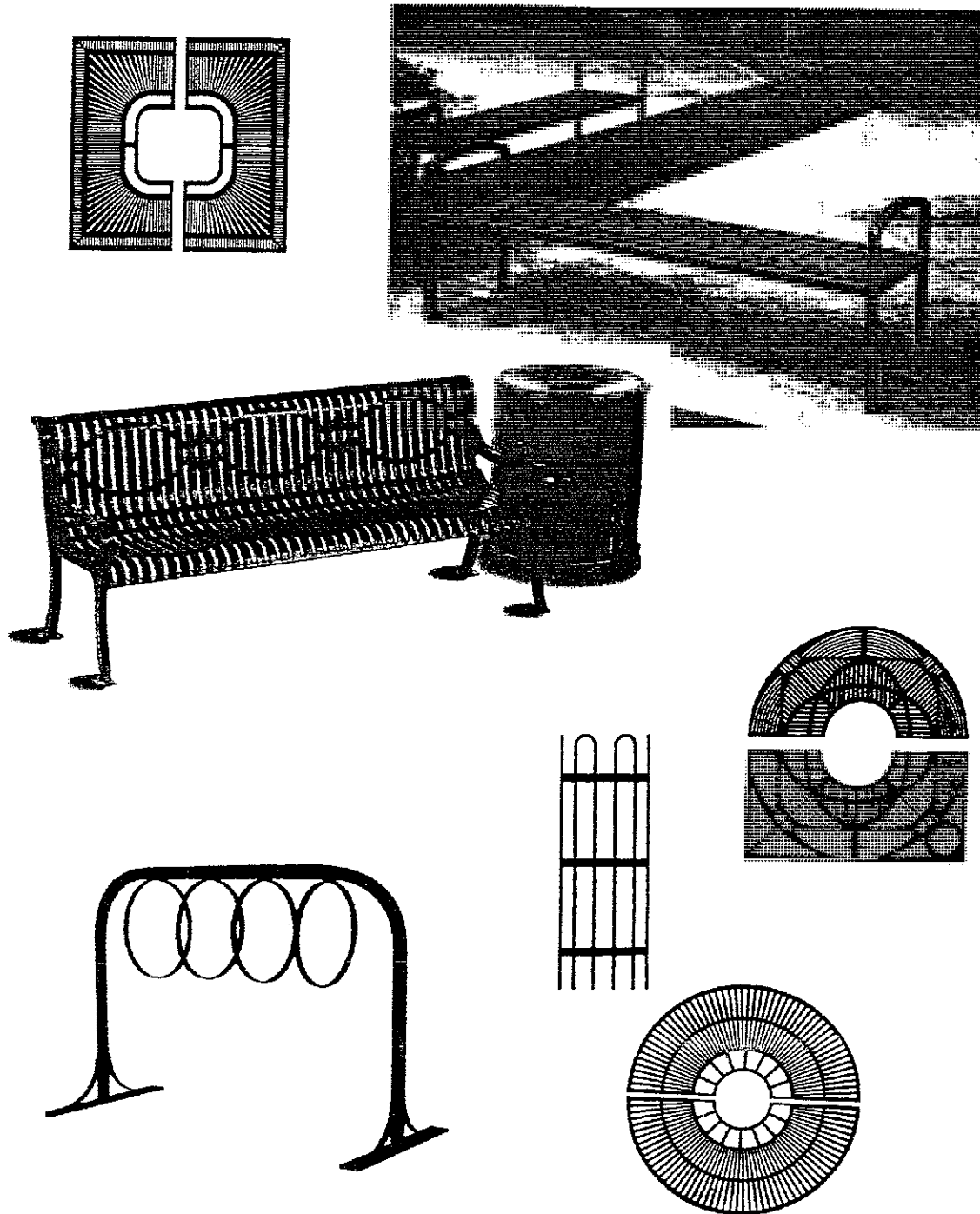


Transit shelter - cement columns with stucco finish and wood trellis
Column bases are Utah Desert Rubble stone



Masonry trash enclosure with wood or metal gates and wood trellis

Exhibit 16 Transit Shelters & Trash Enclosures



Note: Furnishing models, colors and finishes to be as specified by CPF 1 and PRF landscape plans.

Exhibit 17
Street Furnishings

6. Signage

Sign design in the Village Core will be consistent with the overall village design theme. Signs within the Village Core may consist of individual project monument signs, individual tenant signs and directional signs. Sign criteria governing the locations, number and size of such signs as well as design standards are provided in the Village Eleven Planned Community District Regulations, Comprehensive Sign Regulations Section II 3 9 and the Planned Sign Program for Village Eleven (File No. PSP-03-09).

Planned Signage Program

A Planned Signage Program is required to be approved concurrently with or as a condition of approval of the Site Plan and Design Review for the Mixed-Use/Commercial, Community Purpose Facility and Multi-family Residential uses. The purpose of the program is to integrate signs with the proposed Village Eleven architectural and landscaping design guidelines. This shall be achieved by requiring signs that:

- Use the same background color
- Utilize no more than three different colors per sign for lettering
- Utilize consistent structural support and materials for signs
- Utilize a landscape setting, logos, color scheme or other methods consistent with the SPA Plan and approved by the Zoning Administrator to convey a unique Village Eleven theme
- Use the same form of illumination for all signs, or by using varied forms of illumination determined to be compatible by the Zoning Administrator
- Vary from the above standards if the signage can be determined by the Zoning Administrator to be compatible with the surrounding community character

The Planned Signage Program must comply with the following criteria for the Mixed-Use/Commercial and Community Purpose Facility Sites summarized below. The Village Eleven Planned Community District Regulations and the Chula Vista Municipal Code provide complete criteria

Mixed-Use/Commercial

- Monument signs shall be consistent with the "Neighborhood Monument Sign" design as specified in the Village Eleven Planned Sign Program. Two ground or monument signs identifying the name of the mixed use center and no more than two anchor tenants. Monument signs for individual businesses are not permitted
- Ground or monument center identification sign maximum size is 50 square feet per side, and six feet in height. Sign locations are limited to one per street frontage

- One wall or marquee sign per street frontage, identifying the mixed use center and each individual tenant, consistent with CVMC Section 19 34 040. Marquee signs are limited to use in conjunction with an entry to a suite of tenants
- One hanging sign per tenant per street frontage. Hanging signs, utilizing a decorative sign suspended from a structure above a walkway or sidewalk on a decorative horizontal pole or awning. These signs are attractive as an alternative or supplement to wall signs in pedestrian walkways. Where they are used, wall and other types of signage should be reduced an equivalent amount to reduce sign clutter
- Sign sizes and locations are regulated pursuant to CVMC Section 19 34 040
- Hanging sign maximum size is 12 square feet per side, but should not interfere with or obstruct pedestrians, vehicle site distance or required landscaping. Hanging signs are to be located near the public entrance

Permitted Mixed-Use/Commercial Sign Types

A minimum of one type of the following twelve basic sign types approved for use within the Mixed-Use/Commercial site area shall be provided for each storefront with a public entrance. These basic sign types are described below:

Awning Signs

A variety of awning shapes and colors are encouraged. Where awnings are a part of the storefront design, signage can be applied to the awnings per the following criteria:

- Copy area shall be limited to not more than 40% of the aggregate awning area of the storefront.
- Awning graphics may be painted, silk-screened, pop-through neon, or back lighted translucent; however, awnings shall be made of non-translucent fabrics

Dimensional Wall Signs

Wall signs shall be designed to add character, style, and dimension to the storefront. Signs composed of a mixture of media are encouraged. The following criteria apply where dimensional wall signs are used:

- Sign cabinets, where used, shall not exceed 6 inches in depth

Painted Wall Signs

To provide design diversity, lettering and graphics may be painted directly on building walls. Painted signs may take the form of a border, patterned background, or illustration (e.g., trompe l'oeil). The following parameters shall apply:

- Flat, characterless block lettering is prohibited.
- Paint shall be high quality and fade-resistant.

Suspended Wall Signs in Archways

Suspended wall signs are for use as primary identification for storefronts that have arch shaped entrance areas. The design of the sign shall address or complement the shape of the storefront arch. The following requirements apply:

- Signs shall be rigidly attached to the lower lip of the arch in such a manner that the sign does not swing
- Signs shall be placed a minimum of 7 feet, 6 inches above street level

Plaque Signs

Plaques provide a smaller scale pedestrian-oriented sign that must be mounted directly on the building wall or door near the storefront entrance. Treatment of plaque signs shall be in accordance with the following criteria:

- Etched, inlaid or raised three-dimensional forms are encouraged
- Rustic or sandblasted signs shall be prohibited
- Appropriate materials include glass, metal, tile, granite, marble or wood with painted, polished or patina finish.

Blade Signs – Hanging or Projecting

Blade signs that are suspended or project perpendicularly to the storefront enhance the pedestrian experience. Blade signs shall incorporate expressive, non-traditional graphic forms. Playful combinations of geometric shapes are encouraged. The following requirements shall apply when blade signs are used:

- Signs shall be placed a minimum of eight (8) feet above street level
- Sign face area, exclusive of decorative bracket elements, shall not exceed ten (10) square feet
- Bracket design shall be highly creative and shall be integrated with the form of the sign face to create a unified design
- Rustic or sandblasted designs are prohibited.

Storefront Banners

Fabric banners attached to storefronts may serve as the primary tenant identity element. Parallel banners are prohibited. Vertical configurations are required in accordance with the following requirements:

- Banner shall project no more than 24 inches.
- Banners shall be secured to the building at both top and bottom edges
- Pedestrian buffers (e.g., benches or planters) shall be provided below banners that project at 7 ½ feet above street level or lower

Storefront Flags and Banners – Projecting

Flags and banners enhance the street scene concept by providing movement, color or a festive touch. Such flags and banners should be used only in conjunction with other storefront signage. The following requirements apply to commercial uses only:

- Flags or banners resembling "used car lot" pennants are prohibited
- No product, grand opening, or other advertising information may appear on flags or banners.
- All flags and banners shall be replaced when they show signs of fading or deterioration.

Window Signs

Window signs are intended to be pedestrian-oriented and may be located on transom glazing above the storefront entrance or in storefront windows to augment the display of

merchandise. Display window signs may be applied directly to the inside of the glass or suspended behind the glass. Lettering and graphics on glazed areas of the storefront shall conform to the following criteria:

- The total area of transom type signs shall be no larger than 50% of the transom area.
- Lettering and graphics on display windows shall not exceed 20% of the window area.
- Use of windows strictly as sign boards or backgrounds is prohibited.
- Window signs installed on the inside of the glass shall not be included in calculating the total minimum or maximum aggregate copy area per tenant storefront.
- Where window signs are back lighted, they shall be composed of translucent film or be screen printed.

Marquee Signs

Signs may be placed on or attached to an architectural projection or marquee to identify special tenant uses such as a gallery, specialty market, or restaurant. Marquee signs should contribute to the interest and vitality of the street scene. Signage may be applied to marquees per the following criteria:

- Individual letters may project above the top edge of the marquee a maximum of 12 inches.
- No sign or portions of signs shall be allowed to hang below the bottom edge of the marquee.

Paving Signs

Signs displaying the tenant name, logo or address may be incorporated into storefront paving of risers in accordance with the following parameters:

- Signs shall be designed to integrate with the paving material.
- Identification graphics on paving signs shall not project into the public right-of-way.
- Signs shall be flush with paving and relief shall be limited to 3/8 inch to avoid conflicts with pedestrian traffic.

Address Signs

Address signage should be treated individually for each tenant storefront. Varied solutions are encouraged: window addresses, addresses inset in pavement and address signs on doors or awnings. The following provisions shall apply:

- Each tenant shall provide an address sign at their primary entrance.
- Letter heights shall be 3 inches minimum and 6 inches maximum.
- Formatted address signs are prohibited.

Community Purpose Facility

- Monument signs shall be consistent with the "Neighborhood Monument Sign" design as specified in the Village Eleven Comprehensive Sign Plan. One ground or monument and one wall or marquee sign per street frontage, consistent with CVMC Section 19.34.040.
- One non-illuminated, freestanding symbol representative of a place of worship or spiritual growth.

- Size of signs or symbols not to exceed 6 feet in height or 32 square feet. Each sign face may not exceed 32 square feet.
- Locations pursuant to CVMC Section 19.34.040 and limit of one sign per street frontage.

Planned Signage Program Submittals

Preliminary Design Submittal and Review

The project owner or tenant shall submit two (2) sets of preliminary drawings of any proposed sign to the Master Developer or designated representative for review. The submittal must include:

- Storefront or building exterior elevations at 1/2" scale clearly identifying the materials and lighting and the size and location of each sign for which a concept design is being proposed.
- Scaled colored mock-up of the front elevation of each sign type indicating sizes, materials and lighting techniques.
- Materials, colors, details and form for each sign, as well as its integration into the overall storefront will be evaluated.

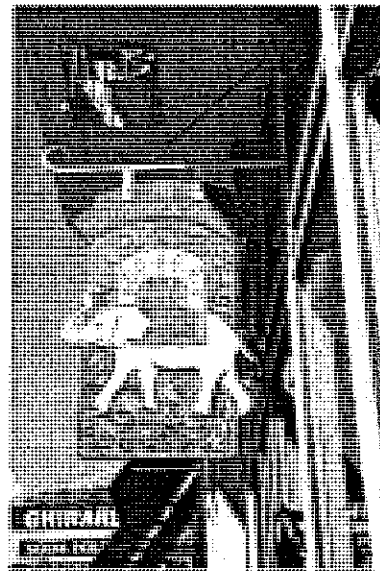
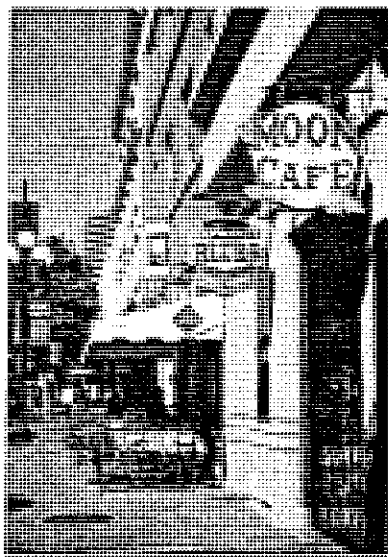
Submittals deemed unacceptable shall be revised and resubmitted before proceeding with final plans.

Final Design and Working Drawings

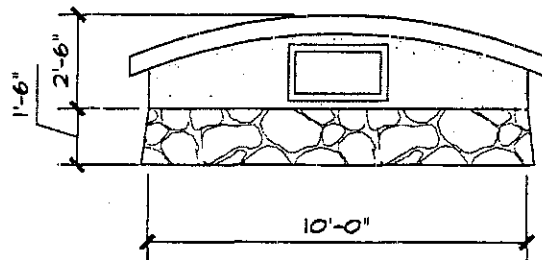
Once preliminary designs are approved, the owner or tenant may proceed with the submittal of final designs and working drawings. A full set of final plans must be approved by the Master Developer and City of Chula Vista prior to issuance of a sign permit, if required, pursuant to Section 19.60.030 of the Chula Vista Municipal Code. No alterations, additions or changes may be made without review and approval by the Master Developer and the City of Chula Vista.

The following plans and information shall be submitted in triplicate:

- Dimensioned scaled drawings depicting front elevations, side views and sections for all signs (including copy layouts).
- Specifications for materials, colors, finishes, coatings, typestyles, lighting techniques, means of attachment, structural elements and details.
- Storefront or building elevation showing exact location, size and placement of each sign on the building.



Wall Signs



Monument Sign

Exhibit 18
Signage Examples

D. VILLAGE SECONDARY RESIDENTIAL DISTRICT

The Village Secondary Residential District ("Residential District") surrounds and supports the urban character of the Village Core District. The design of the Residential District should be compatible with the Irving Gill design concepts of Village Eleven, primarily through the design that promotes the pedestrian-oriented village concept. Residential development in Village Eleven may include a variety of housing types, ranging from small lot, detached homes, to medium to high-density townhouses and flats.

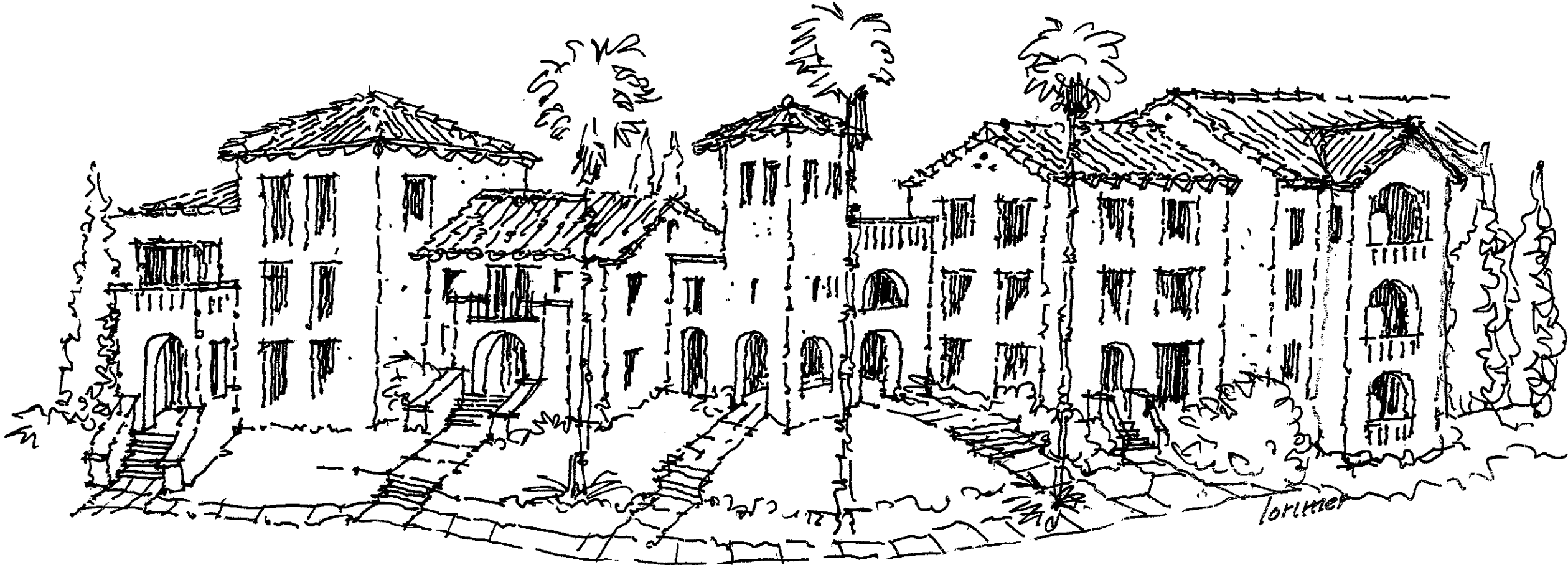
1. Building Siting and Urban Character

The site planning and plotting of residential buildings will contribute to the pedestrian-oriented village concept. Site planning which focuses on the pedestrian includes design that orients entries towards village core streets and minimizes views to garages and parking areas. The following guidelines are provided for siting and building plotting of residential developments.

- Developments fronting on to village core streets shall be oriented towards the street with reduced setbacks, multiple entries and pedestrian connections to ground floor units
- Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways in the Irving Gill-inspired village design theme
- Building orientation should consider indoor and outdoor privacy, noise, solar access and overall aesthetic appearance
- Where grade differentials occur between the street and a development, the differential may be used to create separation between the public street and private living space. Interesting entries incorporating steps, porches or landings may be integrated into the design
- Developments adjacent to major streets surrounding the village and adjacent to village entry streets may be buffered with sound and privacy walls. Walls and view fences located along village entry streets shall incorporate inviting entry openings for both pedestrians and cars.
- The building architecture that is visible beyond sound and privacy walls shall be well-articulated with pedestrian-oriented features, such as second story windows and balconies
- On village core streets, the use of solid masonry walls should be minimized and used primarily between buildings to screen parking areas or to enclose private entries and courtyards.
- Parking and vehicular access shall be located to the rear or within each development and separated from the pedestrian-oriented street frontage
- Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors
- Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.

- All surface and covered parking within multi-family areas shall be separated from village streets, tops or toes of slopes, patios or courtyards with a landscaped buffer. The buffer shall include screening elements such as low walls or masses of shrubs to screen headlights and glare from reflective car surfaces.
- All utilitarian aspects of development, such as mechanical equipment, storage, trash and recycling collection areas shall be integrated into the site design so as not to be visible from pedestrian and public view areas to the extent possible.
- The location and design of trash and recycling facilities shall be in conformance with the City of Chula Vista's Recycling and Solid Waste Guidelines.

The following exhibits illustrate design concepts for the Village Core District. Exhibit 19 illustrates the site design and building focal point design for projects on street corners, Exhibit 20 illustrated pedestrian oriented architectural features and Exhibit 21 illustrates mandatory design elements in the Village Secondary Residential District.



FEATURES:

- Corner Focal Point
- Pedestrian Entry From Street

Exhibit 19
Corner Design Features

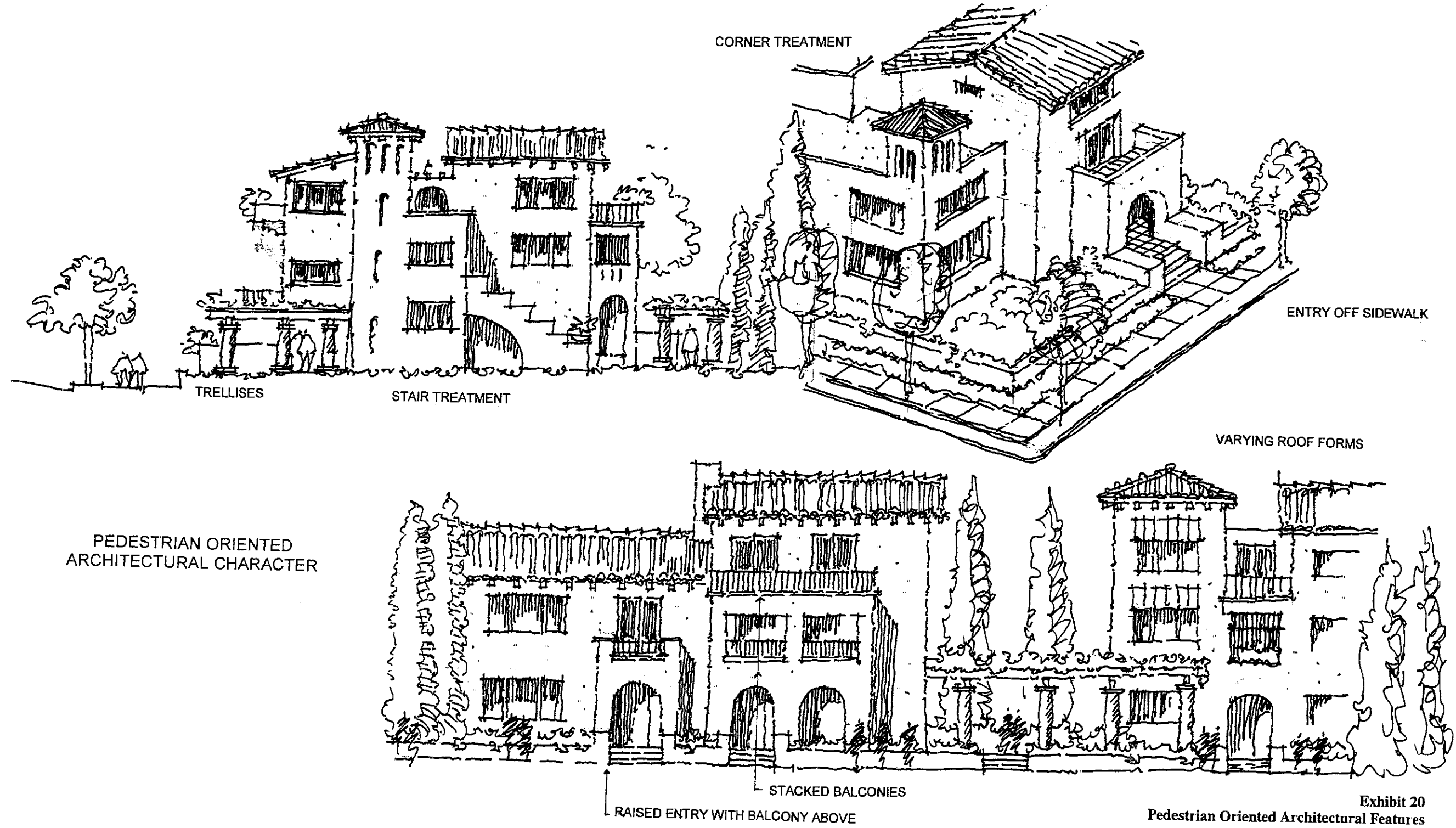
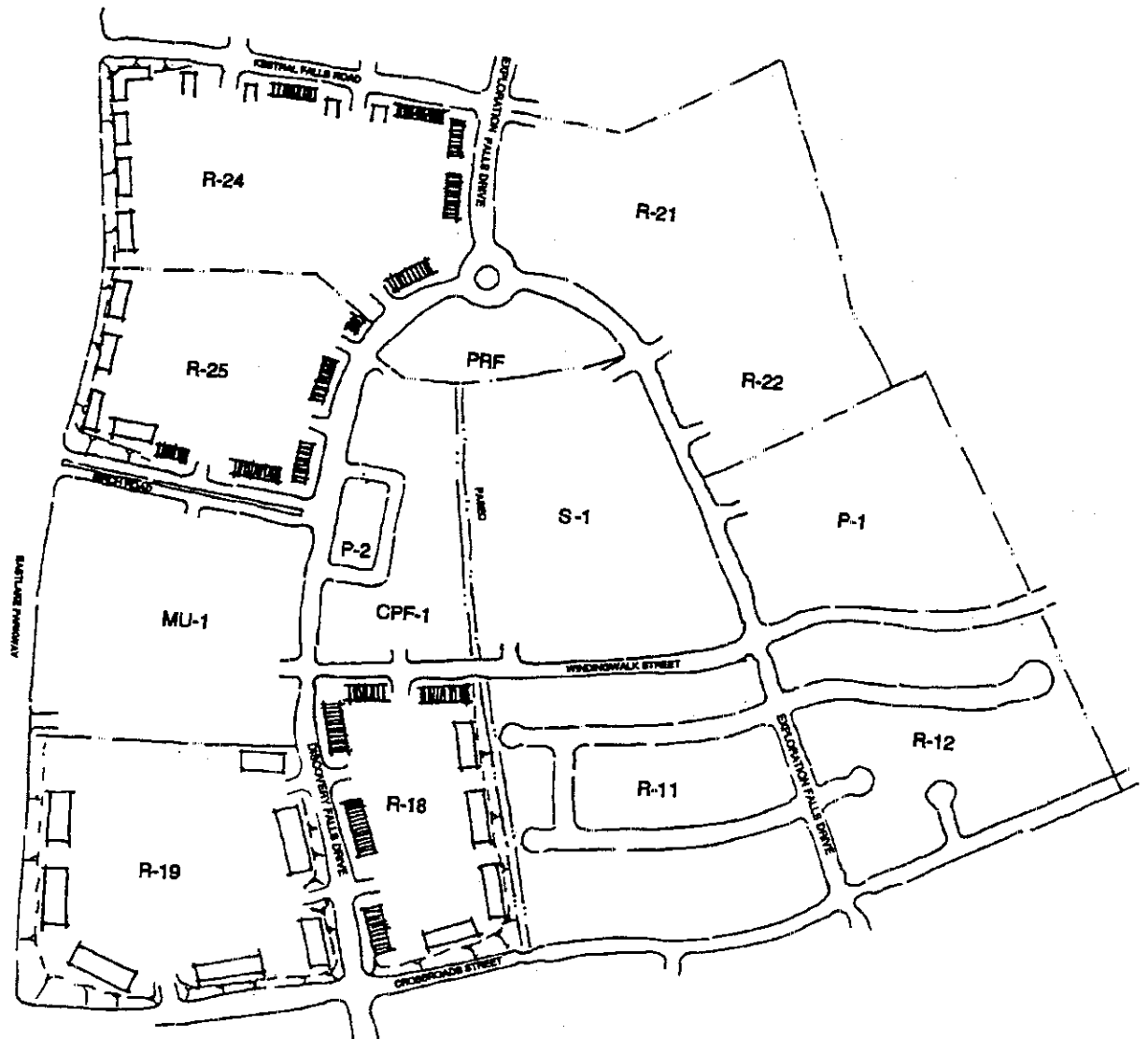


Exhibit 20
Pedestrian Oriented Architectural Features




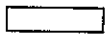
-  Front Elevation With Pedestrian Entry
-  Architecturally Treated Building

Exhibit 21
 Mandatory Elements for Village Secondary Residential District

2. Architecture

As described in the Village Eleven Design Plan, the design theme is inspired by the architecture of Irving Gill. The design intent is not to replicate Gill architecture, but to utilize his design concepts to establish a theme for Village Eleven. Gill emphasized the relationship between indoor and outdoor spaces to create outdoor rooms through the use of pergolas, arbors, colonnades, porches and adjunct building masses. The building façade design contributes to the pedestrian-oriented character of the village, so particular attention should be directed to street facing or other highly visible building façades. The following guidelines shall apply to those development sites within the Village Core.

- Landmark architecture shall be located at all focal points and major intersections within the village. “Landmark architecture” should be a distinctive element that creates an accent or focal point, such as a tower.
- Primary building entries and individual residential unit entries shall be oriented to the street to the extent possible.
- Buildings shall be arranged to create outdoor rooms, such as courtyards, wherever possible.
- Exterior building elevations shall incorporate a range of scale-defining elements that relate larger building masses to the pedestrian. Such elements include columns, archways, doorways, upper floor windows and balconies.
- Overhead features that create a sense of enclosure and encourage visitors to linger and enjoy the area may be incorporated into the design. Features such as canopies, arcades and roof overhangs create the sense of enclosure and also protection from sun and rain.
- Building height and massing shall be varied.
- Roof forms shall be compatible with the architectural style and create skyline interest.
- Architecture along the same street or within a complex shall include buildings of similar but varying height and share one or more distinctive element, such as materials, window and door style, detailing, porches, arcades, overhangs, roofing, color, etc.
- Decorative detailing shall be consistent with the overall architectural style and be used as accents. Detail elements include arches, balconies, balustrades, chimneys, cupolas, ceramic tile, moldings, reveals, wrought iron, hand rails, windowsills, finials, and lighting fixtures.
- All utilitarian aspects of development, such as mechanical equipment, gutters, downspouts, storage and refuse collection areas shall be integrated into the building design so as not to be visible from pedestrian and public view areas to the extent possible.
- Exterior staircases shall be compatible with the building architecture.
- Exterior staircases shall be visually perceived as integral to the building or as a significantly defined architectural accent.
- Side and rear elevations of buildings exposed to view shall be articulated or enhanced to provide a pleasing appearance from public or neighboring use views.
- Carports and freestanding garages shall be architecturally treated and designed to match the style of the residential buildings.

- Gutters and downspouts shall be integrated into the architecture
- Chimneys should be of varying heights and designed to create visual interest

The following feature-specific guidelines apply to the architecture within the District:

Arcades and Loggias

- Arcades and loggias are a major architectural element and should be used to support the design theme of interconnecting indoor and outdoor spaces
- Traditional ratios and proportions between columns, the diameter and height of columns and the width of the arch need to be carefully considered.

Arches

- Full or flat arches of appropriate scale are preferred over pointed arches.
- Arches and their supports shall convey appropriate depth
- Careful consideration shall be given to the wall surface above the arch, so that sufficient wall surface is present between the key of the arch and the next architectural element above

Awnings

- Canvas awnings should generally be simple angled surface, preferably with open sides and plain or decorative valances
- Horizontal segmented curved awnings and domed awnings are generally prohibited. Curved awnings may only be used in those instances where they are appropriate to an arched opening. The awning should be placed within the arch so that the form and depth of the arch is still visually apparent
- Internally lit awnings are prohibited.

Exterior Stair case

- Exterior staircases shall be compatible with the architectural character of the building.
- Exterior staircases shall visually read as a volume integral to the building or as a significant defined architectural accent

Ground Mounted Equipment

- Small ground mounted equipment shall not be readily visible from public view. Where the equipment is potentially visible from public view, it shall be screened with an enclosure that is consistent with the architecture of the building.
- The equipment shall not be a multiple type equipment installation that requires a large enclosure.

Ground Surfaces

- Surfaces shall be broken up into appropriately scaled geometric patterns that are related to the design of the building, to the general area within which the building is located or to the plantings surrounding the surface.
- Large uninterrupted paved horizontal surfaces shall be avoided. If such cases occur, the surfaces shall be broken up and closely coordinated with the design of adjacent structures

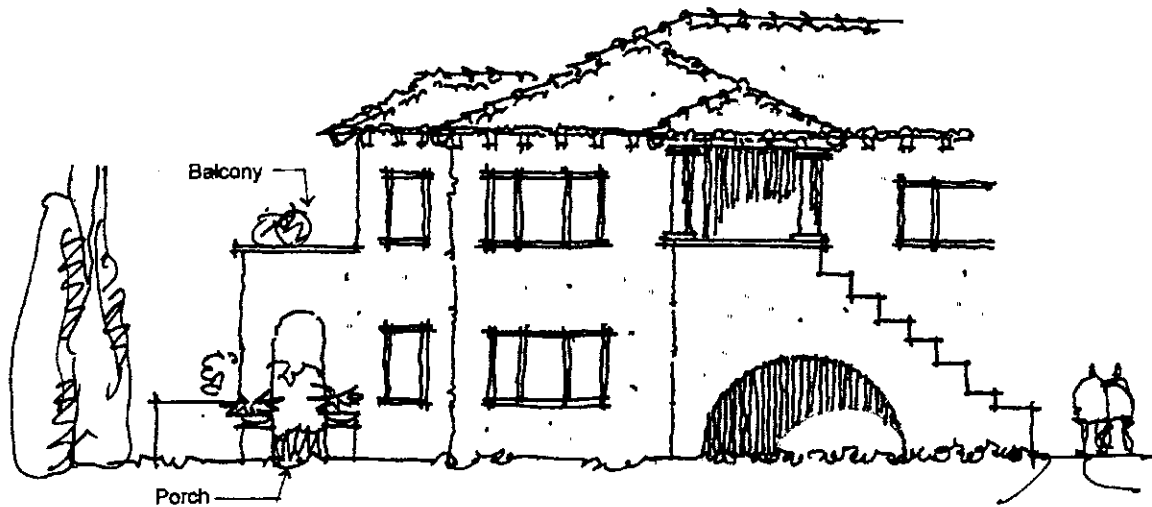
Roofs

- Roof forms shall be appropriate to the style of the building.
- Flat roofs shall be surrounded by a parapet of a height that will screen any rooftop equipment
- Projecting cupolas, towers, varied chimney forms or similar features are required for landmark buildings. In many cases such roof projections can be used to house ventilation and other heating and cooling equipment.
- When solar collectors are used, they shall be either integrated into the roof surface, placed behind projecting parapets or fully enclosed into roof wells

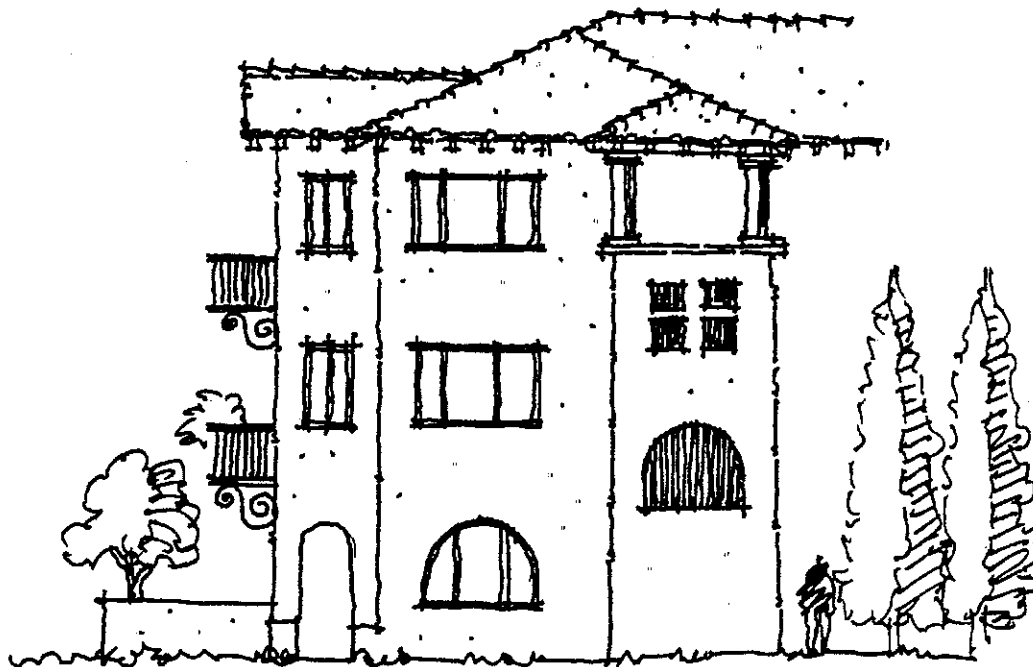
Window and Door Openings

- Openings shall be designed to suggest the thickness of traditional masonry wall surfaces
- Doors and windows that occur in the openings shall be recessed away from the outer wall surfaces
- Mullions shall break up glass areas so that their scale is compatible with the buildings.
- Large unbroken expanses of glass or other shiny or reflective surfaces are prohibited.

Exhibits 22 through 25 illustrate architectural design for the Village Secondary Residential District. Table 4 provides a list of preferred, acceptable and prohibited building materials and finishes.



2-story stair element incorporating
exterior stairs into building architecture



3-story stair element incorporating
exterior stairs into building architecture

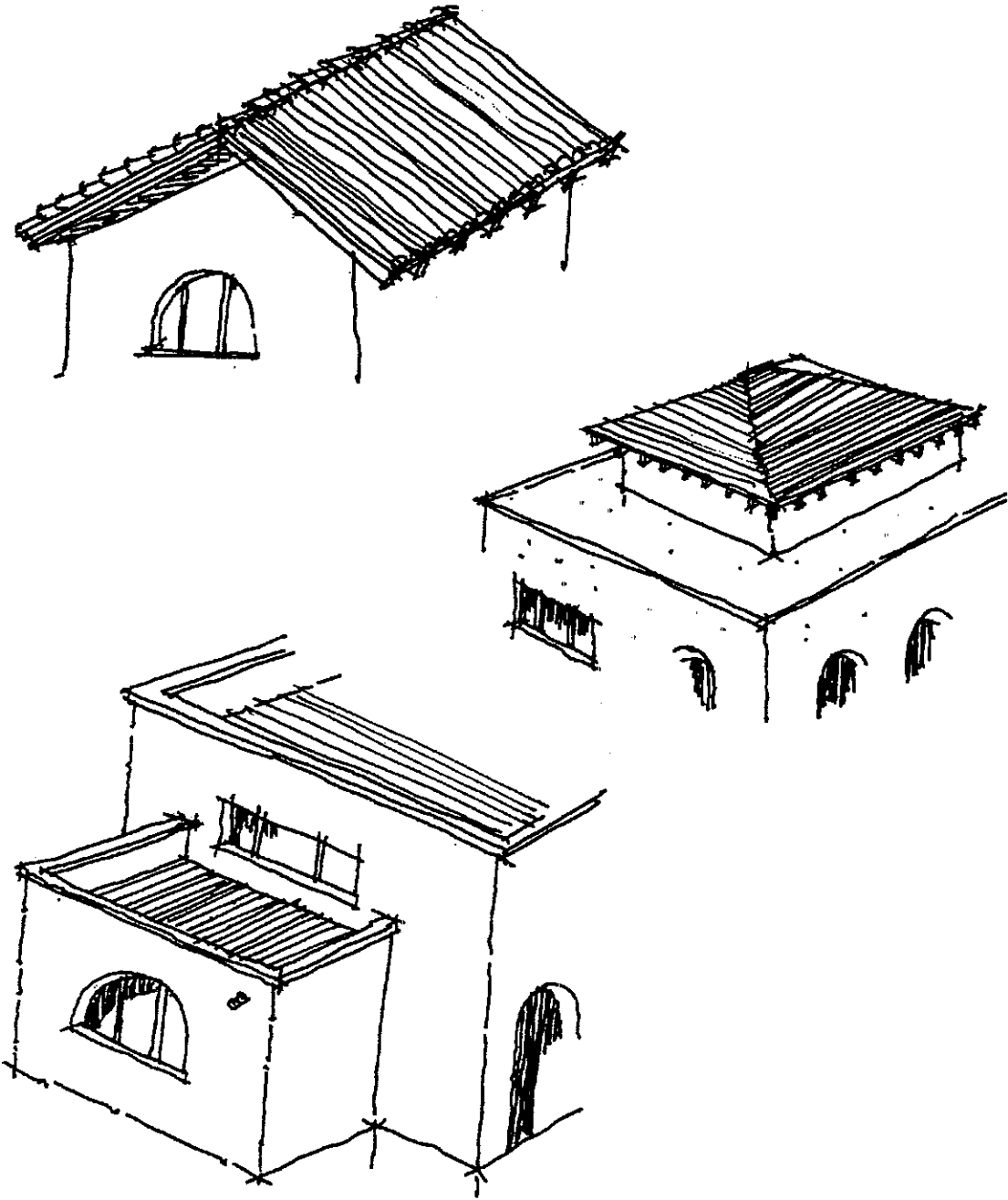


Exhibit 23
Preferred Roof Forms

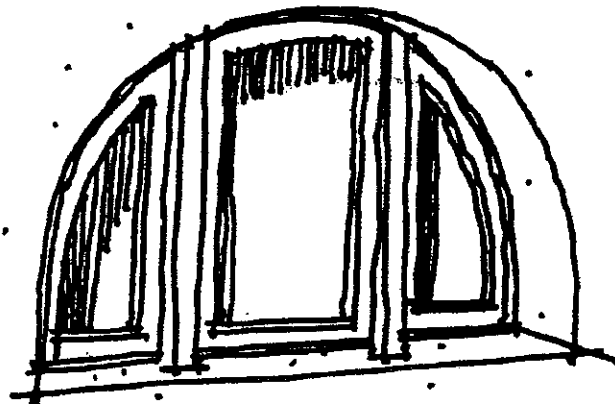
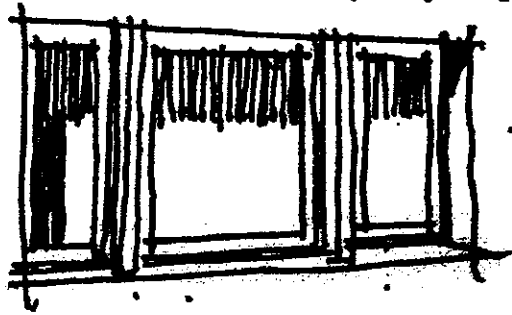


Exhibit 24
Preferred Window Configurations

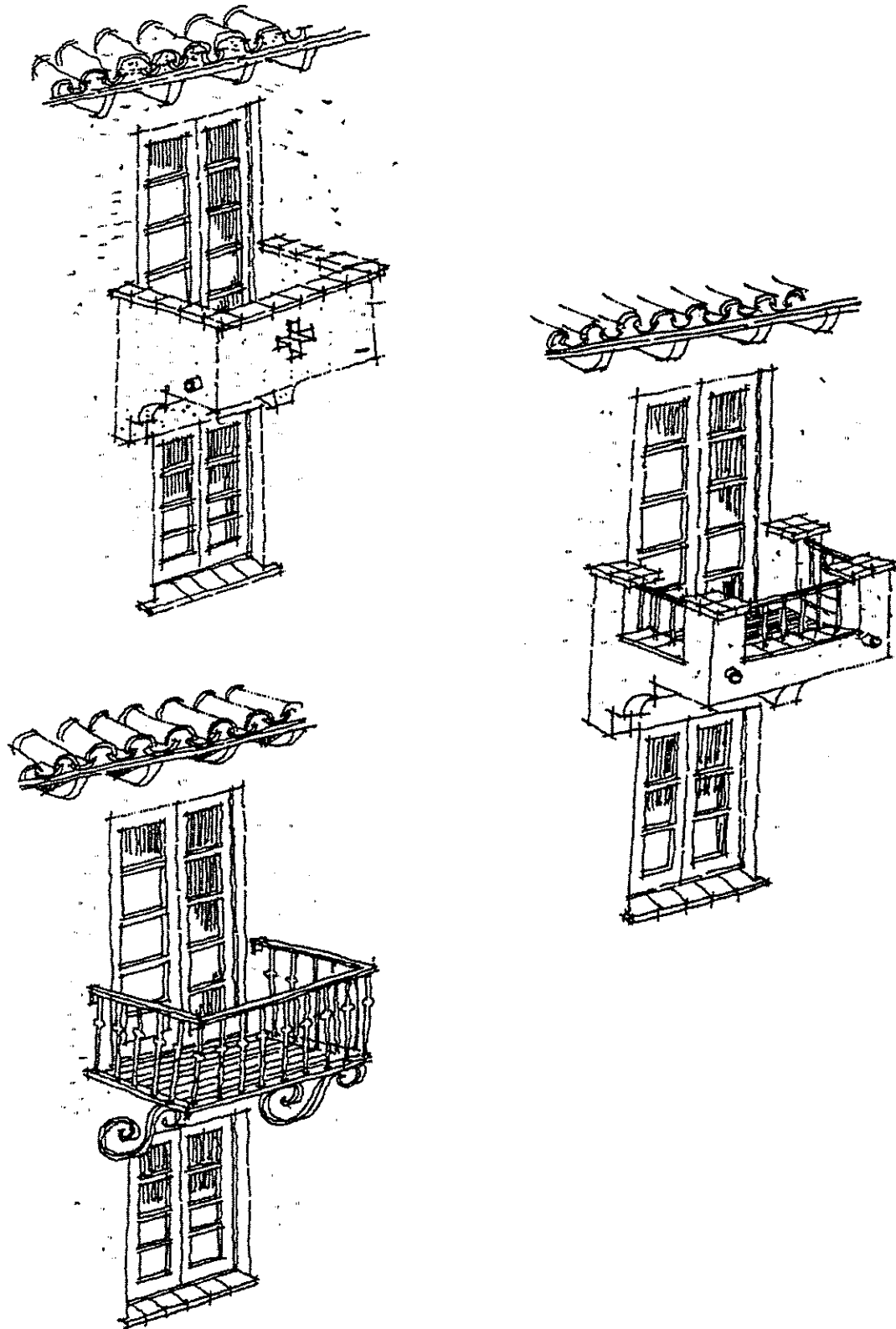


Exhibit 25
Balcony Treatments

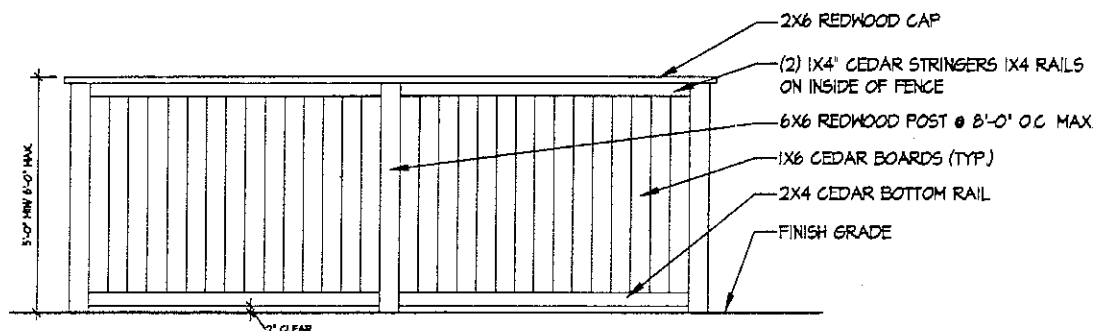
TABLE 4 Village Secondary Residential District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
ROOFING				
Flat Concrete	X			Warm Colors
Galvanized Corrugated Metal		X		
Galvanized Metal Fascia	X			
Wood Fascia	X			
Slate		X		
Copper		X		
S Barrel Tile		X		
Pan Mission Tile		X		
Colored Ceramic Tile		XX		For accent use/and or patterned roof
Bitumen		X		Flat surfaces only
Wood Shake			X	
Wood Shingle			X	
Asphalt Shingle			X	
EXTERIOR WALLS/SIDING				
Community Stone	X			Otay Ranch Utah Desert stone
Community Block	X			
Galvanized Corrugated Metal		X		24 gauge minimum
Brick Veneer		X		
Wood Battens		X		Horizontal or vertical
Wood Shingle			X	
Chain Link			X	(Allowed in City Park)
STUCCO				
Smooth Hand-Trowel Finish	X			
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Wood Shuttered		X		Satin finish or painted, warm colors
Large Expanse of Glass			X	
STOREFRONT WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Large Expanse of Glass			X	
AWNINGS				
Canvas	X			Simple angled; open sided preferred
Sheet Metal			X	Anodized
Plastic			X	
Domed			X	
Internally Lit			X	

TABLE 4 (continued) Village Secondary Residential District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
TRELLISES				
Metal	X			Anodized
Wood		X		Satin finish, warm colors
ARCADES				
Community Stone	X			Otay Ranch Utah Desert stone
Wood		X		Satin finish, warm color
Stucco Finish		X		Smooth hand trowel
Ceramic Tile Accents		X		Accents only
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
DOORS				
Wood Framed	X			Satin finish or painted, warm colors
Metal Framed		X		Galvanized metal
Louvered			X	Galvanized metal
Roll-Up			X	Galvanized metal, non-street facing
Steel		X		Galvanized metal and painted
Glass			X	Galvanized metal frame
Non-Tempered Glass			X	Traditional character
COLUMNS				
Community Stone	X			Otay Ranch Utah Desert
Wood		X		Stain finish, warm colors
Concrete		X		Smooth hand-trowel finish
Metal		X		Anodized
Ceramic Tile Accents		X		Accents only
Raw Metal			X	
GATES				
Metal	X			Galvanized and painted
Wrought Iron		X		
Tubular Steel	X			
Raw Metal			X	
Wood			X	
Chain Link			X	(Allowed in City Park)

3. Landscape Architecture

Landscaping consisting of both hardscape and softscape treatments shall reinforce the urban character of the District and reflect ordered, formal treatments rather than random, natural appearing solutions. Design guidelines for landscape architecture are as follows:

- The creation of outdoor "rooms," such as courtyards, outdoor dining areas, plazas, paseos, formalized walkways, arbors, and arcades shall be emphasized to support the Irving Gill design theme.
- Amenities such as enhanced paving, seating areas and lighting shall be incorporated into the landscape to create an atmosphere that is appropriate to shopping, socializing and recreation. Hardscape material use is described in Table 5.
- The use of steps, retaining walls and structures for grade separations in this District is preferred over landscaped banks to emphasize the urban character and to provide defined spaces such as for seating.
- Tree design use shall include a mix of skyline, shade and colorful accent trees. A list of approved trees is provided in Table 6 [the approved list of street trees is provided in Table 3].
- Pedestrian scaled plantings, such as colorful groundcovers, container plantings and vine covered arbors will enliven the area. A list of approved trees and shrubs is provided in Table 6.
- Parking area landscaping shall be in conformance with this Master Precise Plan (see Exhibit 13), the Village Eleven Design Plan and the City of Chula Vista Design Manual and Landscape Manual.
- Parking areas shall be screened by a landscape buffer that may include berms, low walls or shrubs approximately 3 feet in height to block headlight glare yet provide visual access into the areas to enhance security.
- Trees shall be planted in parking areas to provide shade and reduce glare from paving and parked vehicles. Planters shall be located in the parking areas to visually break up the expanse of paving.
- All village perimeter walls and fencing shall be designed in conformance with the Village Eleven Comprehensive Wall and Fence Plan (see Exhibit 14). Table 5 lists additional wall and fencing materials that may be used within individual developments.



Residential Neighborhood Wood Fence

TABLE 5 Village Secondary Residential District Hardscape and Wall and Fence Materials/Finishes	
PAVING	
<u>Permitted Materials:</u>	
<ul style="list-style-type: none"> • Natural Stone (including but not limited to sandstone, limestone, fieldstone, flagstone, granite and slate) • Exposed aggregate, natural stone color • Natural stone unit pavers. • Colored concrete (natural stone colors) with textured finishes • Stamped or patterned concrete (natural stone colors) • Fired clay pavers • Pre-cast concrete pavers (natural stone finishes and colors) • Terrazzo • Turf block, Grass Crete or similar • Ceramic Tile Accents 	
<u>Prohibited Materials:</u>	
<ul style="list-style-type: none"> • Predominantly black or dark gray pavement • Intense primary colored paving • Common gravel • Asphalt or asphaltic concrete • Decomposed granite (Allowed in City Park) 	
WALLS AND FENCING	
<u>Permitted:</u>	
<ul style="list-style-type: none"> • Village Eleven Perimeter Theme Masonry • Adobe Brick (coated) • Natural Stone (Otay Ranch Utah Desert or similar) • Block or steel framed stucco (smooth, dash coat, bumpy-smooth/Santa Barbara style, combed or sand finish only) • Pre-cast concrete • Brick • Slump stone (coated) 	
<u>Prohibited:</u>	
<ul style="list-style-type: none"> • Wood structural walls • Other "styles not in keeping with the architectural theme" 	
<u>Permitted:</u>	
<ul style="list-style-type: none"> • Wrought Iron (with approved finishes) • Decorative steel or aluminum (with approved finishes) • Decorative wood 	
<u>Prohibited:</u>	
<ul style="list-style-type: none"> • Chain Link (Allowed in City Park) • Wood lath • Split rail • Plastic • Other "styles not in keeping with the architectural theme" 	

TABLE 6	
Village Secondary Residential District	
Approved Plant List	
<u>Trees (See Table 3 for Approved Street Tree List)</u>	
Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus sideroxylon rosaea	Red Ironbark (Requires City Arborist review)
Gleditisa tricanthos inermis	Honey Locust
Jacaranda acutifolia	Jacaranda
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Pyrus kawakamii	Evergreen Pear
Prunus calleryana 'Bradfordii'	Bradford Pear
Tipuana tipu	Tipu Tree (Requires City Arborist review)
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	True Green Elm
<u>Shrubs</u>	
Agapanthus africanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica'	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Cuphea hyssopifolia	Breath of Heaven
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii'	Escallonia
Lantana spp	Lantana
Lavendula spp	Lavender
Ligustrum 'Texanum'	Texas Privet
Limonium perezii	Statice
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'Wheeleri'	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

4. Lighting

A unified lighting concept utilizing thematic fixtures has been developed for the Village Core District. A low intensity, twelve (12) foot high pole mounted fixture is used along the Village Entry, Village Core Promenade, Village Core, Residential Promenade Streets and paseos. An eighteen to twenty-two (18-22) foot high, pole mounted fixture is specified for parking areas. Exhibit 15 illustrates Village Core lighting fixtures. The following general lighting guidelines apply to the Village Core District:

- Lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians
- Lighting shall be directed, or shielded if necessary, to avoid intrusion into residential neighborhoods and the Salt Creek habitat
- Lighting shall be attractive and suitable to the design theme of Village Eleven
- Lighting shall be manufactured of high quality materials that are visually compatible with design elements, such as street furniture and architecture
- Specialty street lights may be provided by the San Diego Gas and Electric Company. The preferred design is an acorn style lamp on top of a simulated concrete pole. Specialty lighting shall be maintained by a Community Facilities District or a Homeowner's Association
- A hierarchy of lighting levels and lighting fixtures will be used for street lights. Village entry and core streets will use taller and brighter fixtures. Residential street lighting will be smaller scale with lower lighting levels.
- Specialty lighting along pedestrian corridors shall be spaced for human scale. Examples are low pole lighting, bollard lighting, and ground-level lighting
- Accent lighting may be used on all permanent monument or project signs and may consist of uplights, downlights, spotlights, pole lights, bollards, or bar lights
- Accent lighting is allowed for focal features, such as fountains, trees, overhead structures, or other elements that would provide an aesthetic or safety benefit
- Accent lighting should be limited to focal points. Subtle lighting should take precedence and over-lighting should be avoided
- Play field lights, if provided, should provide adequate illumination directed to the play area and shielded from intruding into residential areas.

5. Furnishings

Street furnishings make an important contribution to the pedestrian-oriented village. Some furnishings, such as lighting, are necessary simply to use the outdoor space. Other furnishings, such as benches and trash receptacles, are enhancements that encourage people to walk and use the outdoor spaces. Exhibits 16 and 17 illustrate Village Core street furnishings. The following are design guidelines for furnishings:

- All street furnishings in the village will be designed or selected to promote the village design theme and will be used consistently throughout the village.
- Transit shelters, trash enclosures, and special features, such as fountains, will be designed similarly to the village monument features
- Benches, bicycle racks, trash receptacles and tree grates will be selected to be compatible with the theme
- Trash and recycling receptacles shall be designed in accordance with the City of Chula Vista's policies for Recycling and Solid Waste Guidelines.

6. Signage

Sign design in the Village Secondary Residential District shall be consistent with the overall village design theme. Signs within the District may consist of individual project monument signs, individual project wall signs and directional signs. Sign criteria governing the locations, number, size and design standards are provided in the Village Eleven Planned Community District Regulations and the City Zoning Ordinance

Planned Signage Program

A Planned Signage Program is required to be approved concurrently with or as a condition of approval of the Site Plan and Design Review for Multi-family Residential uses. The purpose of the program is to integrate signs with the proposed Village Eleven architectural and landscaping design guidelines. This shall be achieved by requiring signs that:

- Use the same background color
- Utilize no more than three different colors per sign for lettering
- Utilize consistent structural support and materials for signs
- Utilize a landscape setting, logos, color scheme or other methods consistent with the SPA Plan and approved by the Zoning Administrator to convey a unique Village Eleven theme
- Use the same form of illumination for all signs, or by using varied forms of illumination determined to be compatible by the Zoning Administrator
- Vary from the above standards if the signage can be determined by the Zoning Administrator to be compatible with the surrounding community character

The Planned Signage Program must comply with the following specific criteria for the Multi-family Sites. Some reference is made to the Chula Vista Municipal Code.

- Monument signs shall be consistent with the "Neighborhood Monument Sign" design as specified in the Village Eleven Comprehensive Sign Plan. One ground or monument sign and one wall sign identifying the name of the development.
- Wall mounted signs shall be incorporated into entry walls and located on or both sides of the entry.

Planned Signage Program Submittals

Preliminary Design Submittal and Review

The project owner or tenant shall submit two (2) sets of preliminary drawings of any proposed sign to the Master Developer or designated representative for review. The submittal must include:

- Storefront or building exterior elevations at 1/2" scale clearly identifying the materials and lighting and the size and location of each sign for which a concept design is being proposed.
- Scaled colored mock-up of the front elevation of each sign type indicating sizes, materials and lighting techniques
- Materials, colors, details and form for each sign, as well as its integration into the overall storefront will be evaluated

Submittals deemed unacceptable shall be revised and resubmitted before proceeding with final plans.

Final Design and Working Drawings

Once preliminary designs are approved, the owner or tenant may proceed with the submittal of final designs and working drawings. A full set of final plans must be approved by the Master Developer and City of Chula Vista prior to issuance of a sign permit, if required, pursuant to Section 19.60.030 of the Chula Vista Municipal Code. No alterations, additions or changes may be made without review and approval by the Master Developer and the City of Chula Vista.

The following plans and information shall be submitted in triplicate:

- Dimensioned scaled drawings depicting front elevations, side views and sections for all signs (including copy layouts).
- Specifications for materials, colors, finishes, coatings, typestyles, lighting techniques, means of attachment, structural elements and details.
- Building elevation showing exact location, size and placement of each sign on the building.

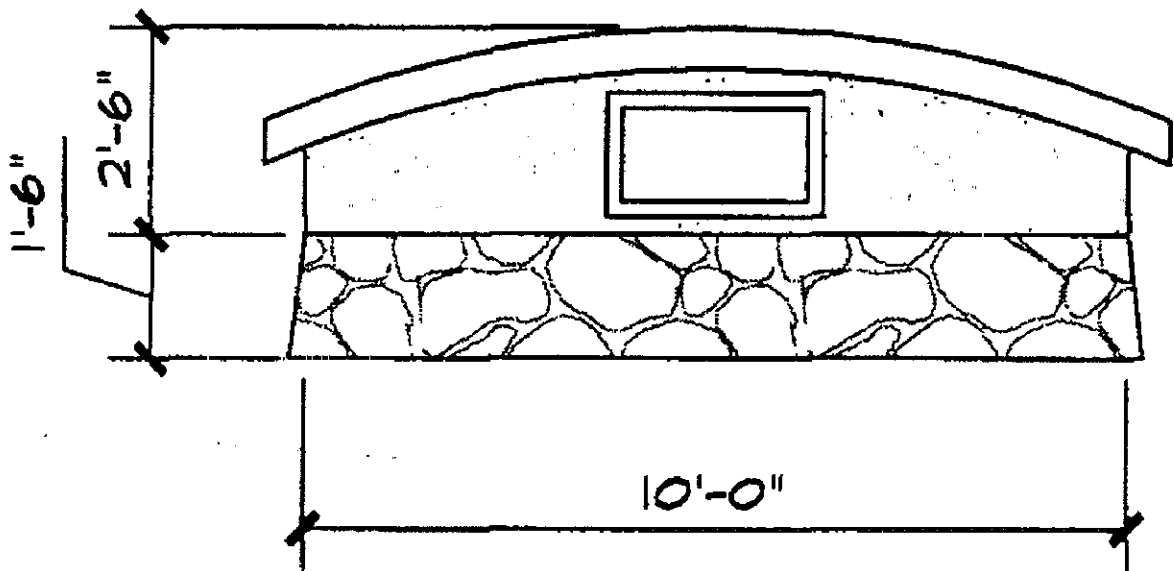


Exhibit 26
Village Eleven Neighborhood Monument Sign

V. DESIGN REVIEW CHECKLISTS

This section summarizes the important site planning and design issues for each of the various Individual Precise Plan (Site Plan) areas within the Village Core. They do not address phasing of development construction responsibility or other important implementation or site development issues not addressed in this Master Precise Plan. These issues will arise in the review of each Individual Precise Plan (Site Plan) submittal and are addressed in the Village Eleven SPA Plan, PFFP, Development Agreement and/or other adopted planning documents.

Although the Village Core will function as a unified component of Village Eleven, specific areas shall incorporate specific design concepts based on land use and/or geographic location. Each parcel should reflect the vehicular and pedestrian elements depicted on the following Exhibits:

- Exhibit 3, Mandatory Master Precise Plan Elements (page 12)
- Exhibit 4, Core Pedestrian Circulation (page 15)
- Exhibit 5, Core Vehicular Circulation & Transit Stops (page 16)
- Exhibit 21, Mandatory Elements for Village Secondary Residential District (page 50)

This section provides design checklists for the following Village Core Planning Areas:

Village Core District

- Mixed-Use/Commercial (MU-1)
- Town Square Site (P-4)
- Community Purpose Facility Site (CPF-1)
- Village Core Private Recreation Facility Site (PRF)

Village Secondary Residential District

- Residential Site Residential Sites R-21 & R-22
- Residential Site R-24
- Residential Site R-25
- Residential Site R-19
- Residential Site R-18
- Residential Site R-12
- Residential Site R-11

MIXED-USE/COMMERCIAL (MU-1)

Design District:

- Village Core

Location:

- Western area of village core at Birch Road entry and commercial exposure from EastLake Parkway.

Planned Use:

- Mixed-Use Commercial incorporating neighborhood-serving uses such as a grocery store, retail shops and offices. Residential uses are also planned in this area.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Primary pedestrian oriented edges along the Village Pathway (Birch Road) and Village Core Promenade Street (Discovery Falls)
- Parking lot internal to site

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation along the Village Pathway and Village Core Promenade Street with access to the interior of the site, a transit stop, and the town square.
- Secondary pedestrian access to the CPF site and neighboring residential sites.

Vehicle Access:

- Highest vehicular use area in the village requires efficient vehicular movement with minimized pedestrian conflicts
- Parallel parking on adjacent village streets and internal parking lot.

Transit Access:

- Transit stop located at site with well-defined pedestrian circulation and amenities.

Urban Character:

- Formal, articulated and highly detailed architecture with storefronts oriented towards Village Pathway and Village Core Promenade Street.

Mandatory Site Plan Elements:

- 1 Secondary Village Landmark with pedestrian access at the intersection of Birch Road and Discovery Falls Drive
- 2 Architectural Focal Point
- 3 Main Street Commercial
- 4 Transit stop
- 5 Pedestrian connections
- 6 Integrate design with Village Entry Street/Village Pathway streetscape
- 7 Integrate design with Village Core Promenade Streetscape
- 8 Parking lot internal to site

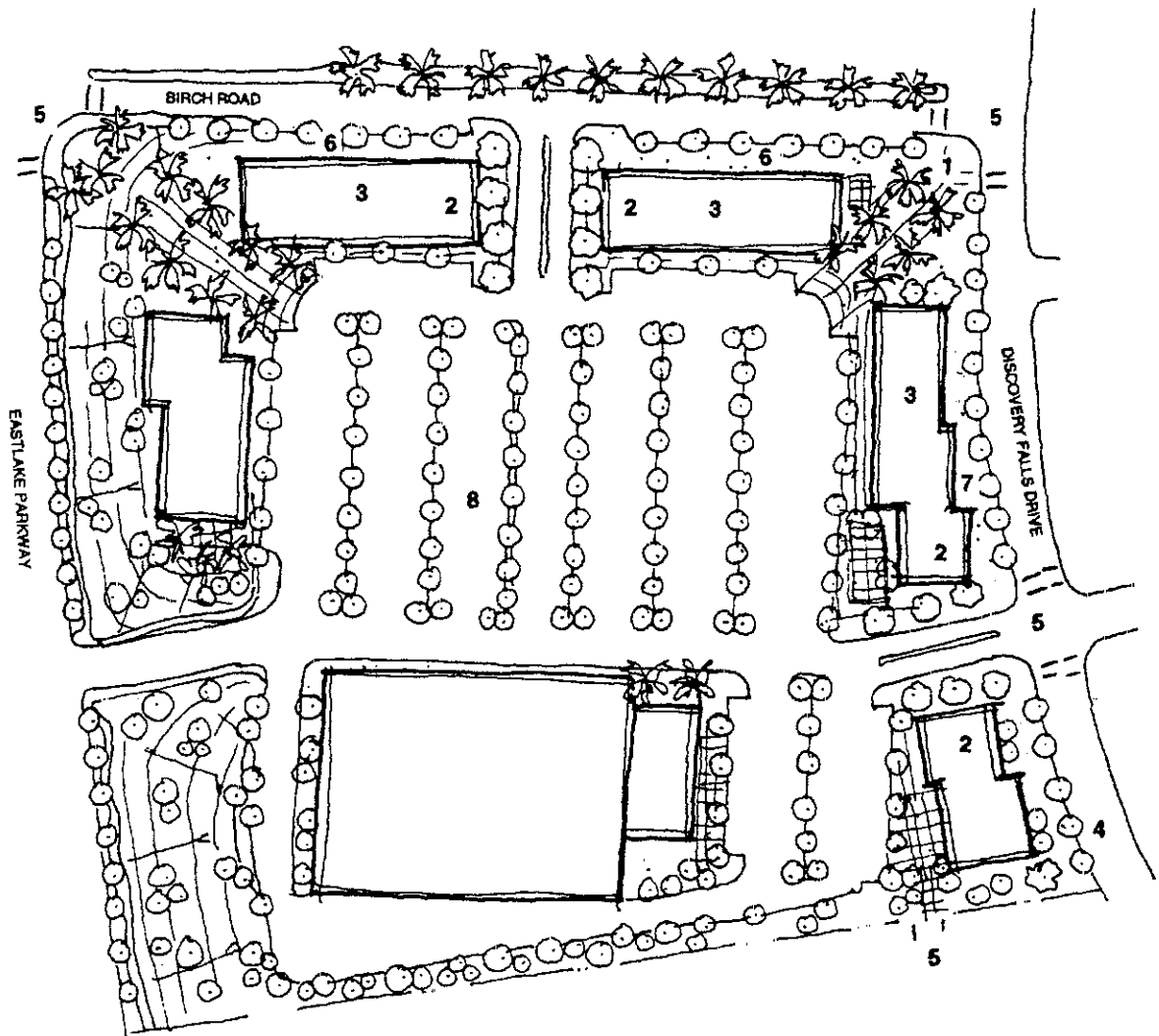


Exhibit 27
Mixed-Use Concept Plan

TOWN SQUARE SITE (P-4)

Design District:

- Village Core

Location:

- Central and focal point entry to the village at Birch Road/Village Entry Street

Planned Use:

- Town square plaza or park.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Village focal point reflecting the pedestrian design and urban character of the village
- Traditional design reflecting importance within the village.

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation to the Village Pathway and Village Core Promenade Streets and the paseo

Vehicle Access:

- Vehicular circulation around the square.
- Parking on opposite side of street from square.

Transit Access:

- Transit stop located opposite square at Mixed-Use/Commercial site

Urban Character:

- Formal, village focal point

Mandatory Site Plan Elements:

- Village Landmark with a strong design element such as a fountain or public art.
- Traditional design reflecting importance within the village
- Shade and accent trees, seating areas and other pedestrian amenities.
- Integrated pedestrian circulation throughout the site.
- Integrated design with Village Promenade streetscape.

COMMUNITY PURPOSE FACILITY SITE (CPF)

Design District:

- Village Core

Location:

- Central area of village core at Birch Road/Village Entry.

Planned Use:

- Community Purpose Facility such as a church or community-serving institution.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Landmark/focal point building location
- Primary pedestrian oriented edges along the Village Core Promenade Street (Discovery Falls)
- Parking lot internal to site.

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation to the Village Core Promenade Street, Town Square, transit stop and paseo

Vehicle Access:

- Vehicular access from Village Core Promenade Street.
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

- Transit stop located across Village Core Promenade Street.

Urban Character:

- Formal, articulated and highly detailed architecture towards Village Entry Street and Village Core Promenade Street

Mandatory Site Plan Elements:

- Architectural Focal Point
- "Outdoor rooms" such as courtyards, plazas, and arbor walkways.
- Integrate design with Village Core Promenade streetscape.
- Pedestrian connections to transit stop, Town Square, Private Recreation Facility and paseo
- Integrated pedestrian circulation throughout the site
- Parking lot internal to site.

PRIVATE RECREATION FACILITY SITE (PRF)

Design District:

- Village Core

Location:

- Central area of village core at Birch Road/Village Entry

Planned Use:

- Private Recreation Facility with amenities such as a community room, swimming pool, sports courts, picnic and play areas

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Landmark/focal point building location.
- Primary pedestrian oriented edges along the Village Core Promenade Street (Discovery Falls/Exploration Falls).

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation to the Village Core Promenade Street, Town Square, transit stop and paseo

Vehicle Access:

- Vehicular access from Village Core Promenade Street.
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

- Transit stop located across Village Core Promenade Street

Urban Character:

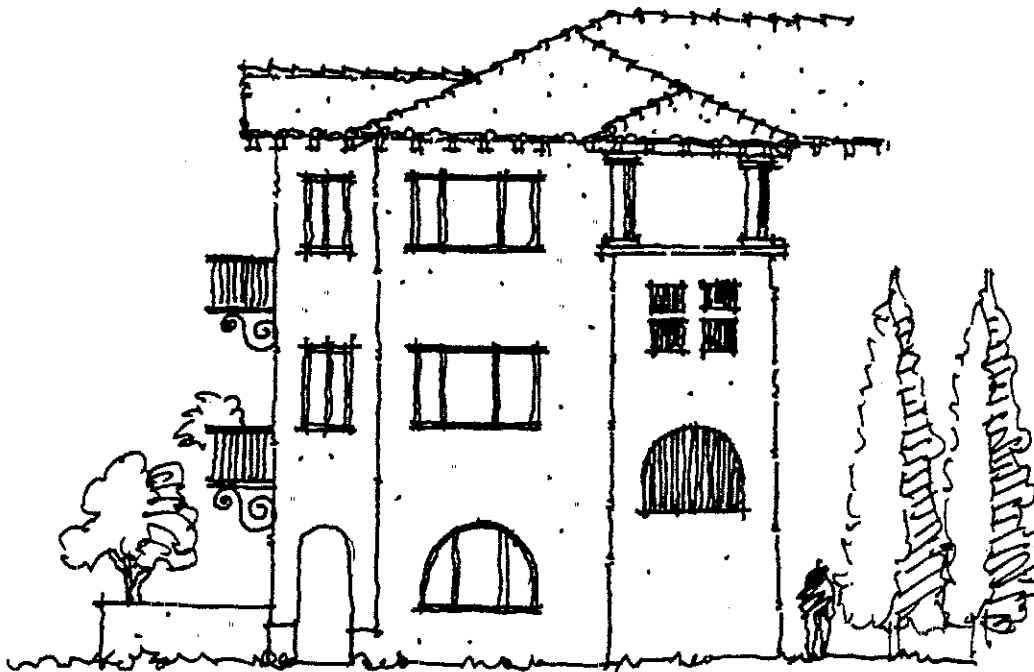
- Formal, articulated and highly detailed architecture towards Village Entry Street and Village Core Promenade Street
- "Outdoor rooms" providing social spaces, formal pedestrian connection and view corridors

Mandatory Site Plan Elements:

- Village Landmark at intersection of Discovery Falls Drive and Exploration Falls Drive
- Village Landmark building
- "Outdoor rooms" such as courtyards, plazas, and arbor walkways
- Pedestrian connections to Town Square, Community Purpose Facility and paseo
- Integrate design with Village Entry Street and Village Core Promenade streetscapes



2-story stair element incorporating exterior stairs into building architecture



3-story stair element incorporating exterior stairs into building architecture

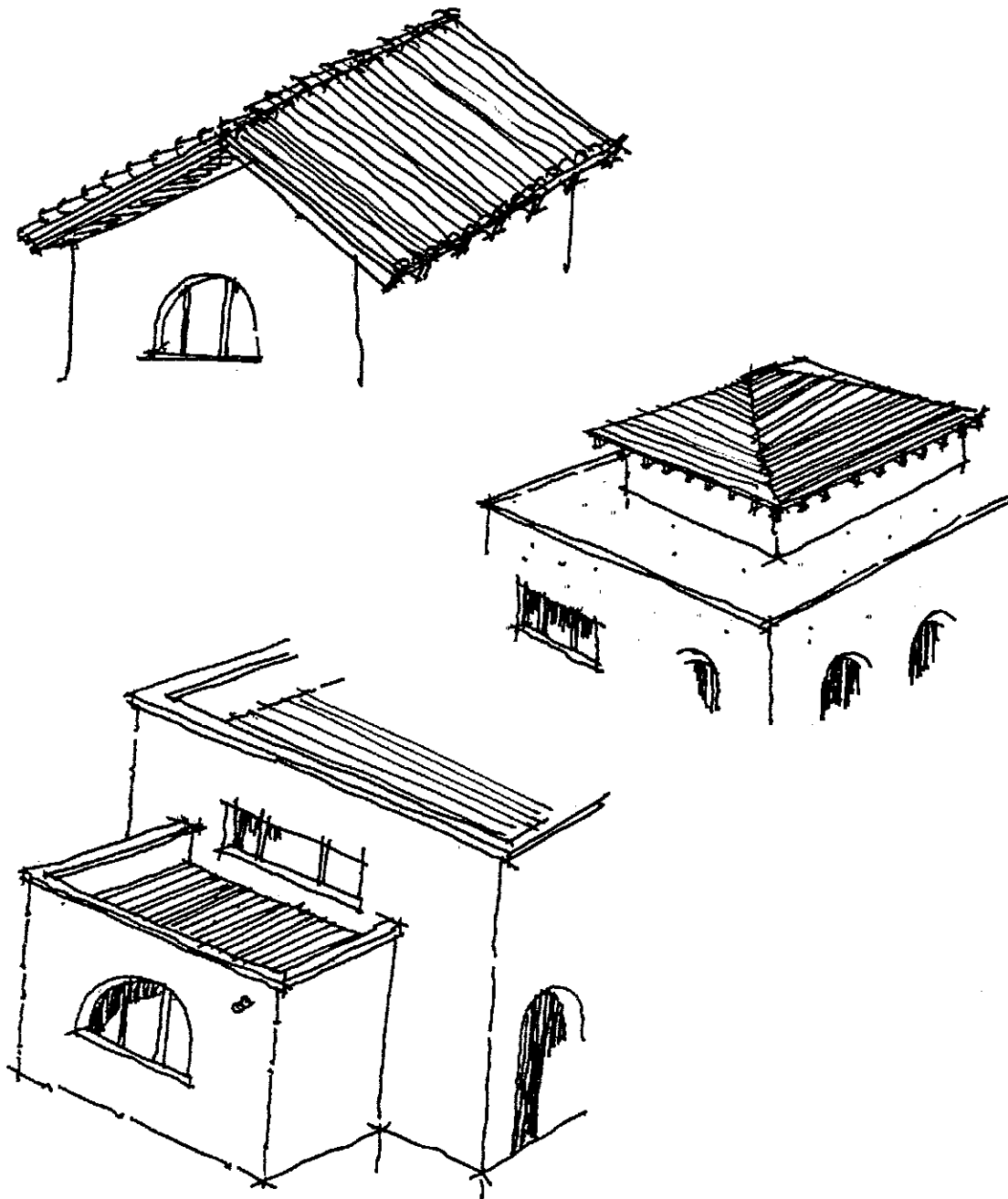
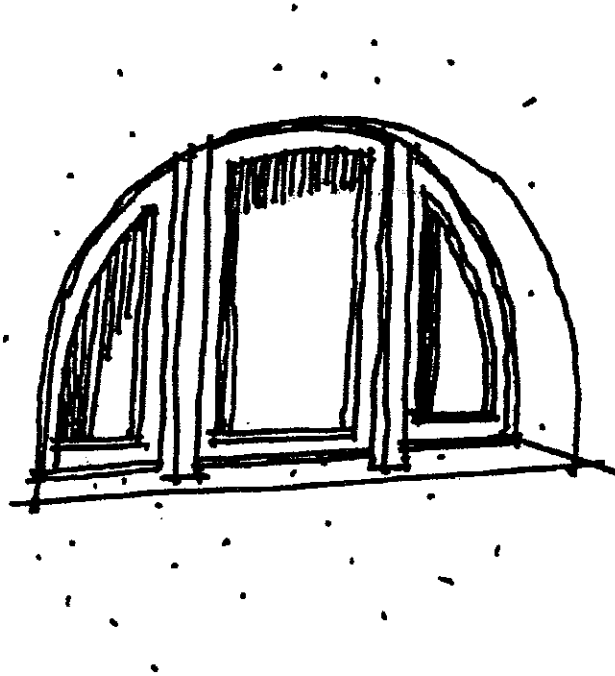
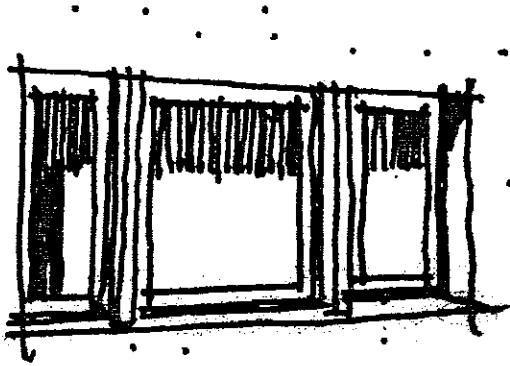


Exhibit 10
Preferred Roof Forms



FEATURES:

- Horizontality
- Fixed center lights wit narrow, operable windows to each side
- Flat or arched head

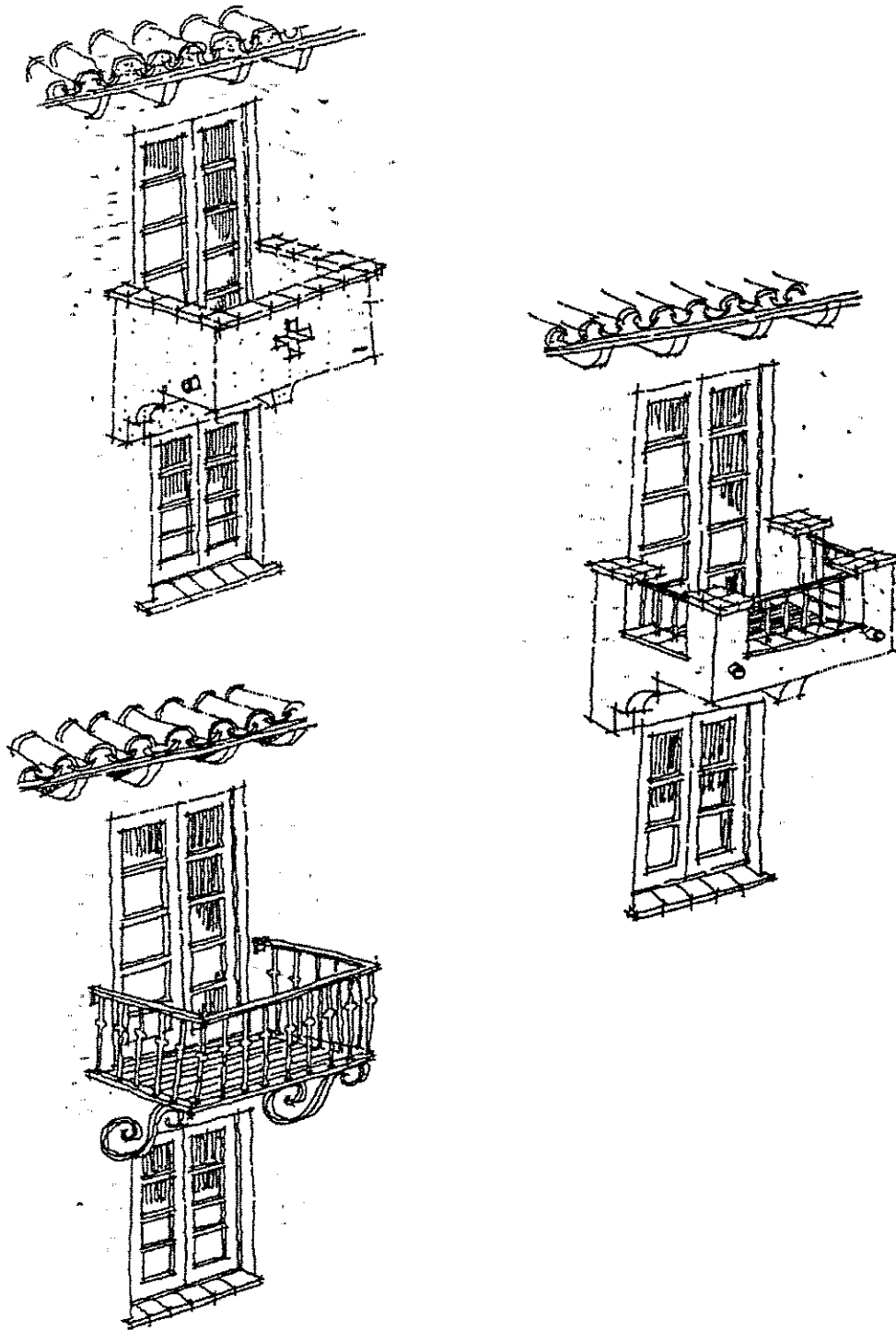


Exhibit 12
Balcony Treatments

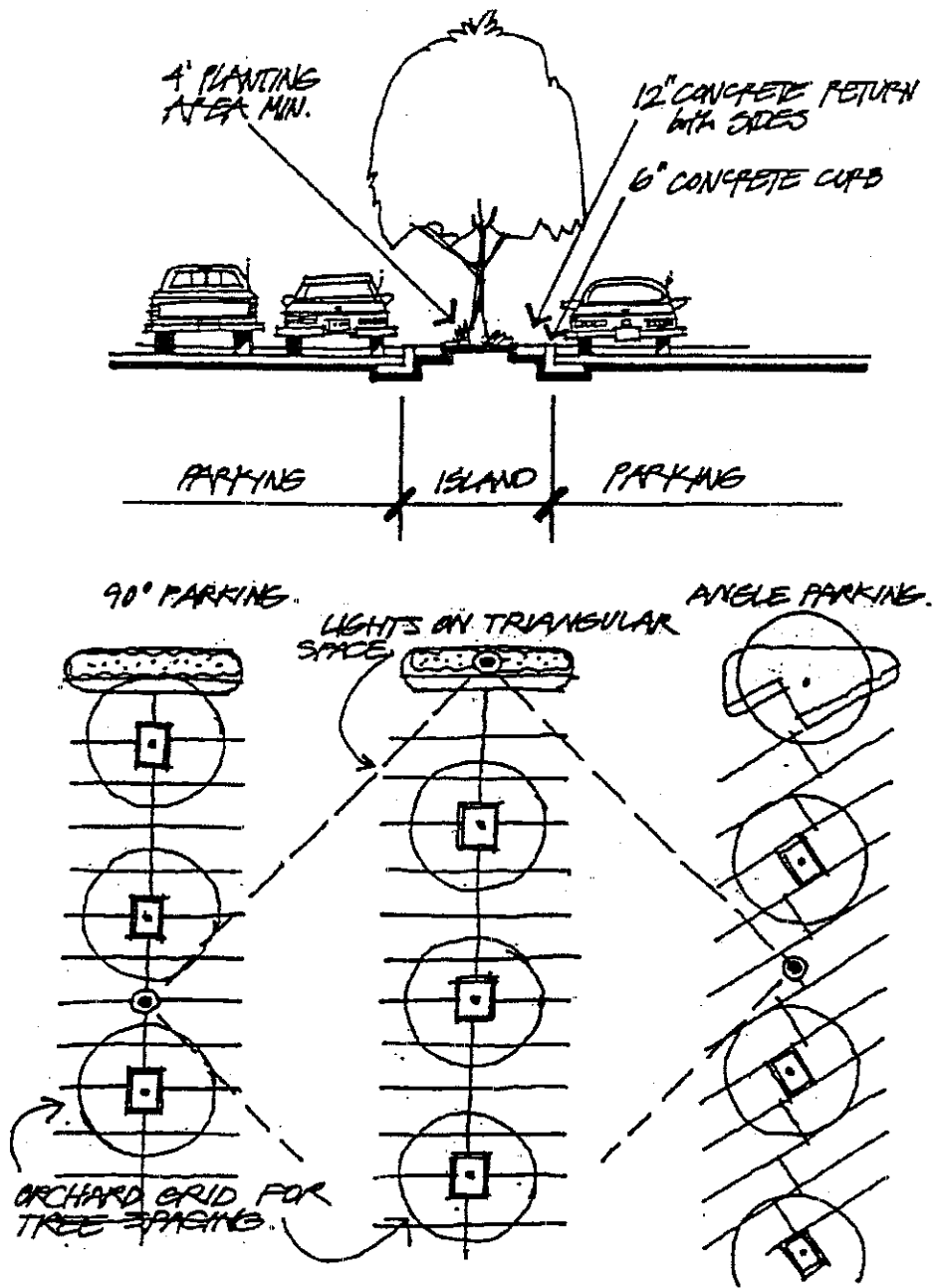
TABLE 1 Village Core District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
ROOFING				
Flat Concrete	X			Warm Colors
Galvanized Corrugated Metal		X		
Galvanized Metal Fascia		X		
Wood Fascia		X		
Slate		X		
Copper		X		
S Barrel Tile	X			
Pan Mission Tile	X			
Colored Ceramic Tile	X			For accent use/and or patterned roof
Bitumen		X		Flat surfaces only
Wood Shake			X	
Wood Shingle			X	
Asphalt Shingle			X	
EXTERIOR WALLS/SIDING				
Community Stone	X			Otay Ranch Utah Desert stone
Community Block	X			
Galvanized Corrugated Metal		X		24 gauge minimum
Brick Veneer		X		
Wood Battens		X		Horizontal or vertical
Wood Shingle			X	
Chain Link			X	Allowed in City Park
STUCCO				
Smooth Hand-Trowel Finish	X			
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Wood Shuttered		X		Satin finish or painted, warm colors
Large Expanse of Glass			X	
STOREFRONT WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Large Expanse of Glass			X	
AWNINGS				
Canvas	X			Simple angled; open sided preferred
Sheet Metal			X	Anodized
Plastic			X	
Domed			X	
Internally Lit			X	

TABLE 1 (continued) Village Core District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
TRELLISES				
Metal	X			Anodized
Wood		X		Satin finish, warm colors
ARCADES				
Community Stone	X			Otay Ranch Utah Desert stone
Wood		X		Satin finish, warm color
Stucco Finish		X		Smooth hand trowel
Ceramic Tile Accents		X		Accents only
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
DOORS				
Wood Framed	X			Satin finish or painted, warm colors
Metal Framed	X			Galvanized metal
Louvered	X	X		Galvanized metal
Roll-Up	X		X	Galvanized metal, non-street facing
Steel	X		X	Galvanized metal and painted
Glass	X			Galvanized metal frame
Non-Tempered Glass			X	Traditional character
COLUMNS				
Community Stone	X			Otay Ranch Utah Desert
Wood		X		Stain finish, warm colors
Concrete		X		Smooth hand-trowel finish
Metal		X		Anodized
Ceramic Tile Accents		X		Accents only
Raw Metal			X	
GATES				
Metal	X			Galvanized and painted
Wrought Iron		X		
Tubular Steel	X			
Raw Metal			X	
Wood			X	
Chain Link			X	Allowed in City Park

3. Landscape Architecture

Landscaping consisting of both hardscape and softscape treatments shall reinforce the urban character of the District and reflect ordered, formal treatments rather than random, natural appearing solutions. Design guidelines for landscape architecture are as follows:

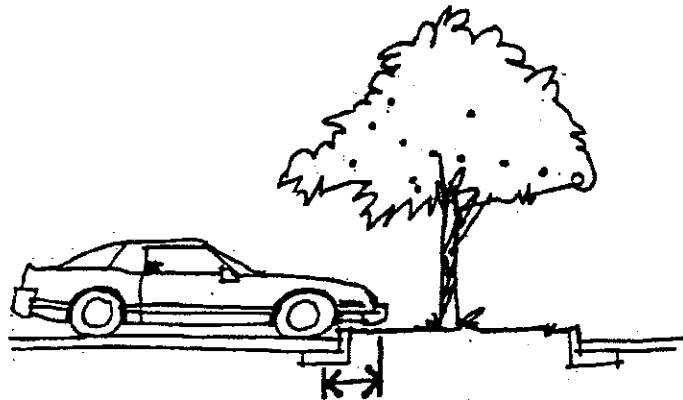
- The creation of outdoor "rooms," such as courtyards, outdoor dining areas, plazas, paseos, formalized walkways, arbors, and arcades shall be emphasized to support the Irving Gill design theme.
- Amenities such as enhanced paving, seating areas and lighting shall be incorporated into the landscape to create an atmosphere that is appropriate to shopping, socializing and recreation. Hardscape material use is described in Table 2.
- The use of steps, retaining walls and structures for grade separations in this District is preferred over landscaped banks to emphasize the urban character and to provide defined spaces for seating, etc.
- Tree design use shall include a mix of skyline, shade and colorful accent trees. A list of approved trees is provided.
- Pedestrian scaled plantings, such as colorful groundcovers, container plantings and vine covered arbors will enliven the area. A list of approved trees and shrubs is provided.
- Parking areas shall be screened by a landscape buffer that may include berms, low walls or shrubs approximately 3 feet in height to block headlight glare yet provide visual access into the areas to enhance security.
- Trees shall be planted in parking areas to provide shade and reduce glare from paving and parked vehicles. Planters shall be located in the parking areas to visually break up the expanse of paving.
- Parking area landscaping shall be in conformance with this Master Precise Plan, the Village Eleven Design Plan and the City of Chula Vista Design Manual and Landscape Manual. (see Exhibit 13)
- All village perimeter walls and fencing shall be designed in conformance with the Village Eleven Comprehensive Wall and Fence Plan (see Exhibit 14). Table 2 lists additional wall and fencing materials that may be used within individual developments.



Note:

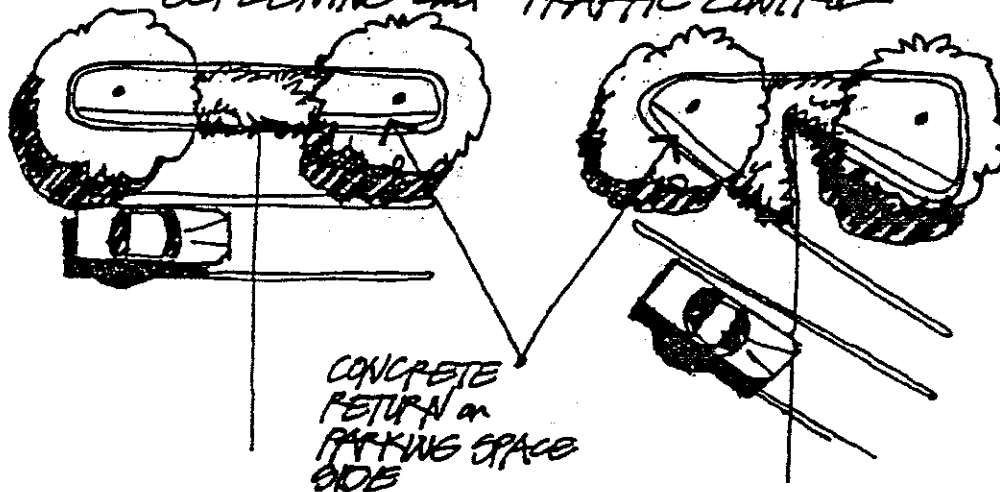
- Parking Design shall be consistent with these illustrations from the Otay Ranch Village Design Plan
- All parking facilities shall adhere to the City of Chula Vista Design Manual and Landscape Manual requirements for landscaping within parking areas
- All landscaped parking lot islands shall have a minimum inside dimension of four (4) feet and shall contain a twelve (12) inch wide walk adjacent to the parking stall and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland concrete cement curbing for a total width of seven (7) feet.

Exhibit 13a
Parking Design Concept



INSTEAD OF USING PRE-CAST
CONCRETE BUMPER STOPS, EXTEND
PLANTING AREA and USE CURB
AS A WHEEL STOP.

PROVIDE SUBSTANTIAL PLANTERS
IN THE CURB OF PARKING BAYS for
SCREENING and TRAFFIC CONTROL



CONCRETE
RETURN on
PARKING SPACE
SIDE

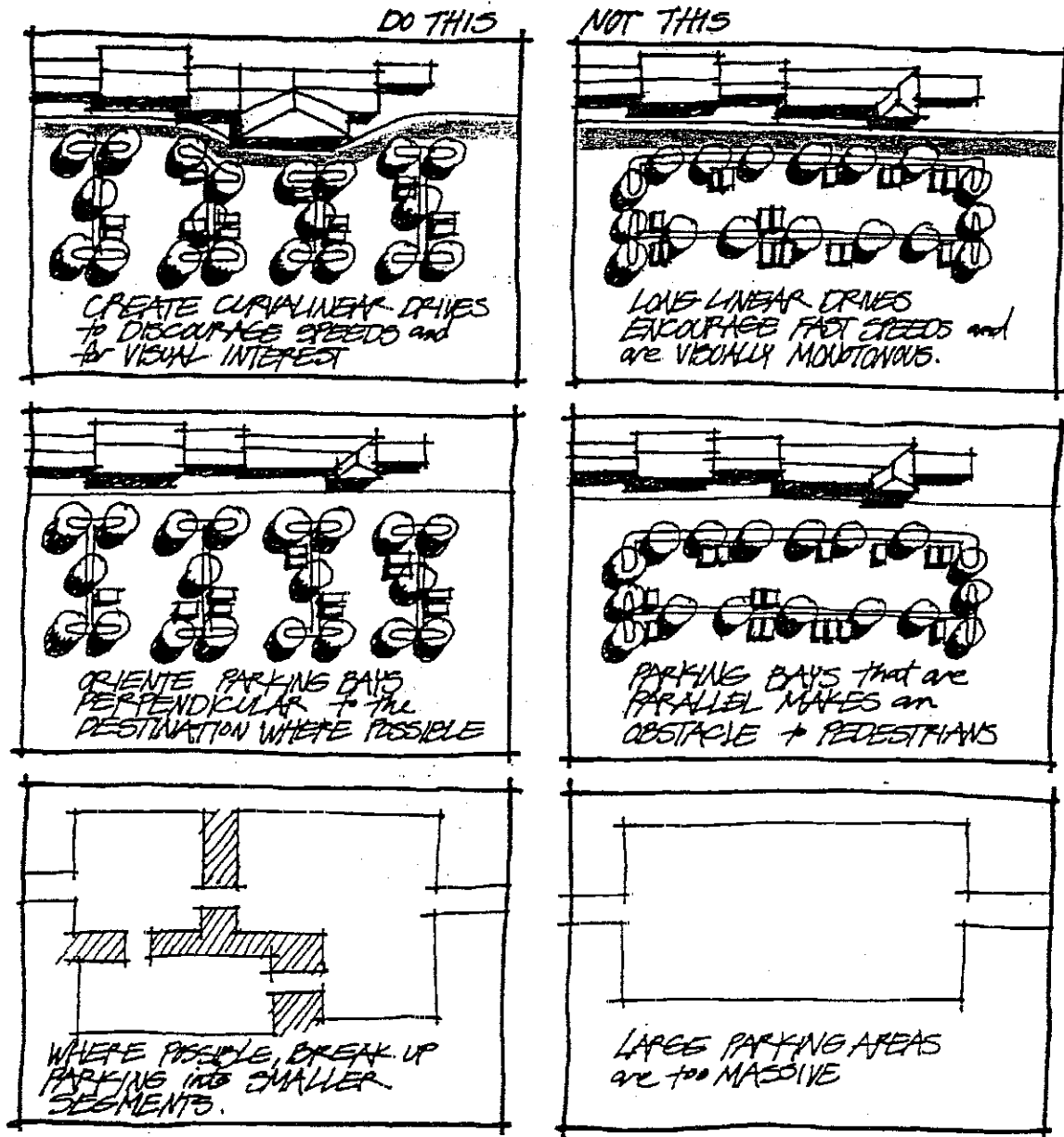


Exhibit 13c
Parking Design Concept

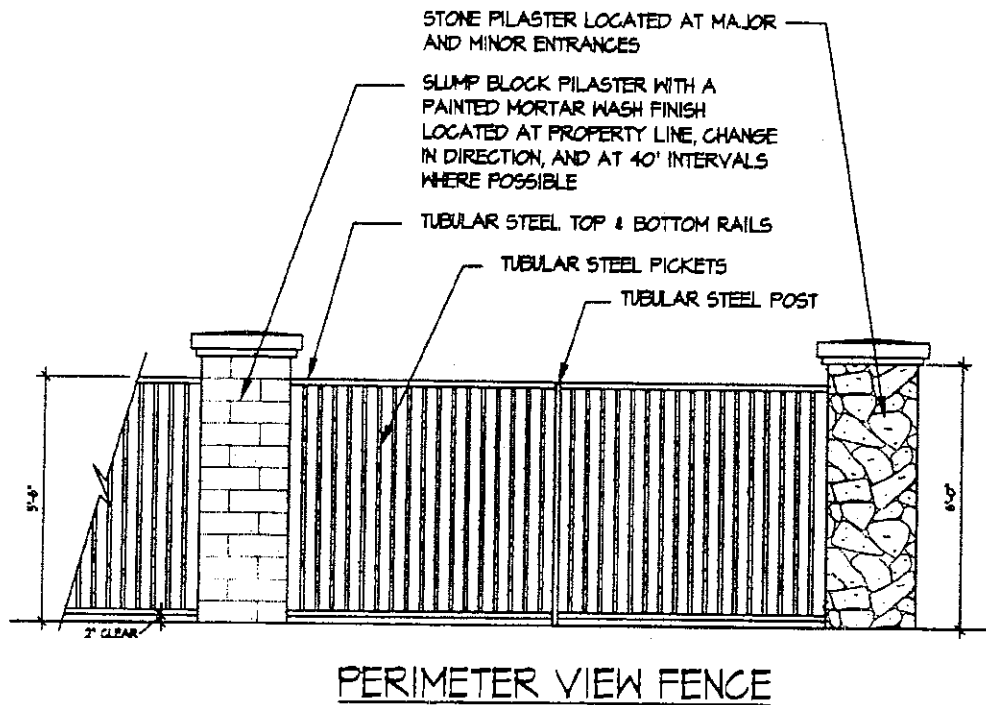
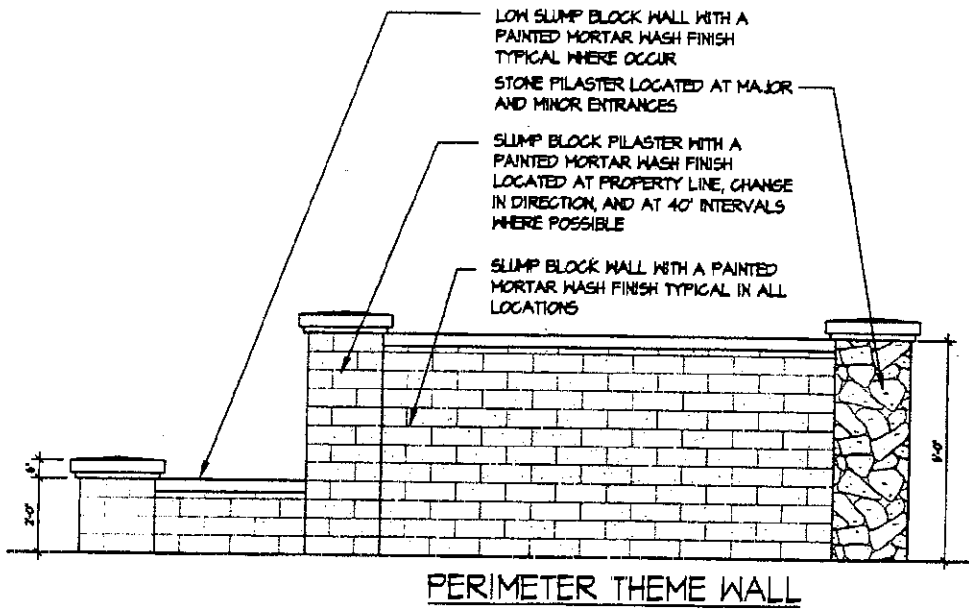


Exhibit 14
Perimeter Wall and Fencing Design

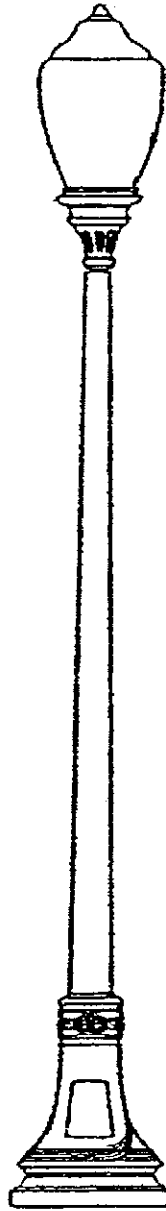
TABLE 2	
Village Core District Hardscape and Wall and Fence Materials/Finishes	
PAVING	Material/Finish
Sidewalk	Natural color concrete, broom finish
Village Pathway	Integral color "Adobe Tan" I M Scofield C-21, light broom finish & rumble scoring
Plazas & Special Outdoor Areas	<p><u>Permitted Materials:</u></p> <ul style="list-style-type: none"> • Washed aggregate: natural color 3/8" aggregate (match median protective walks) Saw cut pattern, 24-30" square • Natural Stone paving complimentary to color and palette for Village Eleven • Interlocking pavers, pattern and color compatible with color and material palette for Village Eleven. • Natural stone unit pavers. • Colored concrete (natural stone colors) with textured finishes • Stamped or patterned concrete (natural stone colors) • Fired clay pavers • Pre-cast concrete pavers (natural stone finishes and colors). • Terrazzo. • Ceramic Tile Accents <p><u>Prohibited Materials:</u></p> <ul style="list-style-type: none"> • Predominantly black or dark gray pavement • Intense primary colored paving • Common gravel • Asphalt or asphaltic concrete • Decomposed granite (Allowed in City Park)
WALLS & FENCING	
Walls	<p><u>Permitted:</u></p> <ul style="list-style-type: none"> • Village Eleven Perimeter Theme Masonry • Adobe Brick (coated) • Natural Stone (Otay Ranch Utah Desert or similar) • Block or steel framed stucco (smooth, dash coat, bumpy-smooth/Santa Barbara style, combed or sand finish only) • Pre-cast concrete • Brick • Slump stone (coated) <p><u>Prohibited:</u></p> <ul style="list-style-type: none"> • Wood structural walls • Other "styles not in keeping with the architectural theme"
Fencing	<p><u>Permitted:</u></p> <ul style="list-style-type: none"> • Wrought Iron (with approved finishes) • Decorative steel or aluminum (with approved finishes) • Decorative wood <p><u>Prohibited:</u></p> <ul style="list-style-type: none"> • Chain Link (Allowed in City Park) • Wood lath • Split rail • Plastic • Other "styles not in keeping with the architectural theme"

TABLE 3	
Village Core District Approved Plant List	
Street Trees	
<u>Exploration Falls (Olympic Parkway to Roundabout):</u>	
Prunus calleryana 'Bradfordii'	Bradford Pear (Parkway)
Jacaranda acutifolia	Jacaranda (Median)
<u>Exploration Falls Drive (From Roundabout South):</u>	
Platanus acerifolia	London Plane Tree
<u>Discovery Falls Drive (Roundabout to Hunte Parkway):</u>	
Platanus acerifolia	London Plane Tree
<u>Birch Road:</u>	
Olea europaea 'Fruitless'	Fruitless Olive (Parkway)
Phoenix dactylifera	Date Palm (Median)
<u>Windingwalk Street:</u>	
Tristania conferta	Brisbane Box
<u>Crossroads Street (Eastlake Parkway to Discovery Falls Drive):</u>	
Cinnamomum camphora	Camphor Tree
<u>Crossroads Street (From Discovery Falls Drive East):</u>	
Jacaranda acutifolia	Jacaranda (Median)
<u>Kestral Falls Road:</u>	
Cinnamomum camphora	Camphor Tree
Village Core Trees and Shrubs	
<u>Trees</u>	
Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus sideroxylon rosaea	Red Ironbark (requires City Arborist review)
Gleditisa tricanthos inermis	Honey Locust
Jacaranda acutifolia	Jacaranda
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Pyrus kawakamii	Evergreen Pear
Prunus calleryana 'Bradfordii'	Bradford Pear
Tipuana tipu	Tipu Tree (requires City Arborist review)
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	True Green Elm
<u>Shrubs</u>	
Agapanthus alricanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Cuphea hyssopifolia	Breath of Heaven
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii	Escallonia
Lantana spp	Lantana
Lavendula spp.	Lavender
Ligustrum 'Texanum	Texas Privet
Limonium perezii	Statice
Pittosporum tobira 'variegata	Mock Orange
Pittosporum tobira 'Wheeleri	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

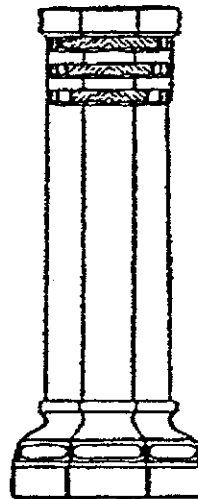
4. Lighting

A unified lighting concept utilizing thematic fixtures has been developed for the Village Core District. A low intensity, twelve (12) foot high pole mounted fixture is used along the Village Entry, Village Core Promenade, Village Core, Residential Promenade Streets and paseos. An eighteen to twenty two (18-22) foot high, pole mounted fixture is specified for parking areas. Exhibit 15 illustrates Village Core lighting fixtures. The following general lighting guidelines apply to the Village Core District:

- Lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians
- Lighting shall be directed, or shielded if necessary, to avoid intrusion into residential neighborhoods and the Salt Creek habitat
- Lighting shall be attractive and suitable to the design theme of Village Eleven
- Lighting shall be manufactured of high quality materials that are visually compatible with design elements, such as street furniture and architecture
- Specialty street lights may be provided by the San Diego Gas and Electric Company. The preferred design is an acorn style lamp on top of a simulated concrete pole. Specialty lighting shall be maintained by a Community Facilities District or a Homeowner's Association
- A hierarchy of lighting levels and lighting fixtures will be used for street lights. Village entry and core streets will use taller and brighter fixtures. Residential street lighting will be smaller scale with lower lighting levels
- Specialty lighting along pedestrian corridors shall be spaced for human scale. Examples are low pole lighting, bollard lighting, and ground-level lighting
- Accent lighting may be used on all permanent monument or project signs and may consist of uplights, downlights, spotlights, pole lights, bollards, or bar lights.
- Accent lighting is allowed for focal features, such as fountains, trees, overhead structures, or other elements that would provide an aesthetic or safety benefit.
- Accent lighting should be limited to focal points. Subtle lighting should take precedence and over-lighting should be avoided
- Play field lights, if provided, should provide adequate illumination directed to the play area and shielded from intruding into residential areas



12- Foot Pedestrian Lights



Bollards

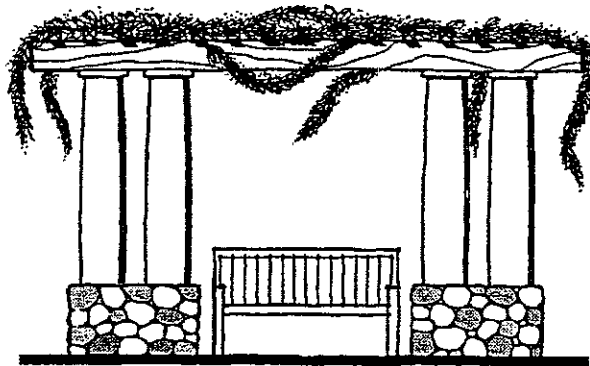
Note: Lighting fixture model, color and finishes to be as specified by Phase 1 improvement plans.

Exhibit 15
Conceptual Specialty Lighting Styles

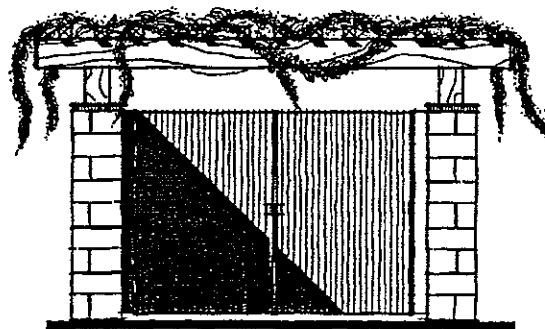
5. Furnishings

Street furnishings make an important contribution to the pedestrian-oriented village. Some furnishings, such as lighting, are necessary simply to use the outdoor space. Other furnishings, such as benches and trash receptacles, are enhancements that encourage people to walk and use the outdoor spaces. Exhibit 16 illustrates transit structures and trash enclosures and Exhibit 17 illustrates street furnishings. The following are design guidelines for furnishings:

- All street furnishings in the village will be designed or selected to promote the village design theme and will be used consistently throughout the village.
- Benches, bicycle racks, trash receptacles and tree grates will be selected to be compatible with the design theme.
- Transit shelters, trash enclosures, and special features, such as fountains, will be designed similarly to the village monument features.
- Trash and recycling receptacles shall be designed in accordance with the City of Chula Vista's policies for Recycling and Solid Waste Guidelines.

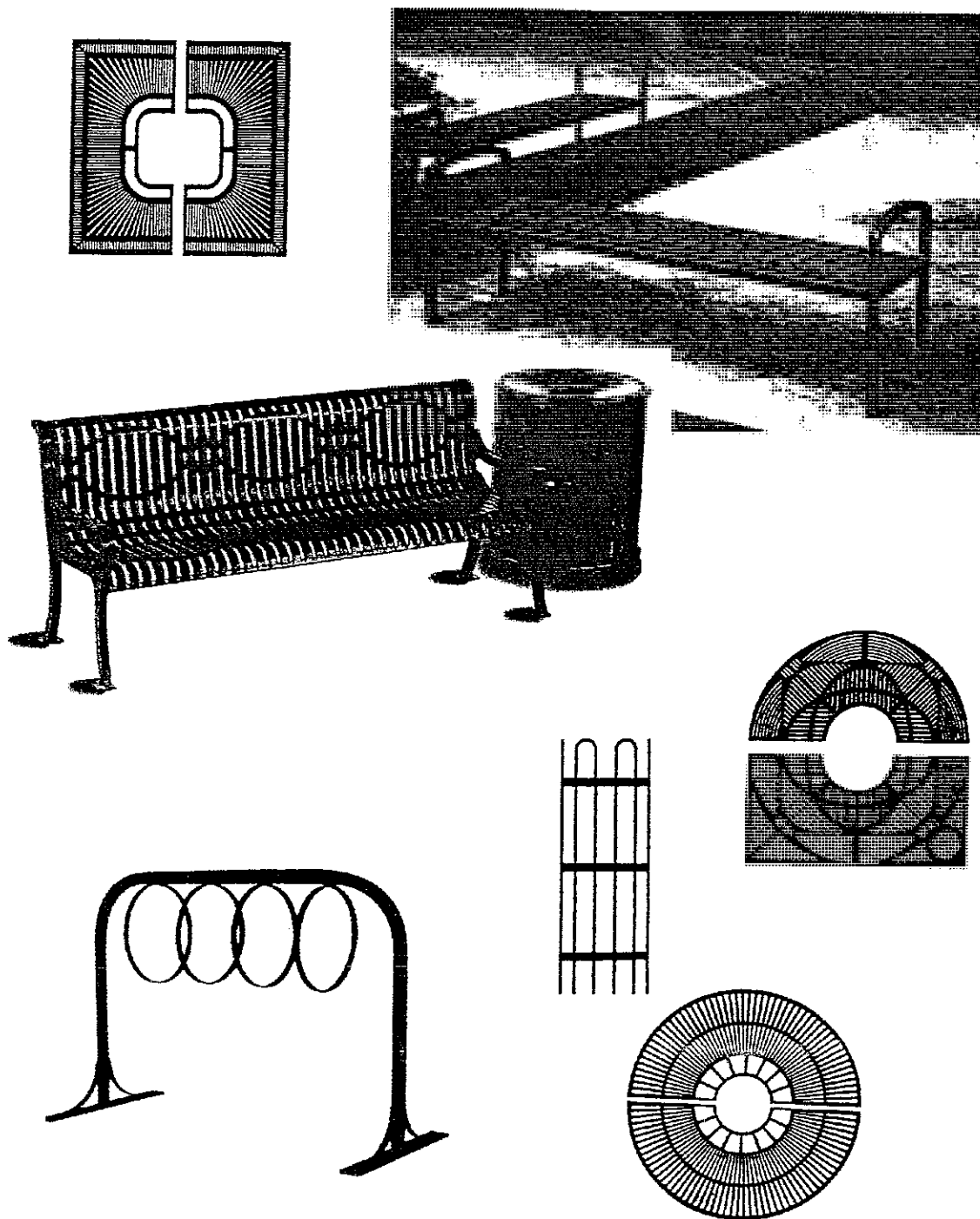


Transit shelter - cement columns with stucco finish and wood trellis
Column bases are Utah Desert Rubble stone



Masonry trash enclosure with wood or metal gates and wood trellis

Exhibit 16 Transit Shelters & Trash Enclosures



Note: Furnishing models, colors and finishes to be as specified by CPF 1 and PRF landscape plans.

Exhibit 17
Street Furnishings

6. Signage

Sign design in the Village Core will be consistent with the overall village design theme. Signs within the Village Core may consist of individual project monument signs, individual tenant signs and directional signs. Sign criteria governing the locations, number and size of such signs as well as design standards are provided in the Village Eleven Planned Community District Regulations, Comprehensive Sign Regulations Section II 3 9 and the Planned Sign Program for Village Eleven (File No. PSP-03-09).

Planned Signage Program

A Planned Signage Program is required to be approved concurrently with or as a condition of approval of the Site Plan and Design Review for the Mixed-Use/Commercial, Community Purpose Facility and Multi-family Residential uses. The purpose of the program is to integrate signs with the proposed Village Eleven architectural and landscaping design guidelines. This shall be achieved by requiring signs that:

- Use the same background color
- Utilize no more than three different colors per sign for lettering
- Utilize consistent structural support and materials for signs
- Utilize a landscape setting, logos, color scheme or other methods consistent with the SPA Plan and approved by the Zoning Administrator to convey a unique Village Eleven theme
- Use the same form of illumination for all signs, or by using varied forms of illumination determined to be compatible by the Zoning Administrator
- Vary from the above standards if the signage can be determined by the Zoning Administrator to be compatible with the surrounding community character

The Planned Signage Program must comply with the following criteria for the Mixed-Use/Commercial and Community Purpose Facility Sites summarized below. The Village Eleven Planned Community District Regulations and the Chula Vista Municipal Code provide complete criteria

Mixed-Use/Commercial

- Monument signs shall be consistent with the "Neighborhood Monument Sign" design as specified in the Village Eleven Planned Sign Program. Two ground or monument signs identifying the name of the mixed use center and no more than two anchor tenants. Monument signs for individual businesses are not permitted
- Ground or monument center identification sign maximum size is 50 square feet per side, and six feet in height. Sign locations are limited to one per street frontage

- One wall or marquee sign per street frontage, identifying the mixed use center and each individual tenant, consistent with CVMC Section 19 34 040. Marquee signs are limited to use in conjunction with an entry to a suite of tenants
- One hanging sign per tenant per street frontage. Hanging signs, utilizing a decorative sign suspended from a structure above a walkway or sidewalk on a decorative horizontal pole or awning. These signs are attractive as an alternative or supplement to wall signs in pedestrian walkways. Where they are used, wall and other types of signage should be reduced an equivalent amount to reduce sign clutter
- Sign sizes and locations are regulated pursuant to CVMC Section 19 34 040
- Hanging sign maximum size is 12 square feet per side, but should not interfere with or obstruct pedestrians, vehicle site distance or required landscaping. Hanging signs are to be located near the public entrance

Permitted Mixed-Use/Commercial Sign Types

A minimum of one type of the following twelve basic sign types approved for use within the Mixed-Use/Commercial site area shall be provided for each storefront with a public entrance. These basic sign types are described below:

Awning Signs

A variety of awning shapes and colors are encouraged. Where awnings are a part of the storefront design, signage can be applied to the awnings per the following criteria:

- Copy area shall be limited to not more than 40% of the aggregate awning area of the storefront.
- Awning graphics may be painted, silk-screened, pop-through neon, or back lighted translucent; however, awnings shall be made of non-translucent fabrics

Dimensional Wall Signs

Wall signs shall be designed to add character, style, and dimension to the storefront. Signs composed of a mixture of media are encouraged. The following criteria apply where dimensional wall signs are used:

- Sign cabinets, where used, shall not exceed 6 inches in depth

Painted Wall Signs

To provide design diversity, lettering and graphics may be painted directly on building walls. Painted signs may take the form of a border, patterned background, or illustration (e.g., trompe l'oeil). The following parameters shall apply:

- Flat, characterless block lettering is prohibited.
- Paint shall be high quality and fade-resistant.

Suspended Wall Signs in Archways

Suspended wall signs are for use as primary identification for storefronts that have arch shaped entrance areas. The design of the sign shall address or complement the shape of the storefront arch. The following requirements apply:

- Signs shall be rigidly attached to the lower lip of the arch in such a manner that the sign does not swing
- Signs shall be placed a minimum of 7 feet, 6 inches above street level

Plaque Signs

Plaques provide a smaller scale pedestrian-oriented sign that must be mounted directly on the building wall or door near the storefront entrance. Treatment of plaque signs shall be in accordance with the following criteria:

- Etched, inlaid or raised three-dimensional forms are encouraged
- Rustic or sandblasted signs shall be prohibited
- Appropriate materials include glass, metal, tile, granite, marble or wood with painted, polished or patina finish.

Blade Signs – Hanging or Projecting

Blade signs that are suspended or project perpendicularly to the storefront enhance the pedestrian experience. Blade signs shall incorporate expressive, non-traditional graphic forms. Playful combinations of geometric shapes are encouraged. The following requirements shall apply when blade signs are used:

- Signs shall be placed a minimum of eight (8) feet above street level
- Sign face area, exclusive of decorative bracket elements, shall not exceed ten (10) square feet
- Bracket design shall be highly creative and shall be integrated with the form of the sign face to create a unified design
- Rustic or sandblasted designs are prohibited.

Storefront Banners

Fabric banners attached to storefronts may serve as the primary tenant identity element. Parallel banners are prohibited. Vertical configurations are required in accordance with the following requirements:

- Banner shall project no more than 24 inches.
- Banners shall be secured to the building at both top and bottom edges
- Pedestrian buffers (e.g., benches or planters) shall be provided below banners that project at 7 ½ feet above street level or lower

Storefront Flags and Banners – Projecting

Flags and banners enhance the street scene concept by providing movement, color or a festive touch. Such flags and banners should be used only in conjunction with other storefront signage. The following requirements apply to commercial uses only:

- Flags or banners resembling "used car lot" pennants are prohibited
- No product, grand opening, or other advertising information may appear on flags or banners.
- All flags and banners shall be replaced when they show signs of fading or deterioration.

Window Signs

Window signs are intended to be pedestrian-oriented and may be located on transom glazing above the storefront entrance or in storefront windows to augment the display of

merchandise. Display window signs may be applied directly to the inside of the glass or suspended behind the glass. Lettering and graphics on glazed areas of the storefront shall conform to the following criteria:

- The total area of transom type signs shall be no larger than 50% of the transom area.
- Lettering and graphics on display windows shall not exceed 20% of the window area.
- Use of windows strictly as sign boards or backgrounds is prohibited.
- Window signs installed on the inside of the glass shall not be included in calculating the total minimum or maximum aggregate copy area per tenant storefront.
- Where window signs are back lighted, they shall be composed of translucent film or be screen printed.

Marquee Signs

Signs may be placed on or attached to an architectural projection or marquee to identify special tenant uses such as a gallery, specialty market, or restaurant. Marquee signs should contribute to the interest and vitality of the street scene. Signage may be applied to marquees per the following criteria:

- Individual letters may project above the top edge of the marquee a maximum of 12 inches.
- No sign or portions of signs shall be allowed to hang below the bottom edge of the marquee.

Paving Signs

Signs displaying the tenant name, logo or address may be incorporated into storefront paving of risers in accordance with the following parameters:

- Signs shall be designed to integrate with the paving material.
- Identification graphics on paving signs shall not project into the public right-of-way.
- Signs shall be flush with paving and relief shall be limited to 3/8 inch to avoid conflicts with pedestrian traffic.

Address Signs

Address signage should be treated individually for each tenant storefront. Varied solutions are encouraged: window addresses, addresses inset in pavement and address signs on doors or awnings. The following provisions shall apply:

- Each tenant shall provide an address sign at their primary entrance.
- Letter heights shall be 3 inches minimum and 6 inches maximum.
- Formatted address signs are prohibited.

Community Purpose Facility

- Monument signs shall be consistent with the "Neighborhood Monument Sign" design as specified in the Village Eleven Comprehensive Sign Plan. One ground or monument and one wall or marquee sign per street frontage, consistent with CVMC Section 19.34.040.
- One non-illuminated, freestanding symbol representative of a place of worship or spiritual growth.

- Size of signs or symbols not to exceed 6 feet in height or 32 square feet. Each sign face may not exceed 32 square feet.
- Locations pursuant to CVMC Section 19.34.040 and limit of one sign per street frontage.

Planned Signage Program Submittals

Preliminary Design Submittal and Review

The project owner or tenant shall submit two (2) sets of preliminary drawings of any proposed sign to the Master Developer or designated representative for review. The submittal must include:

- Storefront or building exterior elevations at 1/2" scale clearly identifying the materials and lighting and the size and location of each sign for which a concept design is being proposed.
- Scaled colored mock-up of the front elevation of each sign type indicating sizes, materials and lighting techniques.
- Materials, colors, details and form for each sign, as well as its integration into the overall storefront will be evaluated.

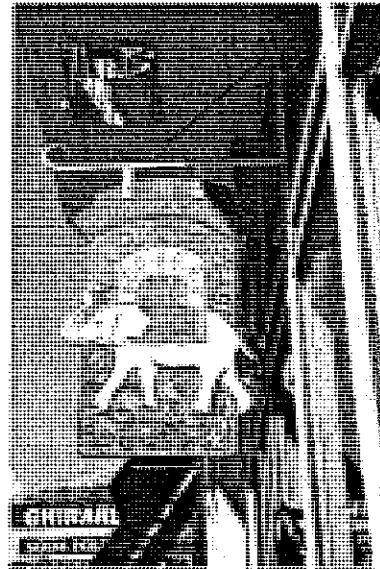
Submittals deemed unacceptable shall be revised and resubmitted before proceeding with final plans.

Final Design and Working Drawings

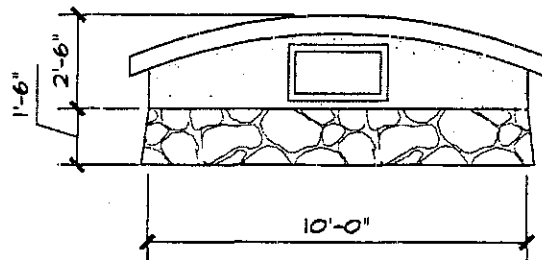
Once preliminary designs are approved, the owner or tenant may proceed with the submittal of final designs and working drawings. A full set of final plans must be approved by the Master Developer and City of Chula Vista prior to issuance of a sign permit, if required, pursuant to Section 19.60.030 of the Chula Vista Municipal Code. No alterations, additions or changes may be made without review and approval by the Master Developer and the City of Chula Vista.

The following plans and information shall be submitted in triplicate:

- Dimensioned scaled drawings depicting front elevations, side views and sections for all signs (including copy layouts).
- Specifications for materials, colors, finishes, coatings, typestyles, lighting techniques, means of attachment, structural elements and details.
- Storefront or building elevation showing exact location, size and placement of each sign on the building.



Wall Signs



Monument Sign

Exhibit 18
Signage Examples

D. VILLAGE SECONDARY RESIDENTIAL DISTRICT

The Village Secondary Residential District ("Residential District") surrounds and supports the urban character of the Village Core District. The design of the Residential District should be compatible with the Irving Gill design concepts of Village Eleven, primarily through the design that promotes the pedestrian-oriented village concept. Residential development in Village Eleven may include a variety of housing types, ranging from small lot, detached homes, to medium to high-density townhouses and flats.

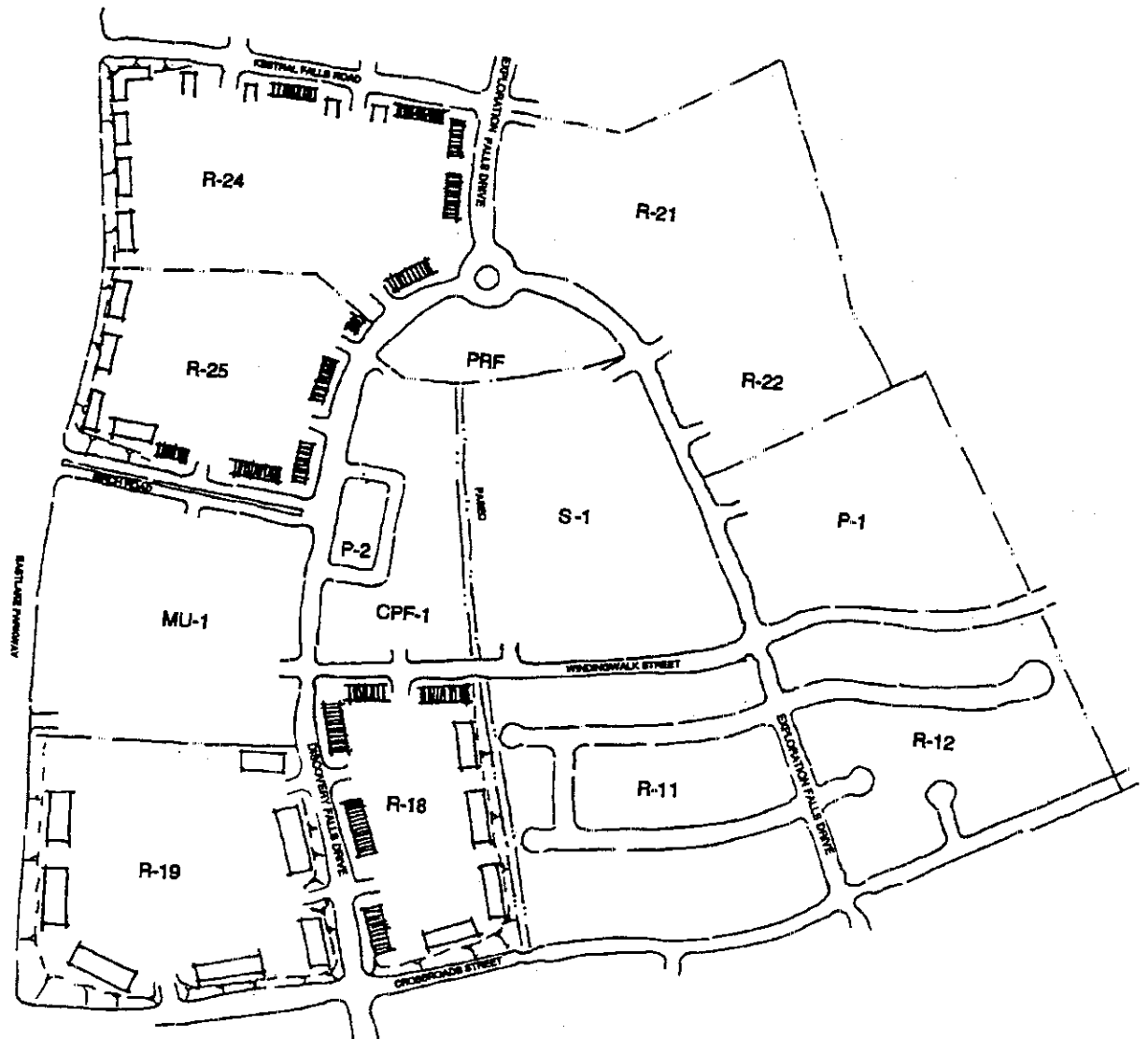
1. Building Siting and Urban Character

The site planning and plotting of residential buildings will contribute to the pedestrian-oriented village concept. Site planning which focuses on the pedestrian includes design that orients entries towards village core streets and minimizes views to garages and parking areas. The following guidelines are provided for siting and building plotting of residential developments.

- Developments fronting on to village core streets shall be oriented towards the street with reduced setbacks, multiple entries and pedestrian connections to ground floor units
- Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways in the Irving Gill-inspired village design theme
- Building orientation should consider indoor and outdoor privacy, noise, solar access and overall aesthetic appearance
- Where grade differentials occur between the street and a development, the differential may be used to create separation between the public street and private living space. Interesting entries incorporating steps, porches or landings may be integrated into the design
- Developments adjacent to major streets surrounding the village and adjacent to village entry streets may be buffered with sound and privacy walls. Walls and view fences located along village entry streets shall incorporate inviting entry openings for both pedestrians and cars.
- The building architecture that is visible beyond sound and privacy walls shall be well-articulated with pedestrian-oriented features, such as second story windows and balconies
- On village core streets, the use of solid masonry walls should be minimized and used primarily between buildings to screen parking areas or to enclose private entries and courtyards.
- Parking and vehicular access shall be located to the rear or within each development and separated from the pedestrian-oriented street frontage
- Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors
- Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.

- All surface and covered parking within multi-family areas shall be separated from village streets, tops or toes of slopes, patios or courtyards with a landscaped buffer. The buffer shall include screening elements such as low walls or masses of shrubs to screen headlights and glare from reflective car surfaces.
- All utilitarian aspects of development, such as mechanical equipment, storage, trash and recycling collection areas shall be integrated into the site design so as not to be visible from pedestrian and public view areas to the extent possible.
- The location and design of trash and recycling facilities shall be in conformance with the City of Chula Vista's Recycling and Solid Waste Guidelines.

The following exhibits illustrate design concepts for the Village Core District. Exhibit 19 illustrates the site design and building focal point design for projects on street corners, Exhibit 20 illustrated pedestrian oriented architectural features and Exhibit 21 illustrates mandatory design elements in the Village Secondary Residential District.




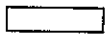
-  Front Elevation With Pedestrian Entry
-  Architecturally Treated Building

Exhibit 21
 Mandatory Elements for Village Secondary Residential District

2. Architecture

As described in the Village Eleven Design Plan, the design theme is inspired by the architecture of Irving Gill. The design intent is not to replicate Gill architecture, but to utilize his design concepts to establish a theme for Village Eleven. Gill emphasized the relationship between indoor and outdoor spaces to create outdoor rooms through the use of pergolas, arbors, colonnades, porches and adjunct building masses. The building façade design contributes to the pedestrian-oriented character of the village, so particular attention should be directed to street facing or other highly visible building façades. The following guidelines shall apply to those development sites within the Village Core.

- Landmark architecture shall be located at all focal points and major intersections within the village. “Landmark architecture” should be a distinctive element that creates an accent or focal point, such as a tower.
- Primary building entries and individual residential unit entries shall be oriented to the street to the extent possible.
- Buildings shall be arranged to create outdoor rooms, such as courtyards, wherever possible.
- Exterior building elevations shall incorporate a range of scale-defining elements that relate larger building masses to the pedestrian. Such elements include columns, archways, doorways, upper floor windows and balconies.
- Overhead features that create a sense of enclosure and encourage visitors to linger and enjoy the area may be incorporated into the design. Features such as canopies, arcades and roof overhangs create the sense of enclosure and also protection from sun and rain.
- Building height and massing shall be varied.
- Roof forms shall be compatible with the architectural style and create skyline interest.
- Architecture along the same street or within a complex shall include buildings of similar but varying height and share one or more distinctive element, such as materials, window and door style, detailing, porches, arcades, overhangs, roofing, color, etc.
- Decorative detailing shall be consistent with the overall architectural style and be used as accents. Detail elements include arches, balconies, balustrades, chimneys, cupolas, ceramic tile, moldings, reveals, wrought iron, hand rails, windowsills, finials, and lighting fixtures.
- All utilitarian aspects of development, such as mechanical equipment, gutters, downspouts, storage and refuse collection areas shall be integrated into the building design so as not to be visible from pedestrian and public view areas to the extent possible.
- Exterior staircases shall be compatible with the building architecture.
- Exterior staircases shall be visually perceived as integral to the building or as a significantly defined architectural accent.
- Side and rear elevations of buildings exposed to view shall be articulated or enhanced to provide a pleasing appearance from public or neighboring use views.
- Carports and freestanding garages shall be architecturally treated and designed to match the style of the residential buildings.

- Gutters and downspouts shall be integrated into the architecture
- Chimneys should be of varying heights and designed to create visual interest

The following feature-specific guidelines apply to the architecture within the District:

Arcades and Loggias

- Arcades and loggias are a major architectural element and should be used to support the design theme of interconnecting indoor and outdoor spaces
- Traditional ratios and proportions between columns, the diameter and height of columns and the width of the arch need to be carefully considered.

Arches

- Full or flat arches of appropriate scale are preferred over pointed arches.
- Arches and their supports shall convey appropriate depth
- Careful consideration shall be given to the wall surface above the arch, so that sufficient wall surface is present between the key of the arch and the next architectural element above

Awnings

- Canvas awnings should generally be simple angled surface, preferably with open sides and plain or decorative valances
- Horizontal segmented curved awnings and domed awnings are generally prohibited. Curved awnings may only be used in those instances where they are appropriate to an arched opening. The awning should be placed within the arch so that the form and depth of the arch is still visually apparent
- Internally lit awnings are prohibited.

Exterior Stair case

- Exterior staircases shall be compatible with the architectural character of the building.
- Exterior staircases shall visually read as a volume integral to the building or as a significant defined architectural accent

Ground Mounted Equipment

- Small ground mounted equipment shall not be readily visible from public view. Where the equipment is potentially visible from public view, it shall be screened with an enclosure that is consistent with the architecture of the building.
- The equipment shall not be a multiple type equipment installation that requires a large enclosure.

Ground Surfaces

- Surfaces shall be broken up into appropriately scaled geometric patterns that are related to the design of the building, to the general area within which the building is located or to the plantings surrounding the surface.
- Large uninterrupted paved horizontal surfaces shall be avoided. If such cases occur, the surfaces shall be broken up and closely coordinated with the design of adjacent structures

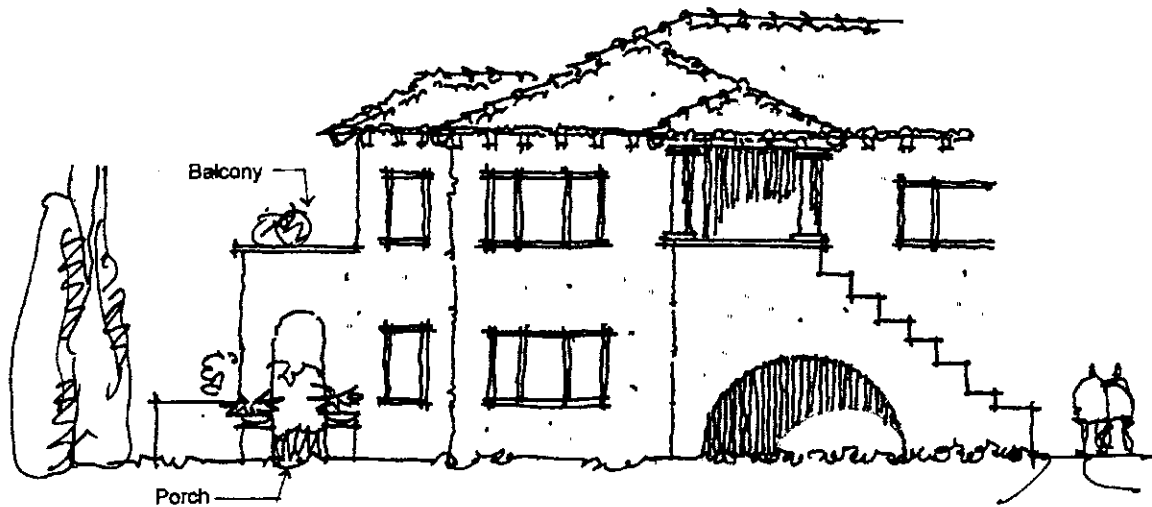
Roofs

- Roof forms shall be appropriate to the style of the building.
- Flat roofs shall be surrounded by a parapet of a height that will screen any rooftop equipment
- Projecting cupolas, towers, varied chimney forms or similar features are required for landmark buildings. In many cases such roof projections can be used to house ventilation and other heating and cooling equipment.
- When solar collectors are used, they shall be either integrated into the roof surface, placed behind projecting parapets or fully enclosed into roof wells

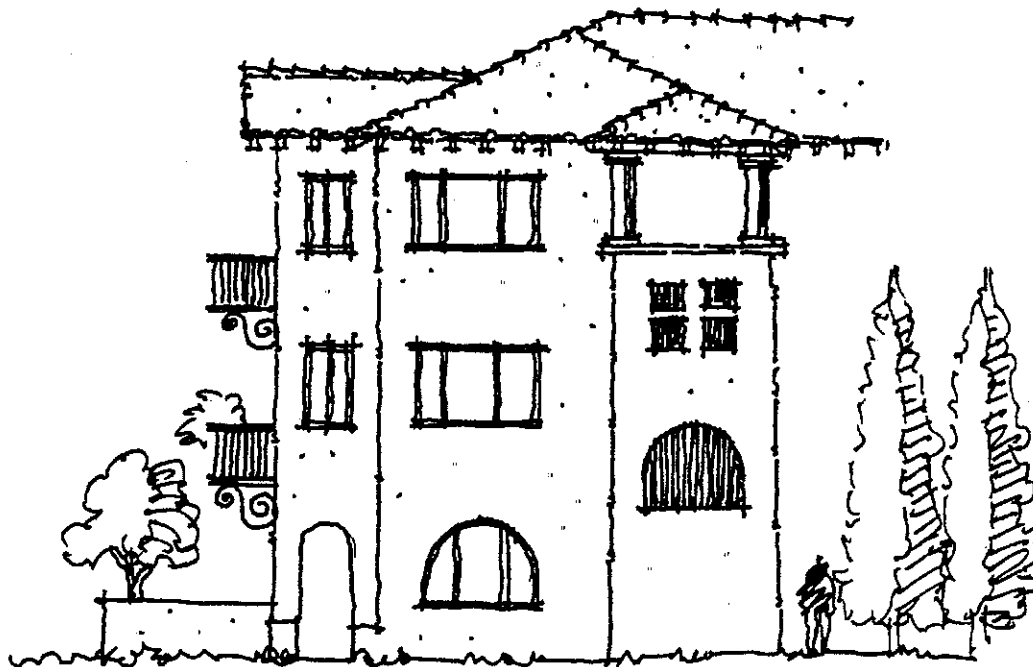
Window and Door Openings

- Openings shall be designed to suggest the thickness of traditional masonry wall surfaces
- Doors and windows that occur in the openings shall be recessed away from the outer wall surfaces
- Mullions shall break up glass areas so that their scale is compatible with the buildings.
- Large unbroken expanses of glass or other shiny or reflective surfaces are prohibited.

Exhibits 22 through 25 illustrate architectural design for the Village Secondary Residential District. Table 4 provides a list of preferred, acceptable and prohibited building materials and finishes.



2-story stair element incorporating exterior stairs into building architecture



3-story stair element incorporating exterior stairs into building architecture

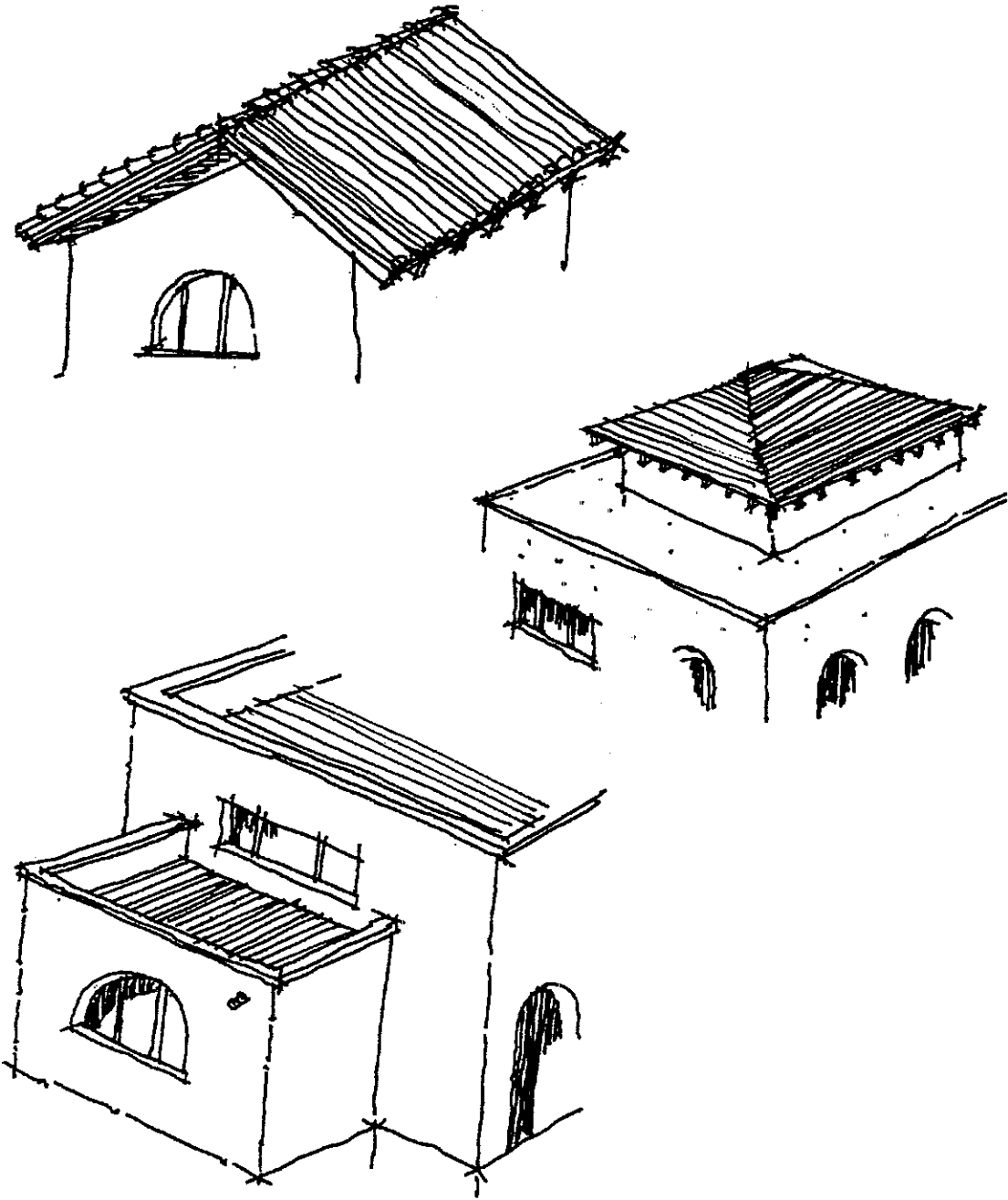


Exhibit 23
Preferred Roof Forms

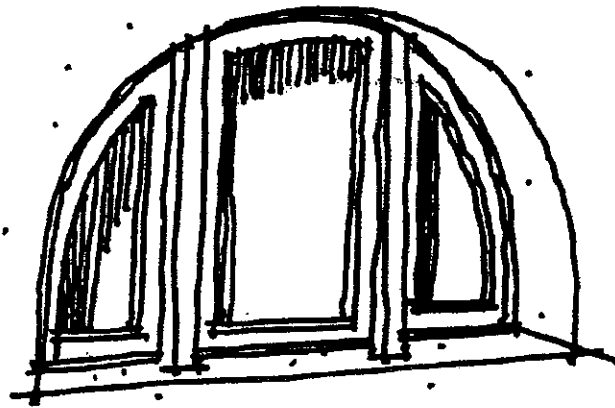
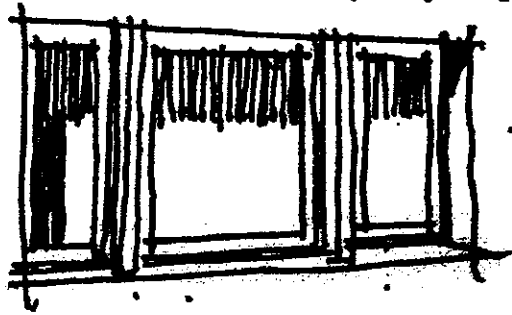


Exhibit 24
Preferred Window Configurations

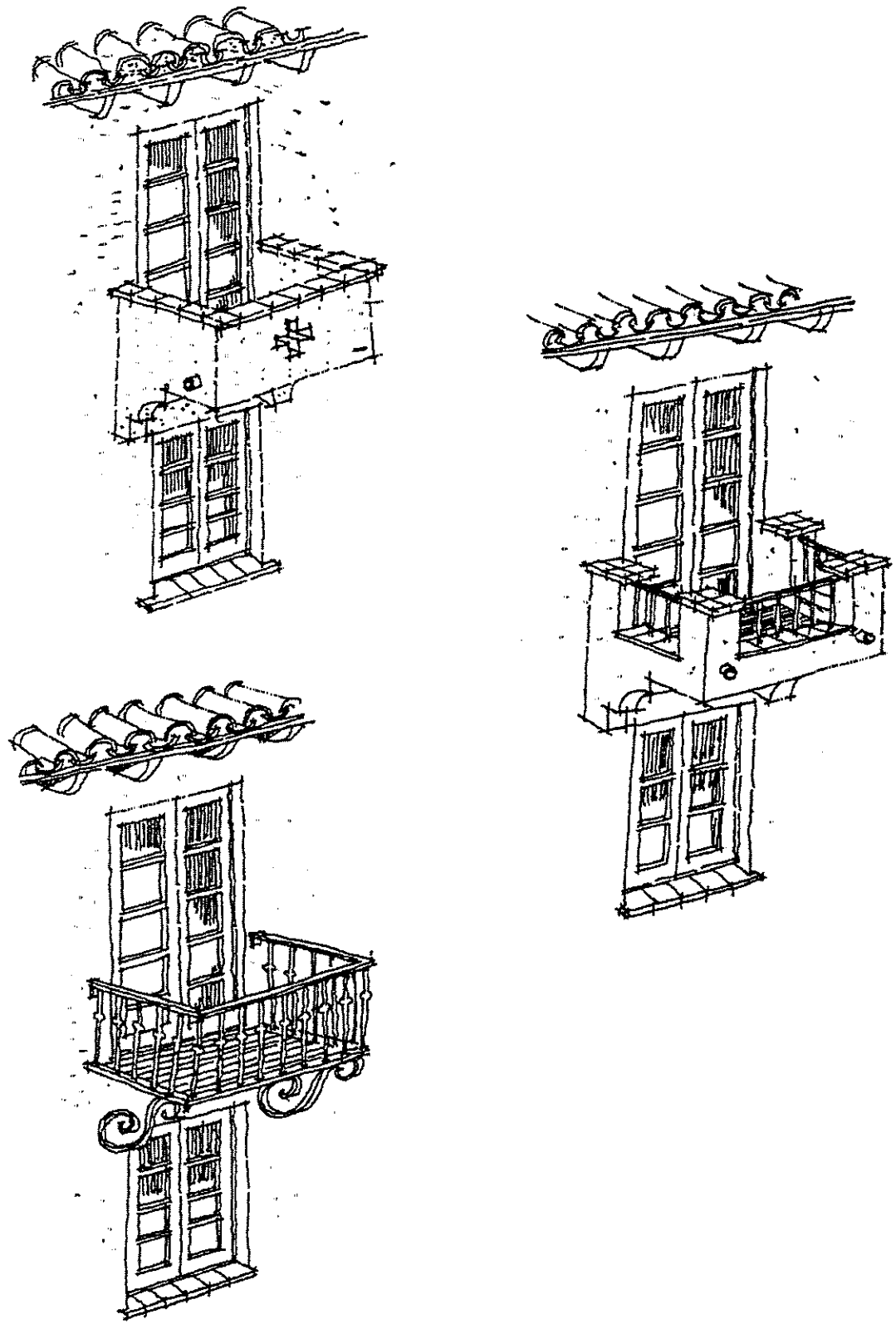


Exhibit 25
Balcony Treatments

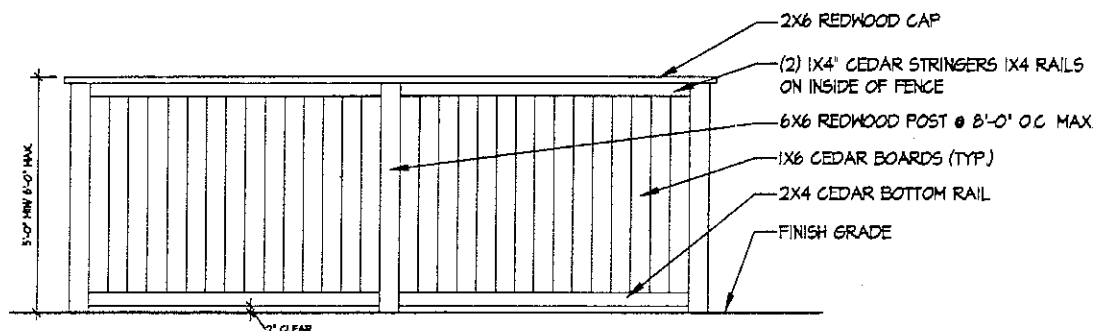
TABLE 4 Village Secondary Residential District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
ROOFING				
Flat Concrete	X			Warm Colors
Galvanized Corrugated Metal		X		
Galvanized Metal Fascia	X			
Wood Fascia	X			
Slate		X		
Copper		X		
S Barrel Tile		X		
Pan Mission Tile		X		
Colored Ceramic Tile		XX		For accent use/and or patterned roof
Bitumen		X		Flat surfaces only
Wood Shake			X	
Wood Shingle			X	
Asphalt Shingle			X	
EXTERIOR WALLS/SIDING				
Community Stone	X			Otay Ranch Utah Desert stone
Community Block	X			
Galvanized Corrugated Metal		X		24 gauge minimum
Brick Veneer		X		
Wood Battens		X		Horizontal or vertical
Wood Shingle			X	
Chain Link			X	(Allowed in City Park)
STUCCO				
Smooth Hand-Trowel Finish	X			
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Wood Shuttered		X		Satin finish or painted, warm colors
Large Expanse of Glass			X	
STOREFRONT WINDOWS				
Multi-Paned	X			Traditional character
Wood Mullions		X		Satin finish or painted, warm colors
Metal Mullions		X		Anodized
Large Expanse of Glass			X	
AWNINGS				
Canvas	X			Simple angled; open sided preferred
Sheet Metal			X	Anodized
Plastic			X	
Domed			X	
Internally Lit			X	

TABLE 4 (continued) Village Secondary Residential District Building Materials & Finishes				
Material/Finish	Preferred	Acceptable	Prohibited	Notes
TRELLISES				
Metal	X			Anodized
Wood		X		Satin finish, warm colors
ARCADES				
Community Stone	X			Otay Ranch Utah Desert stone
Wood		X		Satin finish, warm color
Stucco Finish		X		Smooth hand trowel
Ceramic Tile Accents		X		Accents only
Modern American			X	
Splatter Finish			X	
Pebble Dash			X	
Machine Applied Color Chart			X	
DOORS				
Wood Framed	X			Satin finish or painted, warm colors
Metal Framed		X		Galvanized metal
Louvered			X	Galvanized metal
Roll-Up			X	Galvanized metal, non-street facing
Steel		X		Galvanized metal and painted
Glass			X	Galvanized metal frame
Non-Tempered Glass			X	Traditional character
COLUMNS				
Community Stone	X			Otay Ranch Utah Desert
Wood		X		Stain finish, warm colors
Concrete		X		Smooth hand-trowel finish
Metal		X		Anodized
Ceramic Tile Accents		X		Accents only
Raw Metal			X	
GATES				
Metal	X			Galvanized and painted
Wrought Iron		X		
Tubular Steel	X			
Raw Metal			X	
Wood			X	
Chain Link			X	(Allowed in City Park)

3. Landscape Architecture

Landscaping consisting of both hardscape and softscape treatments shall reinforce the urban character of the District and reflect ordered, formal treatments rather than random, natural appearing solutions. Design guidelines for landscape architecture are as follows:

- The creation of outdoor "rooms," such as courtyards, outdoor dining areas, plazas, paseos, formalized walkways, arbors, and arcades shall be emphasized to support the Irving Gill design theme.
- Amenities such as enhanced paving, seating areas and lighting shall be incorporated into the landscape to create an atmosphere that is appropriate to shopping, socializing and recreation. Hardscape material use is described in Table 5.
- The use of steps, retaining walls and structures for grade separations in this District is preferred over landscaped banks to emphasize the urban character and to provide defined spaces such as for seating.
- Tree design use shall include a mix of skyline, shade and colorful accent trees. A list of approved trees is provided in Table 6 [the approved list of street trees is provided in Table 3].
- Pedestrian scaled plantings, such as colorful groundcovers, container plantings and vine covered arbors will enliven the area. A list of approved trees and shrubs is provided in Table 6.
- Parking area landscaping shall be in conformance with this Master Precise Plan (see Exhibit 13), the Village Eleven Design Plan and the City of Chula Vista Design Manual and Landscape Manual.
- Parking areas shall be screened by a landscape buffer that may include berms, low walls or shrubs approximately 3 feet in height to block headlight glare yet provide visual access into the areas to enhance security.
- Trees shall be planted in parking areas to provide shade and reduce glare from paving and parked vehicles. Planters shall be located in the parking areas to visually break up the expanse of paving.
- All village perimeter walls and fencing shall be designed in conformance with the Village Eleven Comprehensive Wall and Fence Plan (see Exhibit 14). Table 5 lists additional wall and fencing materials that may be used within individual developments.



Residential Neighborhood Wood Fence

TABLE 5 Village Secondary Residential District Hardscape and Wall and Fence Materials/Finishes
<p>PAVING</p> <p><u>Permitted Materials:</u></p> <ul style="list-style-type: none"> • Natural Stone (including but not limited to sandstone, limestone, fieldstone, flagstone, granite and slate) • Exposed aggregate, natural stone color • Natural stone unit pavers. • Colored concrete (natural stone colors) with textured finishes • Stamped or patterned concrete (natural stone colors) • Fired clay pavers • Pre-cast concrete pavers (natural stone finishes and colors) • Terrazzo • Turf block, Grass Crete or similar • Ceramic Tile Accents <p><u>Prohibited Materials:</u></p> <ul style="list-style-type: none"> • Predominantly black or dark gray pavement • Intense primary colored paving • Common gravel • Asphalt or asphaltic concrete • Decomposed granite (Allowed in City Park)
<p>WALLS AND FENCING</p> <p><u>Permitted:</u></p> <ul style="list-style-type: none"> • Village Eleven Perimeter Theme Masonry • Adobe Brick (coated) • Natural Stone (Otay Ranch Utah Desert or similar) • Block or steel framed stucco (smooth, dash coat, bumpy-smooth/Santa Barbara style, combed or sand finish only) • Pre-cast concrete • Brick • Slump stone (coated) <p><u>Prohibited:</u></p> <ul style="list-style-type: none"> • Wood structural walls • Other "styles not in keeping with the architectural theme"
<p><u>Permitted:</u></p> <ul style="list-style-type: none"> • Wrought Iron (with approved finishes) • Decorative steel or aluminum (with approved finishes) • Decorative wood <p><u>Prohibited:</u></p> <ul style="list-style-type: none"> • Chain Link (Allowed in City Park) • Wood lath • Split rail • Plastic • Other "styles not in keeping with the architectural theme"

TABLE 6	
Village Secondary Residential District	
Approved Plant List	
<u>Trees (See Table 3 for Approved Street Tree List)</u>	
Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus sideroxylon rosaea	Red Ironbark (Requires City Arborist review)
Gleditisa tricanthos inermis	Honey Locust
Jacaranda acutifolia	Jacaranda
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Pyrus kawakamii	Evergreen Pear
Prunus calleryana 'Bradfordii'	Bradford Pear
Tipuana tipu	Tipu Tree (Requires City Arborist review)
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	True Green Elm
<u>Shrubs</u>	
Agapanthus africanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica'	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Cuphea hyssopifolia	Breath of Heaven
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii'	Escallonia
Lantana spp	Lantana
Lavendula spp	Lavender
Ligustrum 'Texanum'	Texas Privet
Limonium perezii	Statice
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'Wheeleri'	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

4. Lighting

A unified lighting concept utilizing thematic fixtures has been developed for the Village Core District. A low intensity, twelve (12) foot high pole mounted fixture is used along the Village Entry, Village Core Promenade, Village Core, Residential Promenade Streets and paseos. An eighteen to twenty-two (18-22) foot high, pole mounted fixture is specified for parking areas. Exhibit 15 illustrates Village Core lighting fixtures. The following general lighting guidelines apply to the Village Core District:

- Lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians
- Lighting shall be directed, or shielded if necessary, to avoid intrusion into residential neighborhoods and the Salt Creek habitat
- Lighting shall be attractive and suitable to the design theme of Village Eleven
- Lighting shall be manufactured of high quality materials that are visually compatible with design elements, such as street furniture and architecture
- Specialty street lights may be provided by the San Diego Gas and Electric Company. The preferred design is an acorn style lamp on top of a simulated concrete pole. Specialty lighting shall be maintained by a Community Facilities District or a Homeowner's Association
- A hierarchy of lighting levels and lighting fixtures will be used for street lights. Village entry and core streets will use taller and brighter fixtures. Residential street lighting will be smaller scale with lower lighting levels.
- Specialty lighting along pedestrian corridors shall be spaced for human scale. Examples are low pole lighting, bollard lighting, and ground-level lighting
- Accent lighting may be used on all permanent monument or project signs and may consist of uplights, downlights, spotlights, pole lights, bollards, or bar lights
- Accent lighting is allowed for focal features, such as fountains, trees, overhead structures, or other elements that would provide an aesthetic or safety benefit
- Accent lighting should be limited to focal points. Subtle lighting should take precedence and over-lighting should be avoided
- Play field lights, if provided, should provide adequate illumination directed to the play area and shielded from intruding into residential areas.

5. Furnishings

Street furnishings make an important contribution to the pedestrian-oriented village. Some furnishings, such as lighting, are necessary simply to use the outdoor space. Other furnishings, such as benches and trash receptacles, are enhancements that encourage people to walk and use the outdoor spaces. Exhibits 16 and 17 illustrate Village Core street furnishings. The following are design guidelines for furnishings:

- All street furnishings in the village will be designed or selected to promote the village design theme and will be used consistently throughout the village.
- Transit shelters, trash enclosures, and special features, such as fountains, will be designed similarly to the village monument features
- Benches, bicycle racks, trash receptacles and tree grates will be selected to be compatible with the theme
- Trash and recycling receptacles shall be designed in accordance with the City of Chula Vista's policies for Recycling and Solid Waste Guidelines.

6. Signage

Sign design in the Village Secondary Residential District shall be consistent with the overall village design theme. Signs within the District may consist of individual project monument signs, individual project wall signs and directional signs. Sign criteria governing the locations, number, size and design standards are provided in the Village Eleven Planned Community District Regulations and the City Zoning Ordinance

Planned Signage Program

A Planned Signage Program is required to be approved concurrently with or as a condition of approval of the Site Plan and Design Review for Multi-family Residential uses. The purpose of the program is to integrate signs with the proposed Village Eleven architectural and landscaping design guidelines. This shall be achieved by requiring signs that:

- Use the same background color
- Utilize no more than three different colors per sign for lettering
- Utilize consistent structural support and materials for signs
- Utilize a landscape setting, logos, color scheme or other methods consistent with the SPA Plan and approved by the Zoning Administrator to convey a unique Village Eleven theme
- Use the same form of illumination for all signs, or by using varied forms of illumination determined to be compatible by the Zoning Administrator
- Vary from the above standards if the signage can be determined by the Zoning Administrator to be compatible with the surrounding community character

The Planned Signage Program must comply with the following specific criteria for the Multi-family Sites. Some reference is made to the Chula Vista Municipal Code.

- Monument signs shall be consistent with the "Neighborhood Monument Sign" design as specified in the Village Eleven Comprehensive Sign Plan. One ground or monument sign and one wall sign identifying the name of the development.
- Wall mounted signs shall be incorporated into entry walls and located on or both sides of the entry.

Planned Signage Program Submittals

Preliminary Design Submittal and Review

The project owner or tenant shall submit two (2) sets of preliminary drawings of any proposed sign to the Master Developer or designated representative for review. The submittal must include:

- Storefront or building exterior elevations at 1/2" scale clearly identifying the materials and lighting and the size and location of each sign for which a concept design is being proposed.
- Scaled colored mock-up of the front elevation of each sign type indicating sizes, materials and lighting techniques
- Materials, colors, details and form for each sign, as well as its integration into the overall storefront will be evaluated

Submittals deemed unacceptable shall be revised and resubmitted before proceeding with final plans.

Final Design and Working Drawings

Once preliminary designs are approved, the owner or tenant may proceed with the submittal of final designs and working drawings. A full set of final plans must be approved by the Master Developer and City of Chula Vista prior to issuance of a sign permit, if required, pursuant to Section 19.60.030 of the Chula Vista Municipal Code. No alterations, additions or changes may be made without review and approval by the Master Developer and the City of Chula Vista.

The following plans and information shall be submitted in triplicate:

- Dimensioned scaled drawings depicting front elevations, side views and sections for all signs (including copy layouts).
- Specifications for materials, colors, finishes, coatings, typestyles, lighting techniques, means of attachment, structural elements and details.
- Building elevation showing exact location, size and placement of each sign on the building.

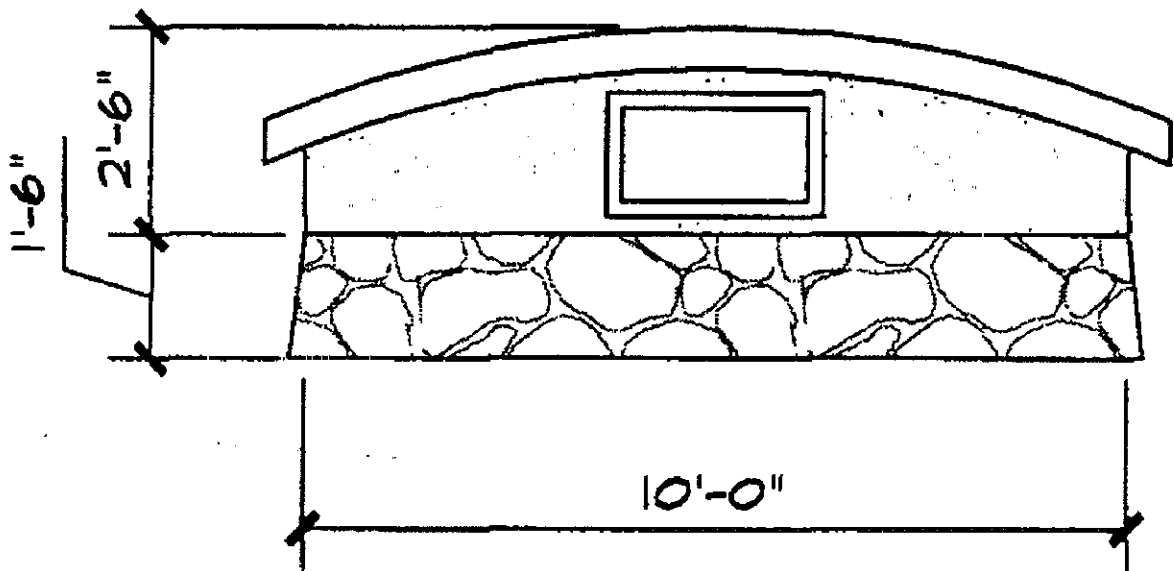


Exhibit 26
Village Eleven Neighborhood Monument Sign

V. DESIGN REVIEW CHECKLISTS

This section summarizes the important site planning and design issues for each of the various Individual Precise Plan (Site Plan) areas within the Village Core. They do not address phasing of development construction responsibility or other important implementation or site development issues not addressed in this Master Precise Plan. These issues will arise in the review of each Individual Precise Plan (Site Plan) submittal and are addressed in the Village Eleven SPA Plan, PFFP, Development Agreement and/or other adopted planning documents.

Although the Village Core will function as a unified component of Village Eleven, specific areas shall incorporate specific design concepts based on land use and/or geographic location. Each parcel should reflect the vehicular and pedestrian elements depicted on the following Exhibits:

- Exhibit 3, Mandatory Master Precise Plan Elements (page 12)
- Exhibit 4, Core Pedestrian Circulation (page 15)
- Exhibit 5, Core Vehicular Circulation & Transit Stops (page 16)
- Exhibit 21, Mandatory Elements for Village Secondary Residential District (page 50)

This section provides design checklists for the following Village Core Planning Areas:

Village Core District

- Mixed-Use/Commercial (MU-1)
- Town Square Site (P-4)
- Community Purpose Facility Site (CPF-1)
- Village Core Private Recreation Facility Site (PRF)

Village Secondary Residential District

- Residential Site Residential Sites R-21 & R-22
- Residential Site R-24
- Residential Site R-25
- Residential Site R-19
- Residential Site R-18
- Residential Site R-12
- Residential Site R-11

MIXED-USE/COMMERCIAL (MU-1)

Design District:

- Village Core

Location:

- Western area of village core at Birch Road entry and commercial exposure from EastLake Parkway.

Planned Use:

- Mixed-Use Commercial incorporating neighborhood-serving uses such as a grocery store, retail shops and offices. Residential uses are also planned in this area.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Primary pedestrian oriented edges along the Village Pathway (Birch Road) and Village Core Promenade Street (Discovery Falls)
- Parking lot internal to site

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation along the Village Pathway and Village Core Promenade Street with access to the interior of the site, a transit stop, and the town square.
- Secondary pedestrian access to the CPF site and neighboring residential sites.

Vehicle Access:

- Highest vehicular use area in the village requires efficient vehicular movement with minimized pedestrian conflicts
- Parallel parking on adjacent village streets and internal parking lot.

Transit Access:

- Transit stop located at site with well-defined pedestrian circulation and amenities.

Urban Character:

- Formal, articulated and highly detailed architecture with storefronts oriented towards Village Pathway and Village Core Promenade Street.

Mandatory Site Plan Elements:

- 1 Secondary Village Landmark with pedestrian access at the intersection of Birch Road and Discovery Falls Drive
- 2 Architectural Focal Point
- 3 Main Street Commercial
- 4 Transit stop
- 5 Pedestrian connections
- 6 Integrate design with Village Entry Street/Village Pathway streetscape
- 7 Integrate design with Village Core Promenade Streetscape
- 8 Parking lot internal to site

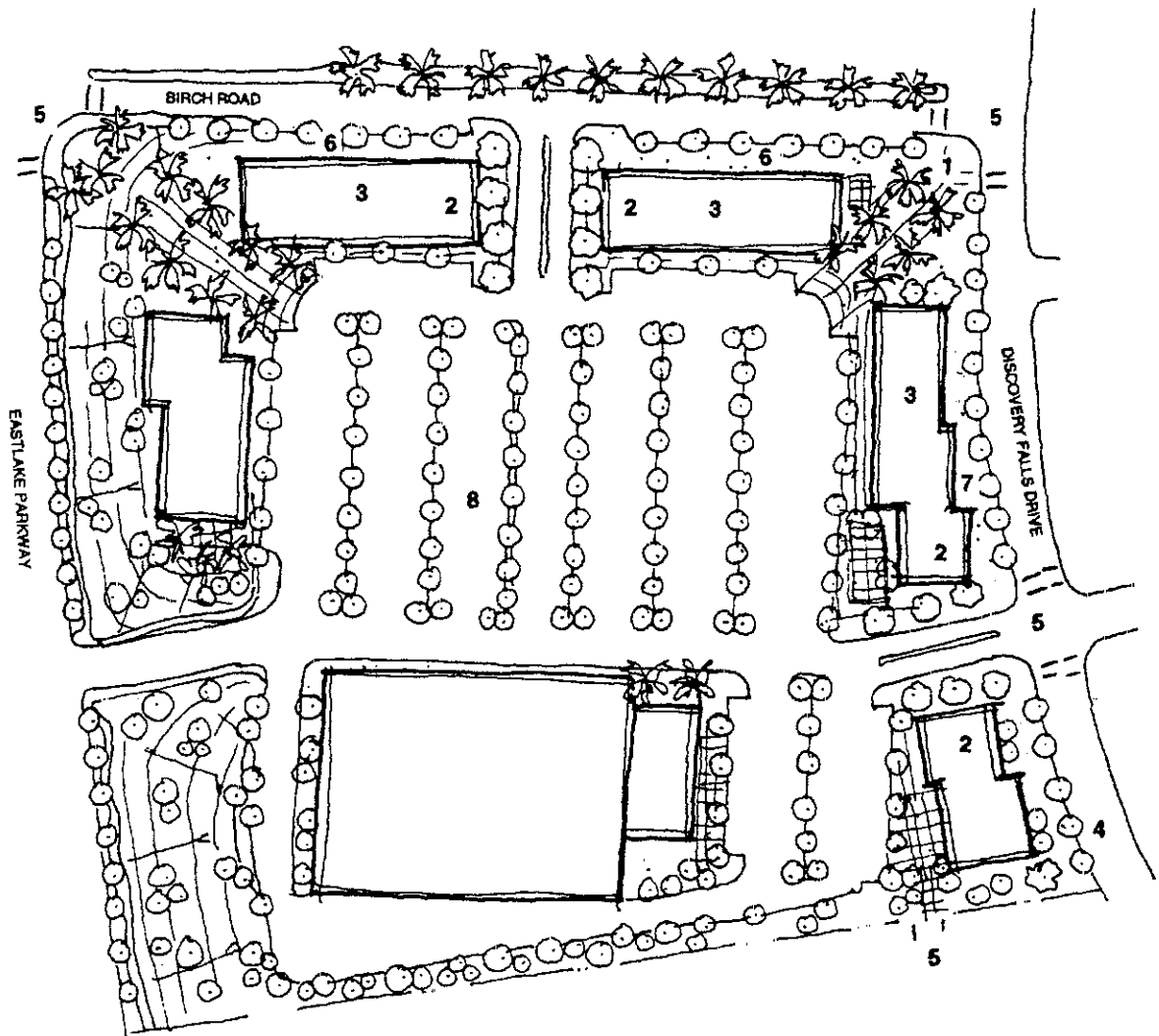


Exhibit 27
Mixed-Use Concept Plan

TOWN SQUARE SITE (P-4)

Design District:

- Village Core

Location:

- Central and focal point entry to the village at Birch Road/Village Entry Street

Planned Use:

- Town square plaza or park.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Village focal point reflecting the pedestrian design and urban character of the village
- Traditional design reflecting importance within the village.

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation to the Village Pathway and Village Core Promenade Streets and the paseo

Vehicle Access:

- Vehicular circulation around the square.
- Parking on opposite side of street from square.

Transit Access:

- Transit stop located opposite square at Mixed-Use/Commercial site

Urban Character:

- Formal, village focal point

Mandatory Site Plan Elements:

- Village Landmark with a strong design element such as a fountain or public art.
- Traditional design reflecting importance within the village
- Shade and accent trees, seating areas and other pedestrian amenities.
- Integrated pedestrian circulation throughout the site.
- Integrated design with Village Promenade streetscape.

COMMUNITY PURPOSE FACILITY SITE (CPF)

Design District:

- Village Core

Location:

- Central area of village core at Birch Road/Village Entry.

Planned Use:

- Community Purpose Facility such as a church or community-serving institution.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Landmark/focal point building location
- Primary pedestrian oriented edges along the Village Core Promenade Street (Discovery Falls)
- Parking lot internal to site.

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation to the Village Core Promenade Street, Town Square, transit stop and paseo

Vehicle Access:

- Vehicular access from Village Core Promenade Street.
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

- Transit stop located across Village Core Promenade Street.

Urban Character:

- Formal, articulated and highly detailed architecture towards Village Entry Street and Village Core Promenade Street

Mandatory Site Plan Elements:

- Architectural Focal Point
- "Outdoor rooms" such as courtyards, plazas, and arbor walkways.
- Integrate design with Village Core Promenade streetscape.
- Pedestrian connections to transit stop, Town Square, Private Recreation Facility and paseo
- Integrated pedestrian circulation throughout the site
- Parking lot internal to site.

PRIVATE RECREATION FACILITY SITE (PRF)

Design District:

- Village Core

Location:

- Central area of village core at Birch Road/Village Entry

Planned Use:

- Private Recreation Facility with amenities such as a community room, swimming pool, sports courts, picnic and play areas

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Landmark/focal point building location.
- Primary pedestrian oriented edges along the Village Core Promenade Street (Discovery Falls/Exploration Falls).

Pedestrian Access:

- Highly pedestrian oriented with well-defined access and circulation to the Village Core Promenade Street, Town Square, transit stop and paseo

Vehicle Access:

- Vehicular access from Village Core Promenade Street.
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

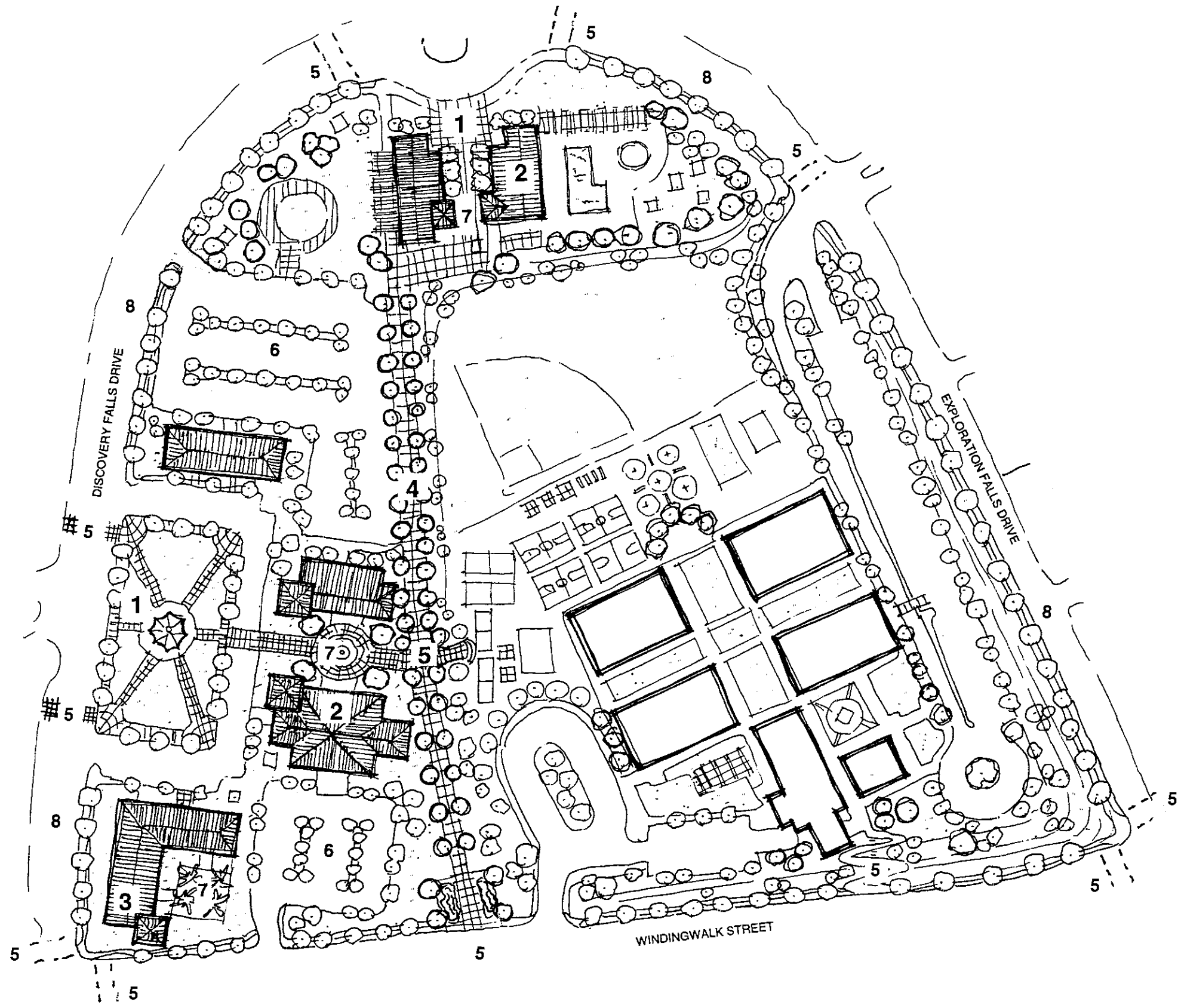
- Transit stop located across Village Core Promenade Street

Urban Character:

- Formal, articulated and highly detailed architecture towards Village Entry Street and Village Core Promenade Street
- "Outdoor rooms" providing social spaces, formal pedestrian connection and view corridors

Mandatory Site Plan Elements:

- Village Landmark at intersection of Discovery Falls Drive and Exploration Falls Drive
- Village Landmark building
- "Outdoor rooms" such as courtyards, plazas, and arbor walkways
- Pedestrian connections to Town Square, Community Purpose Facility and paseo
- Integrate design with Village Entry Street and Village Core Promenade streetscapes



Mandatory Site Plan Elements

1. Village Landmark
2. Village Landmark Building
3. Architectural Focal Point
4. Pedestrian Paseo
5. Pedestrian Connection
6. Parking Lots Internal to Site
7. "Outdoor Rooms" (courtyards, plazas, trellis walkways)
8. Village Core Promenade Streetscapes

Exhibit 28
Central Village Core Concept Plan

RESIDENTIAL SITES R-21 & R-22

Design District:

- Village Secondary Residential District

Location:

- Northeast area of village core at Village Entry Street (Exploration Falls).

Planned Use:

- Multi-Family Residential

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations.

Building Design/Siting:

- Building shall be a maximum of three stories
- Building enhancements and access along the Village Core Promenade Street (Discovery Falls/Exploration Falls)
- Building enhancements along SDGE/SDCWA easement (visible from surrounding neighborhoods)

Pedestrian Access:

- Access to the Village Core Promenade Street.
- Possible access to trail along SDGE/SDCWA easement

Vehicle Access:

- Vehicular access from Village Core Promenade Street
- Parallel parking on adjacent village streets and internal parking lot.

Transit Access:

- No requirements

Urban Character:

- No requirements

Mandatory Site Plan Elements:

- Secondary Landmark with pedestrian access at intersection of Exploration Falls Drive and Discovery Falls Drive
- Integrate design with Village Entry Street and Village Core Promenade Street streetscapes
- Pedestrian connections to village streets
- Parallel on-street parking and parking internal to site



Mandatory Site Plan Element

- 1 Secondary Landmark with pedestrian access at roundabout.
- 2 Integrate design with Village Entry Street streetscape on Exploration Falls Drive.
- 3 Integrate design with Village Core Promenade streetscape on Exploration Falls Drive.
- 4 Pedestrian connections to village streets.
- 5 Parallel on-street parking and parking internal to site.

Exhibit 29
Residential Sites R-21 & R-22

RESIDENTIAL SITE R-24

Design District:

- Village Secondary Residential District

Location:

- Northwest area of village core at Village Entry Street (Exploration Falls)

Planned Use:

- Multi-Family Residential

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations.

Building Design/Siting:

- Building shall be a maximum of three stories
- Building enhancements and access along the Village Core Promenade Street (Discovery Falls/Exploration Falls) and Village Core Street (Kestrel Falls)
-

Pedestrian Access:

- Access to the Village Core and Village Core Promenade Streets

Vehicle Access:

- Vehicular access from Village Core and Village Core Promenade Streets
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

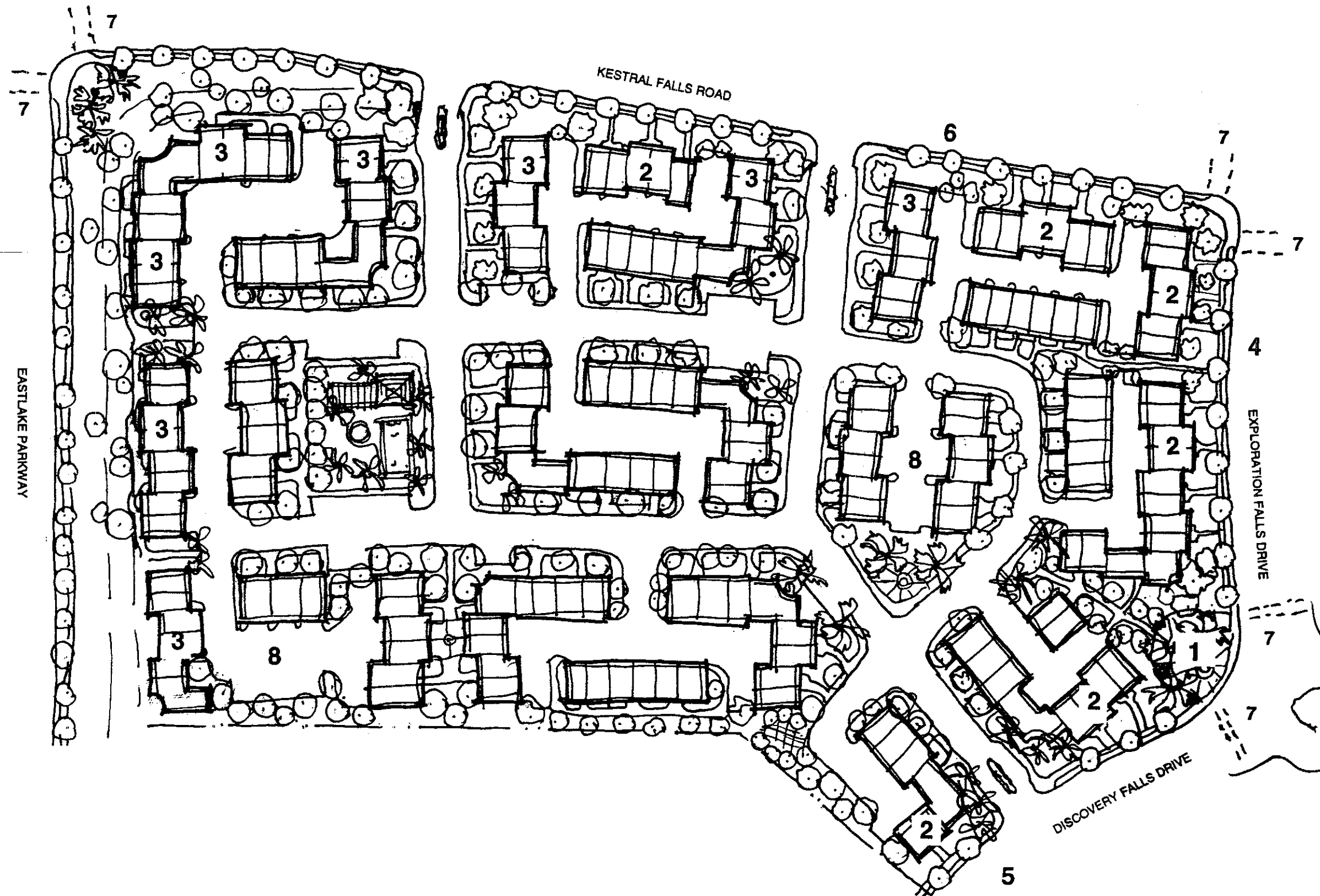
- No requirements

Urban Character:

- No requirements

Mandatory Site Plan Elements:

- Secondary Landmark with pedestrian access at roundabout
- Front elevations with pedestrian entries
- Architecturally treated buildings
- Integrate design with Village Entry Street streetscape on Exploration Falls Drive
- Integrate design with Village Core Promenade streetscape on Discovery Falls Drive
- Integrate design with Village Core Street streetscape on Kestrel Falls Road
- Pedestrian connections to village streets
- Parallel on-street parking and parking internal to site



- 7. Pedestrian connections to village streets.
- 8. Parallel on-street parking and parking internal to site

RESIDENTIAL SITE R-25

Design District:

- Village Secondary Residential District

Location:

- West central area of village core at Village Entry Street (Birch Road)

Planned Use:

- Multi-Family Residential

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations.

Building Design/Siting:

- Building shall be a maximum of three stories
- Building enhancements and access along the Village Core Promenade Street (Discovery Falls) and Village Entry Street (Birch Road)

Pedestrian Access:

- Access to the Village Core and Village Core Promenade Streets.

Vehicle Access:

- Vehicular access from Village Core Promenade Street (Discovery Falls)
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

- No requirements

Urban Character:

- No requirements

Mandatory Site Plan Elements:

- 1 Secondary Village Landmark with pedestrian access at intersection of Birch Road and Discovery Falls Drive
- 2 Front Elevations with pedestrian entries
- 3 Architecturally treated buildings
- 4 Integrate design with Village Core Promenade streetscape on Discovery Falls Drive
- 5 Integrate design with Village Entry Street streetscape on Birch Road
- 6 "Outdoor rooms" such as courtyards, plazas, and arbor walkways
- 7 Pedestrian connections to village streets.
- 8 Parallel on-street parking and parking internal to site

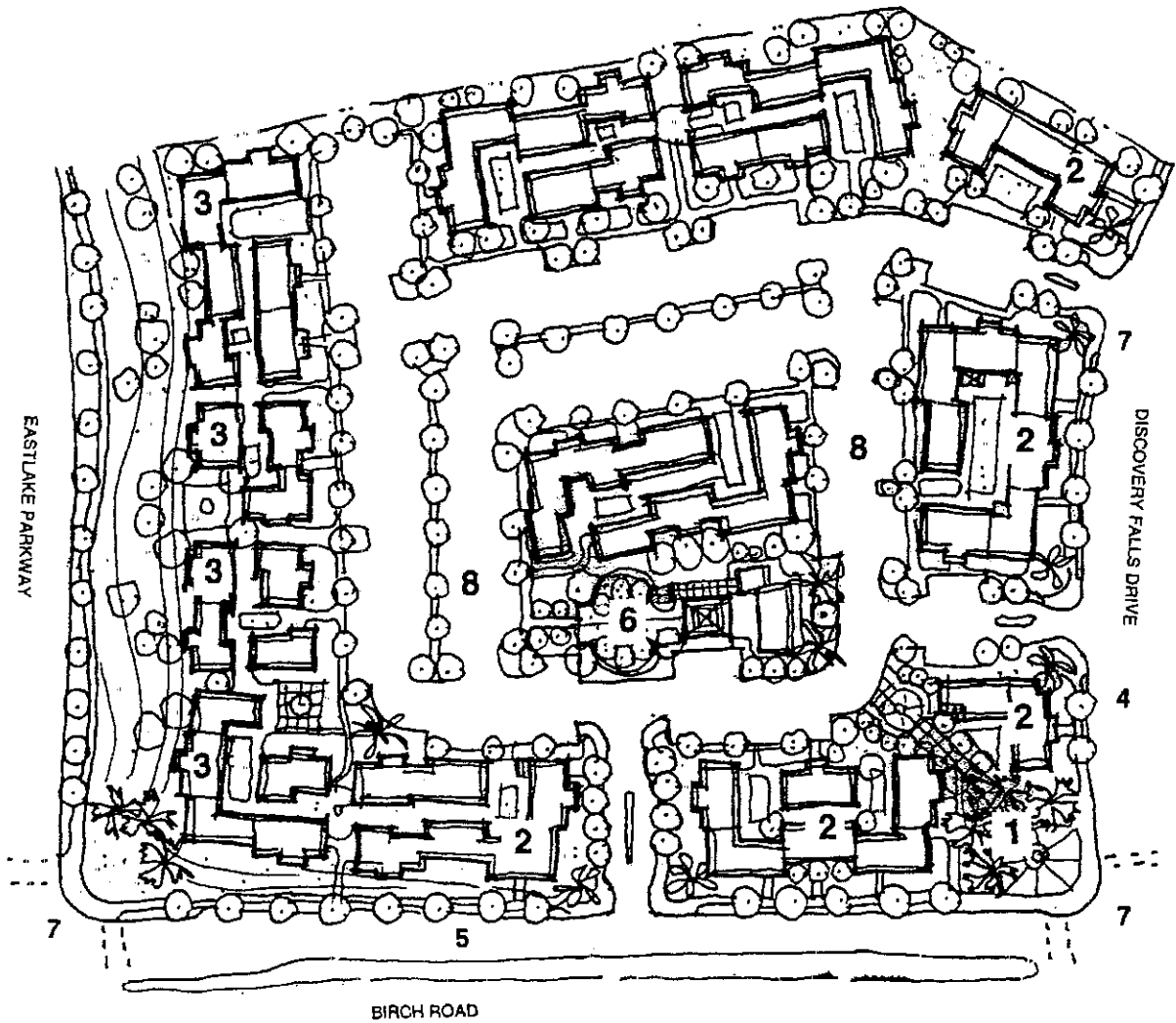


Exhibit 31
Residential Site R-25

RESIDENTIAL SITE R-19

Design District:

- Village Secondary Residential District

Location:

- Southwest area of village core.

Planned Use:

- Multi-Family Residential.

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Building shall be a maximum of three stories
- Building enhancements and access along the Village Core Promenade Street (Discovery Falls Drive) and Village Core Street (Crossroads Street)

Pedestrian Access:

- Pedestrian connections to Mixed-Use/Commercial site and transit stop.

Vehicle Access:

- Vehicular access from Village Core and Village Core Promenade Streets
- Parallel parking on adjacent village streets and internal parking lot.

Transit Access:

- No requirements

Urban Character:

- No requirements

Mandatory Site Plan Elements:

- 1 Architecturally treated buildings.
- 2 Integrate design with Village Core Promenade streetscape on Discovery Falls Drive.
- 3 Integrate design with Village Core streetscape on Crossroads Street
- 4 "Outdoor rooms" such as courtyards, plazas, and arbor walkways.
- 5 Pedestrian connections to Mixed-Use/Commercial site and transit stop
- 6 Parallel on-street parking and parking internal to site

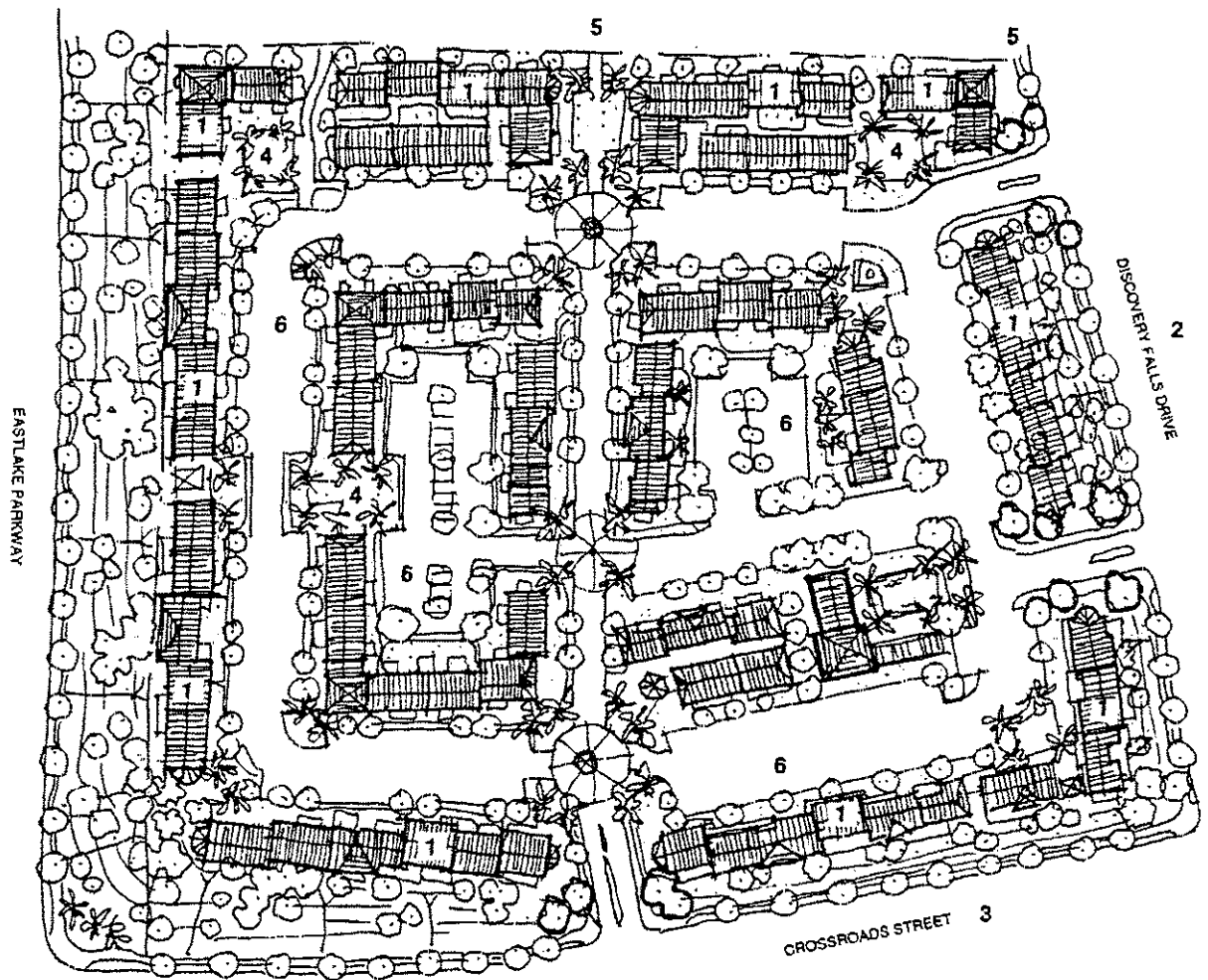


Exhibit 32
Residential Site R-19

RESIDENTIAL SITE R-18

Design District:

- Village Secondary Residential District

Location:

- Southcentral area of village core

Planned Use:

- Multi-Family Residential

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Building shall be a maximum of three stories
- Building enhancements and access along the Village Core Promenade Streets (Discovery Falls and Winding Walk) and residential street (Crossroads Street)
-

Pedestrian Access:

- Pedestrian connections to surrounding streets and paseo

Vehicle Access:

- Vehicular access from Village Core and Village Core Promenade Streets
- Parallel parking on adjacent village streets and internal parking lot

Transit Access:

- No requirements

Urban Character:

- No requirements

Mandatory Site Plan Elements:

1. Front Elevations with pedestrian entries.
2. Architecturally treated buildings.
3. Integrate design with Village Core Promenade streetscapes on Discovery Fall Drive and Windingwalk Street.
4. Integrate design with Village Residential Street streetscape on Crossroads Street
5. "Outdoor rooms" such as courtyards, plazas, and arbor walkways.
6. Pedestrian connections to Mixed-use and Community Purpose Facility sites
7. Parallel on-street parking and parking internal to site.

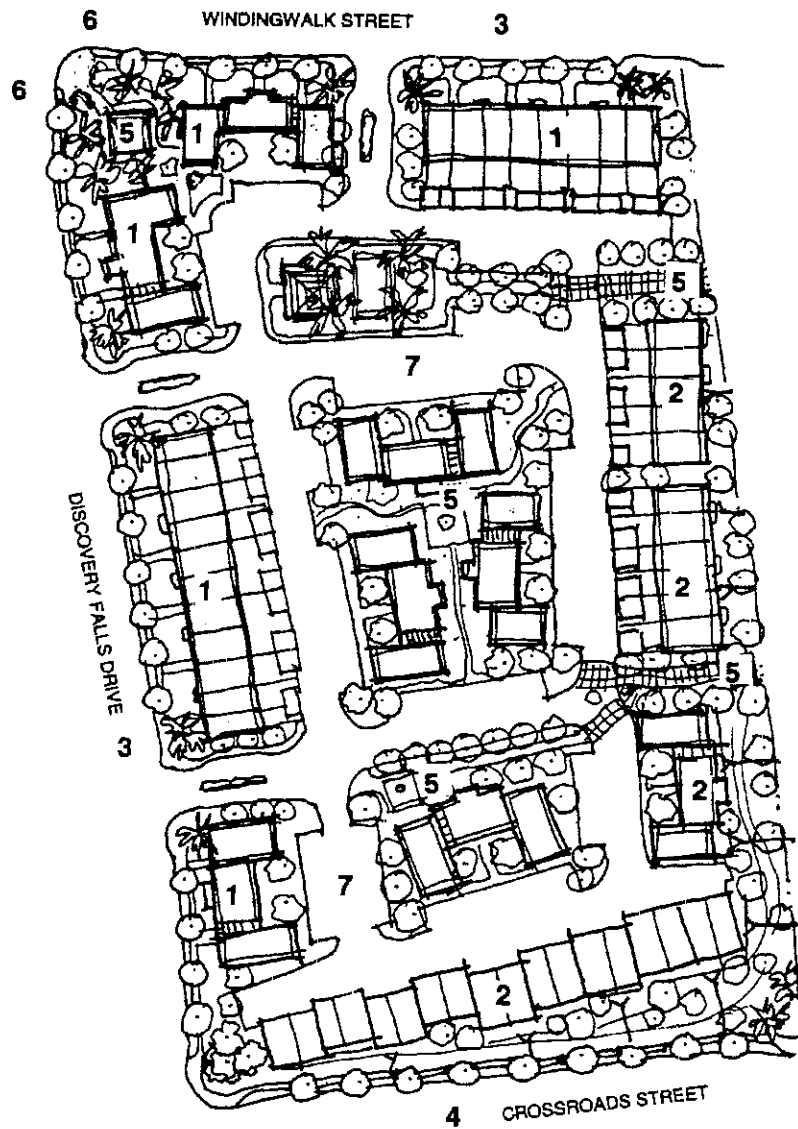


Exhibit 33
Residential Site R-18

RESIDENTIAL SITE R-12

Design District:

- Village Secondary Residential District

Location:

- Southcentral area of village core.

Planned Use:

- Single-Family Residential, small lot

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations.

Building Design/Siting:

- Building shall be a maximum of two stories
- Building enhancements and access along the Village Core Promenade Streets (Exploration Falls and Winding Walk) and Residential Street (Crossroads Street)

Pedestrian Access:

- Pedestrian connections to surrounding streets and paseo

Vehicle Access:

- Vehicular access from Village Core Promenade Street (Exploration Falls), and Residential Streets (Crossroads, Hummingbird and Dragonfly Streets)
- Parallel parking on adjacent village streets.

Transit Access:

- No requirements.

Urban Character:

- No requirements

Mandatory Site Plan Elements:

- Village Core Promenade streetscape on Winding Walk and Residential Promenade streetscape on Exploration Falls.
- Pedestrian connections to paseo

RESIDENTIAL SITE R-11

Design District:

- Village Secondary Residential District

Location:

- Southeast area of village core.

Planned Use:

- Single-Family Residential, small lot

Permitted Use:

- As permitted by the Otay Ranch Village Eleven Planned Community District Regulations

Building Design/Siting:

- Building shall be a maximum of two stories
- Building enhancements and access along the Village Core Promenade Streets (Exploration Falls and Winding Walk) and Residential Street (Crossroads Street)
-

Pedestrian Access:

- Pedestrian connections to surrounding streets and possible trail at SDGE/SDCWA easement.

Vehicle Access:

- Vehicular access from Village Core Promenade Street (Exploration Falls), and Residential Streets (Crossroads, Hummingbird, Ladybug and Dragonfly Streets).
- Parallel parking on adjacent village streets

Transit Access:

- No requirements

Urban Character:

- No requirements

Mandatory Site Plan Elements:


- Village Core Promenade streetscape on Winding Walk and Residential Promenade streetscape on Exploration Falls
Pedestrian connections to paseo.

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**OTAY RANCH VILLAGE 11 SPA PLAN
PUBLIC FACILITIES FINANCE PLAN**

**Approved by:
Chula Vista City Council**

Resolution No.

**Prepared by:
burkett & wong **

October 23, 2001

Table of Contents

Sections	Pages
EXECUTIVE SUMMARY	1
INTRODUCTION	7
II.5.2.1 Overview	7
II.5.2.2 Purpose	7
II.5.2.3 Growth Management Threshold Standards	7
II.5.2.4 The Otay Ranch Village 11 Project	8
II.5.2.5 Public Facilities Finance Plan Boundaries	9
LAND USE ASSUMPTIONS	12
II.5.3.1 Purpose	12
II.5.3.2 Existing Development	12
II.5.3.3 Development Phasing Forecast	14
II.5.3.4 Otay Ranch Village 11 Development Summary	14
II.5.3.5 Equivalent Dwelling Units	19
FACILITY ANALYSIS	21
II.5.4.1 TRAFFIC	22
II.5.4.1.1 GMOC Threshold Standard	22
II.5.4.1.2 GMOC Level Of Service (LOS) Definition	22
II.5.4.1.3 Freeway Segment LOS Standards and Thresholds	23
II.5.4.1.4 Roadway Segment LOS Standards and Thresholds	23
II.5.4.1.5 Intersection LOS Standards and Threshold	25
II.5.4.1.5.1 Signalized Intersection Analysis	25
II.5.4.1.5.2 Unsignalized Intersection Analysis	26
II.5.4.1.6 Chula Vista Traffic Monitoring Program (TMP)	26
II.5.4.1.7 Service Analysis	26
II.5.4.1.8 Project Processing Requirements	27
II.5.4.1.9 Existing Conditions	27
II.5.4.1.10 Transit	32
II.5.4.1.10.1 Pedestrian Trails & Bridges	35
II.5.4.1.11 Trip Generation and Phasing	35
II.5.4.1.11.1 Project Trip Generation	35
II.5.4.1.11.2 Project Phasing	38
II.5.4.1.12 Adequacy Analysis	42
II.5.4.1.13 Traffic Improvement Phasing & Costs	44
II.5.4.1.14 Threshold Compliance and Requirements	47
II.5.4.2 POLICE	53
II.5.4.2.1 Threshold Standard	53
II.5.4.2.2 Service Analysis	53
II.5.4.2.3 Project Processing Requirements	53
II.5.4.2.4 Existing Conditions	53
II.5.4.2.5 Adequacy Analysis	53
II.5.4.2.6 Financing Police Facilities	55
II.5.4.2.7 Threshold Compliance and Recommendations	55

II.5.4.3	FIRE AND EMERGENCY MEDICAL SERVICES	56
II.5.4.3.1	Threshold Standard	56
II.5.4.3.2	Service Analysis	56
II.5.4.3.3	Project Processing Requirements	56
II.5.4.3.4	Existing Conditions	57
II.5.4.3.5	Adequacy Analysis	57
II.5.4.3.6	Financing Fire Service Facilities	58
II.5.4.3.7	Threshold Compliance and Recommendations	59
II.5.4.4	SCHOOLS	60
II.5.4.4.1	Threshold Standard	60
II.5.4.4.2	Service Analysis	60
II.5.4.4.3	Project Processing Requirements	61
II.5.4.4.4	Existing Conditions	61
II.5.4.4.5	School Sizing and Location	64
II.5.4.4.6	Financing School Facilities	65
II.5.4.4.7	Threshold Compliance and Recommendations	67
II.5.4.5	LIBRARIES	68
II.5.4.5.1	Threshold Standard	68
II.5.4.5.2	Service Analysis	68
II.5.4.5.3	Project Processing Requirements	68
II.5.4.5.4	Existing Conditions	68
II.5.4.5.5	Adequacy Analysis	68
II.5.4.5.6	Financing Library Facilities	70
II.5.4.5.7	Threshold Compliance and Recommendations	70
II.5.4.6	PARKS, TRAILS AND OPEN SPACE	71
II.5.4.6.1	Park Threshold Standard	71
II.5.4.6.2	Service Analysis	71
II.5.4.6.3	Project Processing Requirements	71
II.5.4.6.4	Existing Conditions	71
II.5.4.6.5	Project Park Requirements	71
II.5.4.6.6	Park Adequacy Analysis	74
II.5.4.6.7	Open Space and Trails	75
II.5.4.6.8	Financing Park, Open Space, and Trail Facilities	76
II.5.4.6.9	Threshold Compliance and Recommendations	77
II.5.4.7	WATER	79
II.5.4.7.1	Threshold Standard	79
II.5.4.7.2	Service Analysis	79
II.5.4.7.3	Project Processing Requirements	80
II.5.4.7.4	Existing Conditions	80
II.5.4.7.5	Adequacy Analysis	80
II.5.4.7.6	Existing Facilities	81
II.5.4.7.7	Proposed Facilities	82
II.5.4.7.8	Financing Water Facilities	88
II.5.4.7.9	Threshold Compliance and Recommendations	88

II.5.4.8	SEWER	89
II.5.4.8.1	Threshold Standard	89
II.5.4.8.2	Service Analysis	89
II.5.4.8.3	Project Processing Requirements	89
II.5.4.8.4	Existing Conditions	90
II.5.4.8.5	Adequacy Analysis	90
II.5.4.8.6	Recommended Sewerage Facilities	93
II.5.4.8.7	Financing Sewerage Facilities	96
II.5.4.8.8	Threshold Compliance and Recommendations	98
II.5.4.9	DRAINAGE	104
II.5.4.9.1	Threshold Standard	104
II.5.4.9.2	Service Analysis	104
II.5.4.9.3	Project Processing Requirements	104
II.5.4.9.4	Existing Conditions	104
II.5.4.9.5	Proposed Facilities	106
II.5.4.9.6	Financing Drainage Facilities	108
II.5.4.9.7	Threshold Compliance and Recommendations	109
II.5.4.10	AIR QUALITY	114
II.5.4.10.1	Threshold Standard	114
II.5.4.10.2	Service Analysis	114
II.5.4.10.3	Threshold Compliance and Recommendations	114
II.5.4.11	CIVIC CENTER	115
II.5.4.11.1	Threshold Standard	115
II.5.4.11.2	Service Analysis	115
II.5.4.11.3	Existing Conditions	115
II.5.4.11.4	Adequacy Analysis	116
II.5.4.11.5	Financing Civic Center Facilities	116
II.5.4.11.6	Threshold Compliance and Recommendations	116
II.5.4.12	CORPORATION YARD	117
II.5.4.12.1	Threshold Standard	117
II.5.4.12.2	Service Analysis	117
II.5.4.12.3	Existing Conditions	117
II.5.4.12.4	Adequacy Analysis	117
II.5.4.12.5	Financing Corporation Yard Facilities	118
II.5.4.12.6	Threshold Compliance and Recommendations	118
II.5.4.13	OTHER PUBLIC FACILITIES	119
II.5.4.13.1	Threshold Standard	119
II.5.4.13.2	Service Analysis	119
II.5.4.13.3	Existing Conditions	119
II.5.4.13.4	Financing Other Public Facilities	119
II.5.4.13.5	Threshold Compliance and Recommendations	119
II.5.4.14	FISCAL ANALYSIS	120
II.5.4.14.1	Threshold Standard	120
II.5.4.14.2	Facility Master Plan	120
II.5.4.14.3	Project Processing Requirements	120

II.5.4.14.4	Fiscal Analysis of Project	120
II.5.4.14.4.1	Introduction.....	120
II.5.4.14.4.2	Project Description	121
II.5.4.14.4.3	Project Demographics and Land Uses	121
II.5.4.14.4.4	Revenues.....	123
II.5.4.14.4.5	Operating Expenditures	127
4.1	PUBLIC FACILITY FINANCE	136
4.1.1	Overview	136
4.1.2	Subdivision Exactions	136
4.1.3	Development Impact Fee Programs	136
4.1.4	Debt Finance Programs	137
4.1.5	Other Methods Used to Finance Facilities.....	138
4.1.6	Public Facility Finance Policies	139
4.1.7	Cumulative Debt.....	140
4.1.8	Lifecycle Cost.....	142
	APPENDIX	144
	Appendix A Fiscal Impact Analysis Tables	145

List of Exhibits

No.	Title	Page
Exhibit 1	Regional Location Map	10
Exhibit 2	Vicinity Map	11
Exhibit 3	Site Utilization Plan	15
Exhibit 4	Phasing Plan	17
Exhibit 5	Existing & Proposed Streets and Intersections	30
Exhibit 6	Public Transportation Concept Plan	33
Exhibit 7	Circulation Plan	41
Exhibit 8	Parks, Trails, and Open Space Plan	73
Exhibit 9	Major Water Facilities	84
Exhibit 10	Proposed Water Facilities	85
Exhibit 11	Major Recycled Water Facilities	86
Exhibit 12	Proposed Recycled Water Facilities	87
Exhibit 13	Proposed Major Sewer Facilities	99
Exhibit 14	Proposed Sewer Phasing	100
Exhibit 15	Proposed Phasing	101
Exhibit 16	Proposed Onsite Sewer Facilities	102
Exhibit 17	Alternative Sewer Diversion Plan	103
Exhibit 18	Drainage Map for Salt Creek	110
Exhibit 19	Existing Drainage Condition Map	111
Exhibit 20	Developed Drainage Condition Map	112
Exhibit 21	Drainage Plan	113

List of Tables

No.	Title	Page
Table A.1	Summary of City DIF Fees by Phase and Facility	5
Table A.2	Timing and Funding Source by Facility	6
Table A.3	Five year Residential Forecast Summary	13
Table B	Land Use Table for Village 11 SPA	14
Table B.1	Village 11 Phasing Plan Summary	18
Table B.2	Village 11 Equivalent Dwelling Units (EDUs) by Phase for Transportation and Interim Pre-SR-125 Facilities	19
Table B.3	EDU Fee for Public Facilities	20
Table B.4	EDUs by Phase for Public Facilities	20
Table B.5	Level of Analysis	21
Table C	GMOC Level of Service Definitions	22
Table C.1	Caltrans District 11 Freeway Segment Level of Service Definitions	23
Table C.2	Arterial Segment Level of Service Threshold Definitions	24
Table C.3	City of Chula Vista Segment Capacity and Level of Service Standards Average Daily Traffic Volumes	24
Table C.4	Intersection Level of Service Threshold Description	25
Table C.5	Village 11 Total Trips	34
Table C.6	Village 11 Internal Trips	35
Table C.7	Village 11 External Trips	35
Table C.8	Village 11 SPA Trip Generation by Phase and Land Use	36
Table C.9	Village 11 SPA Trip Generation by Phase and EDUs	36
Table C.10	Village 11 Phasing	38
Table C.11	AM Peak Hour Outbound Trip Calculations	40
Table C.12	Village 11 Traffic Improvements Phasing and Cost	44
Table C.13	Specific Planning Area Roadway Triggers	45
Table C.14	Phasing EDUs for IDIF & Interim Pre SR-125	46
Table C.15	IDIF Fees	46
Table C.16	Interim Pre SR-125 DIF Fees Village 11 Traffic Signal Fees	47
Table C.17	Village 11 Traffic Signal Fees	47
Table C.18	Significance of Impacts	50
Table C.19	Significant Impacts and Mitigation Measures	52a
Table D	Public Facilities Fees For Police	55
Table E	Fire Station Inventory	57
Table E.1	Public Facilities Fees For Fire/EMS	58
Table F	Chula Vista Elementary School District Enrollments vs. Capacity	62
Table F.1	Sweetwater Union High School District High School Enrollments vs. Permanent Capacity	63
Table F.2	Sweetwater Union High School District 2002-2005 Planned Schools	64
Table F.3	Student Generation by Development Phase	64
Table G	Existing Library Facilities	68
Table G.1	Future Library Facilities	69
Table G.2	Village 11 Library Space Demand Compared to Supply	69
Table G.3	Public Facilities Fees For Libraries	70
Table H	Parkland Dedication Standards	72
Table H.1	Parkland Dedication Requirements per City Ordinance	72
Table H.2	SPA Plan Park Acres and Eligible Credits	72
Table H.3	Quimby Parkland Requirements	74

Table H.4	Park Acreage Demand Compared to Supply East of Interstate 805 as of January 2001	74
Table H.5	Otay Ranch Village 11 SPA By Phase	74
Table H.6	Park Acquisition and Development (PAD) Fees Development Component Only	76
Table H.7	Park Acquisition and Development (PAD) Fees Acquisition Component Only	77
Table I	Sewer Capacity used by forecasted development	91
Table I.1	Sewer Capacity used by Otay Ranch Village 11	91
Table I.2	Poggi Canyon Drainage Basin Summary of EDUs	93
Table I.3	Proposed Project Phasing	94
Table I.4	Salt Creek Interceptor Proposed Completion Schedule	94
Table I.5	Poggi Canyon Trunk Sewer Capacity Analysis	95
Table I.6	Salt Creek Basin Impact Fees	96
Table I.7	Projected Village 11 Salt Creek Impact Fees	97
Table I.8	Poggi Canyon Basin Impact Fees	98
Table J	Summary of Existing 100-Year flows in Salt Creek	106
Table J.1	Summary of Developed 100-Year flows in Salt Creek (with detention)	107
Table J.2	100-Year Drainage Quantities	107
Table K	Civic Facilities Inventory	115
Table K.1	Future Facilities Cost	115
Table K.2	Civic Center Fee for Otay Ranch Village 11	116
Table L	Corporation Yard Facility	117
Table L.1	Corporate Yard Fee for Otay Ranch Village 11	118
Table M	Public Facilities Fees For Other Public Facilities	119
Table N	Absorption Schedule and Market Values by Land Use	122
Table N.1	Project Fiscal Impact General Assumptions	123
Table N.2	Project Fiscal Impact Revenue Generation Assumption	124
Table N.3	Cost Allocation Assumptions	128
Table N.4	Public Works Cost per Unit/Acre/Mile	132
Table N.5	Cost Allocation for Parks & Recreation	133
Table N.6	Net Fiscal Impact of Village 11 on the City of Chula Vista	135
Table O	Estimated Revenue Available for Debt Service	141
Table O.1	Estimate of Facilities Cost Potentially funded from Debt Service	141

II.5.1 EXECUTIVE SUMMARY

OVERVIEW

This Public Facilities Finance Plan (PFFP) addresses the public facility needs associated with the Otay Ranch Village 11 SPA Plan. The PFFP has been prepared under the requirements of the City of Chula Vista's Growth Management Program and Chapter 9, Growth Management of the Otay Ranch General Development Plan (GDP). The preparation of the PFFP is required in conjunction with the preparation of the Sectional Planning Area (SPA) Plan for Village 11 to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the Otay Ranch General Development Plan (GDP) which was adopted by the Chula Vista City Council on October 28, 1993, to ensure that the development of the project will not adversely impact the City's Quality of Life Standards. This PFFP meets the policy objectives of the Otay Ranch GDP.

This PFFP is based upon the phasing and project information that has been presented in the Otay Ranch Village 11 SPA Plan dated October 9, 2001. According to the Village 11 SPA Plan, this project is proposed to be developed in 3 phases. The PFFP begins by analyzing the existing demand for facilities based upon the demand from existing development and those projects with various entitlements through the year 2010. Further, the PFFP uses the phasing as contained in the Otay Ranch Village 11 SPA Plan to determine the impacts associated with each phase of the project.

When specific thresholds are projected to be reached or exceeded based upon the analysis of the phased development of the Village 11 project, the PFFP provides recommended mitigation necessary for the continued compliance with the Growth Management Program and Quality of Life Standards. The PFFP does not propose different development phasing from that identified in the SPA Plan, but may indicate that the development phasing should be limited or reduced until certain actions are taken to guarantee public facilities will be available or provided to meet the Quality of Life Standards. Subsequent changes to the phasing shall require an amendment to the PFFP.

Typically, as an applicant receives each succeeding development approval, the applicant must perform the required steps that will insure the timely provision of the required facility. Failure to perform the required step curtails additional development approvals. The typical steps are illustrated below:

Performance of Facility Thresholds

GDP:

- Goals, objectives & policies established.
- Facility thresholds established.
- Processing requirements established.

SPA:

- Facility financing refined and funding source identified consistently with GDP goals, objectives & policies.

- Facility demand and costs calculated consistently with adopted land uses and GDP defined methodologies.
- Specific facility financing and phasing analysis performed to assure compliance with Growth Management Thresholds.
- Facilities sited and zoning identified.

Tentative Map:

- Subdivision approval conditioned upon assurance of facility funding.
- Subdivision approval conditioned upon payment of fees, or the dedication, reservation or zoning of land for identified facilities.
- Subdivision approval conditioned upon construction of certain facility improvements.

Final Map:

- Tentative Map conditions performed.
- Lots created.

Building Permit:

- Impact fees paid as required

The critical link between the thresholds and development entitlements is the PFFP. Part II, Chapter 9, Section C of the GDP/SPA Processing Requirements, General Development Plan Implementation, requires the preparation of Public Facility Financing and Phasing Plans as a condition of approval of all SPA's. This PFFP satisfies the GDP requirement. The PFFP requires the preparation and approval of phasing schedules showing how and when facilities and improvements necessary to serve proposed development will be installed or financed to meet the threshold standards, including:

- An inventory of present and future requirements for each facility.
- A summary of facilities cost.
- A facility phasing schedule establishing the timing for installation or provisions of facilities.
- A financing plan identifying the method of funding for each facility required
- A fiscal impact report analyzing SPA consistency with the Subregional Plan (SRP).

Subsection C of the City of Chula Vista Municipal Code (CVMC) Section 19.09.100 (Growth Management Ordinance) requires that if the City Manager determines that facilities or improvements within a PFFP are inadequate to accommodate any further development within that area the City Manager shall immediately report the deficiency to the City Council. If the City Council determines that such events or changed circumstances adversely affect the health, safety or welfare of City, the City may require amendment, modification, suspension, or termination of an approved PFFP.

A. GENERAL CONDITIONS FOR OTAY RANCH VILLAGE 11 PFFP

1. All development within the boundaries of the PFFP for the Otay Ranch Village 11 SPA shall conform to the provisions of Section 19.09 of the Chula Vista Municipal Code (Growth Management Ordinance) as may be amended from time to time and to the provisions and conditions of this Public Facilities Finance Plan.
2. All development within the boundaries of the PFFP for Otay Ranch Village 11 SPA shall be required to pay development impact fees, unless the developer has entered into a separate agreement with the City, for public facilities, transportation and other applicable fees pursuant to the most recently adopted program by the City Council, and as amended from time to time. Development within the boundaries of the Otay Ranch Village 11 SPA shall also be responsible for fair share proportionate fees that are necessary to meet the adopted facility performance standards as they relate to the SPA Plan and subdivision application.
3. The Public Facilities Finance Plan shall be implemented in accordance with Chula Vista Municipal Code (CVMC) 19.09 090. Future amendments shall be in accordance with CVMC 19.09.100 and shall incorporate newly acquired data, to add conditions and update standards as determined necessary by the City through the required monitoring program. Amendment to this Plan may be initiated by action of the Planning Commission, City Council or property owners at any time. Any such amendments must be approved by the City Council.
4. Approval of this PFFP does not constitute prior environmental review for projects within the boundaries of this Plan. All future projects within the boundaries of this PFFP shall undergo environmental review as determined appropriate by the City of Chula Vista.
5. Approval of this PFFP does not constitute prior discretionary review or approval for projects within the boundaries of the Plan. All future projects within the boundaries of the Otay Ranch Village 11 SPA PFFP shall undergo review in accordance with the Chula Vista Municipal Code. This PFFP analyzes the maximum allowable development potential for planning purposes only. The approval of this plan does not guarantee specific development densities.
6. The facilities and phasing requirements identified in this PFFP are based on the Otay Ranch Village 11 SPA Plan which assumes that 2,304 dwelling units and approximately 10.0 acres of commercial uses, 8.9 gross acres of Neighborhood Parks, a 1 acre Town Square, 6.8 gross acres of private recreational areas, a 11.0 acre elementary school site, 25.6 acre Junior High School site, 5.5 acres for Community Purpose Facilities (9.3 acres of Community Purpose Facilities is required for Village 11), 49.2 acres of open space and 66.2 acres for major circulation facilities development will be constructed.
7. The plan analysis is based upon the phasing presented in this document. Any changes to phasing shall require an amendment to the PFFP.

B. PUBLIC FACILITY COSTS AND FEE SUMMARY OTAY RANCH VILLAGE 11 SPA

The following tables identify and summarize the various facility costs associated with development of the Otay Ranch Village 11 project. The facilities and their cost are identified in detail in subsequent sections of this document. The tables indicate a recommended financing alternative based upon current Chula Vista practices and policies. However, where another financing mechanism may be shown at a later date to be more effective, the City may implement such other mechanisms in accordance with City policies. This will allow the City maximum flexibility in determining the best use of public financing to fund public infrastructure improvements.

The Traffic Impact Analysis by Linscott, Law & Greenspan (LL&G), dated July 5, 2001, has identified several projects that will be required as the result of the development of Otay Ranch Village 11 SPA. The total cost of street improvements is \$30,771,000 as identified in Table C.12. The improvement projects listed include both offsite and onsite improvements. Most of the improvement projects are eligible for funding through the City's Transportation Development Impact Fee (TDIF) program. These eligible improvements total \$29,441,000. In the event the developer constructs a TDIF improvement, the cost of the improvement may be eligible for credit against TDIF fees. Construction of non-TDIF eligible improvements is the responsibility of the developer.

TDIF Fees generated by the Village 11 SPA total \$14,040,453. Fees are also generated for Interim SR125 facilities \$1,898,300 and for traffic signals \$390,780. Funding for street improvements may be accomplished in one or more possible funding alternatives such as:

- Payment of TDIF fees.
- Construction of improvements by developer with credit toward DIF fees on building permits.
- Financing through assessment districts or Community Facility Districts over area of benefit larger than the Village 11 SPA plan area.
- Expenditure of available DIF account funds.
- Construction of improvements by other developers (i.e. Sunbow, etc.)
- Federal Funds

The Otay Ranch Village 11 SPA Plan is anticipated to require one elementary school, which is planned to be constructed with funding through a Mello-Roos Community Facilities District that will be established by the Chula Vista Elementary School District. The Sweetwater Union High School District has determined that a Middle School should be located in the Village 11 project. The Project will participate in a CFD to be established by the Sweetwater Union High School District.

The off-site backbone sewer, drainage and water improvements are typically funded by the payment of current city impact fees and capacity fees. However, some off-site sewer, drainage and water facilities may be the responsibility of the developer if the facility's only purpose is to support the proposed development.

Parks will be funded, in part, through the payment of Park Acquisition and Development Fees (PAD fees), dedication, and developer exactions. The Otay Ranch Village 11 SPA Plan will generate approximately \$10,691,808 in PAD fees. The Project proposes to dedicate 8.0 net acres (7.0 net acre neighborhood Park & 1.0 net acre Town Square) of the 20.68 acres

required to meet the projects parkland demand. However, the Village 11 developer has the option of dedicating approximately 12.51 acres, or paying the acquisition component of the Park Acquisition, and Development (PAD) fees.

Police, fire and emergency medical services, library, civic center, corporation yard, and other public facilities will be funded, in part, from revenues generated from the payment of Public Facilities Development Impact Fees at building permit issuance. These fee revenues total approximately \$6,060,670 for the Otay Ranch Village 11 SPA Plan.

Altogether, the City's development impact fees by phase and facility for the Otay Ranch SPA Plan total \$33,842,445 as shown on Table A.1 below.

Table A.1				
Village 11 Summary of DIF Fees by Phase & Facility				
Facility	Phase 1	Phase 2	Phase 3	Totals
Traffic	\$3,868,870	\$7,559,730	\$4,900,955	\$16,329,555
Sewer	\$139,259	\$306,308	\$210,983	\$656,550
Drainage				\$0*
Water				\$0*
Police	\$391,020	\$805,560	\$546,105	\$1,742,685
Fire/EMS	\$107,996	\$222,488	\$150,829	\$481,313
Schools				\$0*
Library	\$339,416	\$656,502	\$474,034	\$1,469,952
Parks (PAD)	\$2,686,600	\$4,442,566	\$3,562,642	\$10,691,808
Civic Center	\$255,360	\$526,080	\$356,640	\$1,138,080
Corp. Yard	\$205,352	\$423,056	\$286,798	\$915,206
Other Facilities	\$93,632	\$192,896	\$130,768	\$417,296
Total	\$8,087,505	\$15,135,186	\$10,619,754	\$33,842,445

* No city imposed DIF program in place for this facility.

Note: Please reference Table B.2 and Exhibit 4, Phasing Plan

**Table A.2
Village 11 Timing and Funding Source by Facility**

Facility	Funding Source	Project Timing
Traffic		
1. Village 11 TDIF	Pay TDIF	Building Permit
2. No Specific Facility	Pay Interim SR-125 DIF	Building Permit
3. No Specific Facility	Pay Traffic Signal Fee	Building Permit
4. Roadway Unit Triggers		
1) Olympic Parkway, SR 125 to Hunte Pkwy	Developer Exaction	1 unit
2a) Eastlake Parkway, SDG&E Easement to Olympic Pkwy	Developer Exaction	1856units
2b) Eastlake Parkway, Olympic Parkway to North Village Entry	Developer Exaction	1 unit
2c) Eastlake Parkway, North Village Entry to Birch Drive.	Developer Exaction	533 units
2d) Eastlake Parkway, Birch Road to Hunte Pkwy	Developer Exaction	1446 units
3) Birch Road, La Media Road to Eastlake Parkway Eastlake Parkway	Developer Exaction	1856 units
4a) Hunte Parkway, Olympic Parkway to North project access	Developer Exaction	1 units
4b) Hunte Parkway, North Project Access to south of SDG&E easement	Developer Exaction	1446 units
4c) Hunte Parkway, North of SDG&E easement to Eastlake Parkway	Developer Exaction	1446 units
5) La Media Road: Birch Road to Olympic Pkwy	Developer Exaction	1856 units
6) Internal link between R-1 and R-11	Developer Exaction	533 units
7) Otay Lakes Road, E. H Street to Telegraph Cyn Rd. (6 lanes if no SR-125 prior to 2005)	Developer Exaction	944 units
Sewer	Developer Build Pay City Fees	Concurrent w/ Phasing Building Permit
Drainage	Developer Build	Per Ordinance
Water	Pay OWD Capacity Fees	Pay @ purchase of Water Meters
Police	Pay PFDIF	Building Permit
Fire/EMS	Pay PFDIF	Building Permit
Schools	SUHSD No. 12	Annex to District
	CVESD No. 6	Annex to District
Library	Pay PFDIF	Building Permit
Parks		
Neighborhood Park		
1. I.O.D. to City	PAD Credit/Fees	Prior to 1 st D.U.
2. Start Construction	PAD Credit/Fees	Prior to 360 th D.U.
3. Complete for City Acceptance	PAD Credit/Fees	9 mos. after const start
Town Square	PAD Credit/Fees	Prior to last Res. Bldg Permit in 2 nd Phase
Community Park	PAD Fees	Prior to 1 st F.M.
Civic Center	Pay PFDIF	Building Permit
Corp. Yard	Pay PFDIF	Building Permit
Other Public Facilities	Pay PFDIF	Building Permit

II.5.2 INTRODUCTION

II.5.2.1 Overview

The City of Chula Vista has looked comprehensively at issues dealing with development and the additional impacts it places on public facilities and services. The approval of the Threshold Ordinance and the General Plan update were the first steps in the overall process of addressing growth related issues. The second step in this process was the development and adoption of a specific Growth Management Element, which set the stage for the creation of the City's Growth Management Program.

The Chula Vista City Council adopted the Growth Management Program and Implementing Ordinance No. 2448 on May 28, 1991. These documents implement the Growth Management Element of the General Plan, and establish a foundation for carrying out the development policies of the City by directing and coordinating future growth in order to guarantee the timely provision of public facilities and services.

The Growth Management Ordinance requires a Public Facilities Finance Plan (PFFP) to be prepared for future development projects requiring a Sectional Planning Area (SPA) Plan or Tentative Map. The contents of the PFFP are governed by Section 19.09.060 of the Municipal Code, which requires that the plan show how and when the public facilities and services identified in the Growth Management Program will be installed or financed.

II.5.2.2 Purpose

The purpose of the Public Facilities Finance Plan is to implement the City's Growth Management Program and to meet the General Plan goals and objectives as well as the Growth Management Element goals and objectives. The Chula Vista Growth Management Program implements the City's General Plan and Zoning Ordinance by ensuring that development occurs only when necessary public facilities and services exist or are provided concurrent with the demands of new development.

II.5.2.3 Growth Management Threshold Standards

City Council Resolution No. 13346 identified 11 (11) public facilities and services with related threshold standards and implementation measures. These public facilities and services were listed in a policy statement dated November 17, 1987 and have subsequently been refined based on recommendations from the Growth Management Oversight Commission (GMOC).

The 11 public facilities and services include:

- Traffic
- Police
- Fire/EMS
- Schools
- Libraries
- Parks and Recreation
- Water
- Sewer
- Drainage
- Air Quality
- Fiscal

During development of the Growth Management Program two new facilities were added to the list of facilities to be analyzed in the PFFP:

- Civic Facilities
- Corporation Yard

Threshold standards are used to identify when new or upgraded public facilities are needed to mitigate the impacts of new development. Development approvals will not be made unless compliance with these standards can be met. These threshold standards have been prepared to guarantee that public facilities or infrastructure improvements will keep pace with the demands of growth.

II.5.2.4 The Otay Ranch Village 11 Project

The Otay Ranch Village 11 project is located in the eastern portion of the Chula Vista City limits. The undeveloped 489-acre site is located in the Otay Valley Parcel of Otay Ranch and includes approximately 489 acres of gently rolling terrain. Exhibit 1 illustrates the regional location of Village 11 and its proximity to existing development. The location of the Village 11 SPA within the overall Otay Ranch development is depicted in the vicinity map, Exhibit 2.

Olympic Parkway defines the Village 11 planning area on the north, Hunte Parkway on the south and east and EastLake Parkway on the west. The existing residential neighborhood of EastLake Greens is located to the north. Otay Ranch Planning Area 12, comprised of the proposed Eastern Urban Center (EUC) and Freeway Commercial (FC) developments, is located on the west side of EastLake Parkway. Future phases of the Otay Ranch community, in particular a university site, are planned for the adjacent vacant property to the south. The vacant land to the east in Salt Creek is to be incorporated in the regional Otay Ranch preserve.

The proposed Village 11 SPA plan is consistent with the Otay Ranch GDP Land Use Plan and the GDP Village 11 Land Use Plan. The Otay Ranch Village 11 project will consist of 2,304 residential dwelling units on 489.0 acres. The Otay Ranch GDP Village 11 Land Use Plan indicates a dwelling count of 2,390 units on 489.0 acres. The SPA plan proposes all the land uses comprising a village as envisioned by the GDP. The Village 11 SPA Land Use includes 996 single family detached and 1,308 multi-family units. More specifically, Village 11 provides a variety of housing types: single family detached (1,311 units), single family attached (678 units) and multi-family (315 units). Other land uses include: 10.0 acres of mixed use, 8.0 acres of public Neighborhood Park area (includes a 1 acre private Town Square), 6.8 gross acres of private recreational facility, a 11.0 acre elementary school site, 25.6 acre Junior High School site, 5.5 acres for Community Purpose Facilities (CPF), 49.2 acres of open space and 66.2 acres for major circulation facilities.

The Otay Ranch GDP requires CPF land area at a ratio of 1.39 acres per 1,000 residents. Based on this ratio, 9.6 acres of CPF is required for Village 11. This requirement will be partially met through the 5.5-acre site located adjacent to the Town Square in the village core. The Village 11 SPA Plan also allows for CPF uses within the mixed-use areas in the village core and in the neighborhood park site to provide flexibility in the siting and design of the CPF uses. The GDP allows CPF land to be transferred between villages or combined within villages as long as the space requirements are satisfied. Actual CPF acreage requirements will be based on the residential units (and projected population) approved on the Tentative Map.

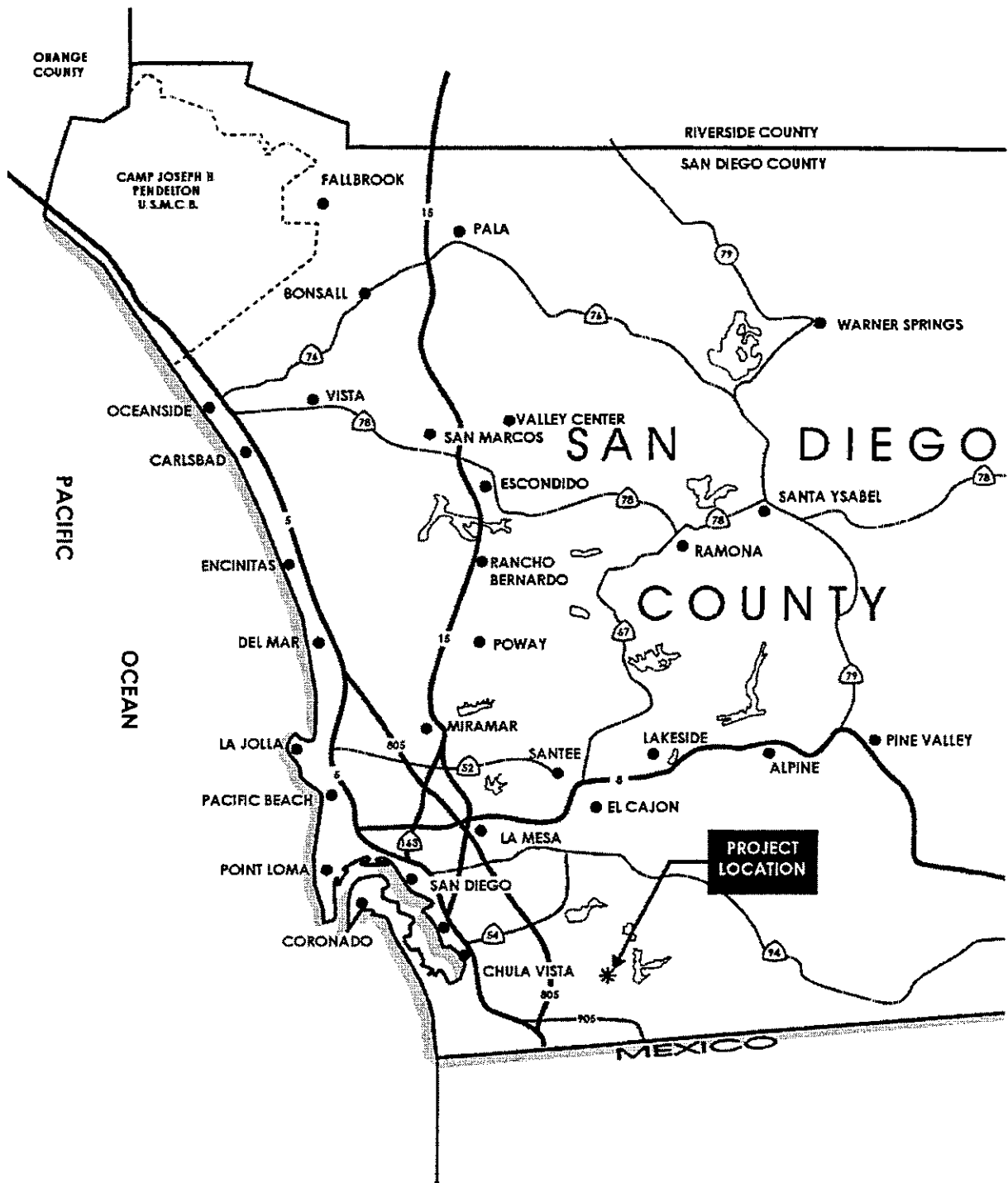
The Otay Ranch GDP requires designation of parkland based on the Quimby Act standard of 3 acres per 1,000 residents. For Village 11, the GDP requires a one-acre town square, a 7 to 10-acre neighborhood park within the village core, and the remaining acreage requirement to be fulfilled through a contribution to community parks outside of the village. The Village 11 SPA estimates a population of 6,935 residents, which requires approximately 20.8 acres of parkland. The Village 11 SPA Plan provides 8 acres of city parks (7 acre Neighborhood Park and a 1 acre private Town Square). The additional required city park acreage will be fulfilled through a contribution to community parks elsewhere in Otay Ranch. Actual park acreage requirements will be based on the residential units (and projected population) approved on the Tentative Map. Section II.5.4.6 Parks, Recreation, Open Space and Trails, provides additional information on park allocations in Village 11.

II.5.2.5 Public Facilities Finance Plan Boundaries

Section 19.12.070 of the Municipal Code requires that the City establish the boundaries of the PFFP at the time a SPA Plan or Tentative Map is submitted by the applicant. The boundaries shall be based upon the impact created by the Project on the existing and future need for facilities. The project boundaries will correlate the proposed development project with existing and future development proposed for the area of impact to provide for the economically efficient and timely installation of both onsite and offsite facilities and improvements required by the development. In establishing the boundaries for the PFFP, the City shall be guided by the following considerations:

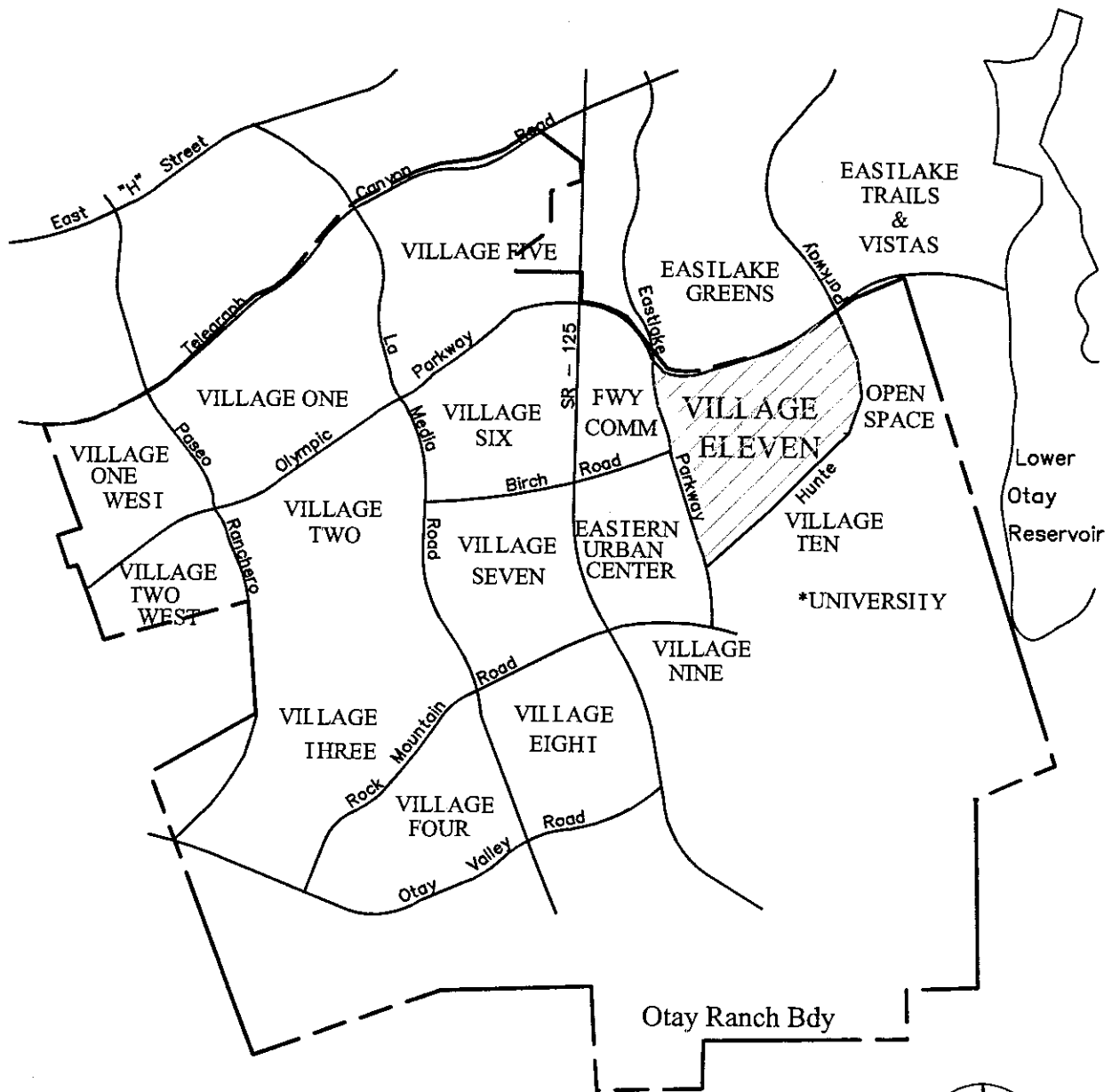
1. Service areas, drainage, sewer basins, and pressure zones that serve the Project;
2. Extent to which facilities or improvements are in place or available;
3. Ownership of property;
4. Project impact on public facilities relationships, especially the impact on the City's planned major circulation network;
5. Special district service territories;
6. Approved fire, drainage, sewer, or other facilities or improvement master plans.

The boundaries of the PFFP for the Otay Ranch Village 11 project are congruent with the SPA Plan boundaries. Also, the PFFP addresses certain facilities (streets, drainage, sewer, police, fire, etc) that are impacted beyond the boundaries of the SPA Plan.



Not to Scale

Regional Location Map
Exhibit 1



*Primary land use is University and secondary land uses are Villages Nine and Ten.

**Exhibit 2
Vicinity Map**

II.5.3 LAND USE ASSUMPTIONS

II.5.3.1 Purpose

The purpose of this section is to quantify how the Otay Ranch Village 11 project will be analyzed in relationship to all other projects, which are at some stage in the City's development process. The Growth Management Program addressed the issue of development phasing in relationship to location, timing, and fiscal/economic considerations.

Based upon the overall elements to be considered when projecting the phasing of development and policies contained in the Growth Management Program, the City was able to forecast where and when development will take place and produced a 5 year Development Phasing Forecast. Subsequent to the approval of the Growth Management Program, the forecasted development phasing has been updated periodically as facility improvements are made and the capacity for new development becomes available. The current update is dated November 29, 2000 and is summarized on Table A.3.

The specific factors, which affect the development phasing forecast, include the status of development approvals and binding development agreements, and the future construction of State Route 125. These components were reviewed as part of this PFFP in conjunction with the requirement to provide facilities and services, concurrent with the demand created by the Otay Ranch Village 11 to maintain compliance with the threshold standards.

The management of future growth includes increased coordination of activities of the various City departments as well as with both the School Districts and the Water Districts that serve the City of Chula Vista. The development phasing forecast is a component of the City of Chula Vista's Growth Management Program. The Planning and Building Department provides annual growth forecasts for two time frames; 18 months and a 5-year period. This information enables City departments and the other aforementioned service agencies to assess the probable impacts that growth may have on maintaining compliance with the City's facilities and service Threshold Standards. In addition, with this data City departments and the other service agencies will be able to report potential impacts to the GMOC.

II.5.3.2 Existing Development

As a starting point, the PFFP considers all existing development up to January 2000 as the base condition. This information is based upon City of Chula Vista Planning and Building Department growth management monitoring data. According to this and other data, the population of the City as of January 1999 was estimated to be 174,319 based on a January 2000 estimate from the California Department of Finance (DOF).

For the purposes of projecting facility demands for the Otay Ranch Village 11 the City of Chula Vista utilizes a 1999 population coefficient of 3.01 persons per dwelling unit. This factor is used throughout this PFFP to calculate facility demands from approved projects. The coefficient has been confirmed for use in the PFFP by the Planning Department. The same coefficient will be used for calculating the specific Otay Ranch Village 11 facility demands.

II.5.3.3 Development Phasing Forecast

A summary of the latest development phasing forecast is shown in Table A.3. The table presents an estimate of the amount of development activity anticipated to the year 2005. The total number of dwelling units projected to be built by the year 2005 is 14,258 dwelling units. It should be noted that these projections are used for analytical purposes only and unless a development agreement or other legal instrument guarantees facility capacity, some projects with varying levels of entitlement may not have committed capacity.

II.5.3.4 Otay Ranch Village 11 Development Summary

The Otay Ranch Village 11 project is proposed to include a total of 2,304 dwelling units and other land uses constructed in three phases as shown on Exhibit 3 and 4 and in Table B and B.1.

Land Use Designation	Total Acres	Total Dwelling Units	Dwelling Units/Acres
LMV Low-Medium Village	166.0	810	4.9
M Medium	75.7	501	6.9
MH Medium-High	53.2	678	12.7
MU ¹ High/Mixed Use Residential	10.0	315	15.8
Subtotal	304.9	2,304	
MU ² Commercial	10.0		
CPF ³ Community Purpose	5.5		
K-6 Elementary School	11.0		
JHS Junior High School	25.6		
Subtotal	52.1	2,304	
P-1 ⁴ Neighborhood Park	8.9		
P-2 Private Common Open Space	3.8		
P-3 Private Common Open Space	3.0		
P-4 Town Square	1.0		
OS Open Space	49.2		
Subtotal	65.9		
Major & Collector Streets	66.2		
Project Total	489.1	2,304	

The residential designated areas include the Low-Medium density, Medium density, Medium-High density and Mixed Use. Also included within the project are approximately 10.0 acres of commercial uses within the mixed use designation, 7.0 net acres of public Neighborhood Park area, 1 acre net Town Square site, 6.8 gross acres of private recreational areas, 11.0 acre elementary school site, 25.6 acre Junior High School site, 5.5 acres for community purpose facilities (the mixed use/commercial area may provide community oriented facilities), 50.1 acres of open space and 66.2 acres for major circulation facilities.

¹ Residential and Commercial uses are permitted in the Mixed Use (MU) Land Use category.

² Mixed Use is a total of 10 acres for both residential and commercial, but as a mixed-use area, the 10 acres is included once.

³ CPF acreage requirement is based on 1.39 acres of net usable land/1000 persons. Based on an estimated 6,935 persons, the requirement is 9.6 acres. A 5.5-acre CPF site is proposed in the village core and additional CPF facilities may be accommodated within the MU and NP areas of the village or transferred to another village.

⁴ The actual net public park acreage is 7.0. The proposed plan requires 20.68 acres of parkland, based on 3 acres per 1000 persons. Consistent with the GDP, the additional acreage requirement will be provided by a contribution to community parks elsewhere in Otay Ranch.



NEIGHBORHOOD AREA	LAND USE	APPROX. GROSS ACREAGE	TARGET DU'S/AC	DWELLING UNITS
R-1	SF	26.7	6.1	164
R-2	SF	14.2	3.2	46
R-3	SF	15.3	3.0	46
R-4	SF	12.4	4.4	55
R-5	SF	7.5	5.0	37
R-6	SF	7.5	4.7	35
R-7	SF	11.4	6.1	70
R-8	SF	11.2	5.7	64
R-9	SF	11.6	5.2	60
R-10	SF	18.0	4.8	86
R-11	SF	7.7	4.7	36
R-12	SF	11.1	5.2	58
R-13	SF	11.4	4.6	53
R-14	SF	11.0	5.1	56
R-15	SF	10.3	6.6	68
R-16	SF	8.5	7.3	62
SUBTOTAL	SF	195.8	5.1	996
R-17	MF	18.5	8.0	118
R-18	MF	12.5	12.5	125
R-19	MF	11.6	18.0	167
R-20	MF	10.6	8.0	78
R-21	MF	10.5	12.5	112
R-22	MF	8.4	15.0	105
R-23	MF	16.8	8.0	119
R-24	MF	10.2	15.0	169
R-25	MF	10.0	25.0	200
SUBTOTAL	MF	109.1	10.9	1,193
MU	MU	10.0	11.5	115
SUBTOTAL	RES.	314.9		2,304
MU-1	COMM.	10.0		
SUBTOTAL	COMM.	10.0		
CPF	CPF	5.5		
SUBTOTAL	CPF	5.5		
P-1	PARK	8.9		
P-2	PARK	3.8		
P-3	PARK	3.0		
P-4	PARK	1.0		
SUBTOTAL	PARK	16.7		
S-1 / K-6	SCHOOL	11.0		
S-2 / Jr. H S	SCHOOL	25.6		
SUBTOTAL	SCHOOL	36.6		
Hunte Parkway	ROAD	24.2		
Olympic Parkway	ROAD	9.3		
Eastlake Parkway	ROAD	7.2		
W ⁿ Circulation Sts	ROAD	17.4		
E ⁿ Circulation Sts	ROAD	8.1		
SUBTOTAL	ROAD	66.2		
Green Buffer	O.S.	27.6		
Easemt thru Property	O.S.	18.8		
Paseo Area in West	O.S.	1.5		
Paseo Area in East	O.S.	1.3		
SUBTOTAL	O.S.	49.2		
TOTAL		489		2,304



Development of the Village 11 SPA Plan will be completed in three sequential phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. Three phases of development are envisioned for Village 11. The Phasing Plan (Exhibit 4) reflects the anticipated market demand for a variety of housing types and commercial development.

Phase 1: This phase will commence first in the project and will be initiated in the northern area of the village with the development of 532 single-family units. A minimum of four distinct housing types of Medium and Low-Medium Village densities will be developed in the first phase. Phase 1 development will include the public Neighborhood Park and any needed infrastructure. This phase will include the completion of Olympic Parkway between State Route 125 (SR-125) and Hunte Parkway. This phase also includes the construction of a portion of Hunte Parkway between Olympic to North Project Access. In addition, this phase includes interior streets within the neighborhood developments and the private common open space in the eastern area of the village.

Phase 2: This phase, which will follow phase 1, will complete the residential development (including streets and paseos) approximately one half of the village west of the San Diego Gas & Electric (SDG&E)/San Diego County Water Authority (SDCWA) easement. Phase 2 will also complete the village east of the SDG&E/SDCWA easement and encompass the village core area and residential development. This phase will provide the internal link between R-1 and R-11. Phase 2 residential development will provide 328 single-family units with Medium and Low-Medium Village densities, 386 single family attached/multi-family units with Medium and Medium-High densities and a Mixed Use site with 315 multi-family units. The village core, including the Mixed Use/Commercial, Community Purpose Facility and Elementary School sites are planned in this phase.

Phase 2 includes the construction of EastLake Parkway from the North Village Entry to Birch Road and Hunte Parkway from the North Project Entry (Driveway "I," LL&G Traffic Impact Analysis) to South of SDG&E easement. Further, this phase includes an internal link between R-1 (Phase 1) and P-1 (Phase 1) plus the interior streets within the neighborhood developments.

Phase 3: The third phase, is the last phase of the project following phase 1 and phase 2. This phase will complete the southwestern portion of the village with the addition of 451 single-family units and 292 multi-family units. The Junior High School site will also be made available for development.

This phase will include the completion of EastLake Parkway from Birch Road to Hunte Parkway and Hunte Parkway from South of the SDG&E easement to EastLake Parkway. Further, this phase includes the interior streets within the neighborhood developments.

Additional roadway improvements may be required in the aforementioned phases of the project pursuant to the established cumulative roadway unit triggers (see Traffic Section II.5.4.1 of this document). Table B.2 summarizes the development acres of specific land uses and the number of residential units proposed in each phase for Village 11 development.

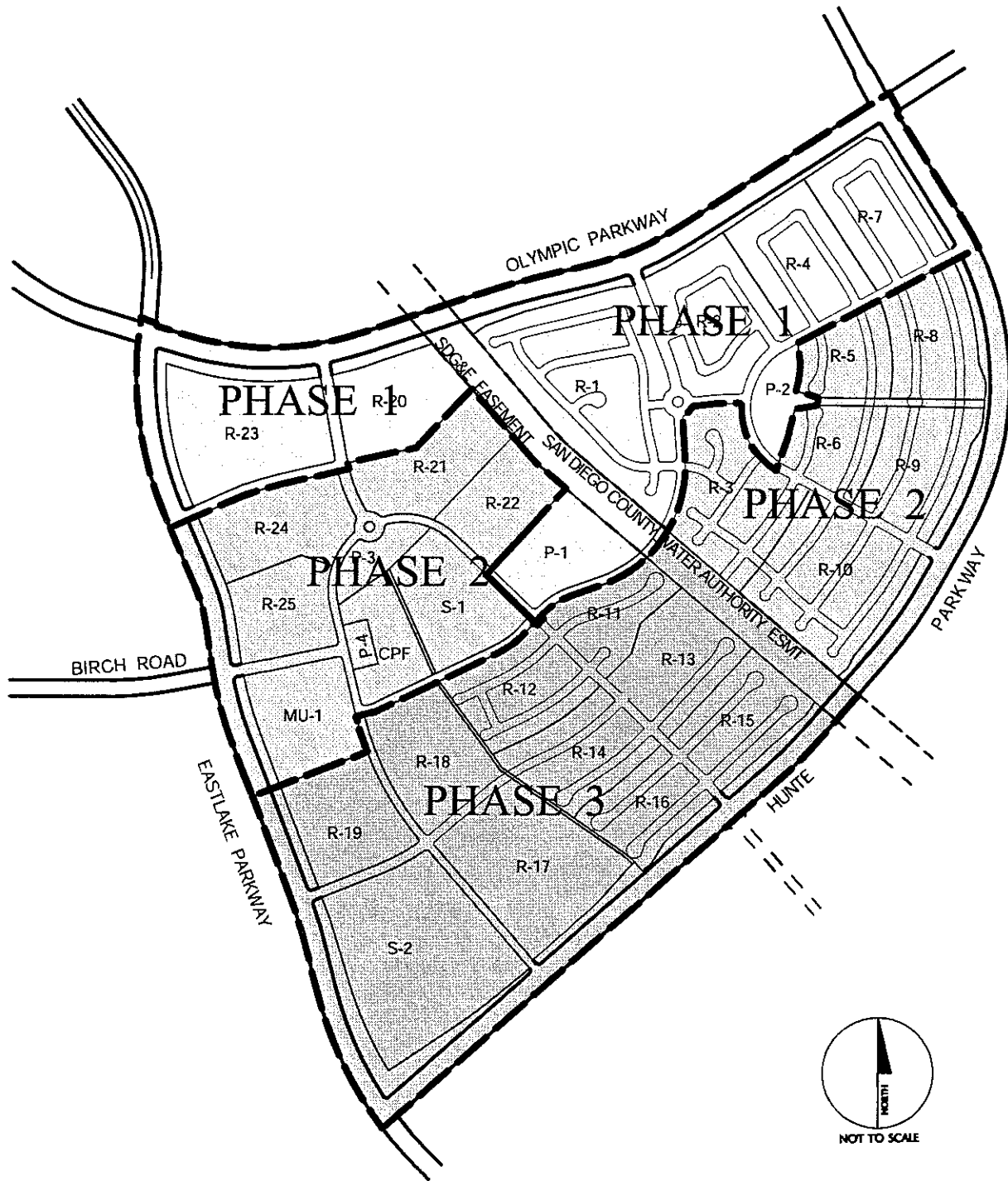


Exhibit 4
Conceptual Phasing Plan
 Otay Ranch Village 11 PFFP

**Table B.1
Village 11 Phasing Plan Summary**

PHASE 1					
Area	Land Use	Gross Acres	Dwelling Units	Target du/ac	Housing Type
R-1	SF	26.7	164	6.1	SF detached
R-2	SF	14.2	46	3.2	SF detached
R-4	SF	12.4	55	4.4	SF detached
R-7	SF	11.4	70	6.1	SF detached
R-20	MF	10.6	78	8.0	SF detached
R-23	MF	16.8	119	8.0	SF detached
Subtotal		92.1	532		SF detached
P-1	Neigh. Park	8.9			
P-2	Private Recreational facilities	3.8			
	Open Space	22.3			
	Streets*	22.2			
Subtotal		57.2			
Phase 1 Total		149.3	532		
PHASE 2					
R-3	SF	15.3	46	3.0	SF detached
R-5	SF	7.5	37	5.0	SF detached
R-6	SF	7.5	35	4.7	SF detached
R-8	SF	11.2	64	5.7	SF detached
R-9	SF	11.6	60	5.2	SF detached
R-10	SF	18.0	86	4.8	SF detached
Subtotal		71.1	328		SF detached
R-21	MF	10.5	112	12.5	SF attached
R-22	MF	8.4	105	15.0	SF attached
R-24	MF	10.2	169	15.0	SF attached
Subtotal		29.1	386		SF attached
R-25	MF	10.0	200	25.0	MF
MU	Mixed-Use	10.0	115	11.5	MF
Subtotal		20.0	315		MF
CPF	Comm. Purpose	5.5			
S-1	Elem. School	11.0			
P-3	Private Recreational facilities	3.0			
P-4	Town Square	1.0			
	Open Space	9.0			
	Streets*	20.5			
Subtotal		50.0			
Phase 2 Total		170.2	1,029		

* Table does not include street area outside of property boundary.

Note: R-17, R-20 & R-23 are designated as a multi-family land use, however, they are planned as small lot single family detached.

Table B.1 Continued Village 11 Phasing Plan Summary					
PHASE 3					
Area	Land Use	Gross Acres	Dwelling Units	Target du/ac	Housing Type
R-11	SF	7.7	36	4.7	SF detached
R-12	SF	11.1	58	5.2	SF detached
R-13	SF	11.4	53	4.6	SF detached
R-14	SF	11.0	56	5.1	SF detached
R-15	SF	10.3	68	6.6	SF detached
R-16	SF	8.5	62	7.3	SF detached
R-17	MF	18.5	118	8.0	SF detached
Subtotal		78.5	451		SF detached
R-18	MF	12.5	125	12.5	SF attached
R-19	MF	11.6	167	18.0	SF attached
Subtotal		24.1	292		SF attached
S-2	Jr.H. School	25.6			
	Open Space	17.9			
	Streets*	23.5			
Subtotal		67.0			
Phase 3 Total		169.6	743		
TOTAL		489.1	2,304		

II.5.3.5 Equivalent Dwelling Units

Transportation

The current Transportation Development Impact Fees (TDIF) Ordinance sets forth the calculation of development impact fees for the Eastern Territories transportation improvements and for Interim Pre-SR125 facilities.

The TDIF adopted by the City Council on October 1, 2000 is \$6,065 per Equivalent Dwelling Unit (EDU). Each new single-family detached dwelling shall be considered one EDU for the purposes of this fee. A single-family attached dwelling shall be 0.8 EDUs. A unit within a multi-family dwelling shall be considered 0.6 EDUs. Commercial/Office (under five stories in height) shall be charged at the rate of 25.0 EDUs per gross acre of land. The EDU rate for each CPF use shall be charged at the rate of 4.0 EDUs per gross acre of land.

Table B.2 Village 11 EDUs by Phase for Transportation and Interim SR-125 Facilities						
Land Use	DU's	Acres	EDUs by Phase			
			Phase 1	Phase 2	Phase 3	Total EDUs
SF-Detached	1,311		532	328	451	1,311
SF-Attached	678		0	309	234	543
MFR	315		0	189	0	189
Commercial	0	10.0	0	250	0	250
CPF	0	5.5	0	22	0	22
EDUs/Phase			532	1,098	685	2,315

There is currently no TDIF designation for the Mixed Use (MU) land use. Therefore the land within the Mixed Use site that generates the highest EDU count shall prevail. The Commercial/Office (under five stories in height) rate of 25.0 EDUs per gross acre of land shall be applied to the Village 11 MU site.

The current Interim Pre-SR-125 Development Impact Fee is \$820 per EDU (City Council Resolution 2579). The same EDU rates apply to the Interim Pre-SR-125 Development Impact Fee as for the TDIF.

Public Facilities

The current Public Facilities Development Impact Fee is \$2,618 per EDU. The following table of equivalent dwelling units (EDUs) applies to the calculation of impact fees in accordance with Ordinance 2554, as amended, for public facilities. The fee funds, in part, the following facilities:

Table B.3 Village 11 EDU Fee for Public Facilities	
Public Facility	Fee
1. Civic Center Expansion	\$480
2. Police Facility and Equipment	\$735
3. Corporation Yard/Animal Shelter	\$386
4. Libraries	\$638
5. Fire Suppression System	\$203
6. GIS, Computer Systems, Telecommunications, Records Management System	\$42
Subtotal	\$2,484
7. PFDIF Administration	\$134
Total	\$2,618

Each new single-family detached dwelling, single family attached dwelling, or unit within a multi-family dwelling in a Development Project shall be considered one EDU for purposes of this fee. Commercial/Office and Industrial development Projects shall be charged at the rate of 5.0 EDUs per gross acre of land. The EDU rate for each CPF use shall be charged at the rate of 3 EDUs per gross acre of land. The calculations of PFDIF due for each facility addressed in the following sections of this report do not include the \$134 amount for administration of the PFDIF. However, this amount is collected as part of the \$2,618 fee per EDU.

Table B.4 Village 11 EDUs by Phase for Public Facilities					
Land Use	DU's or Acres	EDUs by Phase			
		Phase 1	Phase 2	Phase 3	Total EDUs
RESIDENTIAL	2,304 DU	532	1,029	743	2,304
COMMERCIAL	10 Acres	0	50	0	50
CPF	5.5 Acres	0	17	0	17
EDUs/Phase		532	1,096	743	2,371

II.5.4 FACILITY ANALYSIS

This portion of the PFFP contains 13 separate subsections for each facility addressed by this report. Of the 13 facilities, 11 have adopted threshold standards; the Civic Center and Corporation Yard do not. Table B.5 highlights the level of analysis for each facility.

Facility	Citywide	East of I-805	Service Area Sub-basin	Special District
Traffic	✓	✓		
Police	✓			
Fire/EMS	✓		✓	
Schools				✓
Libraries	✓			
Parks, Recreation & Open Space		✓		
Water			✓	✓
Sewer			✓	
Drainage			✓	
Air Quality	✓			
Civic Center ⁵	✓			
Corp. Yard ¹	✓			
Fiscal	✓		✓	

Each subsection analyzes the impact of the Otay Ranch Village 11 Project based upon the adopted Quality of Life Standards. The analysis is based upon the specific goal, objective, threshold standard and implementation measures. The proposed SPA plan is used to determine facility adequacy and is referenced within the facility section.

Each analysis is based upon the specific project processing requirements for that facility, as adopted in the Growth Management Program. These indicate the requirements for evaluating the project consistency with the threshold ordinance at various stages (General Development Plan, SPA Plan/Public Facilities Finance Plan, Tentative Map, Final Map and Building Permit) in the development review process.

A service analysis section is included which identifies the service provided by each facility. The existing plus forecasted demands for the specific facility are identified in the subsection based upon the adopted threshold standard.

Each facility subsection contains an adequacy analysis followed by a detailed discussion indicating how the facility is to be financed. The adequacy analysis provides a determination of whether or not the threshold standard is being met and the finance section provides a determination if funds are available to guarantee the improvement. If the threshold standard is not being met, mitigation is recommended in the Threshold Compliance and Recommendations subsection which proposes the appropriate conditions or mitigation to bring the facility into conformance with the threshold standard.

⁵ Specific Threshold Standards have not been developed for these facilities

II.5.4.1 TRAFFIC

II.5.4.1.1 GMOC Threshold Standard

1. Citywide: Maintain Level of Service (LOS) "C" or better, as measured by observed average travel speed on all signalized arterial segments except that during peak hours a LOS of "D" can occur for no more than any two hours of the day.
2. West of Interstate 805: Those signalized intersections which do not meet the standard above may continue to operate at their current LOS, but shall not worsen.

II.5.4.1.2 GMOC Level of Service (LOS) Definition

Six levels of services (LOS) have been defined varying from A (free flow) to F (severe congestion). A general definition of LOS is summarized in Table C. The City of Chula Vista's GMOC uses an LOS definition for signalized arterial segments as a method for evaluating and comparing traffic conditions. Arterial LOS measurements consider average weekday peak hours and exclude seasonal and special circumstance variations. The following table summarizes the GMOC Traffic Quality of Life Threshold Standard for signalized arterial streets:

Level of Service	Average Travel Speed (mph)		
	Class 1	Class 2	Class 3
A	> 35	> 30	> 25
B	> 28	> 24	> 19
C	> 22	> 18	> 13
D	> 17	> 14	> 9
E	> 13	> 10	> 7
F	< 13	< 10	< 7

SOURCE: *Highway Capacity Manual, Special Report 209, 1985*

The arterial streets are divided into the following three classifications:

- (1) Class I arterials are roadways where free flow traffic speeds range between 35 mph and 45 mph and the number of signalized intersections per mile is less than four (4). There is no parking and there is generally no access to abutting property.
- (2) Class II arterials are roadways where free flow traffic speeds range between 30 mph and 35 mph, the number of signalized intersections per mile range between four (4) and eight (8). There is some parking and access to abutting properties is limited.
- (3) Class III arterials are roadways where free flow traffic speeds range between 25 mph and 35 mph, and the number of signalized intersections per mile are closely spaced. There is substantial parking and access to abutting property is unrestricted.

II.5.4.1.3 Freeway Segment LOS and Thresholds

The analysis of freeway segment LOS is based on the procedure developed by Caltrans District 11, which is based on methods described in the 1965 *Highway Capacity Manual*. The procedure involves comparing the peak hour volume of the mainline segment to the theoretical capacity of the roadway (V/C). Directional and truck factors are also used to calculate the future freeway volumes. V/C ratios are then compared to the V/C ranges shown on the tables

to determine the LOS for each segment. Caltrans recommends LOS E or better as an acceptable threshold for determining impacts on the regional freeway system. LOS E is used as the threshold of significance because a decrease from this level of service to LOS F determines the need to develop a freeway Deficiency Plan.

Caltrans LOS Definition

The concept of LOS is defined as a qualitative measure describing operational conditions within a traffic stream, and the motorist and/or passengers' perception of operations. A LOS definition generally describes these conditions in terms of such factors as speed, travel time, freedom to maneuver, comfort, convenience, and safety. LOS for freeway segments can generally be categorized per Table C.1.

Table C.1 Caltrans District 11 Freeway Segment LOS Definitions			
LOS	V/C	Congestion/Delay	Traffic Description
<i>Used for freeways, expressways and conventional highways</i>			
A	<0.41	None	Free flow
B	0.42-0.62	None	Free to stable flow, light to moderate volumes.
C	0.63-0.80	None to minimal	Stable flow, moderate volumes, freedom to maneuver noticeably restricted
D	0.81-0.92	Minimal to substantial	Approaches unstable flow, heavy volumes, very limited freedom to maneuver.
E	0.93-1.00	Significant	Extremely unstable flow, maneuverability and psychological comfort extremely poor.
<i>Used for conventional highways</i>			
F	<1.00	Considerable	Forced or breakdown flow. Delay measured in average travel speed (MPH). Signalized segments experience delays >60.0 sec./vehicle
<i>Used for freeways and expressways</i>			
F(0)	1.01-1.25	Considerable 0-1 hr delay	Forced flow, heavy congestion, long queues form behind breakdown points, stop and go.
F(1)	1.26-1.35	Severe 1-2 hr delay	Very heavy congestion, very long queues.
F(2)	1.36-1.45	Very Severe 2-3 hr delay	Extremely heavy congestion, longer queues, more numerous breakdown points, longer stop periods.
F(3)	>1.46	Extremely Severe 3+ hours of delay	Gridlock

SOURCE: Caltrans 1992

II.5.4.1.4 Roadway Segment LOS Standards and Thresholds

This section presents the LOS standards and thresholds utilized by the City of Chula Vista to analyze arterial roadway segment performance. Table C.3 presents the City of Chula Vista roadway segment capacity and LOS standards for arterial roadways.

LOS	Description
A	Describes primarily free-flow operations. Average operating speeds at the free-flow speed generally prevail. Vehicles are almost completely unimpeded in their ability to maneuver within the traffic stream.
B	Also represents reasonably free-flow, and speeds at the free-flow speed are generally maintained. The ability to maneuver within the traffic stream is only slightly restricted, and the general level of physical and psychological comfort provided to drivers is still high.
C	Provides for flow with speeds still at or near the free-flow speed of the roadway. Freedom to maneuver within the traffic stream is noticeably restricted at LOS C, and lane changes require more vigilance on the part of the driver. The driver now experiences a noticeable increase in tension because of the additional vigilance required for safe operation.
D	The level at which speeds begin to decline slightly with increasing flows. In this range, density begins to deteriorate somewhat more quickly with increasing flows. Freedom to maneuver within the traffic stream is more noticeably limited, and the driver experiences reduced physical and psychological comfort levels.
E	Describes operation at capacity. Operations in this level are volatile, because there are virtually no usable gaps in the traffic stream. At capacity, the traffic stream has no ability to dissipate even the most minor disruptions, and any incident can be expected to produce a serious breakdown with extensive queuing.
F	Describes breakdowns in vehicular flow. Such conditions generally exist within queues forming behind breakdown points such as traffic incidents and recurring points of congestion. Whenever LOS F conditions exist, there is a potential for them to extend upstream for significant distances.

SOURCE: Highway Capacity Manual, 1994

Functional Classification	Level of Service				
	A	B	C	D	E
Expressway (6-lane)	52,500	61,300	70,000	78,800	87,500
Prime Arterial (6-lane)	37,500	43,800	50,000	56,300	62,500
Major Street (6-lane)	30,000	35,000	40,000	45,000	50,000
Major Street (4-lane)	22,500	26,300	30,000	33,800	37,500
Class I Collector (4-lane)	16,500	19,300	22,000	24,800	27,500
Class II Collector (3-lane)	9,000	10,500	12,000	13,500	15,000
Class III Collector (2-lane)	5,600	6,600	7,500	8,400	9,400

SOURCE: City of Chula Vista Street Design Standards Policy (July 1991)

The analysis of street segment LOS is based on the functional classification of the roadway, the maximum desired level of service capacity, roadway geometries, and the existing or forecasted average daily traffic (ADT) volume. City of Chula Vista LOS D were utilized to determine if a segment would operate over or under capacity. Table C.3, Street Segment Level of Service Threshold Descriptions, is a description of the various street segment LOS thresholds

II.5.4.1.5 Intersection LOS Standards and Threshold

The analysis of existing and projected peak hour intersection performance was conducted using the methodology documented in the *1994 Highway Capacity Manual (Transportation Research Board Special Report 209)*. LOS D or better indicates acceptable operating conditions for

signalized intersections during AM and/or PM peak hour conditions. Those intersections found to have LOS E or F under an analysis of future conditions are considered to have significant impacts and will require mitigation.

II.5.4.1.5.1 Signalized Intersection Analysis

The analysis considers signalized intersections during the AM and PM peak hours by determining the average delay per vehicle entering the intersection. The delay was determined using a computer program, which utilizes the methodology found in Chapter 9 of the 1997 Highway Capacity Manual (HCM). The delay values (seconds) were qualified by giving a Level of Service (LOS) or "Grade" to the corresponding delay value for the intersection as a whole. LOS for signalized intersections vary from A (free flow, little delay) to F (forced flow, significant delays). Table C.4 is a description of the various intersection LOS thresholds

Table C.4 Intersection LOS Threshold Descriptions	
LOS	Description
A	Occurs when progression is extremely favorable and most vehicles arrive during the green phase. Most vehicles do not stop at all. Short cycle lengths may also contribute to low delay.
B	Generally occurs with good progression and/or short cycle lengths. More vehicles stop than for LOS A, causing higher levels of average delay.
C	Generally results when there is fair progression and/or longer cycle lengths. Individual cycle failures may begin to appear in this level. The number of vehicles stopping is significant at this level, although many still pass through the intersection without stopping.
D	Generally results in noticeable congestion. Longer delays may result from some combination of unfavorable progression, long cycle lengths, or high volume-to-capacity ratios. Many vehicles stop, and the proportion of vehicles not stopping declines. Individual cycle failures are noticeable.
E	Considered to be the limit of acceptable delay. These high delay values generally indicate poor progression, long cycle lengths, and high volume-to-capacity ratios. Individual cycle failures are frequent occurrences.
F	Considered to be unacceptable to most drivers. This condition often occurs with over saturation i.e. when arrival flow rates exceed the capacity of the intersection. It may also occur at high volume-to-capacity ratios below 1.00 with many individual cycle failures. Poor progression and long cycle lengths may also be major contributing causes to such delay levels.

SOURCE: Highway Capacity Manual, 1994

II.5.4.1.5.2 Unsignalized Intersection Analysis

The unsignalized intersections were analyzed by determining the delay and Levels of Service based on Chapter 10 of the 1997 HCM. Different methodologies are used to assess two-way stop-controlled intersections and all-way stop-controlled intersections. The LL&G Traffic Analysis contains a detailed explanation of the methodology as well as the unsignalized intersection calculation sheets.

II.5.4.1.6 Chula Vista Traffic Monitoring Program (TMP)

The TMP stipulates that the existing level of service on arterial segments in Chula Vista be maintained at LOS C or better, with the exception that LOS D is acceptable on signalized arterial segments for two hours per day maximum. The Public Works Department of the City of Chula Vista evaluates LOS for arterial roadway segments utilizing the HCM methodology, Chapter 11, based on average travel speeds to adhere to the Growth Management traffic threshold standards. The adopted Growth Management Ordinance mandates the project's participation in the traffic section as it relates to the City's annual review of network performance. All major circulation element facilities within the City of Chula Vista are subject

to review. Those facilities where traffic volumes have increased by at least 10% since the last review or have experienced a significant change in conditions or are at the upper fringes of LOS C approaching LOS D are included in the annual traffic study, which is reviewed for conformance by the Growth Management Oversight Committee (GMOC). The City of Chula Vista requires the application of these guidelines to the future development of the Otay Ranch Village 11 SPA Project.

Utilization of the roadway and intersection performance standards presented in this chapter and the required adherence to the Growth Management traffic threshold standards will result in full conformance with the requirements of the City of Chula Vista.

II.5.4.1.7 Service Analysis

The Public Works Department of the City of Chula Vista is responsible for ensuring that traffic improvements are provided to maintain a safe and efficient street system within the City. Through project review, City staff ensures the timely provision of adequate local circulation system capacity in response to planned development while maintaining acceptable LOS. To accomplish their review the Public Works Department has adopted guidelines for Traffic Impact Studies (January, 2001). These guidelines ensure uniformity in the preparation of traffic studies. Further, the guidelines assist in maintaining acceptable standards for planned new roadway segments and signalized intersections at the build out of the City's General Plan and Circulation Element. The Circulation Element of the General Plan serves as the overall facility master plan.

In conformance with requirements of the Congestion Management Program (CMP), an analysis of CMP freeways and arterials is required for any project that generates 2,400 daily, or 200 peak hour trips (As detailed in the 1991 Congestion Management Program). A *Traffic Impact Analysis for Village 11*, dated March 19, 2001, has been prepared by Linscott, Law and Greenspan (LL&G). This report addresses both existing and planned circulation system conditions, details necessary improvements and outlines the incremental circulation improvements based upon planned project phasing. Further, the Traffic Impact Analysis also includes an evaluation of impacts that are considered significant as a result of project development.

SANDAG Traffic Modeling

The basis of the traffic analysis is the 2020 City/County Forecast Traffic Model which is produced by the San Diego Association of Governments (SANDAG). LL&G worked with the City of Chula Vista and SANDAG to input the proper land use and network designations into the model for the following study years:

- Year 2005 (without SR-125)
- Year 2005 (with SR-125)
- Year 2010
- Year 2015
- Year 2020
- Build-out without Alta Road
- Build-out with Alta Road

The Traffic Impact Analysis report contains the tables showing the land uses, which were coded into the traffic model for both the adopted and proposed project scenarios for all projects in the eastern territories of Chula Vista and the surrounding area. The City of Chula Vista determined the likely network system that would be constructed by each study year and SANDAG coded them into the model.

After the proper land use intensities and network configurations were inputted into the model for each study year scenario, the model was run. The SANDAG model outputs Average Daily Traffic volumes (ADTs) on all Circulation Element street segments.

An iterative process was conducted in which SANDAG would produce model runs for each study scenario; the project team would review the output and suggest revisions to improve output accuracy. After several iterations the output was deemed acceptable and ready for analysis.

GMOC Analysis

The Chula Vista TMP assesses the operating performance of the City's arterial street system for compliance with the Threshold Standards of the GMOC. The threshold standards specify that a Level of Service (LOS) of C or better, as measured by average travel speeds on the arterial, shall be maintained with an exception that during peak hours LOS D can occur for no more than any two hours of the day.

A near-term analysis of the East H Street, Otay Lakes Road and Telegraph Canyon Road arterials was conducted based on the City of Chula Vista's GMOC Traffic Monitoring Program (TMP) methodology. Only these three arterials were analyzed since these arterials are the only street segments calculated to operate at LOS D or worse

II.5.4.1.8 Project Processing Requirements

SPA Plan/PFFP

1. Identify onsite and offsite impacts and improvements by phase of development.
2. Provide cost estimates for all improvements.

II.5.4.1.9 Existing Conditions

This section summarizes the operation of the existing transportation network in the Otay Ranch Village 11 Project Study Area for the key freeway segments, street segments, and intersections.

Freeway Segments

The LL&G Traffic Impact Analysis Report included the existing operations on Interstate 805. According to the report, the two segments that were analyzed are calculated to operate at LOS E or F under existing conditions. These two segments of I-805 are Bonita Road to East H Street (LOS F) and East H Street to Telegraph Canyon Road (LOS E).

Street Segments

According to the LL&G report, all key street segments are calculated to operate at LOS C or better under existing conditions except East H Street from I-805 to Hidden Vista Drive which operates at LOS F and Telegraph Canyon Road from I-805 to Oleander at LOS D.

Existing and Planned City Street System

The following provides a brief description of the existing and planned street system in the vicinity of the Village 11 project area. This area roughly encompasses the Otay Ranch and adjacent areas between I-805 to the west (see Exhibit 5). Lower Otay Reservoir to the east, H Street to the north and Otay Valley Road to the south.

Interstate 805: I-805 is a north-south freeway, which originates in South County and terminates at its connection with the I-5 Freeway in Sorrento Valley. Local interchanges in

the project vicinity are at Olympic Parkway, Telegraph Canyon Road, and East H Street. I-805 is generally an eight-lane freeway between I-805 and SR 54 with auxiliary lanes present between some interchanges.

East H Street: East H Street is classified as a Six-Lane Prime Arterial from I-805 to Otay Lakes Road, and as a Four-Lane Major east of Otay Lakes Road. Six lanes of divided travel exist today, narrowing to four lanes of divided travel east of Otay Lakes Road.

Olympic Parkway: Olympic Parkway is classified as a Six-Lane Prime Arterial from I-805 to Hunte Parkway, and as a Four-Lane Major east of Hunte Parkway. Olympic Parkway currently terminates at Brandywine Avenue, just east of I-805 and is a Four-Lane Major Street with bike lanes on both sides from I-805 to Oleander Avenue.

Telegraph Canyon Road/Otay Lakes Road: Telegraph Canyon Road/Otay Lakes Road is classified as a Six-Lane Major west of Paseo del Rey, and as a Six-Lane Prime Arterial east of Paseo del Rey. It is generally a six-lane facility that transitions into a Two-Lane Collector to the east of Hunte Parkway. Bike lanes exist on both sides of the road and bus stops are located intermittently.

Paseo Ranchero: Paseo Ranchero is classified as a Class I Collector and currently extends from Rancho del Rey Parkway to Telegraph Canyon Road. Currently, the section from Telegraph Canyon Road to East Palomar Street is a Six-Lane Prime Arterial. Four lanes of travel are provided in the remaining section of Paseo Ranchero. Bike lanes exist today on both sides of the road with no curbside parking.

Otay Lakes Road: Otay Lakes Road is classified as a Six-Lane Prime Arterial. Otay Lakes Road is a Four-Lane Major arterial between Bonita Road and Telegraph Canyon Road, at which point it turns to the east. East of La Media Road, Otay Lakes Road transitions into a Six-lane Prime Arterial, and eventually into a Class 2 Collector (two lanes) east of Hunte Parkway. Bike lanes exist on both sides of the road.

Corral Canyon Road/Rutgers Avenue: Corral Canyon Road is classified as a Class II Collector within City of Chula Vista. Corral Canyon Road becomes Rutgers Avenue, also a Class II Collector, south of East H Street. Four lanes of travel are provided on the portion south of East H Street to Gotham Street. Bike lanes exist on both Corral Canyon Road/Rutgers Avenue.

Eastlake Parkway: Eastlake Parkway is classified as a Four-Lane Major Street and as a Six-Lane Prime Arterial south of the SDG&E easement in Eastlake Greens. Currently, it provides four lanes (two lanes in each direction). Bike lanes exist on either side of the road and curbside parking is prohibited.

Hunte Parkway: Hunte Parkway is classified as a Four-Lane Prime Arterial from Otay Lakes Road to Olympic Parkway. From Olympic Parkway to SR-125, Hunte Parkway is classified as a Six-Lane Prime Arterial. Currently, it extends south of Otay Lakes Road as a Four-Lane Major Street arterial. Bike lanes exist on either side of the road and curbside parking is prohibited.

State Route 125(SR-125): SR-125 is proposed to be completed between SR-54 and SR-905 initially as a four-lane toll way. It may be constructed by 2004, but the current status is unclear.

Alta Road: Alta Road may be constructed as a Six-Lane Prime Arterial between Hunte Parkway and SR-905. It may be deleted from the City of Chula Vista's Circulation Element at some time in the future.

Wueste Road: Wueste Road is classified as a Class III Collector. It is currently a narrow, winding two-lane road extending between Otay Lakes Road and the south city limits.

Peak Hour Intersections

The LL&G report analyzed the existing AM and PM peak hour operations of 20 key signalized intersections. These signalized intersections are calculated to currently operate at LOS D or better except the following:

- East H Street/I-805 Southbound Ramps (LOS F in the PM peak hour)
- Telegraph Canyon Road/I-805 Northbound Ramps (LOS E in the AM and PM peak hours)
- Olympic Parkway/I-805 Southbound Ramps (LOS E in the PM peak hour)

The LL&G report also analyzed the existing AM and PM peak hour operations of 7 key unsignalized intersections. The minor street left-turn movements at the 7 unsignalized intersections are calculated to operate at LOS C or better.

Peak hour intersection turning movement volumes were conducted by LL&G in April 2000 at 27 of the following 52 intersections. The 27 intersections exist today while the remaining 25 will be built in the future. The numbering of the intersections corresponds to the overall 52 intersections, which were analyzed, many of which do not exist today, and are illustrated on Exhibit 5.

- | | |
|--|---|
| 1. East "H" Street/I-805 Southbound Ramps | 21. Otay Lakes Road/SR-125 SB Ramps
(Does not Exist) |
| 2. East "H" Street/I-805 Northbound Ramps | 22. Otay Lakes Road/SR-125 NB Ramps
(Does not Exist) |
| 3. East "H" Street/Hidden Vista Drive | 23. Otay Lakes Road/Eastlake Parkway |
| 4. East "H" Street/Paseo Del Rey | 24. Otay Lakes Road/Lane Avenue |
| 5. East "H" Street/Paseo Ranchero | 25. Otay Lakes Road/Hunte Parkway |
| 6. East "H" Street/Otay Lakes Road | 26. Otay Lakes Road/Wueste Road |
| 7. East "H" Street/Rutgers Avenue | 27. Olympic Parkway/I-805 Southbound Ramps |
| 8. East "H" Street/Eastlake Drive | 28. Olympic Parkway/I-805 Northbound Ramp |
| 9. East "H" Street/SR-125 SB Ramps
(Does not Exist) | 29. Olympic Parkway/Oleander Avenue |
| 10. Proctor Valley Road/SR-125 NB Ramps
(Does not Exist) | 30. Olympic Parkway/Brandywine Avenue/Medical Center Drive |
| 11. Proctor Valley Road (East "H" St.)/Lane Avenue | 31. Olympic Parkway/Paseo Ranchero
(Does not Exist) |
| 12. Proctor Valley Road (East "H" St.)/Hunte Parkway | 32. Olympic Parkway/La Media Road
(Does not Exist) |
| 13. Telegraph Canyon Road/I-805 Southbound Ramps | 33. Olympic Parkway/SR-125 SB Ramps
(Does not Exist) |
| 14. Telegraph Canyon Road/I-805 Northbound Ramps | 34. Olympic Parkway/SR-125 NB Ramps
(Does not Exist) |
| 15. Telegraph Canyon Road/Halecrest Drive | 35. Olympic Parkway/EastLake Parkway
(Does not Exist) |
| 16. Telegraph Canyon Road/Paseo Del Rey | 36. Olympic Parkway/Hunte Parkway
(Does not Exist) |
| 17. Telegraph Canyon Road/Medical Center Drive | 37. Olympic Parkway/Wueste Road |
| 18. Telegraph Canyon Road/Paseo Ranchero | 38. Birch Road/Paseo Ranchero
(Does not Exist) |
| 19. Telegraph Canyon Road/La Media Road | 39. Birch Road/La Media Road
(Does not Exist) |
| 20. Otay Lakes Road/Rutgers Avenue | 40. Birch Road/SR-125 SB Ramps
(Does not Exist) |

- | | |
|--|---|
| 41 Birch Road/SR-125 NB Ramps
(Does not Exist) | 47. Rock Mountain Road/Hunte
Parkway (Does not Exist) |
| 42. Birch Road/EastLake Drive (Does
not Exist) | 48 Main Street/Paseo Ranchero (Does
not Exist) |
| 43. Rock Mountain Road/La Media
Road (Does not Exist) | 49. Main Street/Rock Mountain Road
(Does not Exist) |
| 44. Rock Mountain Road/SR-125 SB
Ramps (Does not Exist) | 50 Main Street/La Media Road (Does
not Exist) |
| 45 Rock Mountain Road/SR-125 NB
Ramps (Does not Exist) | 51. Main Street/ SR-125 SB Ramps
(Does not Exist) |
| 46. Rock Mountain Road/EastLake
Parkway (Does not Exist) | 52 Main Street/ SR-125 NB Ramps
(Does not Exist) |

II.5.4.1.10 Transit

In order to reduce the public's dependence upon the automobile, transit and land use patterns should work together. The easy access to transit facilities in correlation with the service offered can make transit a viable travel mode alternative to the automobile, thus reducing traffic congestion. Currently, two percent of trips are conducted on public transit in the region. Efforts should be made to increase this travel mode by making transit accessible and convenient. Additionally, providing transit facilities will meet the City's CO2 Reduction Plan which mentions transit as one of the action measures to reducing CO2 emissions along with enhanced pedestrian connections to transit, increased housing density near transit, and site design with transit orientation.

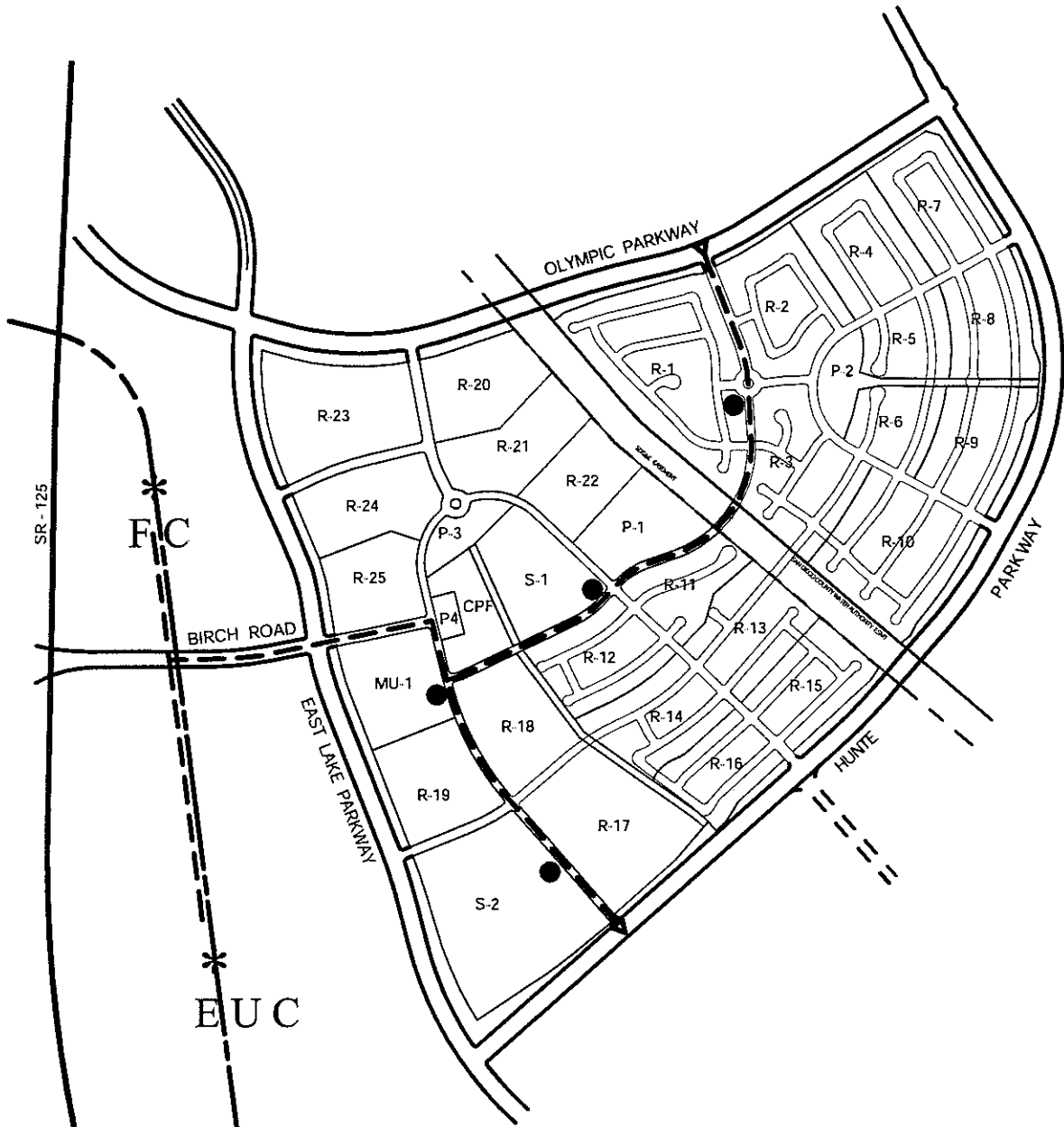
Transit Policies

The following principles should be followed in determining the location of transit stops along planned transit routes in the community and in designing the pedestrian system:






1. Where there are numerous major pedestrian generators, access to stops for transit vehicles moving in both directions would be facilitated by locating transit stops near striped intersections.
2. Transit stops should be located and walkways designed to provide access as directly as possible without impacting residential privacy.
3. At intersection points of two or more transit routes, stops should be located to minimize walking distance between transfer stops.
4. Locating bus turnouts at the far side of intersections in order to permit right-turning vehicles to continue movement can mitigate transit vehicle conflicts with automobile traffic.
5. Transit stops should be provided with adequate walkway lighting and designed shelters.
6. Walkway ramps should be provided at transit stops to ensure accessibility to the handicapped.

Service Concepts

Green Car: Local circulators using mini to mid-size buses. Green Car would act as a collector and provide feeder access to Blue Car and/or Red Car concepts. Bus stop facilities would be Low to Medium level. Service provided on residential streets and major streets.



LEGEND

-  Bus Route
-  Bus Stop
-  Regional Transit Way
-  Route Entry
-  Regional Transit-Way Stop



**Exhibit 6
Public Transportation Concept Plan**

Blue Car: Provides short distance trips (1-5 miles) with frequent stops. This service provides basic mobility and equals the current Chula Vista Transit service. Bus stop facilities at a Medium to High level. Service provided on major streets and arterials.

For information, the Red Car concept describes the future Light Rail Transportation service planned for the Otay Ranch area.

Bus Stop Facilities and Costs

The various bus stop facility levels are defined below:

- Low:** Bus stop sign/pole
- Med:** Bus stop sign/pole/bench
- Med-High:** Bus stop sign/pole/bench/shelter
- High:** Bus stop sign/pole/bench/shelter/turnout

All bus stops shall meet or exceed ADA bus stop accessibility standards.

<u>Basic Bus Stop Costs</u>		<u>Improved Bus Stop</u>
Pole	\$100	\$100
Sign	\$100	\$100
Bench	\$300	\$300
Trash Recp.	\$150	\$150
Pad (10'x25')	\$2,500	\$2,500
Shelter	\$0	\$5,500
Turnout	\$0	\$15,000
Total	\$3,150	\$23,650

Bus Turnout Criteria

Bus turnouts shall be considered if one or more of the following factors are present:

- a) Location convenient to park & ride facilities, intermoda transfer facilities, and/or transfer facilities between bus services.
- b) Location serves major pedestrian traffic generators (i.e. village centers, shopping malls, schools, transit centers, hospitals etc.).
- c) Transit route dwell time exceeds 30 seconds.
- d) Posted traffic speed limit is greater than 40 mph.
- e) Bus volumes are 5 or more per peak hour.
- f) Passenger volumes exceed 20 boardings per hour.
- g) Traffic in the curb lane exceeds 250 vehicles during peak hours.
- h) History of traffic and/or pedestrian accidents at the stop location.
- i) Sight distance prevents traffic from stopping safely behind a stopped bus.

Bus turnouts shall be designed to meet the regional standard described in the Metropolitan Transit Development Board's Designing For Transit Manual, and meet all applicable American With Disabilities Act (ADA) accessibility requirements.

Bus turnouts may be placed on the far side or near side of an intersection, or at mid-block locations. Far side placement at intersections is preferred in most cases to avoid conflicts with right turn movements and obstruction of views of traffic for pedestrians and autos.

II.5.4.1.10.1 Pedestrian Trails and Bridges

The pedestrian trails program is described in Section II.5.4.6, Parks, Trails and Open Space, of this document. The Trails Plan is depicted in Exhibit 8. The street cross-sections in the SPA Plan, Section II.2.3, illustrate the regional trails, village trails and pathways that are adjacent to the streets as well as the off-street paseos and trails. The Village 11 Design Plan and the Village 11 SPA Parks, Recreation, Open Space, and Trails Master Plan provide additional detailed discussion of the Village 11 trail system.

The GDP provides for a Village Greenway to be located through Otay Ranch, specifically through Village 11 to connect the EUC and Salt Creek. In Village 11, the Greenway will be located along the southern boundary adjacent to the junior high school and residential neighborhoods. The Village Pathway will connect the Village 11 core to the Greenway.

The Otay Ranch Overall Village Design Plan indicates that pedestrian bridges may be used in special circumstances, such as the Village Pathway, to provide crossings over arterial streets. The Village 11 plan proposes two Pedestrian Bridge crossings. One bridge is proposed to cross EastLake Parkway from the Eastern Urban Center (EUC) at Hunte Parkway. The other bridge is proposed to cross Hunte Parkway providing access to the Salt Creek Open Space Preserve and University site.

II.5.4.1.11 Trip Generation and Phasing

II.5.4.1.11.1 Project Trip Generation

The following is a description of the proposed and adopted project trip generation calculations.

Proposed Project

SANDAG trip generation rates were utilized to determine the amount of traffic the project would generate. Table C.5 shows the project trip generation for the Proposed Village 11 project. The project trip generation for the Proposed Village 11 is 30,060 ADT. Of this total amount 8,930 ADT are generated by non-residential uses.

TABLE C.5			
Village 11⁶ Total Trips			
Years 2010, 2015, 2020 and Buildout			
Land Use	ADT Rate	Size	ADT Volume
Single Family	10/DU	1,005 DU	10,050
Multi Family	8/DU	1,385 DU	11,080
Residential Total			21,130
Elementary School	60/AC	11 AC	660
Middle School	40/AC	25.6 AC	1020
Commercial	700/AC	10 AC	7,000
Church	30/AC	5.5 AC	170
Park	5/AC	16.7 AC	80
Non-Residential Total			8,930
TOTAL			30,060

SOURCE: Traffic Impact Analysis Otay Ranch Village 11, Chula Vista, CA dated July 5, 2001

⁶ Traffic Impact Analysis Otay Ranch Village 11 assumptions

A detailed transportation phasing analysis for the project was conducted by LL&G as part of the project traffic analysis. The report developed a set of recommended transportation system improvements for each phase of the project development. The project proposes three phases. Phase I is expected to be built out by Year 2005 and generate approximately 15,850 trips/day. Phase II and Phase III are both expected to be built out by Year 2010 and generate approximately 14,210 trips/day.

The project is designed in such a fashion as to keep a portion of the traffic internal to the project since schools, commercial uses and recreational uses are planned within the project. Therefore, calculations were conducted to determine how much of the project traffic would remain internal to the project site and therefore not add traffic to the regional street system.

Land Use	% of Internal Trips	Internal Trips (ADT)
A. Residential	15%	3,170
B. Non-Residential		
Elementary School	70%	460
Park	80%	60
Commercial	26%	1,800
Church	80%	140
Middle School	70%	710
Total Non-Residential		3,170

* See Table C.5 for total trips

Table C.6 shows the internal trip generation calculations with a base assumption that given the make-up of the non-residential uses, about 15% of the residential uses would remain internal to the site. Subtracting the internal trip generation from the total trip generation yields the external trip generation.

Table C.7 shows the external trip generation and indicates that the project is calculated to generate 23,720 ADI on the surrounding street system at project build-out. Since the project is expected to be completed prior to 2010, this traffic generation was assumed for the year 2010, 2015, 2020 and build-out analysis.

Land Use	% of External Trips	External Trips (ADT)
A. Residential	85%	17,960
B. Non-Residential		
Elementary School	30%	200
Park	20%	20
Commercial	74%	5,200
Church	20%	30
Middle School	30%	310
TOTAL ADT		23,720

The trip generation calculations for the adopted land uses were done identically to the proposed project. Table C.8 shows the trip generation for the proposed land uses. Tables C.6 and C.7 show the internal and external trip generation calculations, respectively for the proposed Village 11 project.

Land Use	ADT Rate	Phase I or Build-out Year 2005	Phase II & III or Build-out Year 2010
SFD	10/DU	6,390	3,570
SFA & MF	8/DU	1,580	9,500
Elementary School	60/AC	600	
Middle School	40/AC		1,020
Commercial	700/AC	7,000	
Church	30/AC	210	
Park	5/AC	70	
Subtotal		15,850	14,210
20% reduction for mixed use		-3,170	
Total		12,680	14,210

Only a portion of the residential uses (639 single family and 197 multi-family), the commercial, church, park and elementary school are proposed by 2005. The LL&G report indicates that the year 2005 trip project generation is identical for both the proposed and the adopted Village 11 plan. Total daily external trip ends (ADI) is 12,680.

Phasing Reconciliation

The Traffic Impact Analysis for the Village 11 project was analyzed in two phases of five year increments each as follows:

Phase I (Year 2005) ADI: 15,850 EDU: 532

Phase II & III (Year 2010) ADI: 14,210 EDU: 1,723

This phasing differs from the project's construction phasing contained in the SPA plan which is anticipated to proceed in three phases. Table C.9 calculates the EDUs and trips generated by each phase and land use and the cumulative trips for the project. The circulation system addressed and recommended in the Traffic Impact Analysis includes all improvements based on average daily trips (ADI) and the trigger points for needed improvements.

Phase	Buildout Year	Total Trips	Total EDUs	Cumulative EDUs
I	2005	15,850	532	532
II & III	2010	14,184	1,783	2,315
Total		30,034	2,315	2,315

Network Analysis

It was necessary to estimate future traffic volumes for several study years in order to determine if the planned circulation network or system could accommodate these volumes. As previously discussed, the SANDAG 2020 City/County Forecast Traffic Model was used to estimate these volumes. The traffic model outputs freeway and street segment ADTs. These ADTs were utilized directly as outputted by the model. In addition, it was also necessary to estimate peak hour intersection volumes. The LL&G report details the methodology to determine future traffic volumes.

The LL&G report considered the total future forecasted volumes for the following study scenarios with proposed and adopted land uses for all projects, including the proposed Village 11 project:

- Year 2005 without SR-125
- Year 2005 with SR-125
- Year 2010
- Year 2015
- Year 2020
- Buildout without Alta Road
- Buildout with Alta Road

Network Performance Assessment Process

The Traffic Impact Analysis included the traffic model projections for cumulative development projects. The report also identified the number of daily trips for the phasing of developments on key roadway segments in order to perform the analysis of network performance based on daily segment LOS. This performance evaluation was performed for roadway and freeway segments. A review of peak hour intersection operations was also performed which required the application of peak hour factors to average daily traffic volumes to develop peak hour turning movements at each of the key project intersections.

11.5.4.1.11.2 Project Phasing

The phasing shown herein is consistent and conforms to the phasing contained in the Traffic Impact Analysis that was prepared by LL&G. Development of Village 11 project contributes 15,850 daily trips during Phase I (2005) and 14,210 daily trips during phase II & III (2005-2010) (LL&G assumed that the build out of Village 11 would occur prior to 2010). This results in a cumulative total trips of 30,060 daily trips loaded onto the circulation network at the build-out of the Village 11 development.

Phase	Parcels	Number of Units*
I	R-1	164 SF DU
	R-2	46 SF DU
	R-4	55 SF DU
	R-7	70 SF DU
	R-20	78 MF DU
	R-23	119 MF DU
SUBTOTAL		532 DU

Table C.10 Continued Village 11 Phasing		
Phase	Parcels	Number of Units*
II	R-3	46 SF DU
	R-5	37 SF DU
	R-6	35 SF DU
	R-8	64 SF DU
	R-9	60 SF DU
	R-10	86 SF DU
	R-21	112 MF DU
	R-22	105 MF DU
	R-24	169 MF DU
	R-25	200 MF DU
	MU	115 MF DU
	TOTAL	1,029 DU
III	R-11	36 SF DU
	R-12	58 SF DU
	R-13	53 SF DU
	R-14	56 SF DU
	R-15	68 SF DU
	R-16	62 SF DU
	R-17	118 MF DU
	R-18	125 MF DU
	R-19	167 MF DU
	TOTAL	743 DU

* Number of units in designated land use areas. SF = Single Family/MF = Multi Family/DU = Dwelling Units

LL&G performed an analysis to determine the appropriate dwelling unit thresholds for when several roadway improvements are needed. The following future roadway improvements were assessed:

- 1) Olympic Parkway, SR 125 to Hunte Parkway.
- 2) EastLake Parkway;
 - a) SDG&E Easement to Olympic Parkway.
 - b) Birch Road to Hunte Parkway.
 - c) Olympic Parkway to Birch Road.
- 3) Birch Road, La Media Road to EastLake Parkway.
- 4) Hunte Parkway;
 - a) Olympic Parkway to North Project Access.
 - b) North Project Access to SDG&E Easement.
 - c) SDG&E Easement to EastLake Parkway.
 - d) Hunte Parkway to SR 125.

Exhibit 4 shows the Village 11 Phasing Plan. Table C.10 shows the number of dwelling units proposed to be constructed within each phase. This table shows that Phase I consists of 532 units, Phase II 1,029 units and Phase III 743 units.

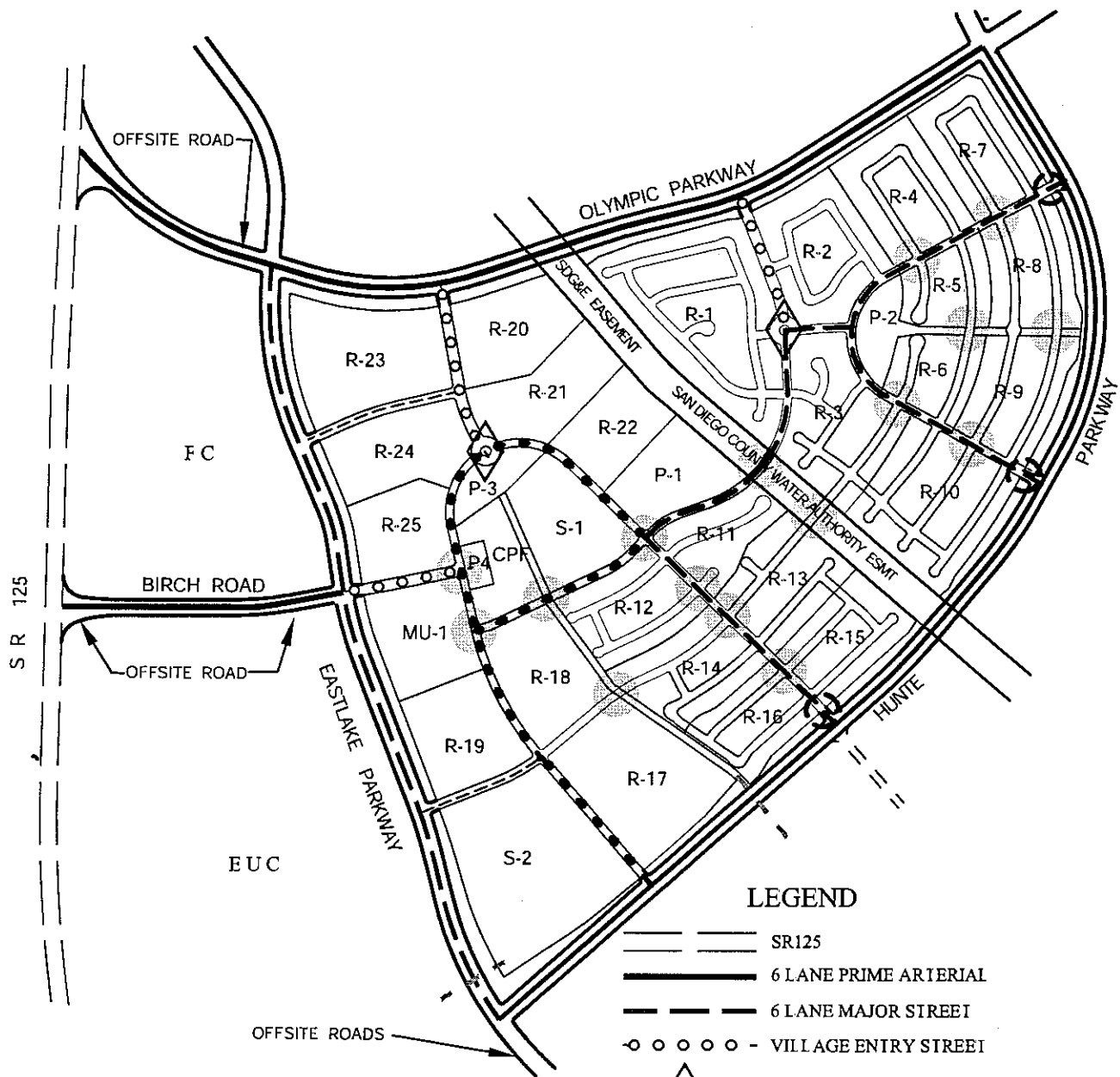
A review of Exhibit 4 shows that Olympic Parkway between SR125 and Hunte Parkway, EastLake Parkway between Olympic Parkway and the North Village Entry, Hunte Parkway between Olympic Parkway and the North Project Access are needed to serve Phase I of Village 11. These roadways must be constructed prior to issuance of any building permits.

TABLE C.11 AM peak hour outbound volume to EastLake Parkway Calculations		
Parcel with access to EastLake Parkway	Percent using EastLake Parkway	AM peak hour outbound volume to EastLake Parkway
A. Phases I & II		
R-23	50%	30
R-20	50%	20
R-24	50%	45
R-21	50%	30
R-22	50%	25
R-25	100%	100
MU-1	100%	95
S-1	50%	35
Subtotal (Phases I & II)		380
B. Phase III		
R-19 (167 DU)	100%	85
R-18 (125 DU)	100%	64
R-17 (118 DU)	100%	59
Total (410 DU)		
Subtotal (Phase III – 410 DU)		208
GRAND TOTAL		588

NOTE: AM outbound peak hour traffic reaches 600 threshold about 410 DU into Phase III

Access to La Media Road via Birch Road is needed once the no left-turns on EastLake Parkway at Olympic Parkway would exceed the dual left-turn lane capacity of 600. An analysis in the LL&G report was conducted to determine when the left-turns would reach 600.

Table C.11 shows the AM peak hour outbound volumes of the parcels with access to EastLake Parkway. This table shows that Village 11 Phases I and II are calculated to add 380 outbound AM peak hour trips to EastLake Parkway (and then left onto Olympic Parkway). Since parcels R-17, R-18 and R-19 (a total of 410 units) would add an additional 208 AM peak hour outbound trips to EastLake Parkway (making a total of 588 AM peak hour outbound trips on EastLake Parkway), it is calculated that Birch Road between EastLake Parkway and La Media Road and EastLake Parkway between Olympic Parkway and northward to the SDG&E easement would be needed. In other words, these roadways would be needed 410 units into Phase III, a total of 1856 units.



LEGEND

- SR125
- 6 LANE PRIME ARTERIAL
- 6 LANE MAJOR STREET
- VILLAGE ENTRY STREET
- ROUNDABOUT LOCATION
- SECONDARY VILLAGE ENTRY STREET W/ MEDIANS
- PROPOSED NECKDOWN LOCATION
- RESIDENTIAL PROMENADE STREET
- VILLAGE CORE PROMENADE STREET
- VILLAGE CORE STREET
- PROPOSED PEDESTRIAN BRIDGE
- RESIDENTIAL STREET



**Exhibit 7
Circulation Plan**

Based on a review of Exhibit 4, Hunte Parkway between the North Project driveway and the SDG&E easement would be needed to serve Phase II and Hunte Parkway between the SDG&E easement and EastLake Parkway would be needed to serve Phase III. EastLake Parkway between Birch Road and Hunte Parkway is also needed to serve Phase III. Lastly, Hunte Parkway between EastLake Parkway and SR 125 is not needed to serve project traffic assuming Olympic Parkway to SR 125 and Birch Road to La Media Road are both completed. Table C.12 shows the recommended PFFP development thresholds in tabular form. The facilities in Table C.12 are to be constructed the sooner of the 1 cumulative triggers or Table C.13 specific planning area triggers.

II.5.4.1.12 Adequacy Analysis

The adequacy of the traffic system is based upon the Traffic Impact Analysis that considered two cases for the Build-out of phase I of the project. First case considers SR-125 is not built by the year 2005 and the second case considers SR-125 is built by 2005. The analysis of the two cases was necessary in order to provide adequate mitigation for increased traffic levels for the initial phases of the project in the event SR-125 is not completed as scheduled. The approval and subsequent implementation of SR- 125 should allow the City to implement the second case analysis mitigation measures outlined in the Traffic Impact Analysis. Regardless, maintenance of the City's Growth Management Threshold Standards for level of services is required.

Street Segments

Street Segments were analyzed to determine whether a project-related impact is "significant" or "less than significant" with regard to the following three levels of criteria.

1. Project contribution of 800 or more daily trips to the roadway segment (800 or more daily trips is the CMP threshold for determining a project impact).
2. Five percent (5%) or more project traffic contributed to total ADI projected for the given study year.
3. Level of Service (LOS) drops from acceptable LOS A through D to LOS E or F; or LOS drops from LOS E to LOS F as compared to the given year with No Project conditions.

Criterion 1 is applied to all impacted segments to identify segments that meet the CMP threshold for having a project-related impact. If criterion 1 is not met, then criteria 2 and 3 are not applied. Criterion 2 is then applied to the list of segments with more than 800 daily trips contributed (criterion 1) to cumulative ADI to screen for impacts to be carried forward to criterion 3. If criterion 3 is met in addition to Criteria 1 and 2, the impact is considered a significant project-related impact. If an arterial roadway segment meets criteria 1 and 2, but does not meet criterion 3, is considered a less than significant project-related impact.

The City of Chula Vista General Plan Circulation Element recommends LOS C design capacity or better as acceptable for arterial roadway segment ADT volumes. These standards are generally used as long-range planning guidelines to determine the functional classification of roadways and maintain a quality circulation system for Southbay residents under ultimate, build out conditions. It should be recognized that the actual functional capacities of roadway facilities vary by the actual characteristics that exist on each facility under review.

Level of Service D is considered acceptable under Existing and Interim Conditions (Year 2010) for roadway segments within the jurisdiction of the City of Chula Vista, assuming

adjacent intersection performance is acceptable. Due to the fact that the transportation network in the interim time frame is only partially constructed and the geographic distribution of trip activity is limited, there will be a lack of balance in the assignment of-traffic prior to the construction of full General Plan Circulation Element in the southeastern portion of the general plan area. It is for this reason that the analysis recommended LOS D as the interim standard for determining significant impacts.

In addition to conformance with the arterial roadway performance standards detailed above, Village 11 will be required to conform to the threshold standards included in the Traffic section of the adopted Growth Management Ordinance and as may be amended from time to time. Village 11's participation in the City's annual review of network performance is mandated as all major circulation element facilities within-the City of Chula Vista are included in the annual-traffic study prepared by the City Engineering Department and reviewed for conformance by the Growth Management Overate Commission (GMOC). Finally, utilization of the arterial performance standards presented in the Transportation Study and the required adherence to the Growth Management traffic threshold standards will result in full conformance with the requirements of the mitigation measures described in the Village 11 EIR related to Transportation, Circulation, and Access.

Peak-Hour Intersections

Peak Hour Intersections were analyzed to determine whether a project-related impact is "significant" or "less than significant" with regard to the following two levels of criteria

1. Five percent (5%) or more project traffic contributed to projected given study year total entering volumes.
2. Level of Service (LOS) drops from acceptable LOS A through D to LOS E or F; or LOS drops from LOS E to LOS F as compared to the given study year under No Project conditions.

If an impacted intersection meets Criteria 1 and 2, the impact is considered to be a significant project-related impact. If neither or just one criterion is met, the impact is considered to be less than significant.

Freeway Segment

Freeway Segment Impacts/Mitigation: Impacts to freeway segments for the portions of I-805 in the vicinity of the Village 11 project have been identified and some segments are forecasted to operate at LOS F. Under the regional Congestion Management Plan (CMP) a reduction in freeway segment level of service from LOS E to LOS F is considered a significant impact and requires the development of a Deficiency Plan. SANDAG, Caltrans, APCD, MTDB, and the City of Chula Vista would develop this Plan jointly.

One of the main purposes of the Deficiency Plan is to identify where and when a deficiency is expected to occur before it actually happens. Village 11 is one of many development plans for the South-bay that will contribute to the cumulative daily traffic volume growth, especially in the I-805 corridor. The early development of the Deficiency Plan by the multi-agency team will assist in the identification of project only fair-share contributions for improvements and mitigation.

Subsection C of Municipal Code Section 19.09.100 (Growth Management Ordinance) requires that if the City Manager determines that facilities or improvements within a PFFP are inadequate to accommodate any further development within that area the City Manager

shall immediately report the deficiency to the City Council. If the City Council determines that such events or changed circumstances adversely affect the health, safety or welfare of City, the City may require amendment, modification, suspension, or termination of an approved PFFP.

II.5.4.1.13 Cost & Financing Traffic Improvements

Street Improvements

The following table summarizes the Village 11 major Street improvements as it relates to Village 11 development phasing based on the project Traffic Impact Analysis by LL&G.

Facility ⁸	Description ⁹	Roadway Unit Triggers (DU)	Roadway Costs
1	Olympic Parkway, SR 125 to Hunte Pkwy	1	\$4,212,000
2a	EastLake Parkway, SDG&E Easement to Olympic Pkwy	1856	\$3,336,000
2b	EastLake Parkway, Olympic Parkway to North Village Entry	1	\$1,093,000
2c	EastLake Parkway, North Village Entry to Birch Dr.	533	\$1,183,000
2d	EastLake Parkway, Birch Road to Hunte Pkwy	1446	\$2,639,000
3	Birch Road, La Media Road to EastLake Parkway	1856	\$5,244,000
4a	Hunte Parkway, Olympic Parkway to North project Access	1	\$912,000
4b	Hunte Pkwy, North Project Access to south of SDG&E easement	1446	\$3,010,000
4c	Hunte Pkwy, North of SDG&E easement to EastLake Pkwy	1446	\$3,648,000
5	La Media Road: Birch Road to Olympic Parkway	1856	\$2,470,000
6	Internal link between R-1 and R-11	533	\$1,330,000
7	Otay Lakes Road, E. H street to Telegraph Cyn Rd. (widen to 6 lanes if SR-125 is not constructed prior to 2005)	944	\$1,694,000

The facilities in Table C.12 are to be constructed pursuant to Table C.12 cumulative triggers or Table C.13 specific planning area triggers whichever occurs earlier.

⁷ Developer shall agree to construct and to secure the facility prior to the Final map that triggers the cumulative DUs as defined in this Table

⁸ The Developer will be required to process a Joint Use Agreement with the City of Chula Vista and any Agency for streets that cross existing easements.

⁹ All intersections will be constructed with traffic signals.

**Table C.13
Village 11 Specific Planning Area Triggers¹⁰**

Phase	Neighborhood Area	Roadway	Roadway required for Access ("A") or Frontage ("F")
1	R-7	1, 4a	A, F
1	R-4	1, 4a	A, F
1	R-2	1, 4a	A, F
1	P-2	1, 4a	A
1	R-1	1, 4a	A, F
1	R-20	1, 2b	A, F
1	R-23	1, 2b	A, F
2	R-24	1, 2b, 2c, 6	A, F
2	R-25	1, 2b, 2c, 6	A, F
2	R-21	1, 2b, 2c, 6	A
2	R-22	1, 2b, 2c, 6	A
1	P-1	1, 2b, 2c, 6	A
2	P-3	1, 2b, 2c, 6	A
2	S-1	1, 2b, 2c, 6	A
2	CPF	1, 2b, 2c, 6	A
2	P-4	1, 2b, 2c, 6	A
2	MU-1	1, 2b, 2c, 2d, 6	A, F
2	R-5	1, 4a, 4b, 6	A
2	R-8	1, 4a, 4b, 6	A, F
2	R-6	1, 4a, 4b, 6	A
2	R-9	1, 4a, 4b, 6	A, F
2	R-10	1, 4a, 4b, 6	A, F
2	R-3	1, 4a, 4b, 6	A
3	R-11	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A
3	R-13	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A
3	R-15	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A, F
3	R-16	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A, F
3	R-14	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A
3	R-12	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A
3	R-18	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A
3	R-19	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A, F
3	S-2	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A, F
3	R-17	1, 2b, 2c, 2d, 4a, 4b, 4c, 6	A, F

Source: City of Chula Vista

Transportation Development Impact Fee (TDIF):

On December 7, 1993, the Chula Vista City Council adopted Ordinance 2580 amending Ordinance 2251 which previously commenced collection of TDIF to be used to construct

¹⁰ The Developer shall agree to construct and to secure the facility prior to the first final map in this planning area

circulation element transportation facilities to accommodate increased traffic generated by new development within the City's eastern territories. On November 15, 1999, the Ordinance was amended to permit annual increases of the fee due to annual inflation (July 1 to July 1). The current IDIF, as of the date of this PFFP and reviewed by the City Council is \$6,065 per EDU.

Also effective January 1, 1995 is an interim pre-SR-125 development impact fee in the amount of \$820 per equivalent dwelling unit to implement the pre-SR-125 strategy as defined in the study entitled "Interim State Route 125 Facility Feasibility Study" dated May 1993.

The Village 11 project is within the boundaries of the IDIF program and, as such, the project is subject to the payment of the fees at the rates in effect at the time building permits are issued. However, the improvement identified on Table will be required to be constructed according to the approved phasing plan. In this case, the IDIF ordinance allows for the issuance of credit in lieu of fees when an eligible facility is constructed by the project. If the total eligible construction cost amounts to more than the total required IDIF fees as is indicated below, the owner/developer may be given credits toward future building permits outside of the SPA area.

The following EDUs apply to the calculation of impact fees in accordance with Ordinance No.'s. 2580 for Transportation and 2579 for Interim Pre-SR-125 facilities.

Table C.14					
Village 11 Phasing EDU for Transportation and Interim SR-125 Facilities					
Land Use	DU's	EDUs by Phase			
		Phase 1	Phase 2	Phase 3	Total EDU
SFR-Detached	1,311	532	328	451	1,311
SFR-Attached	678	0	309	234	543
MFR	315	0	189	0	189
COMMERCIAL	0	0	250	0	250
CPF	0	0	22	0	22
EDUs/Phase	2,304	532	1,098	685	2,315

The IDIF is \$6,065 per EDU. Each new single-family detached dwelling shall be considered one EDU for the purposes of this fee. A single family attached dwelling shall be 0.8 EDUs. A unit within a multi-family dwelling shall be considered 0.6 EDUs. Commercial/Office shall be charged at the rate of 25.0 EDUs per gross acre of land.

The Interim Pre-SR-125 Development Impact Fee beginning January 1, 1995 is \$820 per EDU. The same EDU rates apply to the Interim Pre-SR-125 Development Impact Fee as for the IDIF.

The following tables summarize the Village 11 IDIF and Interim SR-125 IDIF based on the project development phasing per the Traffic Impact Analysis prepared by LL&G.

Table C.15		
Village 11 IDIF Fees		
Development Phase	EDUs	Transportation Fee @ \$6,065 /EDU
1	532	\$3,226,580
2	1,098	\$6,659,370
3	685	\$4,154,525
	2,315	\$14,040,453

Table C.16 Village 11 Interim SR-125 DIF Fees		
Development Phase	EDUs	Interim SR-125 Fee @ \$820/EDU
1	532	\$436,240
2	1,098	\$900,360
3	685	\$561,700
Total	2,315	\$1,898,300

Traffic Signal Fee:

Future development within Village 11 will be required to pay Traffic Signal Fees in accordance with Chula Vista Council Policy No. 475-01. The fee is calculated at \$13.00 per vehicle trip generated per day for various land use categories.

Table C.17 Village 11 Traffic Signal Fees		
Development Phase	Trips	Traffic Signal Fee @ \$13/Trip
1	15,850	\$206,050
2 & 3	14,210	\$184,730
Total		\$390,780

Non-DIF Streets and Signals:

Village 11 contains residential streets and signals that by city policy, are not eligible for DIF credit. These streets and signals will be funded by the development.

II.5.4.1.14 Threshold Compliance and Requirements

1. Threshold compliance will continue to be monitored through the annual intersection-monitoring program.
2. Village 11 shall be conditioned to pay IDIF Fees and Interim PreSR-125 DIF Fees at the rate in effect at the time building permits are issued.
3. The measures outlined in Tables C.13 through C.14 and Table C.19 and Table C.20 are required to mitigate cumulative and direct project impacts.
4. I-805 between Bonita Road and Telegraph Canyon Road additional lanes would be required to maintain acceptable LOS on I-805. Continued freeway planning efforts and deficiency planning by Caltrans and SANDAG will determine mitigation strategies for the regional freeway system.
5. Prior to approval of the first final map, which triggers the installation of the related street improvements, developer shall enter into an agreement to construct and secure a fully activated traffic signal, as determined by the City Engineer, including interconnect wiring at the following intersections (see Exhibit 7 for intersection location):

• Olympic Parkway/Driveway "A"	• Hunte Parkway/Driveway "C"
• Olympic Parkway/Driveway "E"	• Hunte Parkway/Driveway "D"
• EastLake Parkway/Driveway "B"	• Hunte Parkway/Driveway "H"
• EastLake Parkway/Birch Road	• Hunte Parkway/Driveway "I"
• EastLake Parkway/Driveway "F"	
6. The Developer of Village 11 shall fully design the aforementioned traffic signals as part of the improvement plans for the related street. Developer shall install underground improvements, standard and luminaries in conjunction with the construction of the related

street improvements. In addition, developer shall install mast arms, signal heads, and associated equipment with traffic signal warrants are met as determined by the City Engineer. Single left-turn ingress and egress lanes will be provided.

7. The Developer shall submit the elementary school and middle school site plans to be reviewed by the City of Chula Vista and/or a registered traffic engineer and revised as necessary to ensure the site can accommodate the forecasted traffic.
8. The Developer shall prepare a "Suggest Route to School Plan" for the elementary school as outlined in the 1994 Caltrans Traffic Manual.
9. Prior to approval of the first final map, Developer shall enter into an agreement with the City of Chula Vista, wherein Developer acknowledges and agrees that, prior to the construction of SR-125, the City shall stop issuing new building permits for Village 11 when the City, in its sole direction, determines either:
 - a. Building permits for a total 9429 dwelling units have been issued for projects east of I-805 (the start date for counting the 9429 dwelling units is January 1, 2000); or,
 - b. An alternative measure is selected by the City in accordance with the City of Chula Vista Growth Management Ordinance.

Developer shall also acknowledge and agree that notwithstanding the foregoing thresholds, the City may issue building permits if the City decides, in its sole discretion, that any of the following has occurred: 1) traffic studies demonstrate, to the satisfaction of the City Engineer, that the circulation system has additional capacity without exceeding the GMOC traffic threshold standards; 2) other improvements are constructed which provide additional necessary capacity; or 3) the City selects an alternative method of implementing the GMOC standards. These traffic studies would not require additional environmental review under CEQA; however, any improvements proposed in these traffic studies would be subject to additional environmental reviews as required. The above noted agreement shall run with the entire land contained within the Project.

10. The developer of Village 11 shall provide a horizontal and vertical alignment study of EastLake Parkway from Olympic Parkway to Hunte Parkway and a horizontal and vertical alignment study of Hunte Parkway from Olympic Parkway to EastLake Parkway for City approval prior to TM approval.
11. The Applicant shall provide a pedestrian bridge connecting Village 11 to the Eastern Urban Center (Planning Area 12) crossing (east – west) over Eastlake Parkway just north of Hunte Parkway, as follows:
 - a. Prior to approval of the first map for the Project, the Applicant shall fund the preliminary design of said bridge and identify and establish the funding mechanism to be used to fund half of the cost of constructing said pedestrian bridge; and,
 - b. Prior to approval of the first map for the Project, Applicant shall provide the preliminary design of said bridge, and shall obtain the approval of the Directors of Public Works and Planning and Building; and,
 - c. The timing of the construction of said bridge will be determined by the City, consistent with the requirements of Village Eleven SPA Plan, Public Facilities Financing Plan (PFFP), as may amended from time to time, and development of the Eastern Urban Center in Planning Area 12; and,
 - d. The bridge shall be constructed in a location as directed by the Directors of Planning and Building and Public Works.

12. The Applicant shall construct a bridge connecting Village 11 to the University Site (Village Ten) crossing (north – south) over Hunte Parkway between Neighborhoods R-16 and R-17 as depicted on the Parks, Recreation, Open Space and Trails Plan in the Village 11 SPA Plan, as follows:
 - a. Prior to approval of the first map for the Project, the Applicant shall fund the preliminary design of said bridge and identify and establish the funding mechanism to be used to fund half of the cost of constructing said pedestrian bridge; and,
 - b. Prior to approval of the first map for the Project, Applicant shall provide the preliminary design of said bridge, and shall obtain the approval of the Directors of Public Works and Planning and Building; and,
 - c. Applicant shall construct said bridge in conjunction with construction of Facility #4c, Hunte Parkway; and,
 - d. The bridge shall be constructed in a location as directed by the Directors of Planning and Building and Public Works.
13. Upon: 1) approval of the final map that triggers the Cumulative DU's, ("Table 'C.12'"); or, 2) approval of the first final map for a specific Planning Area, (Table'C.13'"), whichever occurs earlier, consistent with this PFFP, as may be amended from time to time, the Developer shall construct or enter into an agreement to construct and secure, in accordance with Section 18.16.220 of the Municipal Code, the required street improvements

**TABLE C.18
SIGNIFICANCE OF IMPACTS AT SEGMENTS VILLAGE 11**

IMPACTED SEGMENTS	INTERSECTIONS ALONG SEGMENT OPERATING @ LOS D OR BETTER?	PROJECT RESPONSIBLE FOR XX %	IMPACT: NOT SIGNIFICANT, CUMULATIVE OR DIRECT
YEAR 2005 WITHOUT 125			
"H" STREET			
I-805 to Hidden Vista Dr. (LOS E)	No	Nominal	Cumulative
TELEGRAPH CANYON ROAD			
I-805 to Paseo Del Rey (LOS D)	Yes	-	Not Significant
Paseo Del Rey to Paseo Rancho (LOS D)	Yes	-	Not Significant
OTAY LAKES ROAD			
North of "H" St. (LOS F)	-	4.5%	Cumulative
"H" St. to Telegraph Canyon Rd. (LOS F)	-	5.8%	Project
OLYMPIC PARKWAY			
I-805 to Oleander Ave. (LOS E)	Yes	-	Not Significant
SR 125 to Eastlake Pkwy. (LOS F)	-	24.4%	Project
Eastlake Pkwy. to Hunte Pkwy. (LOS F)	-	39.3%	Project
EASTLAKE PARKWAY			
N/O Otay Lakes Rd. (LOS D)	Yes	-	Not Significant
YEAR 2005 WITH 125			
"H" STREET			
I-805 to Hidden Vista Dr. (LOS E)	Yes	-	Not Significant
TELEGRAPH CANYON ROAD			
I-805 to Paseo Del Rey (LOS D)	Yes	-	Not Significant
OTAY LAKES ROAD			
North of "H" St. (LOS D)	Yes	-	Not Significant
"H" St. to Telegraph Canyon Rd. (LOS E)	Yes	-	Not Significant
OLYMPIC PARKWAY			
I-805 to Oleander Ave. (LOS D)	Yes	-	Not Significant
SR 125 to Eastlake Pkwy. (LOS F)	-	13.0%	Project
Eastlake Pkwy. to Hunte Pkwy. (LOS F)	-	24.2%	Project
EASTLAKE PARKWAY			
N/O Otay Lakes Rd. (LOS E)	Yes	-	Not Significant
YEAR 2010			
"H" STREET			
I-805 to Hidden Vista Dr. (LOS E)	Yes	-	Not Significant
TELEGRAPH CANYON ROAD			
I-805 to Paseo Del Rey (LOS E)	Yes	-	Not Significant
Paseo Del Rey to Paseo Rancho (LOS D)	Yes	-	Not Significant
OTAY LAKES ROAD			
North of "H" St. (LOS F)	-	-	Cumulative
"H" St. to Telegraph Canyon Rd. (LOS F)	-	2.8%	Cumulative

Source: LL&G

**TABLE C.18
SIGNIFICANCE OF IMPACTS AT SEGMENTS VILLAGE 11**

IMPACTED SEGMENTS	INTERSECTIONS ALONG SEGMENT OPERATING @ LOS D OR BETTER?	PROJECT RESPONSIBLE FOR XX %	IMPACT: NOT SIGNIFICANT, CUMULATIVE OR DIRECT
YEAR 2010 (CONTINUED)			
OLYMPIC PARKWAY I-805 to Oleander Ave. (LOS E) Palomar St. to SR 125 (LOS D) SR 125 to Eastlake Pkwy. (LOS F) Eastlake Pkwy. to Hunte Pkwy. (LOS F)	Yes Yes - -	- - 16.1% 27.7%	Not Significant Not Significant Cumulative Cumulative
BIRCH ROAD La Media Rd. to SR 125 (LOS E)	Yes	-	Not Significant
PASEO RANCHERO South of Main St. (LOS D)	Yes	-	Not Significant
EASTLAKE PARKWAY N/O Otay Lakes Rd (LOS E) Olympic Pkwy. to Birch Rd. (LOS D)	Yes Yes	- -	Not Significant Not Significant
YEAR 2015			
"H" STREET I-805 to Hidden Vista Dr. (LOS E)	Yes	-	Not Significant
TELEGRAPH CANYON ROAD I-805 to Paseo Del Rey (LOS D) Paseo Del Rey to Paseo Rancho (LOS D)	Yes Yes	- -	Not Significant Not Significant
OLYMPIC PARKWAY I-805 to Oleander Ave. (LOS D) SR 125 to Eastlake Pkwy. (LOS F) Eastlake Pkwy. to Hunte Pkwy. (LOS F)	Yes Yes Yes	- 16.9% 26.2%	Not Significant Cumulative Cumulative
BIRCH ROAD La Media Rd. to SR 125 (LOS E)	Yes	-	Not Significant
EASTLAKE PARKWAY N/O Otay Lakes Rd. (LOS E) Olympic Pkwy. to Birch Rd. (LOS E)	Yes Yes	- -	Not Significant Not Significant
YEAR 2020			
"H" STREET I-805 to Hidden Vista Dr. (LOS E)	Yes	-	Not Significant
TELEGRAPH CANYON ROAD I-805 to Paseo Del Rey (LOS D) Paseo Del Rey to Paseo Rancho (LOS D)	Yes Yes	- -	Not Significant Not Significant
OTAY LAKES ROAD SR 125 to Eastlake Pkwy. (LOS D)	Yes	-	Not Significant
OLYMPIC PARKWAY I-805 to Oleander Ave. (LOS E) SR 125 to Eastlake Pkwy. (LOS F) Eastlake Pkwy. to Hunte Pkwy (LOS F)	Yes Yes Yes	- 16.3% 24.3%	Not Significant Cumulative Cumulative

Source: LL&G

**TABLE C.18
SIGNIFICANCE OF IMPACTS AT SEGMENTS VILLAGE 11**

IMPACTED SEGMENTS	INTERSECTIONS ALONG SEGMENT OPERATING @ LOS D OR BET TER?	PROJECT RESPONSIBLE FOR XX %	IMPACT: NOT SIGNIFICANT, CUMULATIVE OR DIRECT
YEAR 2020 (CONTINUED)			
EASTLAKE PARKWAY N/O Otay Lakes Rd (LOS D) Olympic Pkwy to Birch Rd. (LOS E)	Yes Yes	- -	Not Significant Not Significant
HUNTE PARKWAY SDG&E to SR125 (LOS E)	Yes	-	Not Significant
BUILDOUT WITH ALIA ROAD			
"H" STREET I-805 to Hidden Vista Dr. (LOS E)	Yes	-	Not Significant
OTAY LAKES ROAD SR 125 to Eastlake Pkwy. (LOS F)	Yes	-	Cumulative
OLYMPIC PARKWAY I-805 to Oleander Ave. (LOS D) SR 125 to Eastlake Pkwy. (LOS F) Eastlake Pkwy. to Hunte Pkwy. (LOS F)	Yes Yes Yes	- 13.3% 24.9%	Not Significant Cumulative Cumulative
ROCK MOUNTAIN ROAD La Media Rd to SR 125 (LOS D)	Yes	-	Not Significant
EASTLAKE PARKWAY N/O Otay Lakes Rd. (LOS D) Olympic Pkwy. to Birch Rd. (LOS D)	Yes Yes	- -	Not Significant Not Significant
BUILDOUT WITHOUT ALIA ROAD			
"H" STREET I-805 to Hidden Vista Dr (LOS E)	Yes	-	Not Significant
OTAY LAKES ROAD SR 125 to Eastlake Pkwy. (LOS F)	Yes	-	Cumulative
OLYMPIC PARKWAY I-805 to Oleander Ave. (LOS D) SR 125 to Eastlake Pkwy. (LOS F) Eastlake Pkwy. to Hunte Pkwy (LOS F)	Yes Yes Yes	- 13.1% 22.1%	Not Significant Cumulative Cumulative
ROCK MOUNTAIN ROAD La Media Rd. to SR 125 (LOS E)	Yes	-	Not Significant
EASTLAKE PARKWAY N/O Otay Lakes Rd (LOS D)	Yes	-	Not Significant

Source: LL&G

**TABLE C.19
SIGNIFICANT IMPACTS AND MITIGATION MEASURES VILLAGE 11**

SIGNIFICANT IMPACTS	MITIGATION MEASURES
A. Direct Impacts	
1) Olympic Parkway SR 125 to Hunte	1) Construct to 6-lane Prime Arterial standards.
2) Otay Lakes Road H Street to Telegraph Canyon Road	2) No mitigation needed until development exceeds 944 units. If development exceeds 944 units without SR 125, widen to 6 lanes or construct intersection improvements on Otay Lakes Road, which provides additional capacity to the satisfaction of the City Engineer.
B. Cumulative Impacts	
3) Olympic Parkway SR 125 to Eastlake Parkway	3) Amend the General Plan to designate as an 8 lane Prime Arterial. Contribute a fair share towards the construction of the 2 additional lanes.
4) Otay Lakes Road SR 125 to Eastlake Parkway	4) Amend the General Plan to designate as a 7 lane Prime Arterial (additional lane westbound). Contribute a fair share towards the construction of the additional lane
5) Otay Lakes Road H Street to Telegraph Canyon Road	5) Contribute a fair share towards widening to 6 lanes or towards intersection improvements, which provides additional capacity along Otay Lakes Road to the satisfaction of the City Engineer.
6) Otay Lakes Road Bonita Road to H Street	6) Contribute a fair share towards the widening to 6 lanes or towards an intersection improvement, which provides additional capacity along Otay Lakes Road to the satisfaction of the City Engineer.
7) Several intersections and roadways (Only without SR 125)	7) Prior to approval of the first final map, Developer shall enter into an agreement with the City of Chula Vista, wherein Developer acknowledges and agrees that, prior to the construction of SR-125, the City shall stop issuing new building permits for Village 11 when the City, in its sole direction, determines either: <ul style="list-style-type: none"> a. Building permits for a total 9429 dwelling units have been issued for projects east of 1-805 (the start date for counting the 9429 dwelling units is January 1, 2000); or, b. An alternative measure is selected by the City in accordance with the City of Chula Vista Growth Management Ordinance. Developer shall also acknowledge and agree that notwithstanding the foregoing thresholds, the City may issue building permits if the City decides, in its sole discretion, that any of the following has occurred: 1) traffic studies demonstrate, to the satisfaction of the City Engineer, that the circulation system has additional capacity without exceeding the GMOC traffic threshold standards; 2) other improvements are constructed which provide additional necessary capacity; or 3) the City selects an alternative method of implementing the GMOC standards. These traffic studies would not require additional environmental review under CEQA; however, any
8) Olympic Parkway/Wueste Road	8) Contribute fair share towards future signalization of intersection.

Source: LL&G

II.5.4.2 POLICE

II.5.4.2.1 Threshold Standard

- A. Emergency Response: properly equipped and staffed police units shall respond to 84 % of Priority I Emergency calls within 7 minutes and maintain an average response time to all "Priority One" emergency calls of 4 5 minutes or less measured annually.
- B Urgent Response: Properly equipped and staffed police units shall respond to 62 % of Priority II Urgent calls within 7 minutes and maintain an average response time to all Priority II calls of 7 minutes or less measured annually.

II.5.4.2.2 Service Analysis

The City of Chula Vista Police Department provides police services. The purpose of the Threshold Standard is to maintain or improve the current level of police services throughout the City by ensuring that adequate levels of staff, equipment and training are provided. Current Police threshold performance has been analyzed in the "Report on Police Threshold Performance 1990-1999", completed April 13, 2000

Police Facilities are also addressed in *A Master Plan for the Chula Vista Civic Center Solving City Space Needs Through Year 2010*, dated May 8, 1989.

II.5.4.2.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Services reviewed consistent with proposed phasing of the project.
2. Demonstrate conformance with *A Master Plan for the Chula Vista Civic Center*, May 8, 1989.

II.5.4.2.4 Existing Conditions

The Chula Vista Police Department provides law enforcement services to the area encompassing Otay Ranch Village 11 SPA. The Chula Vista Police Department is located at 276 Fourth Avenue in Chula Vista. Currently, CVPD maintains a staff of approximately 209 sworn officers and approximately 92 civilian and support personnel. The Department has been authorized 213 sworn officers and 105 civilian staff. The Department is recruiting new officers and has approximately new 31 officers in training. Village 11 SPA is within Police Patrol Beat 24, which is served by at least one patrol car 24 hours per day.

Police Facility Inventory

- Existing Facility: Police Headquarters, 276 4th Avenue.
- Future Facilities: Build New Facilities at a location to be determined.

II.5.4.2.5 Adequacy Analysis

According to the City's Growth Management Coordinator the response times for Priority I and II Calls for Service (CFS) were not met. During the July, 1999, to June, 2000, time

period the Police Department responded to 75.9% of Priority I emergency calls within 7 minutes as opposed to the 84% threshold. The average Priority I call response time was 5:21 minutes compared to the 4:30 minute threshold time. Forty six point four percent (46.4%) of Priority II urgent calls were responded to within 7 minutes compared to the 62% threshold. The average Priority II call response time was 9:37 minutes compared to the 7:00 minute threshold time.

As presented in past GMOC reports, the Police Department has been out of compliance with the Threshold for several years, and along with the GMOC, has been waiting for information from the new Computer Aided Dispatch (CAD) system (installed in 1998) to conduct a review of response time characteristics and the current Police Threshold Standard. This year, the GMOC was presented with an in-depth report prepared by the City's Special Projects Division in concert with the Police Department, titled "Report on Police Threshold Performance 1990-1999", completed April 13, 2000. The report investigates response times and Police Threshold performance based on analysis of CAD system data.

This report presents two key conclusions that explain the non-compliance, along with several recommendations, including a proposal for an adjustment to the Threshold Standard. With regard to response time calculation, the report indicates that part of this non-compliance result from the need to correct for measurement data provided from the original data collection system. When the threshold was set in 1988/89 a rudimentary system was in place to measure dispatch time and some human error inevitably occurred. Today, with the new computer-aided dispatch system (CAD) human error has been effectively eliminated. A comparison of the CAD calculated dispatch time to that recorded in 1988/89 reveals an on average 18 second difference. In addition, the 1988/89 data included "zero" time calls, as well as calls which were hours long because the clock was not properly started or stopped.

In analyzing the historic data, the report indicates that the original Priority I Threshold should have been set at 81% of calls within 7 minutes, with an average response time of 5.5 minutes. The Priority II Threshold should have been set at 57% of calls within 7 minutes with an average response time of 7.5 minutes. The Report recommends that the Police Threshold Standard be adjusted to these rates. It is important to note that even if these adjustments were made, current response time levels would still not be in compliance (i.e. current Priority I call response rate is at 75.9% compared to the proposed, adjusted 81% standard)

The GMOC in its report to the City Council recognized the merit in adjusting the threshold to account for original "errors", however, it was their conclusion that a more thorough evaluation needs to be conducted for the 2000 report that encompasses the possible inclusion of other threshold measures in addition to response time. The GMOC recommended that Council defer action on the adoption of the proposed response time adjustments to the Police Threshold Standard until the next GMOC review cycle, and direct staff to work with the GMOC to consider the adjustments in the context of other factors in measuring the quality of police services within the community. Further, the GMOC made recommendations for continued improvement to priority Calls for Service (CFS) to the City Council. These recommendations included the approval of the Police Department's proposed Advance Hire program and the addition of another police beat in eastern Chula Vista

In response to the GMOC recommendations, the Police Department is currently studying their current beat structure. This study is evaluating two alternatives. One alternative is the reassignment of beats, which would require additional officers. The other alternative is the

restructuring of the beats into smaller but more numerous in the eastern territories. The results of this study are expected to be included in the next GMOC report scheduled for Spring 2001.

The Otay Ranch Village 11 SPA development will increase the demand for police service in the project area. According to the demand methodology identified in the Otay Ranch GDP, the projected population increase generated by Village 11 will require approximately 9 additional officers (1.38 officers per 1,000 population) plus 9.3 support staff (1.74 support staff for every 1.67 officers) at build out to maintain current levels of police service. Approximately 2,000 sq. ft. of police facilities would be required to house the additional 9 officers.

II.5.4.2.6 Financing Police Facilities

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista'. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2809-B on June 20, 2000. The current fee established by Ordinance is \$2,618.00 per equivalent dwelling unit.

The portion of the fee attributable to police services in the existing fee program is \$735/EDU.

The Otay Ranch Village 11 SPA is subject to the public facilities DIF program. The project is subject to the payment of the fee rate that is in effect at the time building permits are issued. At the current fee rate, the Otay Ranch Village 11 obligation at build out is \$1,742,685.00.

Development Phase	EDUs	Police Fee @ \$735/EDU
1	532	\$391,020.00
2	1,096	\$805,560.00
3	743	\$546,105.00
Total	2,371	\$1,742,685.00

II.5.4.2.7 Threshold Compliance and Recommendations

The City will continue to monitor police responses to calls for service in both the Priority I Emergency and Priority II Urgent categories and report the results to the GMOC on an annual basis.

Otay Ranch Village 11 will be conditioned to pay Public Facilities Fees at the rate in effect at the time building permits are issued.

The City will continue the redeployment of its Police Officers and Equipment to best match the needs inherent in the growing eastern community.

II.5.4.3 FIRE AND EMERGENCY MEDICAL SERVICES

II.5.4.3.1 Threshold Standard

Emergency response: Properly equipped and staffed fire and medical units shall respond to calls throughout the City within seven (7) minutes in 85 percent (current service to be verified) of the cases (measured annually).

II.5.4.3.2 Service Analysis

The City of Chula Vista Fire Department provides Fire and Emergency Medical Services (EMS). EMS is provided on a contract basis with American Medical Response (AMR). The City also has county wide mutual and automatic aid agreements with surrounding agencies should the need arise for their assistance. The purpose of the Threshold Standard and the monitoring of response times are to maintain and improve the current level of fire protection EMS in the City. Fire/EMS facilities are provided for in the 1997 Fire Station Master Plan, as amended. The Fire Station Master Plan indicates that the number and location of fire stations primarily determine response time. The Fire Station Master Plan evaluates the planning area's fire coverage needs, and recommends a nine (9) station network at build out to maintain compliance with the threshold standard.

II.5.4.3.3 Project Processing Requirements

Developments shall be in accordance with the project guidelines outlined in the Fire Station Master Plan as may be amended from time to time.

In accordance with the Fire Station Master Plan, the City, at its sole discretion, shall determine when a new fire station is required in order to achieve threshold service levels, meet specific project guidelines or maintain general operational needs of the Fire Department.

The requirement to pay for fire station construction and related equipment shall be the sole responsibility of the developer or developers and the City may require said developer or developers to provide a guarantee mechanism to assure the availability of such funding.

SPA Plan/Public Facilities Finance Plans

1. Specific siting of the facility takes place, which conforms with the *Fire Station Master Plan*, August 14, 1997.
2. Equipment needs identified.
3. Methods of financing discussed.
4. Timing of construction is consistent with threshold service levels, specific project guidelines and/or general operational needs of the Fire Department
5. Demonstrate the ability to provide adequate facilities to access required fire stations in conjunction with the construction of sewer and water facilities

II.5.4.3.4 Existing Conditions

There are currently 6 city stations and 1 fire protection district station serving the City of Chula Vista. The existing and future stations are listed below:

Chula Vista Existing Facilities	Location	
Station #1	447 "F" Street	
Station #2	80 East "J" Street	
Station #3	1410 Brandywine	
Station #4	861 Otay Lakes Road	
Station #5 (Montgomery)	391 Oxford Street	
Interim Station #6	975 Lane Avenue	
Fire Training Tower	850 Paseo Ranchero	
Fire Prevention Bureau	447 "F" Street	
Fire Administration	447 "F" Street	
Fire Protection District Facility		
Bonita/Sunnyside Fire Protection Dist.	4900 Bonita Road	
Planned Facilities		Cost Estimate
Station #4 (to be relocated)	850 Paseo Ranchero	\$1,250,000
Station #5 (to be reconstructed)	391 Oxford Street	\$1,200,000
Station #6 (permanent facility)	EastLake Woods	\$1,000,000
Otay Ranch #7	Village 2	None Established
Rolling Hills #8	Rolling Hills	None Established
Otay Ranch #9	Village 13	None Established
Other Capital Improvements		
Public Safety Communications (CAD/RMS)	Dispatch Center	\$4,612,050
Public Safety Communications (800MHz)	Citywide	None Established
Brush Engine	Eastern Territories	\$225,000

II.5.4.3.5 Adequacy Analysis

The City of Chula Vista Fire Department (CVFD) currently serves areas within the City's boundaries including the Otay Ranch Village 11 SPA. The closest CVFD stations to the project site are:

- Relocated Fire Station #3, currently under construction in the Sunbow development.
- Permanent Fire Station #6, located in the EastLake Woods.
- Planned Fire Station #8, to be located in the Rolling Hills development.
- Planned Fire Station #7 to be located in Village 2

The nearest station to the Otay Ranch Village 11 SPA project is the Relocated Fire Station #3, in the Sunbow development. Fire Station #7 is estimated to be completed the second quarter of 2003 and will provide first-in coverage to the project. Relocated #3 was operational in June 2001. In the future, however, once Hunte Parkway is completed, Planned Fire Station #8 will be the station to provide first-in coverage to Village 11.

According to the City's Growth Management Coordinator, times for Emergency Response were not met during the July, 1999, to June, 2000, period. The Fire Department responded to 79.7% of emergency calls Within 7 minutes, compared with the 85% threshold level that had been based on an estimated 1.3 minute dispatch and turnout and 5.7 minute travel time. However, the Fire Department is recommending a new threshold level of 80% of emergency calls responded to within 7 minutes (2 minutes dispatch and turnout and 5 minute travel). This recommendation is based on new data that was obtained through the use of the 1999 Computer-Aided Dispatch System (CAD).

The Fire Department reported to the GMOC that the factors contributing to travel time increases include responding to freeway incidents, the lower density, hilly terrain, and circuitous non-grid nature of streets in new residential neighborhoods, in eastern Chula Vista. The Fire Department maintains that had this situation existed in 1989 the threshold travel time (set at 5 minutes) would have reached 79.6% of emergency calls.

American Medical Response provides emergency medical services to the project, on a contract basis for the City of Chula Vista. There are two American Medical Response stations, which provide paramedic with EMT services to the City of Chula Vista exclusively.

II.5.4.3.6 Financing Fire Service Facilities

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2809-B on June 20, 2000. The portion of the fee attributable to fire and emergency medical services is \$203/EDU.

The Otay Ranch Village 11 SPA will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current fee rate, the Otay Ranch Village 11 SPA obligation at build out is \$481,313.

Table E.1 Otay Ranch Village 11 Public Facilities Fees For Fire/EMS		
Development Phase	EDUs	Fire/EMS Fee @ \$203/EDU
1	532	\$107,996
2	1,096	\$222,488
3	743	\$150,829
Total	2,371	\$481,313

II.5.4.3.7 Threshold Compliance and Recommendations

Similar to the discussion concerning the Police Department, the Fire Department has been out of compliance with the Threshold for several years. The GMOC 1999 report, dated April 29, 2000 included a discussion on an in-depth report that was prepared by the City's Special Projects Division in concert with the Fire Department, titled "Report on Fire Threshold Performance 1990-1999", April 13, 2000. The report investigated response times and Fire/EMS Threshold performance based on analysis of CAD system data.

This report presents three key conclusions that explain the non-compliance, along with several recommendations, including a proposal for an adjustment to the Threshold Standard. With regard to calculating the aforementioned Threshold response rates, it should be noted that the CAD system data was "normalized"¹¹ in order to account for changes in service levels resulting from the redistribution of calls for service from urban (western) to non-urban (eastern) districts. The GMOC agreed with the use of this method for both the current, and future analyses.

As presented in the GMOC Report, three key factors are cited to explain why the Fire Department has been in non-compliance. These factors are: (1) original measurement and data corrections, (2) increased travel time, and (3) operational changes. The Report makes several recommendations in this regard. These recommendations have been included in this section of the report

Recommendations:

The City will continue to monitor Fire Department responses to emergency fire and medical calls and report the results to the GMOC on an annual basis

The Otay Ranch Village 11 SPA shall be conditioned to pay Public Facilities Fees at the rate in effect at the time building permits are issued.

The Developer shall contribute their fair share of the costs to construct the Otay Ranch Fire Station #7 in Village 2.

The Otay Ranch GDP requires that as a condition of SPA plan approval, the Fire Department review fuel modification plans. The Draft Brush Management Program, an addendum to the City of Chula Vista's Landscape Manual, prepared by the Chula Vista Fire Department was the basis for information included in the Fuel Modification and Brush Management section of the SPA 1 Parks, Recreation, Open Space and Trails Master Plan, which will also be implemented as applicable in the Village 11 project.

¹¹ In this case the normalized figures assure that current data is consistent with historic threshold benchmarks by accounting for the relative increase in calls from the eastern part of the city. This process allows for consistent comparison of actual performance levels at two points in time; when the threshold was originally set in 1988 and today. See GMOC report for a more detailed explanation.

II.5.4.4 SCHOOLS

II.5.4.4.1 Threshold Standard

The City annually provides the two local school districts with a 12 to 18 month development forecast and requests an evaluation of their ability to accommodate the forecast and continuing growth. The Districts' replies should address the following:

1. Amount of current capacity now used or committed.
2. Ability to absorb forecasted growth in affected facilities.
3. Evaluation of funding and site availability for projected new facilities.
4. Other relevant information the District(s) desire(s) to communicate to the City and GMOC.

II.5.4.4.2 Service Analysis

School facilities and services in Chula Vista are provided by two school districts. The Chula Vista Elementary School District (CVESD) administers education for kindergarten through sixth grades. The Sweetwater Union High School District (SUHSD) administers education for the Junior/Middle and Senior High Schools of a large district that includes the City of Chula Vista. The purpose of the threshold standard is to ensure that the districts have the necessary school sites and funds to meet the needs of students in newly developing areas in a timely manner, and to prevent the negative impacts of overcrowding on the existing schools. Through the provision of development forecasts, school district personnel can plan and implement school facility construction and program allocation in line with development.

On November 3, 1998, California voters approved Proposition 1A, the Class Size Reduction Kindergarten-University Public Education Facilities Bond Act of 1998. Prior to the passage of Proposition 1A, school districts relied on statutory school fees established by Assembly Bill 2926 ("School Fee Legislation") which was adopted in 1986, as well as judicial authority (i.e., Mira-Hart-Murrieta court decisions) to mitigate the impacts of new residential development. In a post Proposition 1A environment, the statutory fees provided for in the School Fee Legislation remains in effect and any mitigation requirements or conditions of approval not memorialized in a mitigation agreement, after January 1, 2000, will be replaced by Alternative Fees (sometimes referred to as Level II and Level III Fees). The statutory fee for residential development is referred to in these circumstances as the Level I Fee (i.e., currently at \$2.05 per square foot for unified school districts).

CVESD utilizes their School Facilities Needs Analysis (SFNA), February, 2000, to quantify, for the next five-year period, the impacts of new residential development on the districts school facilities, and to calculate the permissible Alternative Fees to be collected from such new residential development. To ensure the timely construction of school facilities to house students from residential development in Village 6, alternative fees or implementation of a Mello Roos Community Facilities District (CFD) will be necessary.

SUHSD utilizes the "Sweetwater Union High School District Long Range Comprehensive Master Plan", dated November 1989 and updated in May 1993.

II.5.4.4.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Identify student generation by phase of development.
2. Specific siting of proposed school facilities will take place in conformance with the *Sweetwater Union High School District Long Range Comprehensive Plan*, November 1989 and Chula Vista Elementary School District's Standards and Criteria.
3. Reserve school sites, if necessary, or coordinate with the district for additional school classrooms.
4. Provide cost estimates for facilities.
5. Identify facilities consistent with proposed phasing.
6. Demonstrate the ability to provide adequate facilities to access public schools in conjunction with the construction of water and sewer facilities.
7. Secure financing.

II.5.4.4.4 Existing Conditions

School Facilities Inventory, Chula Vista Elementary School District

Currently, the CVESD's inventory consists of 37 elementary schools including 5 Charter schools. Next year the district's inventory is expected to increase to 40 schools. Table F lists existing schools together with the capacity and enrollment of each. Capacity using existing permanent and relocatable buildings is 24,804. Enrollment is currently approximately 23,351. Three of the 37 schools, Casillas, Castle Park and Lauderbach are over capacity. Eleven of the 37 schools, Chula Vista LCC, Cook, Feaster, Finney, Hilltop, Kellogg, Otay, Palomar, Valle Lindo, Valley Vista and Vista Square are either near or slightly above capacity. Nineteen schools are on a traditional calendar and 18 are in a year round calendar.

New elementary schools will be needed to meet the educational needs of students generated from the projected development and resultant population increase. The district has experienced rapid growth during the past decade. During the period from 1990 to 1998 District enrollment went up by 3,035 students, an increase of 17%. This growth was reportedly due to:

1. Demographic changes in older neighborhoods in the west;
2. New growth in the eastern territories; and
3. Higher student generation ratios (students per household) in some new developments in the east.

Within the next nine months the district will have three new elementary schools completed. Two of these new elementary schools are located in the Otay Ranch development within Village 1 and Village 5. These two schools will increase the District capacity by 1,500 students, 750 students per school. The third school under construction is the Chula Vista Learning Community Charter School located at Broadway and K Street. Further, the district has two additional school sites located in the Sunbow and Otay Ranch Village 1 West developments, if needed. The following table summarizes the District's current enrollment versus capacity.

**Table F
Chula Vista Elementary School District
Enrollments vs. Capacity**

School	Enrollment 10/20/2000	Capacity using Existing Bldg.	Over Capacity
Allen	440	450	-10
Arrovo Vista	688	750	-62
Casillas	825	750	76
Castle Park	615	600	15
Chula Vista Hills	564	600	-36
Chula Vista LCC	353	350	3
Clear View	590	600	-10
Cook	534	530	4
Discovery	910	960	-50
EastLake	690	800	-110
Feaster	1125	1120	5
Finnev	536	540	-4
Halecrest	530	590	-60
Harborside	732	780	-48
Hilltop Drive	552	560	-8
Juarez-Lincoln	651	750	-99
Kellogg	431	430	1
Lauderbach	984	940	44
Loma Verde	724	740	-16
Los Altos	513	540	-27
Marshall	409	750	-341
Montgomery	463	510	-47
Mueller	869	900	-31
Olympicview	710	820	-110
Otay	688	690	-2
Palomar	451	450	1
Parkview	414	550	-136
Rice	729	750	-21
Rogers	572	630	-58
Rohr	582	610	-28
Rosebank	720	730	-10
Silver Wing	610	630	-20
Sunnyside	567	590	-23
Tiffany	663	710	-47
Valle Lindo	521	520	1
Valley Vista	679	680	-1
Vista Square	716	720	-4
Total	23,351	24,620	-1269

Source: CVESD.

School Facilities Inventory, Sweetwater Union High School District

The SUHSD currently administers ten (10) junior high/middle schools and nine (9) senior high schools plus one under construction in Otay Mesa plus one continuation high school within the District. Of the nine junior highs, six have been converted to middle schools serving grades seven and eight. As the population grows, the District is projecting a need for and must secure funding for 3 middle schools and 3 high schools throughout the District's boundaries. The following table summarizes the District's current enrollment versus capacity.

Table F.1 Sweetwater Union High School District Enrollments vs. Capacity			
School site	Adjusted Total Capacity	10/2000 Unofficial CBEDS Enrollment	Capacity vs '00 CBEDS
Middle Schools			
Bonita Vista	1,738	1,198	540
Castle Park	1,613	1,298	315
Chula Vista	1,396	1,201	195
Granger	1,380	1,100	280
Hilltop	1,504	1,227	277
Mar Vista Mid	1,581	1,431	150
Montgomery Mid.	1,614	1,098	516
National City Mid.	1,054	891	163
Rancho del Rey	1,613	1,240	373
Southwest Jr.	1,350	1,160	190
Subtotal	14,843	11,844	2,999
High Schools			
Bonita Vista	2,487	2,485	2
Castle Park	2,061	1,973	106
Chula Vista	2,420	2,440	-20
EastLake	2,424	2,235	189
Hilltop	2,019	1,998	21
Mar Vista	1,879	1,926	-47
Montgomery	2,440	2,530	-90
Southwest	2,408	2,205	203
Sweetwater	2,163	2,189	-26
Palomar.	713	522	191
Subtotal	21,034	20,503	531
Total	36,877	32,347	3,530
Other		2,753	
CBED's Total		35,100	

Source: SUHSD

Within the district, the primary need over the next several years is at the high school level. In 2001, the district commenced construction on a new high school in Otay Mesa. Depending upon state funding another new high school is planned to be located in Otay Ranch Village 2. Planned for the future are two middle schools and another high school will be located in Otay Ranch. In addition, another middle school is planned in EastLake.

Table F.2 Sweetwater Union High School District 2002-2005 Planned Schools		
Future Schools	Capacity	Est. Opening Date
Junior/Middle School in EastLake Woods	1,500	2005
High School/Otay Mesa	2,400	2002
High School/Otay Ranch	2,400	2002/3

II.5.4.4.5 School Sizing and Location

The Otay Ranch Village 11 is proposed to consist of 2,304 dwelling units at build out. At completion, the proposed project could generate approximately 1,509 students using the following Student Generation Factors:

Elementary (K-6)	=	.335* students/dwelling unit
Middle School (7-8)	=	.11 students/dwelling unit
High School (9-12)	=	.21 students/dwelling unit

*Rate from CVESD Fee Justification Report, February 2000.

By phase and school category, Otay Ranch Village 11 SPA project is expected to generate the following students:

Table F.3 Otay Ranch Village 11 Student Generation By Development Phase					
Phase	Dwelling Units	Student Generation			
		Elementary .335 per DU	Middle .11 per DU	Sr. High .21 per DU	Total Students
1	532	178.2	58.5	111.7	348.4
2	1,029	344.7	113.2	216.0	673.9
3	743	248.9	81.7	156.0	486.6
Subtotal	2,304	771.8	253.4	483.7	1508.9

School Size Standards:	Elementary	700-750 students
	Middle	1,500 students
	Senior High	2,400 students

Chula Vista Elementary School District:

The CVESD is in agreement with the location of the school site in Otay Ranch Village 11. The State Department of Education must approve the site prior to district acceptance. Due to the tremendous growth and enrollment in the CVESD, it is the district's intent to retain the 10-acre site as identified in the SPA Plan. However, should the site be determined at a later date to be excess property for the purposes of a new school, the district will notify appropriate parties at that time.

The Village 11 Site Utilization Plan identifies a 10-acre elementary school site within the village core. As noted above, the build-out of Village 11 would generate the need to house approximately 770 elementary students. Generally, CVESD prefers to construct schools, which serve approximately 750 students. The Village 11 elementary school may need to be expanded from the districts preferred size to accommodate the projected students. The elementary school will be under construction during Phase 2 of the project.

Sweetwater Union High School District:

It is anticipated that the 253 middle school students generated by the Village 11 SPA will be served at facilities within the district until the Village 11 middle school is constructed. The Otay Ranch GDP School Facility Implementation Plan is based on the premise that schools will be constructed when half of the school's projected students reside in the community. The maximum middle school capacity is 1,500 students, which would indicate a school construction trigger of approximately 750 students. However, throughout the district there is abundant middle school capacity. Additional middle schools will be constructed when overall demand begins to approach existing capacity. The 25.6-acre middle school site within Village 11 is located in the southern portion of the Village Core at the corner of EastLake Parkway and Hunte Parkway. It is anticipated that the middle school will be under construction during Phase 3 of the project.

Based on the maximum High School capacity of 2,400 students, it is anticipated that the 484 students generated by Village 11 will be served by existing High School facilities until the proposed High School in Village 2 is constructed (expected to be completed in 2002/3). The proposed GDP Amendment, if approved, will remove the current High School site designation from Village 11 and replace it with a Junior High School site. The City and SUHSD are currently considering a new High School site location within Village 7 or 8.

Demand for adult school facilities will be satisfied within existing facilities in the Sweetwater Union High School District, until a new facility can be constructed in the Eastern Urban Center on a site reserved pursuant to the Otay Ranch GDP.

II.5.4.4.6 Financing School Facilities

California Government Code section 65995 et. seq. and Education Code Section 17620 et. seq. authorize school districts to impose facility mitigation exactions on new development as a way to address increasing enrollment caused by that development.

The current allowable rate for school fees has been limited by the recent passage of SB 50 (as Proposition IA on November 31, 1998). The current fee is \$2.05 per square foot for residential construction and \$.33 per square foot for nonresidential. These amounts are divided between the two districts as follows: For the Sweetwater District - \$1.15 and \$0.18 per square foot for residential and nonresidential, respectively; and for the Chula Vista District - \$0.90 and \$0.15 per square foot for residential and nonresidential, respectively.

Although the collection of school fees is one method available to defray the cost of new development, it is not an acceptable solution since the maximum amount that could be collected by law represents less than one-fourth the cost to construct schools. The SUHSD is unable to meet the needs of this project with current school facilities and it is unable to construct new facilities to meet the impacts of this project through the provision of school fees.

In recognition of this funding deficiency, it is the policy of each district to fully mitigate the facility impacts caused by a master planned community via the creation of a Mello-Roos Community Facilities District as a condition of approval of the SPA Plan (CVESD) or prior to recordation of a final map (SUHSD). The following Mello-Roos Districts have been created by each district:

SUHSD

- CFD No. 1 EastLake
- CFD No. 2 Bonita Long Canyon
- CFD No. 3 Rancho del Rey
- CFD No. 4 Sunbow
- CFD No. 5 Annexable
- CFD No. 6 Otay Ranch
- CFD No. 7 Rolling Hills Estate
- CFD No. 8 Coral Gate (Otay Mesa)
- CFD No. 9 Ocean View Hills (Otay Mesa)
- CFD No. 10 Remington Hills/Annexable
- CFD No. 11 Lomas Verde
- CFD No. 12 Otay Ranch
- CFD No. 13 San Miguel Ranch

CVESD

- CFD No. 1 EastLake
- CFD No. 2 Bonita Long Canyon
- CFD No. 3 Rancho del Rey
- CFD No. 4 Sunbow
- CFD No. 5 Annexable
- CFD No. 6 Otay Ranch
- CFD No. 10 Annexable for future annexations (Replaces CFD No. 5)
- CFD No. 11 Otay Ranch (Lomas Verde) McMillin
- CFD No. 12 Otay Ranch (Village 1 West)

Based on historical data available from each district an estimate of costs for the construction of school facilities on a per student basis is provided. Both districts follow state standards for determining the costs and size for school construction. The cost for a high school, including land acquisition, is approximately \$21,666 per student (2000 dollars). Excluding land, the cost for a high school is approximately \$17,500 per student. The cost for a middle school, including land acquisition, is approximately \$16,666 per student (2000 dollars). Excluding land, the cost for a middle school is \$13,333 per student. The cost for an elementary school, including land acquisition, is approximately \$13,489 per student (2000 dollars). Excluding the land, the cost for an elementary school is approximately \$10,289 per student. Land acquisition cost is calculated at approximately \$225,000/net usable acre (10 acre elementary school site).

Using the above costs per student together with the school size, the following approximate costs per facility can be anticipated (2000 dollars).

<u>Elementary School Cost</u>	
(750 students) (\$10,289/student w/o land cost)	\$10,002,000
(750 students) (\$13,489/student w/land cost)	\$12,252,000
<u>Middle School Cost</u>	
(1,500 students) (\$13,333/student w/o land cost)	\$20,000,000
(1,500 students) (\$16,666/student w/ land cost)	\$25,000,000
<u>High School Cost</u>	
(2,400 students) (\$17,500/student w/o land cost)	\$42,000,000
(2,400 students) (\$21,666/student w/ land cost)	\$52,000,000

II.5.4.4.7 Threshold Compliance and Recommendations

As future development applications are processed in the Eastern Territories, the City shall coordinate with each school district to ensure that development does not occur until acceptable school site(s) are identified and a financing mechanism satisfactory to each district is in place.

Prior to SPA approval, the project proponent(s) shall provide documentation to the City confirming satisfaction of SUHSD and CVESD facility funding requirements to offset student generation impacts. Funding shall be satisfied through the Mello-Roos Community Facilities District financing method or other means acceptable to each District.

In addition, condition the tentative map(s) to require that no final map shall be approved unless and until a school facility financing mechanism is in place to the satisfaction of the Sweetwater Union High School District and the Chula Vista Elementary School District.

II.5.4.5 LIBRARIES

II.5.4.5.1 Threshold Standard

Population ratio: 500 square feet (gross) of library adequately equipped and staffed facility per 1,000 population.

II.5.4.5.2 Service Analysis

The City of Chula Vista Library Department provides library facilities.

II.5.4.5.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Identify phased demands in conjunction with the construction of streets, water and sewer facilities.
2. Specifically identify facility site in conformance with the *1998 Chula Vista Library Master Plan*.

II.5.4.5.4 Existing Conditions

The City currently provides library services through the Chula Vista Public Library at Fourth and "F" Street (Civic Center), in central Chula Vista to serve the entire community. The existing libraries are listed in the following table.

Table G Existing Library Facilities	
Existing Libraries	Square Footage
Chula Vista (Civic Center)	55,000
South Chula Vista	37,000
EastLake	10,000
Total Existing Square Feet	102,000

II.5.4.5.5 Adequacy Analysis

Using the threshold standard of 500 square feet of library space per 1,000 population, the demand for library space based on a May 3, 2000, population of 174,319 (Based on California Department of Finance Estimate, May 3, 2000) is approximately 87,160 square feet. Chula Vista currently provides 102,000 square feet of library space. This represents a 14,840 square foot surplus. The demand generated by the 14,258 forecasted dwelling units (2005) is 21,458 square feet ((14,258 x 3.01/1,000) x 500). The demand for library space generated by the existing and forecasted dwelling units totals approximately 108,618 (87,160 + 21,458) square feet. Comparing this demand to the existing library square footage of 102,000 square feet results in a deficit of 6,618 square feet after build-out of the 14,258 forecasted dwelling units.

A new Library Master Plan Update was adopted by the City Council on December 8, 1998. The Update addresses such topics as library siting and phasing, the impacts of new technologies on library usage, and floor space needs. The plan calls for the construction of a full service regional library of approximately 30,000 square feet east of I-805 by the year 2005. The plan also recommends that this first branch be built in the Rancho del Rey at east H Street and Paseo Ranchero. However, with construction of this facility, the 10,000 square foot EastLake Library is recommended to be closed. With this closure, there is a projected net loss in library space of 11,403 square feet by the year 2005. Ultimately, the construction of a new east side regional library in Otay Ranch will offset the deficit. Currently, the city is considering locating the new east side regional library in Village 2.

Future library facilities are listed in the following table:

Table G.1 Future Library Facilities		
Future Libraries	Net Square Footage	Estimated Cost
1st east side regional library (RDR) @ 30,000 sf	20,000*	\$12,000,000
2nd east side regional library (Otay Ranch) @ 36,758 sf	36,758**	\$14,703,200
Total Future Net Square Feet	56,758	
Total Master Plan Library Square Feet (existing and future)	158,758	

* Assumes construction of the first 30,000-square foot east side regional library by year 2005 and the closure of the 10,000-square foot EastLake library, per the 1998 Library Master Plan.

** Assumes construction of the second 36,758-square foot east side regional library in the EUC site (Otay Ranch GDP).

The following table highlights existing plus forecasted project demands for library space as compared to the existing and scheduled library space as well as the impact of the Otay Ranch Village 11 SPA on library facilities.

Table G.2 Otay Ranch Village 11 SPA Library Space Demand vs. Supply				
	Population¹²	Demand Square Footage	Supply Square Footage	Above/(Below) Standard
Existing (Citywide)	174,319	87,160	102,000	14,840
Forecasted Projects to 2005 (14,258 x 3.01)	42,917	21,458	0	(6,618)
1 st east side regional library			20,000	13,382
2 nd east side regional library			36,758	50,140
Subtotal	216,636	108,618	158,758	50,140

Otay Ranch Village 11 SPA will generate a total library demand of 4,161 square feet that can be accommodated in the projected total square feet of Library space.

¹² Based on California Department of Finance Estimate, May 3, 2000.

11.5.4.5.6 Financing Library Facilities

In January 1991, the Chula Vista City Council adopted Ordinance No 2320 establishing a Development Impact Fee to pay for various public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2809-B on June 20, 2000. The portion of the fee attributable to Library Facilities is \$638/EDU.

The Otay Ranch Village 11 SPA project is within the boundaries of the current public facilities DIF program, and the projects will be subject to the payment of the fee at the rate in effect at the time building permits are issued. At the current library fee rate, the Otay Ranch Village 11 SPA library obligation at build-out is \$1,469,952.00.

Development Phase	EDUs	Library Fee @ \$638/EDU
1	532	\$339,416.00
2	1,096	\$656,502.00
3	743	\$474,034.00
Total	2,371	\$1,469,952.00

11.5.4.5.7 Threshold Compliance and Recommendations

Based upon the analysis contained in this library section, the city's current library facilities (102,000 square feet) are 2,591 below the threshold standard (see table G.2). The existing plus proposed new library space totals 158,758 square feet. The total forecasted projects including the Otay Ranch Village 11 SPA project totals a demand 25,750 square feet. This results in an excess (above standard) supply of 28,417 square feet.

No mitigation is required other than the payment of the Public Facilities DIF for library facilities at the rate in effect at the time building permits are issued.

II.5.4.6 PARKS, TRAILS AND OPEN SPACE

II.5.4.6.1 Park Threshold Standard

Three (3) acres of neighborhood and community parkland with appropriate facilities shall be provided per 1,000 residents east of Interstate 805. In addition, the Otay Ranch GDP requires 12 acres of other active and passive recreation and open space per 1,000 residents.

II.5.4.6.2 Service Analysis

The City of Chula Vista provides public park and recreational opportunities through the Park & Recreation Department which is responsible for the acquisition and development of parkland. All public park development plans are reviewed by City staff and presented to the Parks and Recreation Commission for review. A recommendation is made by this Commission to the deciding body, the City Council.

The Parks and Recreation Element of the General Plan dated July 1990 and revisions through September 5, 1995, serves as the master plan for park facilities. While there is currently no existing citywide detailed parks master plan, the City staff is nearing completion of a new Park Master Plan that it expects to forward to the City Council for adoption by mid year 2001.

II.5.4.6.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Identify phased demands in conformance with street improvements and in coordination with the construction of water and sewer facilities.
2. Specific siting of the facility will take place in conformance with the *Chula Vista General Plan Park and Recreation Element*.
3. Site reserved
4. Park site planning and design consistent with the City's Park Master Plan and the Chula Vista Landscape Manual.

II.5.4.6.4 Existing Conditions

The existing and future parks as depicted in the Park and Recreation Element of the General Plan and as updated by the City of Chula Vista Park Master Plan. The Master Plan is currently being prepared and it is expected to be completed Spring 2001.

II.5.4.6.5 Project Park Requirements

Compliance with Public Park Standards

All new development in the City of Chula Vista is subject to the requirements contained in the City's Parkland Dedication Ordinance revised April 4, 2001, which is set forth in Municipal Code Chapter 17.10. The ordinance establishes land development fees for park acquisition and development, sets standards for dedication and establishes criteria for acceptance of parks and open space by the City of Chula Vista. Parkland dedication requirements are shown on Table H.

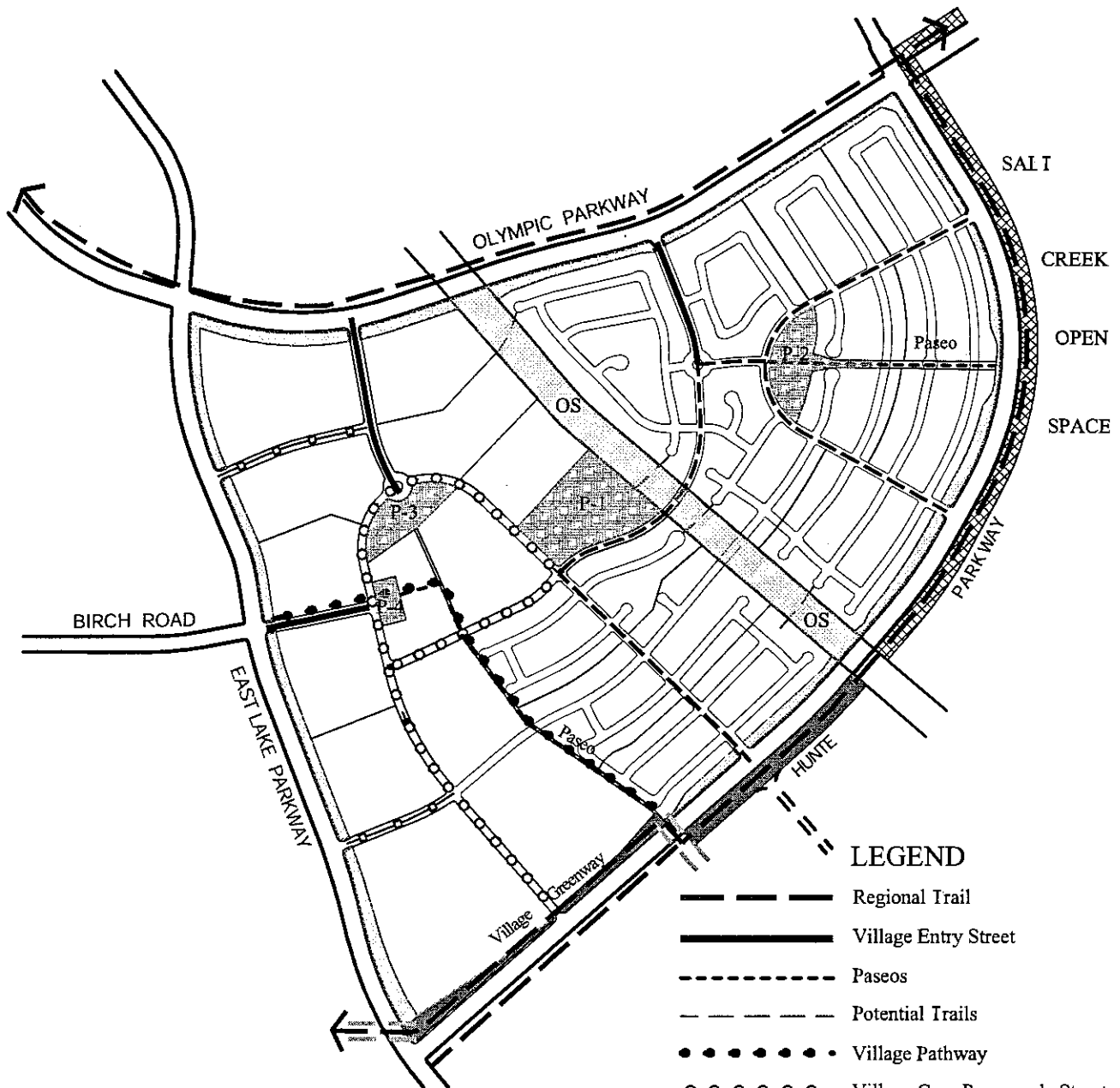
Table H Parkland Dedication Standards		
Dwelling Unit Type	Land Dedication per Unit	Dwelling Units per Park Acre
Single-Family - Detached	423 sf/du	103 du/ac
Single-Family - Attached	366 sf/du	119 du/ac
Multiple - Family	288 sf/du	151 du/ac

Parkland dedication requirements for the Otay Ranch Village 11 SPA project are outlined in the table below.










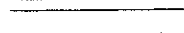



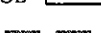
Table H.1 Village 11 Parkland Dedication Requirements per City Ordinance			
Dwelling Unit Type	Parkland Required/DU	Number of Dwelling Units	Park Acres Required
Single Family - Detached	423 sf/du	1,311	12.78
Single Family - Attached	366 sf/du	678	5.70
Multiple Family	288 sf/du	315	2.08
TOTALS		2,304	20.51

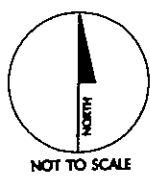
The Otay Ranch Village 11 SPA Land Use Table (Table B) and the Phasing Table (Table B.1) identifies the park designations and acreage that are also shown in Table H.2. Table H.2 also identifies the phase of development in which the park will be constructed and the park acres that the city has determined will be given credit for purposes of satisfying the project's parkland dedication as measured against the City's Parkland Dedication Ordinance. The Neighborhood Park will be graded and offered for dedication in the context of the development of Phase 1 of the Otay Ranch Village 11 SPA project.

Table H.2 Village 11 SPA Park Acres and Eligible Credits				
PARK IDENTIFICATION	NET ACRES	PHASE	PROPOSED CREDIT %	ELIGIBLE CREDIT ACRES
Community Park	0.0	0	0%	0.0
P1 Public Neighborhood Park	7.0	1	100%	7.0
P2 Private Recreational Facilities	3.8	1	0%	0.0
P3 Private Recreational Facilities	3.0	2	0%	0.0
P4 – Town Square	1.0	2	100%	1.0
Total acres eligible for credit against Park Acquisition and Development (PAD) fees				8.0
Otay Ranch Village 11 SPA PAD Requirements				20.51
Otay Ranch Village 11 SPA Park Obligation Acreage				12.51



LEGEND

-  Regional Trail
-  Village Entry Street
-  Paseos
-  Potential Trails
-  Village Pathway
-  Village Core Promenade Street
-  Village Core Street
-  Residential Promenade Street
-  Village Residential Street
-  Village Greenway
-  Chula Vista Greenbelt
-  P Park / Recreation facility
-  OS Open Space
-  Proposed Pedestrian Bridge



**Exhibit 8
Parks, Recreation, Open Space & Trails Plan**

Village 11 generates an estimated population of 6,935 (2,304 dwelling units x 3.01 population factor). To meet the city threshold requirements the amount of parkland dedicated is based on a standard of 3 acres per 1,000 population. The standard is based on State of California government Code 66477, also known as the Quimby Act, which allows a city to require by ordinance, the dedication of land or payment of fees for park or recreational purposes. Based upon the threshold requirement, Village 11 must provide approximately 20.8 acres of parkland (see table below).

Table H.3 Quimby Act Parkland Requirements		
Village 11 Population	Standard	Parkland Acres Required
6,935	3 acres per 1,000 population	20.8

11.5.4.6.6 Park Adequacy Analysis

The table below, is a comparison of park acreage demands and supply east of Interstate 805 for existing, approved projects, as well as the phased addition of the Otay Ranch Village 11 SPA project.

Table H.4 Park Acreage Demand Compared to Supply East of Interstate 805 As of January, 2001						
	Population East of I-805	Demand Park Acres¹³	Supply Park Acres	Eligible Credit Acres	Net Acres +/- Standard	Project Cumulative +/- Standard
Existing ¹⁴	62,149	186.5	240.6	240.6	54.1	n/a
Forecasted Projects to 2005	42,917 ¹⁵	128.8	81.3	81.3	-47.5	n/a
Subtotal	105,066	315.3	321.9	321.9	6.6	n/a

A review of the existing and approved park demands with including Otay Ranch Village 11 indicates a total demand for 315.3 acres of Neighborhood and Community Park east of Interstate 805. The total supply of park acres is approximately 321.9, which is 6.6 acres more than the demand.

Table H.5 Otay Ranch Village 11 SPA by Phase						
Phase	Population	Demand Park Acres	Supply Park Acres	Eligible Credit Acres	Net Acres +/- Standard	Project Cumulative +/- Standard
1 (532 Dwelling Units)	1,601	4.8	3.8	0.0	-4.8	-4.8
2 (1,029 Dwelling Units)	3,097	9.3	12.9	9.9	9.9	-4.2
3 (743 Dwelling Units)	2,237	6.7	0.0	0.0	-6.7	-10.9
Total	6,935	20.8	16.7	9.9	-10.9	-10.9

¹³ Based on City Threshold requirement of 3 acres of neighborhood and community parkland per 1,000 residents east of I-805.

¹⁴ Existing figures from the Chula Vista Planning and Building Department, March 2001

¹⁵ Population calculation: 14,258 DU's @ 3.01/DU

The proposed plan for Village 11 estimates a village population of 6,935 (based on a population factor of 3.01 persons per 2,304 dwelling units), requiring 20.8 acres of parkland. The number of dwelling units approved at the Tentative Map stage will determine the actual population and park requirement. Village 11 provides a net 7.0-acre neighborhood park (P1) and a net 1-acre privately maintained town square (P4) for a total of 8.0 acres of creditable parks. The remaining city parks obligation will be met through equitable contribution to community parks in Otay Ranch. To enhance the pedestrian oriented village concept, a 3-acre private recreational facility (P3) in the village core and a 3.8-acre private recreational facility (P2) in the eastern portion of the village will also be provided. These private recreational facilities areas, however, will not be counted towards meeting the project's parkland obligation.

II.5.4.6.7 Open Space and Trails

Open Space

As indicated in section II.5.4.6.1, the Otay Ranch GDP requires 12 acres of other active and passive recreation and open space per 1,000 residents. The largest component of open space in the Otay Ranch is the Resource Management Plan (RMP) Preserve. As prescribed by the RMP, the development of each Otay Ranch Village requires a contribution to the Otay Valley preserve. The developers of Village 11 will convey approximately 422.2 acres of natural open space in the adjacent Salt Creek and Otay River valleys to the preserve.

The Village 11 project site is located within the Otay Valley Parcel area of the Otay Ranch. The Otay Ranch GDP indicates that the Otay Valley Parcel will provide approximately 4,228 acres of open space lands. This amount of open space exceeds the GDP requirement for other active and passive recreation and open space per 1,000 residents. Therefore, no additional open space land dedication is required for Village 11.

Open space within Village 11 is comprised of the SDGE/SDCWA easement, the parkways adjacent to surrounding major streets, paseos and manufactured slopes. These open spaces provide pedestrian connections within the village, passive recreational opportunities and view opportunities. These open space areas consist of approximately 49.2 acres. In addition, Village 11 provides a 3-acre private recreational facility (P3) in the village core and a 3.8-acre private recreational facility (P2) in the eastern portion of the village.

Open space lands indicated on the Proposed Village 11 SPA Land Use Plan (Exhibit 1) will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to a Master Community Association. Uses will adhere to GDP policies regarding the design of open space. Further, uses will be strictly controlled through zoning regulations.

The land to be developed as Village 11 has been used for agriculture and encroachment into sensitive habitat has been avoided. Minor drainage channels within the development area are considered Waters of the United States by the Army Corps of Engineers and may require mitigation through habitat enhancement in Salt Creek or elsewhere in the preserve. Construction of Hunte Parkway and adjacent public facilities will require manufactured slopes adjacent to Salt Creek. All construction will be consistent with the GDP and SPA plan requirements to enhance the preserve area habitat.

Trails

A trail system is incorporated as mobility and recreation components of Village 11. The trail system provides linkages within the village and connections to regional trails to provide access to neighboring villages and the Otay Valley Regional Park, as shown in Exhibit 8.

The internal street system of Village 11 provides walkways along all village streets. The preferred street design provides a parkway buffer between the roadway and sidewalk to enhance pedestrian comfort and promote safety. Paseos are provided as an alternative to pedestrian and bicycle trails sharing the public right-of-way street system. Paseos are internal village pedestrian trails linking neighborhoods to the village core, schools and parks. The paseos are generally accessed from cul-de-sac streets and have minimal road crossings to enhance their passive recreational quality. Paseos will be maintained through a Community Facilities District (CFD) or Community/Homeowners Association.

The Village 11 Trails, Parks and Open Space Plan (Exhibit 8) indicates that pedestrian bridges are planned to provide crossings over Hunte Parkway, providing access to the Salt Creek Open Space Preserve and the University site, and EastLake Parkway from the Eastern Urban Center (EUC) at Hunte Parkway. Additional details regarding the pedestrian bridges can be found in the Section II.5.4.1.11 of this report.

The Village 11 SPA Parks, Recreation, Open Space and Trails Master Plan provides a more detailed discussion of the Village's open space and trail system. Trail design shall conform to the standards contained in the Chula Vista Landscape Manual, Otay Ranch GDP and any other applicable adopted, City-wide Master Plans.

II.5.4.6.8 Financing Park, Open Space, and Trail Facilities

Chapter 17.10 of the Chula Vista Municipal Code as amended June 22, 1991 governs the financing of parkland and improvements. Included as part of the regulations are Park Acquisition and Development (PAD) fees established for the purpose of providing neighborhood and community parks and improvements. The Ordinance provides that fees are paid to the City prior to approval of a final subdivision map.

The Otay Ranch Village 11 SPA project is responsible for the following park development component of the PAD Fees as shown in the following tables. However, an applicant may dedicate and construct parks and receive credit against the payment of such PAD fees as further described in the following table and as may be amended from time to time:

Phase	Dwelling Units			Development Component of PAD Fees/DU Total			Total Fees Due
	SFD	SFA	MFD	SFD@ \$2,935	SFA@ \$2,571	MFD@ \$2,012	
1	532	0	0	\$1,561,420	0	0	\$1,561,420
2	328	386	315	\$962,680	\$992,406	\$633,780	\$2,588,866
3	451	292		\$1,323,685	\$750,732	0	\$2,074,417
Total	1,311	678	315	\$3,847,785	\$1,743,138	\$633,780	\$6,224,703

The Otay Ranch Village 11 SPA project will provide 8.0 acres of parkland which is 12.51 acres less than the project's demand of 20.51 acres as identified in Table H.2. Table H.6

identifies the fees calculated for the development component of the PAD fees while Table H.7 identifies the fees calculated for the parkland acquisition component of the PAD fees. It is anticipated that the 8.0 acres of park obligation will be dedicated as opposed to the payment of fees for land acquisition. The remaining parkland obligation (12.51 acres), which will be met off-site, will require the payment of fees for land acquisition.

Phase	Dwelling Units			Acquisition Component of PAD Fees/DU Total			Total Fees Due
	SFD	SFA	MFD	SFD@ \$2,115	SFA@ \$1,830	MFD@ \$1,440	
1	532	0	0	\$1,125,180	0	0	\$1,125,180
2	328	386	315	\$693,720	\$706,380	\$453,600	\$1,853,700
3	451	292		\$953,865	\$534,360	0	\$1,488,225
Total	1,311	678	315	\$2,772,765	\$1,240,740	\$453,600	\$4,467,105

II.5.4.6.9 Threshold Compliance and Recommendations

Based upon the analysis contained in this section of the PFFP, the parks standard for both neighborhood and community parks measured on an area-wide basis east of Interstate 805 is projected to be met at the completion of the third phase of the Otay Ranch Village 11 SPA project.

On a project-level, the Neighborhood Park and Town Square provided within Otay Ranch Village 11 SPA meets part of the demand on a cumulative basis. In order to comply with the City's local park standard, it is the responsibility of the developer to comply with the City's Park Master Plan and ordinances related to park planning, to grade the sites according to the approved plan, and to install improvements or pay fees, or a combination thereof, as required by the City's Parkland Dedication Ordinance.

Community Park Phasing

The Community Park obligation will be met through the payment of PAD fees, prior to approval of the first Final Map for the project.

Neighborhood Park Phasing

1. Prior to the first Final A Map for the Project, an Irrevocable Offer of Dedication (I.O.D) acceptable to the Director of Parks & Recreation, for the seven net acre neighborhood park site, shall be granted to the City.
2. Prior to issuance of the building permit for the 360th dwelling unit, construction of the neighborhood park shall commence.
3. Construction of the neighborhood park shall be completed within nine (9) months of park construction commencement.

The Neighborhood Park may be constructed under one of two alternative processes as determined by the Director of Parks and Recreation. These alternative processes consist of:

- The City collects PAD fees for development of the park facilities and the City uses such fee revenues to construct the park; or
- The City accepts a "turn-key" park constructed by the Applicant/developer. The City's Parks and Recreation Department acts to oversee the process to insure the park is

constructed to City standards, which includes selecting the design and engineering consultants as well as the prime contractor.

Due to the fact that the City is in the process of preparing and adopting a citywide master plan, the park phasing may be refined during the tentative map process.

Town Square Phasing

Construction of the Town Square (P-4), shall be completed prior to the issuance of the last residential dwelling unit building permit within Phase Two (2).

Open Space Phasing

Open space lands indicated on the Proposed Village 11 SPA Land Use Plan will be preserved through the dedication of open space easements and/or lots to the City or other appropriate agency, or to a Master Community Association. The appropriate agency will be identified prior to a final map being recorded

Trail Phasing

Trails will be phased in conjunction with adjacent open space. The timing of the construction of trail connections outside the phase of open space will be considered at the Tentative Map stage. These trails will be constructed by the developer within the open space district and maintained by the district or by a homeowner association. Trails adjacent to a street within a particular phase will be included in the grading and improvement plans and constructed within that phase or when the street is constructed.

II.5.4.7 WATER

II.5.4.7.1 Threshold Standard

1. Developer will request and deliver to the City a service availability letter from the Water District for each project, as defined by the City.
2. The City annually provides the San Diego County Water Authority, the Sweetwater Authority, and the Otay Water District with a 12 to 18 month development forecast and requests an evaluation of their ability to accommodate the forecast and continuing growth. The Districts' replies should address the following:
 - a. Water availability to the City and Planning Area, considering both short and long term perspectives.
 - b. Amount of current capacity, including storage capacity, now used or committed.
 - c. Ability of affected facilities to absorb forecasted growth.
 - d. Evaluation of funding and site availability for projected new facilities.
 - e. Other relevant information the District(s) desire(s) to communicate to the City and GMOC.

The growth forecast and water district response letters shall be provided to the GMOC for inclusion in its review.

II.5.4.7.2 Service Analysis:

The Otay Water District (OWD) will provide water service for Otay Ranch Village 11. Annexation into Improvement Districts 22 and 27 will be required prior to water service being provided. The district has existing facilities north of the project site within the EastLake development. The district also has planned facilities in the vicinity of the project. Expanding the existing system can provide future water service. Dexter Wilson Engineering Incorporated prepared an *Overview of Water Service for Otay Ranch Villlage 11* dated November, 2000 to address the facilities necessary to support this project. The Wilson report provides recommendations for improvements to provide water service to the proposed development. In addition to potable water, the OWD will be the purveyor of recycled water to the project.

The Otay Water District utilizes the 1995 *Water Resources Master Plan* prepared by Montgomery Watson for all future CIP water facilities work. An environmental impact report was also prepared to assess the impacts of the Master Plan.

Prior to approval of the tentative map, the applicant shall prepare a Subarea Master Plan (SAMP) for water, and have it reviewed and approved by Otay Water District. The plan shall address both potable and recycled water systems.

II.5.4.7.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Identify phased demands in conformance with street improvements and in coordination with the construction of sewer facilities.
2. Identify location of facilities for onsite and offsite improvements in conformance with the master plan of the water district serving the proposed project.
3. Provide cost estimates and proposed financing responsibilities.
4. Identify financing methods.
5. A Water Conservation Plan shall be required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDUs of water demand or greater).

11.5.4.7.4 Existing Conditions

Most of the water used in the San Diego County Water Authority (SDCWA) area is imported from the Metropolitan Water District (MWD). MWD receives its water supply through the State Water Project and the Colorado River Aqueduct. The San Diego County Water Authority conveys water from the MWD to local purveyors within San Diego County.

Potable water will be supplied to the Otay Ranch Village 11 project by the Otay Water District. The district currently relies solely on the SDCWA for water supply. The district has several connections to SDCWA Pipeline No. 4 which delivers filtered water from the Metropolitan Water District's filtration plant at Lake Skinner in Riverside County. The Otay Water District also has a connection to the La Mesa - Sweetwater Extension Pipeline which delivers filtered water from the R.M. Levy Water Treatment Plant in the Helix Water District. Currently, this connection supplies water to the north portion of the Otay Water District only. The Otay Water District has a connection to the City of San Diego's water system in Telegraph Canyon Road and has recently signed an agreement that allows them to receive water from this connection.

II.5.4.7.5 Adequacy Analysis Water

Water Conservation Plan

A Water Conservation Plan is required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDUs of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects which are not processed through a Planned Community Zone. The City is in the process of developing guidelines for the preparation and implementation of Water Conservation Plans. This effort involves a pilot study to evaluate the relative effectiveness, costs and issues associated with the implementation of additional water conservation measures beyond those currently mandated, in three new development projects including Village 11. The evaluation will encompass additional technical water saving devices, as well as the potential expanded use of recycled water, and possible gray water use. The pilot study will provide information to be used in finalizing a Water Conservation Plan for Village 11 to be considered in conjunction with actions on the project's Tentative Subdivision Map.

A draft *Water Conservation Plan For Otay Ranch Village 11 SPA* prepared by Wilson Engineering dated September 2000, provides an analysis of water usage requirements of the proposed project, as well as a detailed plan of proposed measures for water conservation, use of reclaimed water, and other means of reducing per capita water consumption from the proposed project, as well as defining a program to monitor compliance. As indicated, this document will be finalized based upon outcomes of the pilot study. The Water Conservation Plan will be presented in conjunction with the SPA Plan document and Tentative Map and is, therefore, not a part of the Public Facilities Financing Plan.

Otay Ranch Village 11 SPA Water Demand

Otay Ranch Village 11 SPA is within the Otay Water District's 711 and 980 pressure zones. Water demand is projected using unit demand factors from the April 1995 Otay Water District Resources Master Plan. According to the Wilson Report the projected annual potable water demand is .70 MGD and the projected annual recycled water demand is .17 MGD. It is the policy of the Otay Water District to provide a maximum of five average days of terminal storage capacity and a minimum of five average days of supply from interconnections and other sources. Adequate capacity exists to meet the five-day storage requirement.

Otay Water District Master Plan

The Otay Water District's water and reclaimed water master plan includes water demands for this project as part of the overall demands in the area based upon land use data.

II.5.4.7.6 Existing Facilities Potable Water

The Village 11 project will be served by the Central Service Area of the Otay Water District. This area of the District is supplied water from Connection Number 10 and 12 to the SDCWA aqueduct which fills 624 Zone reservoirs. Water is then distributed within the 624 Zone and pumped to the 711 Zone and 980 Zone storage and distribution systems. Exhibit 9 provides a map of the existing and proposed water facilities in the vicinity of Village 11.

Additional terminal storage will not be a requirement for the Village 11 project. Within the past few years, the Otay Water District completed the 30 million gallon 624 Zone Reservoir along EastLake Parkway that provides terminal storage for their Central Service Area

711 Zone

There is currently one pump station in the 711 Zone, referred to as the Central Area Pump Station that is located at the 624 Zone Patzig Reservoir site. The station pumps water from the 624 Zone system into the 711 Zone distribution system and into two existing 711 Zone reservoirs located in the EastLake Greens development. The 711 Zone Pump Station currently has four pumps (one standby), each rated for 4,000 gpm, which results in a firm station capacity of 12,000 gpm. The pump station has the ability for expansion that will permit the addition of a fifth pump when necessary.

There are two existing reservoirs in the 711 Zone. These reservoirs are located at the same site within the EastLake Greens development and have capacities of 2.8 and 2.2 million gallons for a total of 5.0 million gallons. The major 711 Zone pipelines in the vicinity of the

Village 11 project include a 20-inch line in EastLake Parkway and a 24-inch line in Hunte Parkway.

980 Zone

There is presently one pump station in the 980 Zone, referred to as the EastLake Pump Station, which lifts water from the 711 Zone to the 980 Zone reservoirs. This pump station is located on the south side of Otay Lakes Road at Lane Avenue. This pump station is equipped with three 4,000 gpm pumps (one standby) for a firm capacity of 8,000 gpm.

There are two existing reservoirs in the 980 Zone system. The reservoirs are located on the Otay Water District use area property north of the Rolling Hills Ranch project. The reservoirs have a capacity of five million gallons each for a total capacity of 10 million gallons.

The only existing 980 Zone transmission lines in the vicinity of the Village 11 project are located north of the project, within the EastLake development. These lines include 16-inch lines in Hunte Parkway and Greenview Parkway and a 36-inch line in EastLake Parkway.

Recycled Water

Currently, the only source of recycled water for the Otay Water District is the Ralph W Chapman Water Recycling Facility. This facility has a capacity of 1.3 mgd and can be expanded to an ultimate capacity of 3.84 mgd. Two ponds in the District's Recycled Use Area near the two existing 980 Zone potable water tanks provide storage of the effluent.

The storage ponds have a high water line of approximately 950 feet and provide the storage and supply for the 950 Zone distribution system. Initially the 680 Zone distribution system will be supplied by pressure reducing off the 950 Zone system. The South Bay Water Reclamation Plant will ultimately supply the 680 Zone. There are currently no 950 Zone or 680 Zone pipelines in place to supply recycled water to the Village 11 project. Facilities within both of these zones are planned within Olympic Parkway along the northern boundary of the project. Exhibit 10 provides a map of the existing recycled water facilities in the vicinity of the project.

II.5.4.7.7 Proposed Facilities:

To receive potable water service, the Village 11 project will need to expand the existing 711 Zone and 980 Zone systems. Exhibit 8 graphically shows the location of major water facilities that are existing and planned in the vicinity of the project.

The following descriptions reflect the information contained in the *Overview of Water Service/or Otay Ranch Village 11 SPA* dated November, 2000. A SAMP will be prepared concurrent with the tentative map for the project to identify the sizing and timing of all onsite and offsite water facilities for the project. These water facilities may be modified following the completion of the SAMP.

711 Zone

There are several proposed 711 Zone transmission lines surrounding Village 11 that are included in the Otay Water Districts Capital Improvement Program. These facilities include

20-inch lines in Hunte Parkway and EastLake Parkway and a 24-inch line in Olympic Parkway. Exhibit 8 shows how these facilities will be tied into the District's overall system. The southeastern portion of Village 11 will be served by the 711 Zone. Service to these areas will be provided by connecting to the proposed 20-inch line in Hunte Parkway at several locations, as shown on Exhibit 8 and 9. However, not all facilities shown on Exhibit 8 are required to serve Village 11. The transmission lines in Birch Road and Olympic Parkway are shown to identify the ultimate water system looping for the area. The offsite facilities necessary to serve Village 11 will be determined based on the computer modeling performed during the preparation of the SAMP.

Exhibit 9 provides a map of the proposed onsite water facilities for Village 11. The proposed 10" potable water line crossing the County Water Authority and SDG&E needs to be reviewed and approved by those agencies prior to the approval of the final engineering of the project.

980 Zone

The Otay Water District Capital Improvement Program includes 980 Zone transmission lines adjacent to Village 11 in EastLake Parkway and Olympic Parkway. Exhibit 9 shows how these facilities will be tied into the District's overall system. The northwestern portion of Village 11 will be served by the 980 Zone system. This will be accomplished by making several connections to the proposed transmission lines in EastLake Parkway and Olympic Parkway, as shown on Exhibit 9.

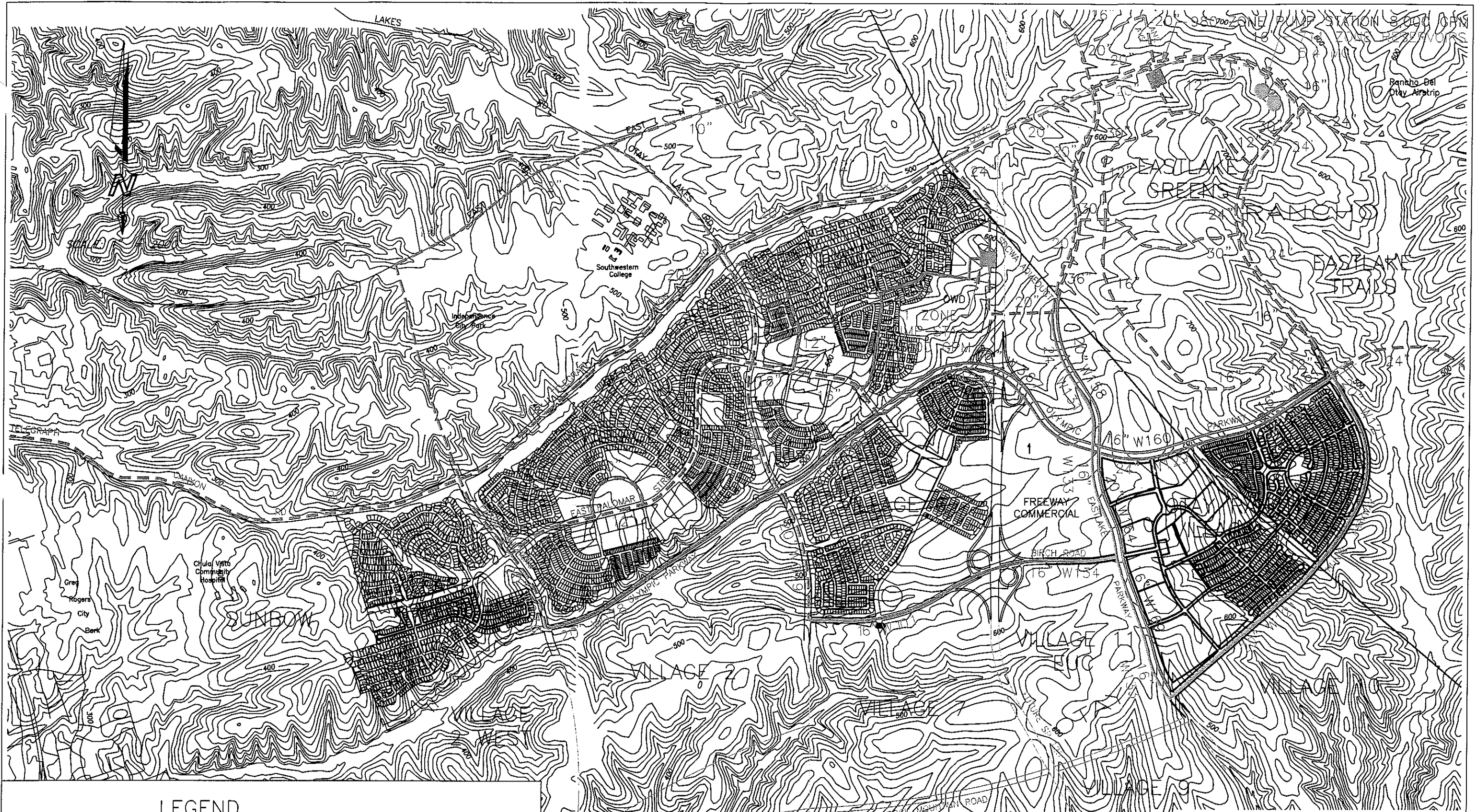
The offsite 24" potable water line located within EastLake Parkway, north of Olympic Parkway is not constructed but required for the Village 11 development. However, until the detailed computer modeling is prepared as part of the SAMP for Village 11, it is not known whether or not the pipeline in EastLake Parkway will be required to serve Village 11. If the pipeline is required, OWD may require the pipeline to be constructed as an offsite improvement by Village 11.

The proposed 16" potable 980 zone line within EastLake Parkway at Hunte Parkway (W169) is identified in the Otay Water District's Capital Improvement Program. This line will be a requirement of the Village 11 project. Further, this line will be designed and constructed to meet the Otay Water District's criteria for establishing water service zones.

Recycled Water

The offsite 16" reclaimed water line located within EastLake Parkway, north of Olympic Parkway is not constructed but required for Village 11 development. Similar to the zone 980 potable water issue, it is not known whether or not the pipeline in EastLake Parkway will be required to serve Village 11 until the detailed computer modeling is prepared as part of the Village 11 SAMP. If the pipeline is required, OWD may require the pipeline to be constructed as an offsite improvement by Village 11. To the extent that the Water Conservation Plan Study, as noted in Section II 5.4.7.5, affects areas to be irrigated with recycled water, those will be reflected in the SAMP.

The reclaimed water distribution proposes 6" and 8" mains onsite. All proposed lines shall meet the minimum size reclaimed water distribution line allowed by the Otay Water District

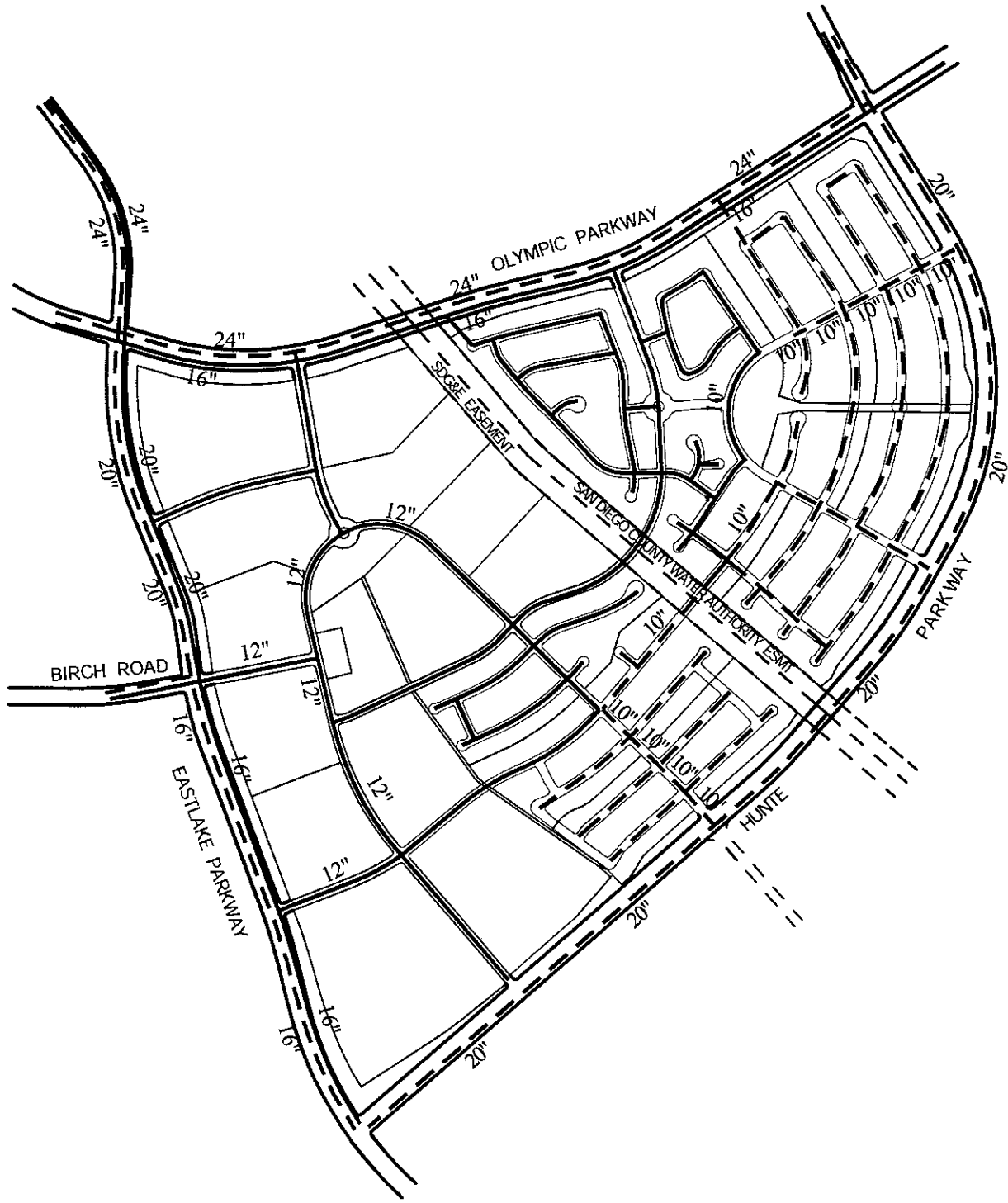


LEGEND

- EXISTING 980 ZONE WATERLINE
- PROPOSED 980 ZONE WATERLINE
- EXISTING 711 ZONE WATERLINE
- PROPOSED 711 ZONE WATERLINE
- W164 CAPITAL IMPROVEMENT PROGRAM NUMBER

NOTE:
 NOT ALL FACILITIES SHOWN HEREON ARE REQUIRED FOR
 THE DEVELOPMENT OF VILLAGES. SEE TABLE SIX.

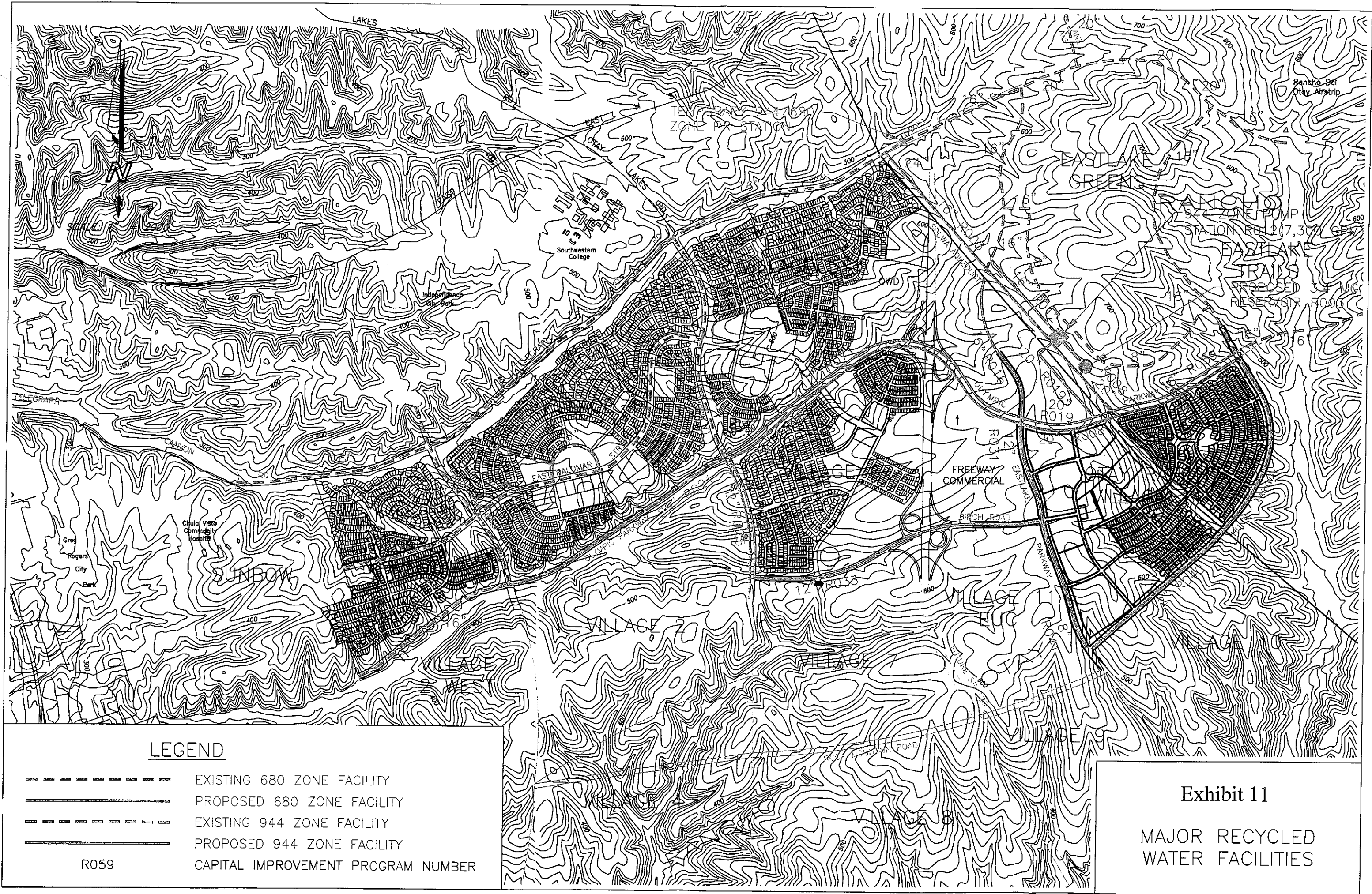
Exhibit 9
 PROPOSED
 MAJOR POTABLE
 WATER FACILITIES



LEGEND

- 711 ZONE
- 980 ZONE

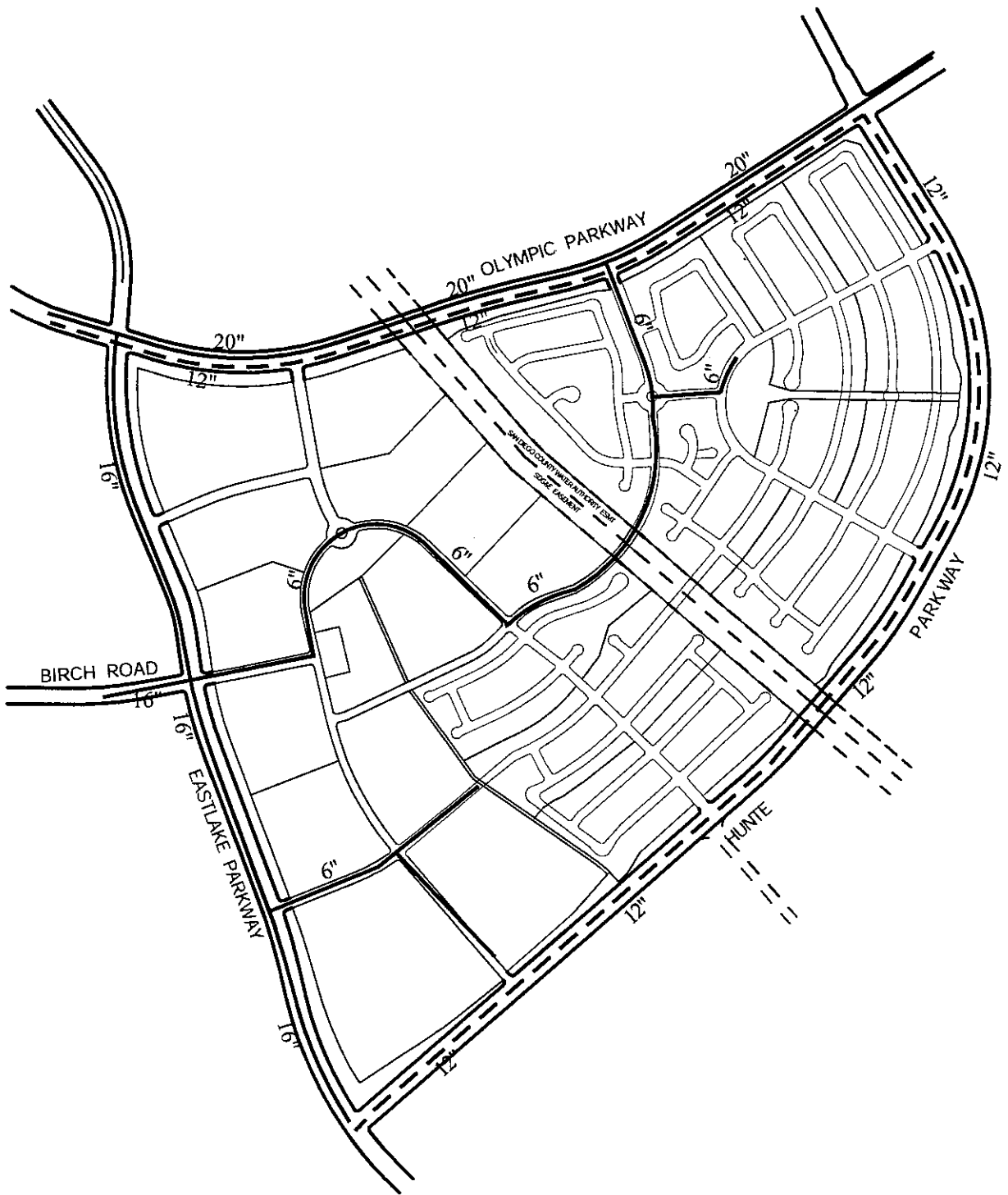
**Exhibit 10
Proposed Water Facilities**



LEGEND

- EXISTING 680 ZONE FACILITY
- PROPOSED 680 ZONE FACILITY
- EXISTING 944 ZONE FACILITY
- PROPOSED 944 ZONE FACILITY
- R059 CAPITAL IMPROVEMENT PROGRAM NUMBER

Exhibit 11
 MAJOR RECYCLED
 WATER FACILITIES



LEGEND

- 680 ZONE
- 950 ZONE

**Exhibit 12
Proposed Recycled Water Facilities**

II.5.4.7.8 Financing Water Facilities:

The financing and construction of potable water facilities is provided by two methods:

Capacity Fees:

Otay Water District's Capital Improvement Program (CIP) wherein the District facilitates design and construction of facilities and collects an appropriate share of the cost from developers through collection of capacity fees from water meter purchases. Capital Improvement Projects typically include supply sources, pumping facilities, operational storage, terminal storage, and transmission mains.

The Otay Water District may use bond debt financing from Improvement District 27 to assist in the financing of the District's CIP program. CIP projects are paid for by capacity fees collected on the sale of water meters after building permit issuance. Further, Village 11 is currently within the boundaries of Improvement District 27 and will be required to annex into Improvement District 22.

Exaction:

Wherein the developer designs and constructs facilities, which serve his development only. When complete, the facilities are dedicated to the District. The developer is required to finance and construct water and recycled water facilities and dedicates these facilities to the Otay Water District.

Potable Water Improvement Costs

The total capital cost for potable water facilities will be determined at the time the system is designed and the SAMP is approved. In accordance with District Policy No. 26, the District may provide reimbursement for construction and design costs associated with development of these improvements.

Reclaimed Water Improvement Costs

The total capital cost for recycled water facilities will be determined at the time the system is designed and the SAMP is approved. The District may provide reimbursement for construction and design costs associated with development of these improvements.

II.5.4.7.9 Threshold Compliance and Recommendations

The *Otay Water District Water Resource Master Plan* and the *Overview of Water Service* identify water facilities to be constructed to provide the appropriate level of water service to meet the criteria established within the plans. The Otay Water District agrees in concept with the *Overview*, however, a completed Subarea Master Plan (SAMP) is required for approval by the District prior to the approval of a tentative map for the project. The potable and recycled water systems will be designed at that time and the costs will be identified by phase of development. The applicant shall be responsible for funding the required system improvements. The developer shall request and deliver to the City a service availability letter from the Otay Water District prior to each final map.

II.5.4.8 SEWER

II.5.4.8.1 Threshold Standard

1. Sewage flows and volumes shall not exceed City Engineering Standards.
2. The City will annually provide the City of San Diego Metropolitan Wastewater Department with a 12-18 month development forecast and request confirmation that the projection is within the City's purchased capacity rights and an evaluation of their ability to accommodate the forecast and continuing growth. As an alternative, the City of Chula Vista Public Works Department will gather the necessary data. The information provided to the GIOC shall include the following:
 - a. Amount of current capacity now used or committed.
 - b. Ability of affected facilities to absorb forecast growth.
 - c. Evaluation of funding and site availability for projected new facilities.
 - d. Other relevant information.

II.5.4.8.2 Service Analysis

The City of Chula Vista currently purchases capacity for wastewater treatment through the City of San Diego. Chula Vista oversees the construction, maintenance and the operation of the sewer trunk line system. The City Engineer is responsible for reviewing proposed developments and ensuring that the necessary sewer facilities are provided with each development project.

The Sewer Threshold Standard was developed to maintain healthful, sanitary sewer collection and disposal systems for the City of Chula Vista. Individual projects are required to provide necessary improvements consistent with the City of Chula Vista Wastewater Master Plan dated July 1989 and shall comply with all city engineering standards.

Information regarding the existing and recommended sewer facilities is presented in the *Overview of Sewer Service for Village 11 of the Otay Ranch*, dated March, 2001

II.5.4.8.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Identify phased demands for all sewer trunk lines in conformance with the street improvements and in coordination with the construction of water facilities.
2. Identify location of facilities for onsite and offsite improvements, including reclaimed water facilities in conformance with the *Overview of Sewer Service for Village 11 of the Otay Ranch* prepared by Dexter Wilson Engineering Incorporated dated March, 2001.
3. Provide cost estimates for all facilities and proposed financing responsibilities.
4. Identify financing methods.

II.5.4.8.4 Existing Conditions

Sewer service for Village 11 will be provided by the City of Chula Vista. Village 11 is within both the Salt Creek Drainage Basin and the Poggi Canyon Drainage Basin. The City of Chula Vista does not currently have sewer facilities in these basins to serve the project. This report will provide information on the proposed regional facilities that will provide sewer service to the project

Salt Creek Basin

The Otay Ranch Village 11 project is almost entirely within the Salt Creek Basin. Future development within this basin will ultimately be served by the Salt Creek Interceptor. Only a small segment of the upstream reaches of this interceptor have been installed. Dudek and Associates, *Inc.* have prepared a detailed design study for the remainder of the Salt Creek Interceptor for the City of Chula Vista. Design drawings for the Salt Creek Interceptor are currently being prepared.

Poggi Canyon Basin

The northwest corner of the Village 11 project is within the Poggi Canyon Basin. The existing Poggi Canyon Interceptor has been extended easterly in Orange Avenue to Brandywine Avenue, approximately 5 miles west of the Village 11 Project. Plans have been prepared for the extension of the Poggi Canyon Interceptor in Olympic Parkway to future west side of State Route 125. Flow from the Poggi Canyon Interceptor will ultimately convey sewage to Reach 9B of the proposed Salt Creek Interceptor. The Poggi Canyon Interceptor west of future State Route 125 and Reach 9B of the Salt Creek Interceptor are expected to be constructed well in advance of development on the Village 11 project.

II.5.4.8.5 Adequacy Analysis

The wastewater master plan evaluates sewer facilities from two aspects, the current and future adequacy of trunk sewers and the future wastewater treatment facilities.

Wastewater Treatment

Current Chula Vista average daily wastewater flow is approximately 14.262 million gallons per day (mgd). The City's allocation is 19.843 mgd resulting in a capacity surplus of 5.581 mgd.

The Wilson Report uses the following sewage generation factors:

- | | |
|---------------------------------|--|
| 1. Single Family Residential | 265 gpd/unit |
| 2. Multi-Family Residential | 199 gpd/unit |
| 3. Commercial | 2,500 gpd/acre |
| 4. Industrial | 2,500 gpd/acre |
| 5. Community Purpose Facilities | 2,500 gpd/acre |
| 6. Elementary School | 15 gpcd (Gallons per Capita per Day
800 students) |
| 7. Junior High School | 20 gpcd (assume 2,400 students) |
| 8. Parks | 500 gpd/acre |

The Development Phasing Forecast Summary (to 2005), as shown on Table I lists 14,258 residential dwelling units (includes Village 11), 161.4 acres of industrial, and 53.2 acres of commercial in various categories of entitlement through the year 2005. Applying the per day wastewater factors for each land use generates approximately 4,314,870 gallons per day of wastewater associated with the forecasted development category. This amount associated with forecasted development reduces the capacity surplus from 5.581 to 1.266 mgd (5,581,000-4,314,870).

Land Use Type	2005 Forecast	Generation Factor	Gallons per Day
Residential	14,258 DU	265 gpd/unit	3,778,370
Commercial	53.2 Acres	2,500 gpd/unit	133,000
Industrial	161.4 Acres	2,500 gpd/unit	403,500
Total used by Forecasted Development			4,314,870
Total remaining sewer capacity			1,266,130

The projected flows from the Otay Ranch Village 11 project are shown in Table I.1.

Land Use Type	DU's or Acres	Generation Factor	Gallons per day
SFR Units ¹⁶	1,311 DU	265 gpd/du	347,415
MFR Units ¹⁷	993 DU	199 gpd/du	197,607
Commercial	10.0 Acres	2,500 gpd/acre	25,000
CPF	5.5 Acres	2,500 gpd/acre	13,750
Elementary School	11.0 Acres	15 gpcd (assume 800 students)	12,000
Junior High School	25.6 Acres	20 gpcd (assume 1,400 students)	28,000
Neighborhood Park/Town Square (P1 & P4)	9.9 Acres	500 gpd/acre	4,950
Private O.S. (P2 & P3)	6.8 Acres	500 gpd/acre	3,400
Total			632,122

The construction of new sewer trunk lines must be phased with the construction of streets. The wastewater treatment requirements and sewer trunk line system are currently meeting the threshold standard.

¹⁶ Includes Single Family Detached (R-1 through R-16) & Small-Lot Single Family Detached (R-17, R-20 & R-23).

¹⁷ Includes Townhouses, Flats & Apartments (R-18, R-19, R-21, R-22, R-24, R-25 & MU).

Trunk Sewers

The majority of the project is within the Salt Creek drainage basin and will be served by connecting into the proposed Salt Creek Interceptor. A small portion of the project is within the Poggi Canyon natural drainage basin, but the developer is proposing to grade in such a way that it can also drain by gravity to the Salt Creek Interceptor.

The extension of the Poggi Canyon Interceptor has been designed in Olympic Parkway to within approximately 1,500 feet of the Village 11 project. These improvements are expected to be constructed prior to development on the Village 11 project. The Salt Creek Interceptor requires the design and construction of approximately 10 miles of sewer piping before service can be provided to the Village 11 project. Design of the Salt Creek Interceptor has begun, and the extension of this interceptor will need to be closely coordinated with projected development in Village 11.

Presently, the Village 11 project does not have any nearby sewer collection systems to provide sewer services. Village 11 cannot be built until the Salt Creek Trunk Sewer and Poggi Canyon Trunk Sewer are able to provide sewer services. Should the construction of the Salt Creek Interceptor be delayed, there may be alternatives for diverting sewage from the Salt Creek basin within Village 11 until the Salt Creek Interceptor has been constructed. The alternatives are discussed in the following section.

Sewer Diversion Alternatives

With the exception of a small area in the northwest corner of the project, Village 11 is entirely within the Salt Creek natural drainage basin. Therefore, if the Salt Creek Interceptor has not yet been constructed and the development proceeds, sewer service to this area will require a diversion system to pump flows out of basin. This alternative, if elected by the developer and approved by the City, shall be consistent with City Council policy #570-03. Exhibit 17 provides the location of the Telegraph Canyon Interceptor and Poggi Canyon Interceptor relative to the Village 11 project. Alternatives for diverting sewage from the Salt Creek drainage basin within Village 11 will involve the Poggi Canyon Interceptor. Preliminary studies have been prepared by Wilson Engineering to evaluate capacity and provide recommended improvements. A brief discussion of the Poggi Canyon alternative for diverting sewage to this facility is provided below.

Poggi Canyon Basin: Table I. 2, indicates that the extension of the Poggi Canyon Interceptor is being designed to handle a significant amount of future development, including approximately 391 EDUs from Village 11. Since not all of this development will occur within the next few years, this portion of the Poggi Canyon Interceptor will have excess capacity to serve additional units from Village 11 on an interim basis. Some of the existing sections of the Poggi Canyon Interceptor will require replacement to accommodate ultimate flows from the basin. These improvements would be phased based on flow monitoring of the line. Funding of these improvements is via fees collected from new development in the Poggi Canyon Basin.

TABLE I.2	
Poggi Canyon Drainage Basin¹⁸	
Summary Of EDUs	
Development	EDUs
Existing	1,794.5
Sunbow II	1,869.7
Gerhardt	37.0
Otay Ranch GDP	
Village 1	1,201.1
Village 6	2,098.3
Village 7	289.7
Village 11	391.4
Village 12	839.3
Village 1 West	210.0
Subtotal Otay Ranch GDP	5,029.8
Otay Ranch Village 1	1,219.5
Otay Ranch Village 5	442.5
McMillin	1,006.3
EastLake Development	2,106.0
TOTAL	13,505.3

The aforementioned diversion alternatives are based on Wilson Engineering's preliminary evaluation of the system. Actual implementation of one of these alternatives would require a more detailed analysis and the approval by the City of Chula Vista.

II.5.4.8.6 Recommended Sewerage Facilities

Sewer facility improvements required to serve the Village 11 project include 8-inch and 10-inch onsite gravity sewer lines and contributions for the construction of the Salt Creek Interceptor and Poggi Canyon Interceptor. The sizing of onsite sewer lines must be verified during the improvement plan preparation process when slopes and alignments for sewer lines have been established. This PFFP provides a discussion of the impact fees to be paid and the onsite facilities that are necessary to serve the Village 11 project. Exhibit 13 shows the proposed major sewer facilities that will serve the project.

II.5.4.8.6.1 Village 11 Improvements

On-site Improvements

All onsite sewer lines internal to the Villages 11 project have been sized based on preliminary street grades and sewer alignments. This sizing should be verified once pipe slopes have been better defined. Exhibit 14 provides the recommended sewer line sizing for the project. As shown, 8-inch and 10-inch gravity sewers are recommended.

¹⁸ From July 1997 Poggi Canyon Basin Gravity Sewer Basin Plan

Off-site Improvements

The Village 11 project is planned to be sewered via the proposed Salt Creek Interceptor. Off-site sewer connection improvements anticipated for Salt Creek are developer-constructed laterals to connect to the Salt Creek Main Interceptor. However, if the applicant elects to divert sewer into the Poggi Canyon Interceptor there will be off-site improvements. These improvements will need to be discussed in an amendment to this PFFP.

II.5.4.8.6.2 Village 11 Phasing

Project Phasing

The Village 11 project is expected to develop in three major phases. Exhibit 14 illustrates the proposed phasing for the project. Table I.3 provides a summary of development by phase.

Phase	Residential			Year
	SF Units	MF Units	EDUs ¹⁹	
1	335	197	483	2003-2004
2	328	701	854	2004-2006
3	451	292	670	2006-2008

Salt Creek Interceptor Phasing

The entire Village 11 project will be served by gravity sewers and connected to the proposed Salt Creek Interceptor. The Salt Creek Interceptor is in the design phase and has been separated into three major reaches. Exhibit 13 graphically shows the reach descriptions and Table I.4 summarizes the proposed timing for each major reach of piping.

Description	Estimated Completion of Construction
Reach 9B	January 2002
Reach 9A	April 2002
Reaches 3-8	January 2003

In comparing Tables I.3 and I.4, all reaches of the Salt Creek Interceptor are scheduled to be completed in January 2003 and the first phase of Village 11 development is anticipated to come on line sometime in 2003. Therefore if both projects maintain their current schedule, sewer facilities will be in place to serve Village 11 at the time it begins to develop.

The on-site phasing of Village 11 is illustrated by Exhibit 14. The western portion of phases 1 and 2 will be served by a temporary sewer line to be built adjacent to the SDG&E easement. The final revision of the sewer study will depict a permanent sewer line in the road along the southern boundary of the CPF and S-1 sites to serve R-25, CPF and the MU. This line will initially connect to the temporary line adjacent to the SDG&E easement. When phase 3 is built, the line will be connected to the permanent sewer in the residential promenade street at the intersection between S-1 and P-1.

¹⁹ Based on 0.75 EDU per Multi-family unit

II.5.4.8.6.3 Temporary Diversion into the Poggi Canyon Interceptor

If, for any reason, development within Village 11 will be completed prior to the construction of the Salt Creek Interceptor, the project may be served, if approved by the city, by temporarily diverting sewage to the Poggi Canyon Interceptor. Wilson Engineering evaluated the required Village 11 improvements and downstream effects of temporarily diverting sewage from the entire first phase of the project. Exhibit 17 shows the location of existing and proposed facilities under this diversion alternative. The developer shall be responsible for all costs associated with the construction, operation and maintenance of sewer diversion facilities.

Temporary Diversion Facilities: To serve the entire phase 1 portion of Village 11, two temporary onsite sewer lift stations and force main piping to convey flow to the intersection of Olympic Parkway and Eastlake Parkway would be required. These lift stations would be required to comply with City of Chula Vista Policy Number 570-03. From this location, the preliminary grading plans for Olympic Parkway (prepared by Kimley-Horn and Associates) indicate that a gravity sewer line could be constructed to convey sewage westerly to the Poggi Canyon Interceptor. If a gravity sewer line is extended east of future State Route 125, this section of sewer line would be constructed along with the Olympic Parkway improvements and funded entirely by the developer(s) that utilize the line.

Temporary Diversion Feasibility: Wilson Engineering prepared the Poggi Canyon Basin Gravity Sewer Basin Plan for the City of Chula Vista in July 1997. This study identifies future developments within the Poggi Canyon gravity sewer basin. Table I.2 summarizes the equivalent dwelling units (EDUs) that were projected from each of the future developments within the Poggi Canyon natural drainage basin. Further, Table I.2, indicates that 391.4 EDUs from the Village 11 project are in the basin.

The City of Chula Vista Engineering Staff prepared an analysis that evaluated the capacity for future development within the Poggi Canyon Basin, as well as the temporary diversion of flows from outside the basin. The results of the analysis are summarized in a February 19, 2001 memo. The memo indicates there are currently 4,276 EDUs of remaining capacity in the Poggi Canyon system. Of this remaining capacity, there are currently 3,329 entitled or approved EDUs within the Poggi Basin, leaving 947 EDUs capacity for future projects that do not already have entitlements.

Condition	Total Capacity, EDUs	Existing EDUs	Entitled Developmet EDUs	EastLake ²⁰ Greens Existing EDUs	EastLake Land Swap ²¹	Remaining Capacity EDUs
Existing	6,176	1,900	3,329	--	--	947
Reach 9B Complete	11,104	1,900	3,329	1,165	--	4,710
I-805 Upgrade Complete	13,505	1,900	3,329	1,165	--	7,111
I a Media-East Palomar Oversizing Complete ²²	13,505	1,900	3,329	1,165	--	7,111

Source: Overview of Sewer Service for Village 11 of the Otay Ranch, Dexter Wilson Engineering, March, 2001.

²⁰ Existing flows within Eastlake that are being pumped to the Telegraph Canyon Interceptor.

²¹ Undeveloped

²² Oversizing would allow approximately 3,650 EDUs from outside the Poggi Basin to be accommodated

The City has a number of planned capacity improvements that will increase the available capacity in the Poggi Canyon System. These improvements include Reach 9B of the Salt Creek Interceptor, upgrading the existing sewer line where it crosses Interstate 805, and oversizing a portion of the Poggi Canyon Trunk Sewer from 15-inches to 18-inches from La Media Road to East Palomar Street. Table I.5 summarizes the capacity thresholds associated with these planned upgrades

Through the city's planned upgrades to the system, the Poggi Canyon Trunk Sewer can accommodate all gravity flows within the basin as well as approximately 3,650 EDUs from outside the basin. This does not provide adequate capacity to accommodate buildout development of Village 11. However, it is anticipated that the Salt Creek Interceptor will be operational well in advance of the buildout of the project.

II.5.4.8.7 Financing Sewerage Facilities

To fund the necessary improvements to the Salt Creek Interceptor and Poggi Canyon Interceptor, development impact fees have been established by the City of Chula Vista.

Salt Creek Basin Impact Fees

The November 1994 Salt Creek Basin Study was prepared by Wilson Engineering to establish a fee to fund future improvements to the Salt Creek Interceptor System. This fee is required to be paid by all future developments within the Salt Creek Drainage Basin to fund improvements required to serve ultimate development within the drainage basin. City of Chula Vista Ordinance Number 2617 established the fee to be paid for future development within the Salt Creek Basin that connect into the existing system. Table I.6 summarizes the fees to be paid by each land use type.

Land Use	Fee
Single Family Residential (Detached)	\$284/unit
Multi-Family Residential (Attached) ²³	\$213/unit
Commercial	\$2,840/acre
Community Purpose	\$2,840/acre
Schools	\$1,136/acre
Park	\$568/acre

Table I.7 provides a breakdown of the projected Salt Creek fees to be generated by Village 11 is \$656,550. These fees will be collected at the time building permits are issued.

²³ Multi-Family Residential includes attached housing products such as Townhouses, Flats and Apartments.

Table I.7 Projected Village I1 Salt Creek Impact Fees						
Phase	Land Use	Acres	DU's	Fee	Projected Fee	
1	Single Family Detached	64.7	335	\$284/unit	\$95,140	
	Multi-Family Attached	27.4	197	\$213/unit	\$41,961	
	Neighborhood Park (P-1)	8.9		\$568/acre	\$5,055	
	Private Recreation Facility (P-2)	3.8		\$568/acre	\$2,158	
	Subtotal	95.9	532		\$144,314	
2	Single Family Detached	71.1	328	\$284/unit	\$93,152	
	Multi-Family Attached	29.1	386	\$213/unit	\$82,218	
	Private Recreation Facility (P-3)	3.0		\$568/acre	\$1,704	
	Town Square (P-4)	1.0		\$568/acre	\$568	
	Elementary School	11.0		\$1,136/acre	\$12,496	
	Mixed Use/Commercial	10.0		\$2840/acre	\$28,400	
	Mixed Use/Residential	10.0	315	\$213/unit	\$67,095	
	Community Purpose	5.5	-	\$2840/acre	\$15,620	
		Subtotal	149.6	1,029		\$301,253
	3	Single-Family Detached	78.5	333	\$284/unit	\$94,572
Multi-Family Attached		24.1	410	\$213/unit	\$87,330	
Junior High School		25.6		\$1,136/acre	\$29,081	
Subtotal		128.2	743		\$210,983	
	Streets & Open Space	115.4				
Total		489.1*	2,304		\$656,550	

Alternative Poggi Canyon Basin Impact Fees

Interim pumping of flows into Poggi Canyon will only be needed if the Salt Creek Interceptor is not operational in time to serve Village 11. This alternative, if proposed by the developer, must be consistent with City Council policy. If the Village 11 project does divert sewage to Poggi Canyon, the project shall participate in the funding of improvements within the basin. The current impact fee based on the July 1997 Poggi Canyon Basin Study and City of Chula Vista Ordinance 2716 is \$400 per EDU (see Table I.8). If the Salt Creek Interceptor project is delayed such that it will not be in place prior to Phase 2 development on the Village 11 project, this PFFP will be amended to outline the facilities required, available capacity associated with diverting additional flows to the Poggi Canyon Basin, financing mechanism and calculate the required fees.

There is currently no financing mechanism for improvements to the system to permit pumped flows from Village 11 into Poggi Canyon. The pumping of flows into Poggi Canyon would require construction of additional improvements. A DIF financing mechanism or developer funded revenue source would be necessary to construct improvements. If a DIF was implemented, this fee would likely be levied on users who propose to temporarily divert out-of-basin flows into Poggi Canyon. Revenues generated would likely be earmarked for construction of improvements, which increase capacity to accommodate the pumped flows. A financing mechanism will require a study which is currently beyond the scope of the PFFP.

The Poggi Canyon Interceptor currently connects into the Date-Faivre Line at the intersection of Palm Avenue and Valley Avenue. Ultimately, however, it is expected that the Poggi Canyon Interceptor will tie into Reach 9 of the future Salt Creek Interceptor. This future interceptor will collect flows from the Salt Creek Basin and then follow the Otay River Valley to the Metropolitan Sewer Interceptor.

The Poggi Canyon fee will fund the extension of the Poggi Canyon Interceptor to the eastern boundary of Otay Ranch Village 5. An additional 1,500 feet of gravity sewer line will be required to convey sewage from Village 11 to this location. Exhibits 13 and 14 provide the location of these proposed facilities. However, at this time, the Village 11 project is not expected to connect to the Poggi Canyon Interceptor.

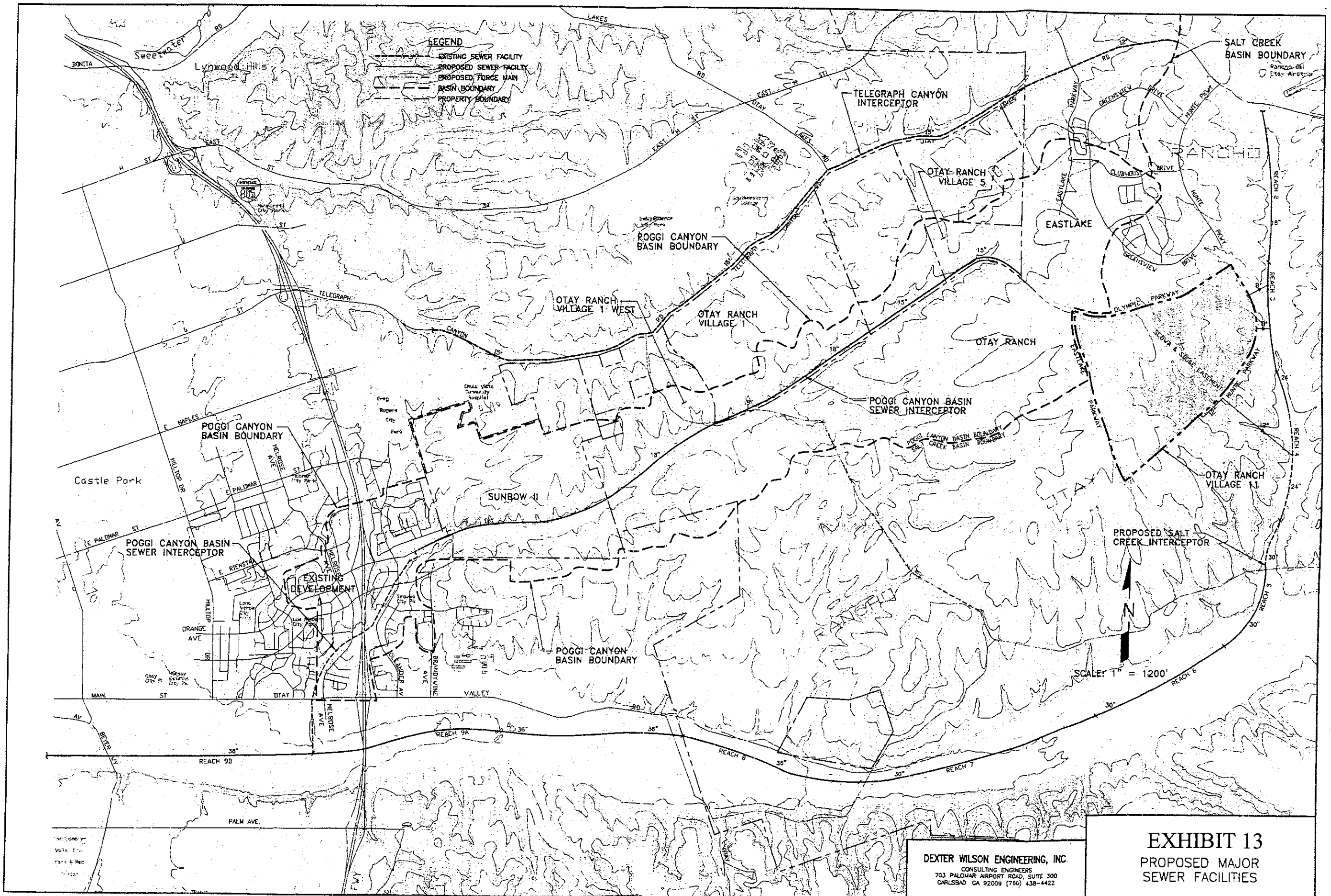
Land Use	Fee
Single Family Residential	\$400/unit
Multi-Family Residential	\$300/unit
Commercial	\$3,572/acre
Community Purpose	\$3,572/acre
Elementary School	\$12,856/site
Junior High School	\$40,000/site
High School	\$68,572/site
Park	\$716/site

II.5.4.8.8 Threshold Compliance and Recommendations

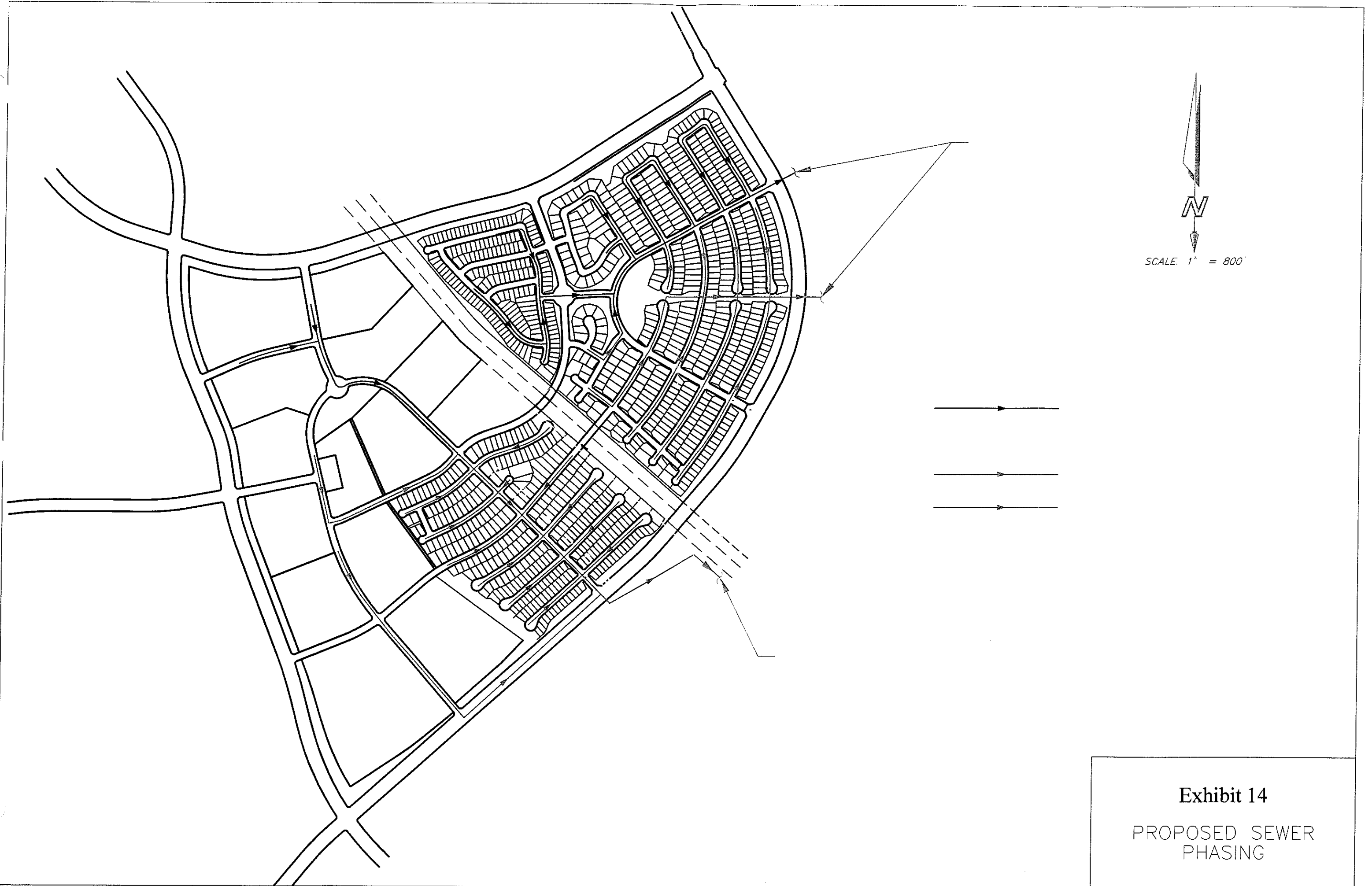
The applicant for the Village 11 project shall:

1. Underwrite the cost of all studies and reports required to support the addition of sewer flows to existing lines, including the study required by Council Policy 570-03.
2. Assume the capital cost of all sewer lines, pump stations, and connections identified herein.
3. Pay all current sewer fees required of the City of Chula Vista.
4. Enter into an agreement with the City of Chula Vista for the cost of maintenance and operation of the pump stations if the applicant proceeds with the construction of the pump stations.
5. Comply with all other conditions stated in Council Policy 570-03.
6. Comply with Section 3-303 of the City of Chula Vista Subdivision Manual.
7. Construct off-site connections to the Salt Creek Main Interceptor.
8. Construct entire temporary pump station with overflow basin within land owned by the developer (outside the public right of ways, parks, etc.).
9. Bond for the demolition of all temporary sewer facilities.

Facilities to accommodate sewer flows have been identified in the Wilson reports. The construction of new sewer lines must be phased in or before the construction of streets.



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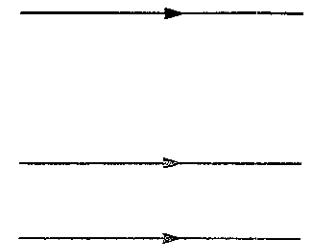
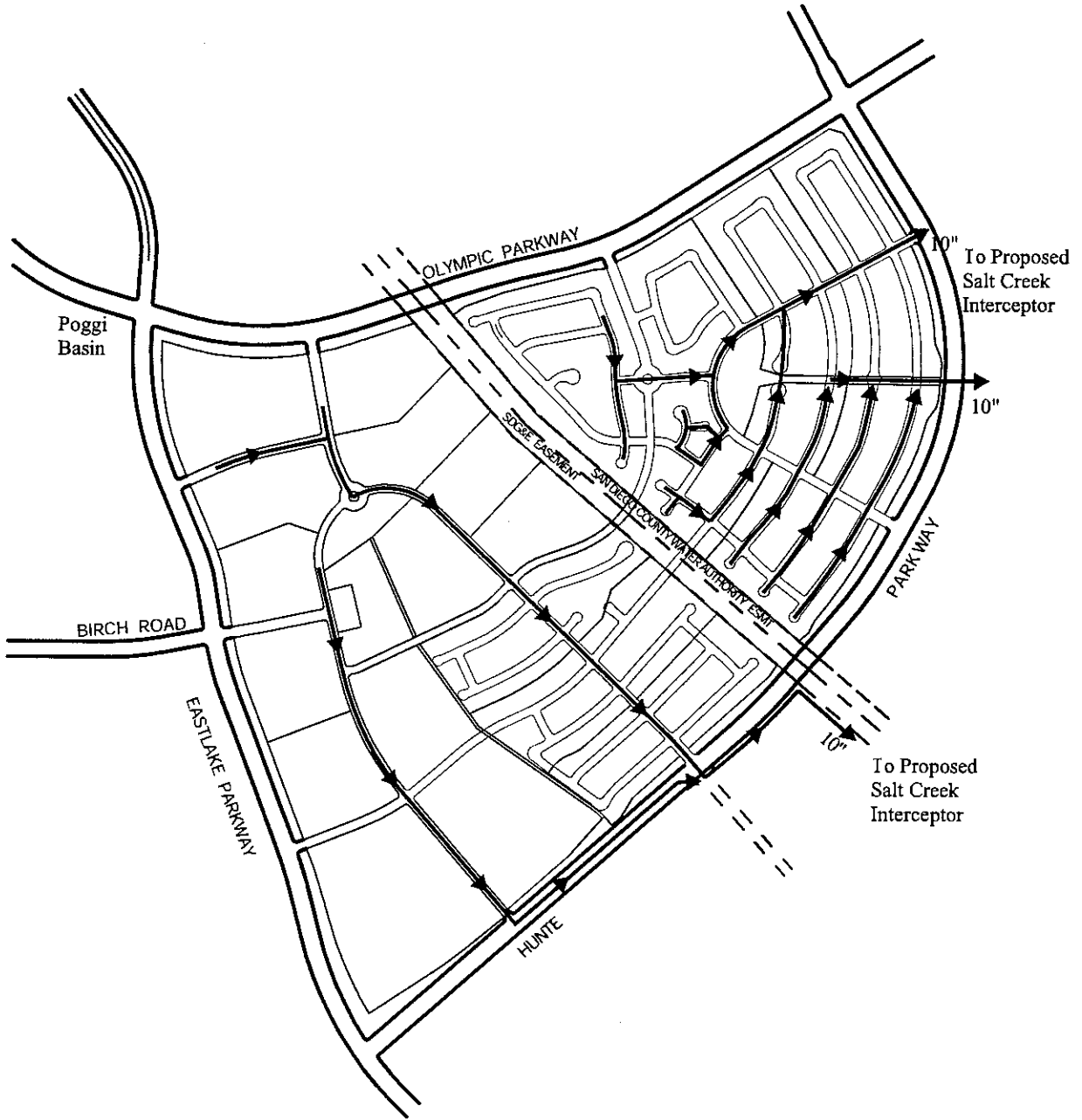


Exhibit 14
PROPOSED SEWER
PHASING

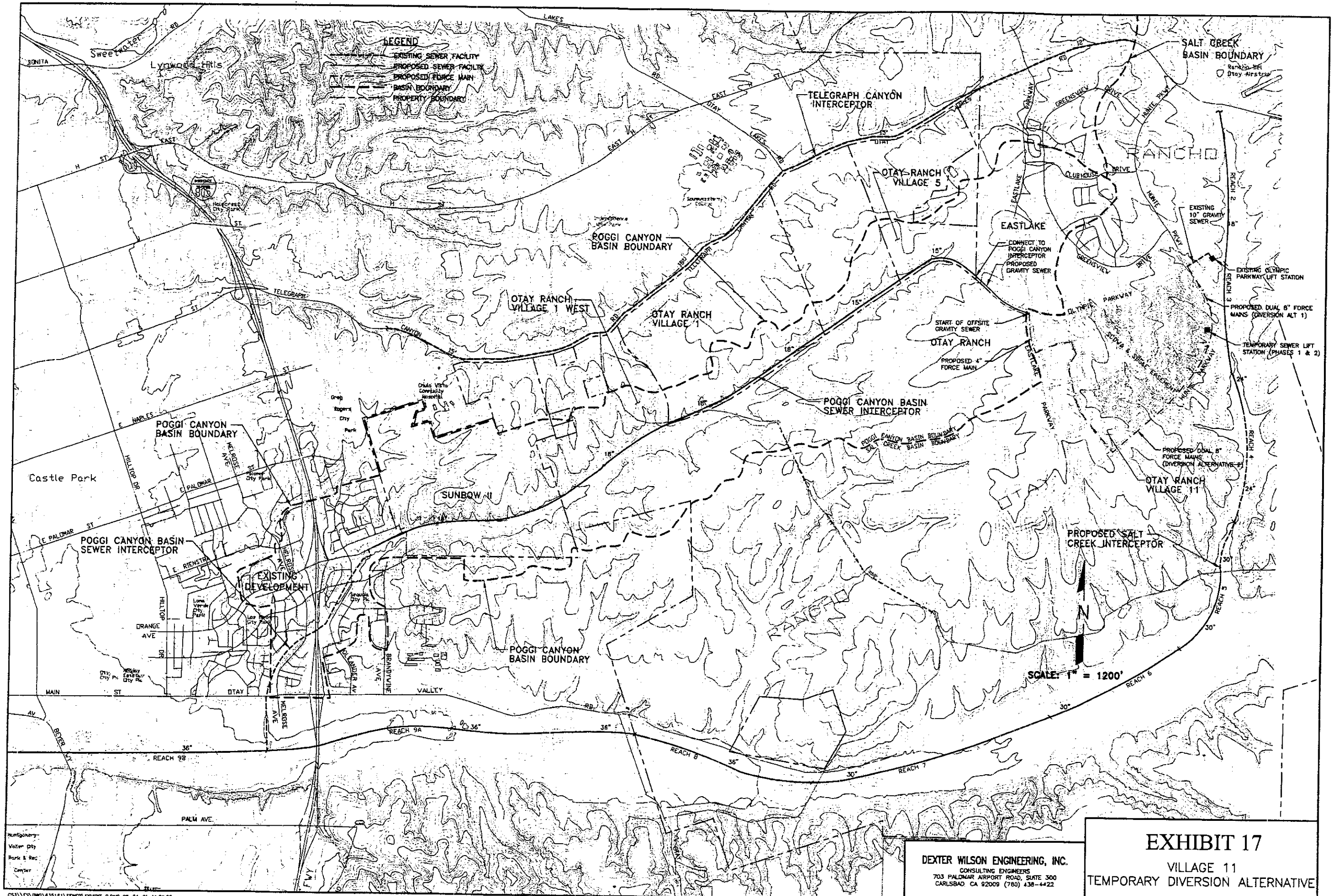


Exhibit 15
PROPOSED PHASING



NOT TO SCALE

**Exhibit 16
Proposed Onsite Sewer**



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DEXTER WILSON ENGINEERING, INC.
 CONSULTING ENGINEERS
 703 PALOMAR AIRPORT ROAD, SUITE 300
 CARLSBAD, CA 92009 (760) 436-4422

EXHIBIT 17
 VILLAGE 11
 TEMPORARY DIVERSION ALTERNATIVE

II.5.4.9 DRAINAGE

II.5.4.9.1 Threshold Standard

1. Storm water flows and volumes shall not exceed City Engineering Standards.
2. The GMOC annually reviews the performance of the City's storm drain system to determine its ability to meet the City's goals and objectives.

II.5.4.9.2 Service Analysis

The City of Chula Vista Public Works Department is responsible for ensuring that safe and efficient storm water drainage systems are provided concurrent with development in order to protect the residents and property within the city. City staff is required to review individual projects to ensure that improvements are provided which are consistent with the drainage master plan(s) and that the project complies with all City engineering drainage standards.

The City of Chula Vista Public Facilities Plan Flood Control Summary Report, dated March 1989 (Phase II) provides details for the city planned drainage facilities.

Otay Ranch Village 11 drainage improvements are identified in the *Master Drainage Study for Otay Ranch Village 11* prepared by Hunsaker & Associates January 25, 2001 and the *Addendum to Master Drainage Study for Otay Ranch Village 11* prepared by Hunsaker & Associates February 27, 2001.

II.5.4.9.3 Project Processing Requirements

SPA Plan/Public Facilities Finance Plans

1. Identify phased demands.
2. Identify locations of facilities for onsite and offsite improvements.
3. Provide cost estimates.
4. Identify financing methods.

II.5.4.9.4 Existing Conditions

The *City of Chula Vista Public Facilities Plan, Flood Control Summary Report*, March, 1989, shows fifteen major drainage basins in Chula Vista. These drainage basin boundaries were determined by existing topography, drainage conditions and land uses. Four of these are essentially developed and not expected to have significant changes in runoff. 11 drainage basins are east of I-805 with one of the basins, Long Canyon, is mostly developed to the predicted densities in Scenario 4 of the general plan. Only the remaining ten basins will experience major development and the subsequent changes in drainage conditions.

The City's Drainage Master Plan analyzed current and future requirements for drainage facilities. The report details three alternative solutions for drainage in each basin. Because drainage facilities are directly related to the type and location of future development, it is not

possible to determine which specific improvements will be required until the development project is presented and reviewed by staff.

Village 11 is located within the Otay Hydrographic Unit, one of 11 hydrographic units in the San Diego Drainage Basin (Regional Water Quality Control Board, 1975). The majority of the Village 11 project area drains directly into Salt Creek, within two watersheds. The Existing Conditions Map (Exhibit 19) illustrates the two major watersheds flowing from Village 11 to Salt Creek, Watershed D and Watershed E. Salt Creek flows in a southerly direction near Village 11's eastern boundary en route to its confluence with the Otay River. A small portion of the Village 11 site (36 acres in the northwest corner) currently drains to Poggi Canyon while 29 acres in the southwest corner currently drains directly to the Otay River. Salt Creek enters the Village 11 site at the existing Olympic Parkway culvert. Upstream, Salt Creek flows through the Rolling Hills Ranch and the EastLake development before entering Village 11.

At the downstream outlet of Salt Creek from Village 11, the confluence of Salt Creek and Watershed E (see Existing Conditions Map on Exhibit 19) the total contributing watershed has a drainage area of 2,906 acres in existing conditions. The "Addendum to Detention Study of Salt Creek at Orange Avenue," prepared by Rick Engineering in April 1998, quantifies 100-year flow rates through the EastLake Property. At the downstream end of the study, two detention basins were modeled in series (just upstream of Olympic Parkway). The proposed detention basin of Otay Lakes Road was not modeled as part of the Rick Engineering study.

Downstream of Olympic Parkway, Salt Creek flows through the Village 11 site. Runoff from the Olympic Training Center, EastLake Vistas and McMillin Property also drain to Salt Creek in this area of the watershed.

Two flows enter the Otay Ranch Village 11 site near the SDG&E easement that bisects the site. Pipes conveying flows from the EastLake Greens area are considered permanent. No increases in flows are assumed in this analysis. The two offsite flows are:

- 50-year offsite flow of 43 cfs in an existing 30-inch RCP from EastLake South Greens Unit 10 (data taken from hydrology report prepared by SB&O in March of 1998). This runoff total assumes full development upstream.
- 50-year offsite flow of 40 cfs in a proposed 36-inch RCP under Olympic Parkway (data taken from City of Chula Vista Drawing No. 97-23).

Table J summarizes the Hunsaker study's HEC-1 results of the existing condition analysis for Salt Creek. In this analysis, Hunsaker used the existing conditions that correspond to full development of the Salt Creek watershed upstream of Village 11 and no development in Village 11. Full development is also assumed for the EastLake Vistas, Olympic Training Center and McMillin Property downstream of Olympic Parkway (including diverted areas from lower Otay Reservoir). A computational time step of 1 minute was used for this analysis. Results are listed for Antecedent Moisture Conditions (AMC) 2 and 2.5.

In the existing conditions, the Village 11 site consists of grazed land²⁴. Existing conditions consider the existing EastLake Greens development draining through Watershed E.

²⁴ The corresponding runoff curve number was determined to be 84 for AMC = 2 and 88.5 for AMC = 2.5.

TABLE J			
Summary of Existing 100-Year Flows in Salt Creek			
	Drainage Area (acres)	AMC=2 100-Year Peak Flow (cfs)	AMC = 2.5 100-Year Peak Flow (cfs)
Olympic Parkway	1,760	1,597	1,597
Confluence of Salt Creek and Watershed D	2,170	1,756	1,800
Confluence of Salt Creek and Watershed E	2,905	2,370	2,623

Source: Master Drainage Study for Otay Ranch Village 11, Hunsaker & Associates, February 27, 2001.

For the Salt Creek drainage study, peak flow rates for existing and developed conditions were generated using the HEC-1 computer program. Peak flow rates and volumes were calculated based on a 6-hour, Type B rainfall distribution and the 100-year return interval. Since runoff from the Village 11 area discharges directly to Salt Creek, only the 100-year design storm was considered in this analysis. It is assumed that all downstream facilities on Salt Creek and the Otay River are sized for the 100-year design storm.

To facilitate the HEC-1 analysis, the Salt Creek watershed was divided into five main watersheds (see Exhibit 17). In developed conditions, these basins were further subdivided to distinguish areas of development from natural slope areas.

- **Watershed A** – *Runoff from Rolling Hills Ranch Development*
- **Watershed B** - *Runoff from EastLake Woods area between Rolling Hills Ranch and Otay Lakes Road*
- **Watershed C** – *Runoff from EastLake Trails, Greens and Vistas between Otay Lakes Road and Olympic Parkway*
- **Watershed D** - *Runoff from Otay Ranch Village 11 east of SDG&E Easement, Olympic Training Center and EastLake Vistas.*
- **Watershed E** - *Runoff from Otay Ranch Village 11 west of SDG&E Easement, Olympic Training Center, McMillin Property and EastLake Greens*

II.5.4.9.5 Proposed Facilities

Development of the Otay Ranch Village 11 site will include the construction of single-family residential homes, multi-family units, commercial sites, and major traffic arterials. As a boundary condition, the 100-year developed peak flow rate at the confluence of Salt Creek and Tributary E cannot exceed the existing condition 100-year flow at the same location.

Table J 1 summarizes the effects of the increased impervious surfaces associated with the Otay Ranch Village 11 development assuming no detention basin. This includes the inclusion of a channel routing reach between the Sub-basin E1 outlet and Salt Creek.

TABLE J.1			
Summary of Developed 100-Year Flows in Salt Creek (With No Detention)			
	Drainage Area (acres)	AMC=2 100-Year Peak Flow (cfs)	AMC = 2.5 100-Year Peak Flow (cfs)
Olympic Parkway	1,760	1,597	1,597
Confluence of Salt Creek and Watershed D	2,163	1,730	1,755
Confluence of Salt Creek and Watershed E	2,946	2,317	2,580

Source: Master Drainage Study for Otay Ranch Village 11, Hunsaker & Associates, January 25, 2001.

As shown in Table J.1, unmitigated development of the site would reduce the 100-year peak runoff rate at the downstream end of the analysis by 53 cfs for Antecedent Moisture Condition 2 and by 43 cfs for Antecedent Moisture Condition 2.5. Thus, no detention basins are necessary. In this situation, it is an advantage to allow the peak onsite flow to drain to Salt Creek quickly. Construction of detention basins would delay the peak flow through Otay Ranch Village 11 site, thus making the routed peak coincide with the peak hydrograph flow from the upstream Salt Creek hydrograph. Therefore, no detention basins are required.

Surface Water Quality

The increase in developable area would result in an increase in the amount of runoff during storms due to the overall increase in impervious surface areas. Based on the amount of additional development area, the surface runoff in a 100-year storm event would increase by approximately 28 percent. The 100-year discharge quantities for the existing and proposed conditions for discharge at the village boundaries are depicted in the table below.

Table J.2	
Village 11 100-year Discharge Quantities	
Existing Condition	Proposed SPA
970 cfs	1,344cfs

A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared that will address water quality impacts associated with construction and operation of the project. To mitigate impacts from "first flush" runoff and flow, all Best Management Practices (BMPs) identified in the SWPPP shall be implemented.

The SWPPP shall be consistent with the requirements of the Clean Water Act and the BMPs of the RWQCB. BMPs identified in the SWPPP shall include, but are not limited to the following:

- a) Existing vegetation shall be retained where possible. To the extent feasible, grading activities will be limited to the immediate area required for construction.
- b) Temporary erosion control measures will be employed for disturbed areas.
- c) No disturbed surfaces shall be left without erosion control measures in place during the winter and spring months.
- d) Sediment will be retained on-site by a system of sediment basins, traps, or other appropriate measures.
- e) Storm drains will be equipped with silt and oil traps to remove oils, debris and other pollutants. Storm drain inlets shall be labeled "No Dumping-Drains to Ocean."

- f) The parking lots shall be designed to allow storm water runoff to be directed to vegetative filter strips and/or oil-water separators to control sediment, oil, and other contaminants.
- g) Permanent energy dissipaters will be included for drainage outlets.
- h) The project site drainage basins will be designed to provide effective water quality control measures. Design and operational features of the drainage basins will include design features to provide maximum detention time for settling of fine particles; maximize the distance between basin inlets and outlets to reduce velocities; and establish maintenance schedules for periodic removal of sedimentation, excessive vegetation and debris.

Permanent and temporary drainage improvements

Permanent drainage improvements shall be built as the adjacent roads are constructed. During the construction of Phase 1 of the eastern portion of Village 11, a temporary desiltation basin will be constructed on Phase 2 property. During the construction of Phase 2 and concurrent with construction of Hunte Parkway, the drainage facility will be constructed offsite as shown in Exhibit 19 & 20. During construction of Phase 1 of the western portion of Village 11, a temporary desiltation basin will be constructed on Phase 3 property. The final two basins will be constructed as the western portion of Hunte Parkway is extended. The project will include the construction of runoff conveyance and erosion protection facilities between the two basins. Developer will provide access to all drainage facilities, acceptable to the City Engineer, off-site and on-site.

Phasing of Drainage Facilities:

The drainage facilities to serve Village 11 are integrally related to the construction of other improvements, particularly Hunte Parkway. Consequently, construction of the drainage facilities is expected to coincide with the phased site grading and construction of Hunte Parkway. The permanent drainage facility/energy dissipater to serve the eastern portion of Village 11 will be built with Phase 2, while the two-drainage/energy dissipating facilities serving the western portion of Village 11 will be built with Phase 3.

Interim private desiltation basins will be constructed within the Village 11 boundaries with each grading phase. These facilities are temporary and will be replaced with each subsequent grading phase. Construction of these interim facilities occurs prior to construction of the permanent facility. The interim desiltation basins will be designed to prevent discharge of sediment from the project grading operations into the natural drainage channel and will incorporate water quality control features to comply with Regional Water Quality Control Board 401 Certification requirements.

An interim desiltation basin for Phase 1 East is expected to be located in Phase 2 East. An interim desiltation basin in Phase 3 West will serve phase 1 West and Phase 2 West. The exact size, location and component elements of these interim basins will be identified during preparation of and be shown on the grading plans, subject to the approval of the City of Chula Vista and other permitting agencies.”

II.5.4.9.6 Financing Drainage Facilities

City policy requires that all master planned developments provide for the conveyance of storm waters throughout the project to City engineering standards. As such, Village 11 will be required to construct those on and off-site facilities identified in Section 11.5.4.9.5 and Exhibit 20 and Exhibit 21 through the subdivision exaction process.

In newly developing areas east of I-805, it is the City's policy that development projects assume the burden of funding all maintenance activities associated with drainage channels and detention basins. As such, the applicant shall enter into an agreement with the City of Chula Vista whereby the applicant will assure maintenance of the channels and detention basins through one of the following funding methods:

1. A homeowner's association (HOA) that would raise funds through fees paid by each property owner; or
2. A Community Facilities District (CFD) established over the entire project to raise funds through the creation of a special tax for drainage maintenance purposes.

II.5.4.9.7 Threshold Compliance and Recommendations

The Otay Ranch Village 11 project shall be responsible for the conveyance of storm water flows in accordance with City Engineering Standards. Any proposed drainage facilities that are not in accordance with City Engineering Standards shall be subject to the approval of the City Engineer at his/her discretion. The City requires the pre-development storm water flows to equal post-development flows. The City Engineering Division will review all plans to ensure compliance with such standards.

1. The applicant shall enter into an agreement with the City of Chula Vista whereby maintenance of the storm drainage facilities will be assured by the applicant through one of the following funding methods:
 - a. A homeowner's association (HOA) that would raise funds through fees paid by each property owner; or
 - b. A Community Facilities District (CFD) established over the entire project to raise funds through the creation of a special tax for drainage maintenance purposes.
2. Prior to approval of the first final map for the Project, the Applicant shall establish and fund a monitoring program for the purpose of monitoring all off-site drainage and erosion protection from Village 11 subject to the approval of the Regional Water Quality Control Board and the City Engineer. If off-site drainage and erosion protection is required as determined by the Regional Water Quality Control Board or the City Engineer, the Applicant shall at its own cost, process and obtain any Resource or like Agencies permits and install drainage and erosion protection facilities to the satisfaction of the City Engineer. The Applicant shall provide drainage improvements in accordance with the Master Drainage Plan for Otay Ranch Village 11 SPA, dated January 25, 2001, or as otherwise approved by the Director of Public Works. The Applicant shall maintain all such drainage improvements until they are formally accepted by the HOA, or other mechanism as approved by the City. Said maintenance shall ensure that drainage facilities will continue to operate as designed.

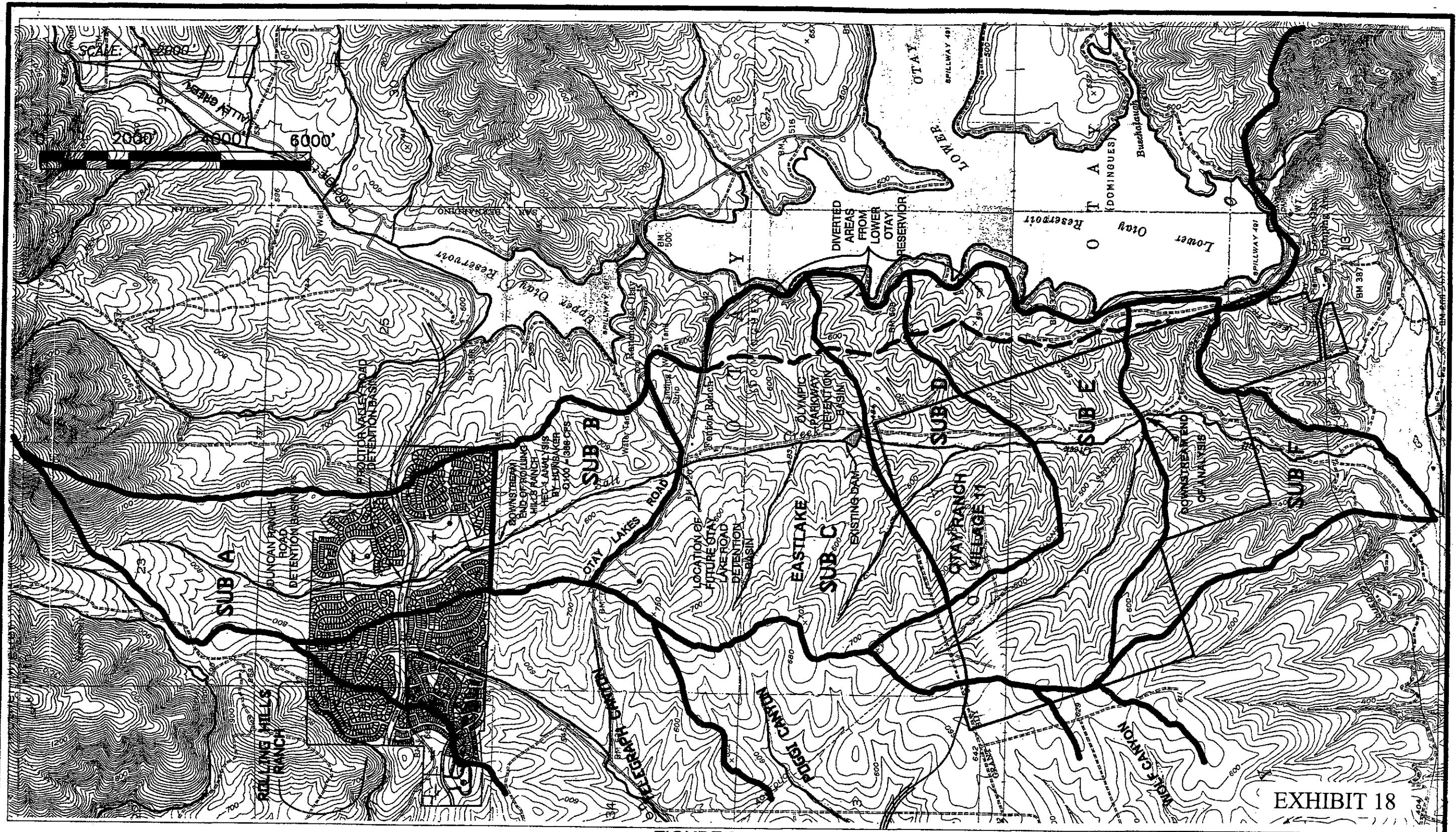



FIGURE 2

<p>PREPARED BY:  HUDSAKER & ASSOCIATES SAN DIEGO, CALIF.</p> <p><small>DATE: 08/11/03 PROJECT: Otay Ranch Village 11 SHEET: 1 OF 1</small></p>	<p>DRAINAGE MAP FOR SALT CREEK</p> <p>OTAY RANCH VILLAGE 11</p> <p>City Of Chula Vista, California</p>	<p>SHEET 1 OF 1</p>
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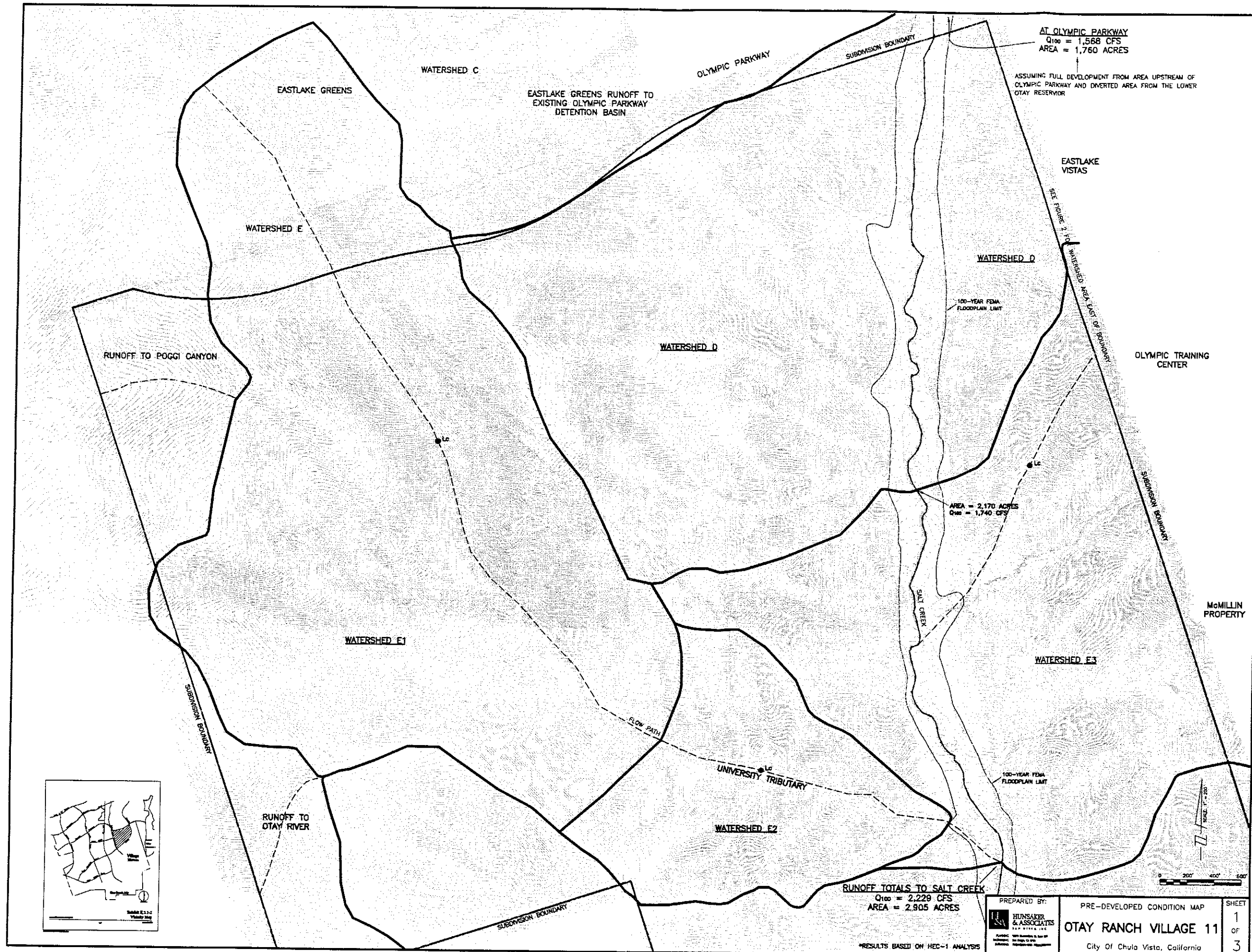
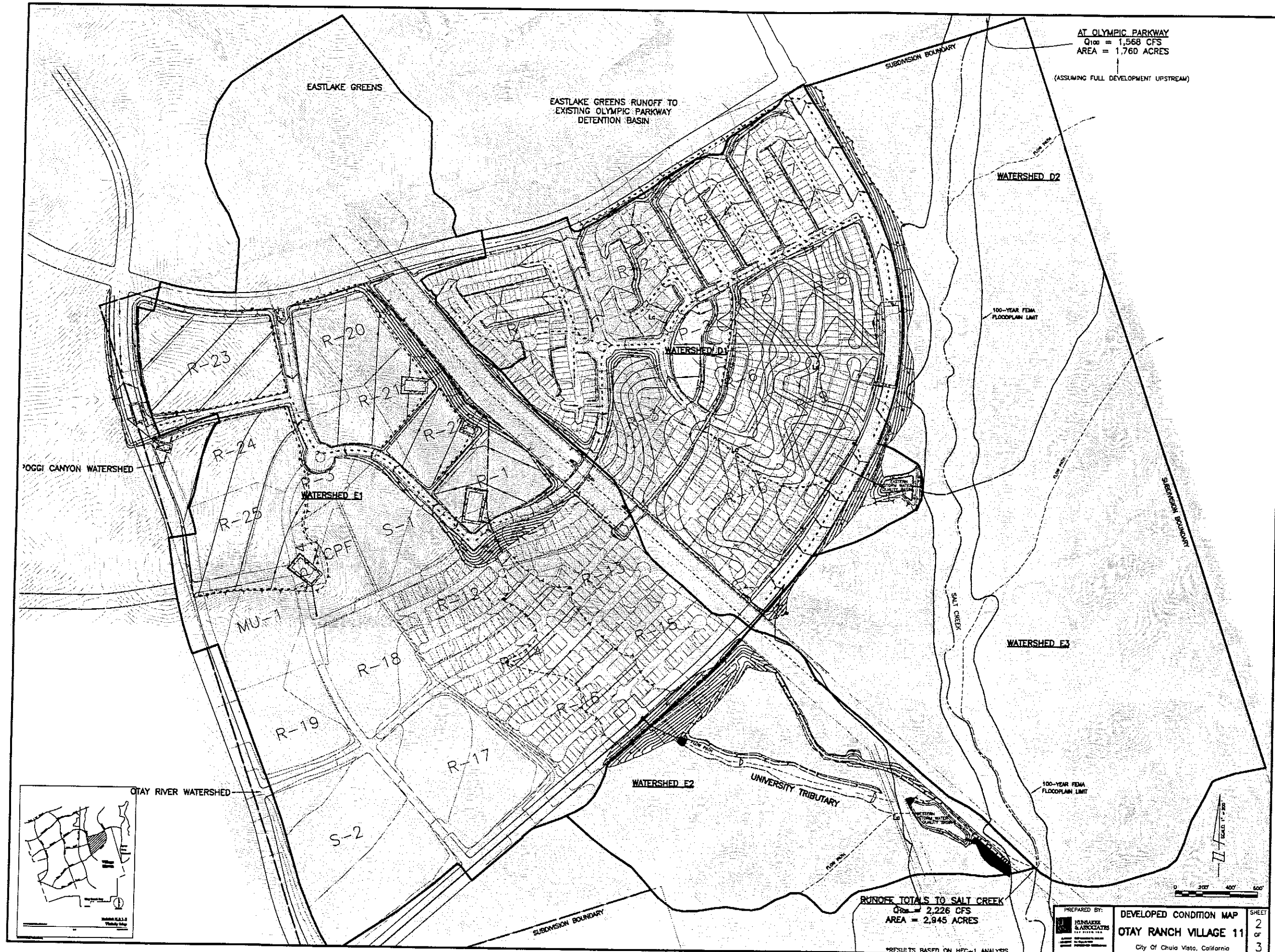


Exhibit 19

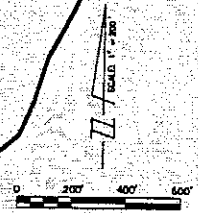
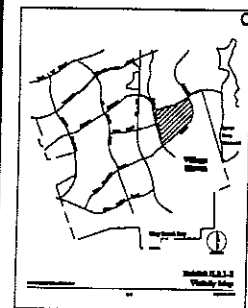


AT OLYMPIC PARKWAY
 $Q_{100} = 1,568$ CFS
 AREA = 1,760 ACRES
 (ASSUMING FULL DEVELOPMENT UPSTREAM)

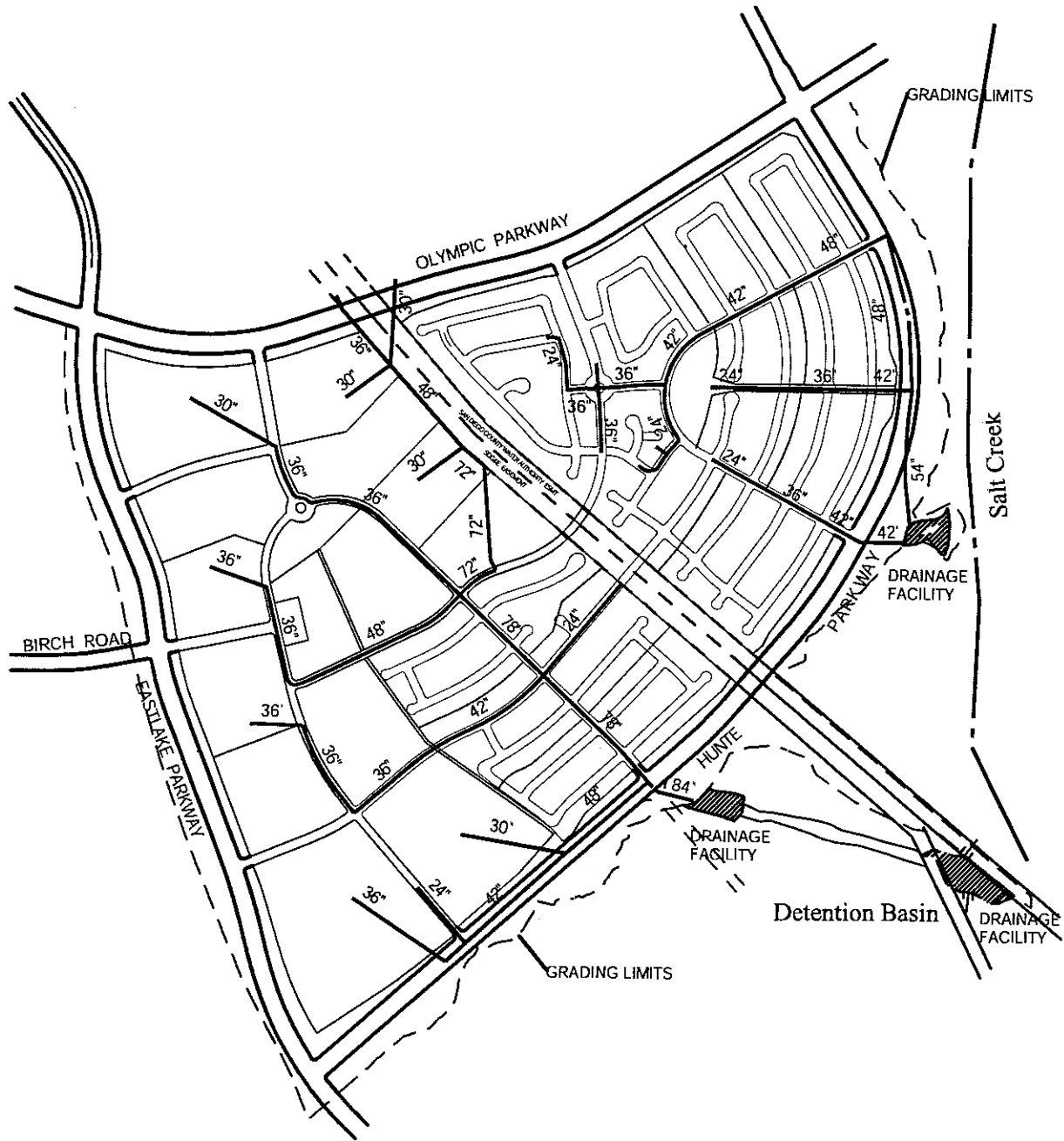
RUNOFF TOTALS TO SALT CREEK
 $Q_{100} = 2,226$ CFS
 AREA = 2,945 ACRES

PREPARED BY:
HINSHAKER & ASSOCIATES
 111 SOUTH BROADWAY
 SAN ANTONIO, TEXAS 78202
DEVELOPED CONDITION MAP
OTAY RANCH VILLAGE 11
 City Of Chula Vista, California

SHEET
 2
 OF
 3



RESULTS BASED ON HEC-1 ANALYSIS



NOT TO SCALE

**Exhibit 21
Drainage Plan**

II.5.4.10 AIR QUALITY

II.5.4.10.1 Threshold Standard

The City annually provides the San Diego Air Pollution Control District (APCD) with a 12-18 month development forecast and requests an evaluation of its impact on current and future air quality management programs, along with recent air quality data. The growth forecast and APCD response letters shall be provided to the GMOC for inclusion in its annual review.

II.5.4.10.2 Service Analysis

Air Quality Improvement Plan

An Air Quality Improvement Plan (AQIP) is required for all major development projects (50 dwelling units or greater, or commercial and industrial projects with 50 EDUs of water demand or greater). This plan is required at the Sectional Planning Area (SPA) Plan level, or equivalent for projects, which are not processed through a Planned Community Zone.

On November 14, 2000, the City Council adopted the Carbon Dioxide (CO₂) Reduction Plan, which included implementing measures regarding transportation and energy efficient land use planning and building construction measures for new development. In this Plan, it was recognized that the City's efforts to reduce carbon dioxide emissions from new development are directly related to energy conservation and air quality efforts. As a result, the City is initiating a pilot study effort to develop a program to be implemented in new SPA Plans through updating the guidelines for preparation of required AQIPs. In summary, the pilot study involves the development of a computer model to evaluate the relative effectiveness of applying various site design and energy conservation features in new development projects. The pilot study will analyze the Otay Ranch Village 11 SPA project (and two other pending SPA projects), and result in the preparation of an AQIP for Otay Ranch Village 11 that will be considered in conjunction with actions on the project's Tentative Subdivision Map.

The Air Pollution Control District is responsible for the Air Quality Maintenance Program in compliance with the California Clean Air Act. There is no local Master Plan for Air Quality. The draft *Air Quality Improvement Plan - Otay Ranch Village 11 SPA* dated November 30, 2000, was prepared by Hans Giroux. The following goals are identified in the plan:

1. To minimize air quality impacts during and after construction of projects within the plan area.
2. To comply with the air quality standards and policies of the City of Chula Vista and San Diego County APCD.
3. To create a framework for the design and implementation of air quality mitigation measures in this development project.
4. To be economically efficient and cost effective.

A final AQIP will be presented in conjunction with the projects Tentative Map and incorporating the results of the pilot study.

II.5.4.10.3 Threshold Compliance and Recommendations

The City continues to provide a development forecast to the APCD in conformance with the threshold standard. A separate Air Quality Improvement Plan will be provided as part of the SPA and Tentative Map process as noted in Section II 5.4.10.2

II.5.4.11. CIVIC CENTER:

II.5.4.11.1 CITY THRESHOLD STANDARDS:

There is no adopted threshold standards for these facilities. The facility information is being provided in this report to aid in establishing operational benchmarks which will determine construction phasing of the Civic Center. These facilities are funded through the collection of the DIF fees in effect at the time building permits are issued.

II.5.4.11.2 SERVICE ANALYSIS:

Although the existing Civic Center successfully accommodated city administration offices prior to the mid-1980's population growth, increase in City staff to meet new demands of growth has caused increasing congestion problems. Most staff in the Public Services Building experience space shortages, lack of privacy and storage, and frequent noise distractions. This was reported in a survey, which is included in the Civic Center Master Plan dated May 8, 1989. Site Alternative Three "The Suburban Scheme" was selected from the master plan at a City Council conference on June 22, 1989.

II.5.4.11.3 EXISTING CONDITIONS:

Table K Civic Facilities Inventory	
Existing Civic Center facilities	Square Feet
Civic Center	111,940 s.f.
Previous County Health Center	3,120 s.f.
Future Public Works Inspections Division	1,200 s.f.
Total	116,260 s.f.

Parking Lots: 333 spaces

Table K.1 Future Facilities Cost		
FUTURE FACILITIES COST	SIZE	ESTIMATED COST
1. City Hall	25,765 s.f.	\$2,203,300
2. Public Services Facility	40,615 s.f.	\$3,023,500
3. New City Hall Annex	28,925 s.f.	\$3,023,600
4. Legislative Offices	6,000 s.f.	\$1,330,000
5. Subterranean Parking	126 spaces	\$1,008,000
6. Parking Structure	359 spaces	\$2,872,000
7. Demolition	5,920 s.f.	\$83,600
8. Surface Parking	45,425 s.f.	\$227,100
9. Misc. Site Improvements	15,000 s.f.	\$180,000
10. Landscaping	55,000 s.f.	\$698,500
11. Land Acquisition (459 F St.)	-	
12. Master Plan	-	\$65,250
TOTAL		\$15,459,300

Note: Some of the size figures represents a combination of remodeled existing square footage and newly constructed square footage. The completed civic facilities will total 149,120 square feet with 625 parking spaces.

II.5.4.11.4 ADEQUACY ANALYSIS:

The need for the Civic Center cannot be easily related to population figures or acres of commercial and industrial land which will be developed in the future. The facilities, according to the master plan, are currently inadequate because of the lack of space. This inadequacy will worsen as employee numbers and their workloads increase in response to demands for services, which are generated by new development.

The City is moving ahead to implement Phase #1 of the Civic Center Master Plan by acquiring additional land to the west of the existing Civic Center for the proposed parking garage.

II.5.4.11.5 FINANCING CIVIC CENTER FACILITIES:

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2809-B on June 20, 2000. The Public Facilities Development Impact Fee (PFDIF) is \$2,618 per equivalent dwelling unit. The portion of the proposed fee attributable for Civic Center is \$480/EDU.

The Otay Ranch Village 11 SPA project will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

Development Phase	EDUs	Civic Fee @ \$480/EDU
1	532	\$255,360
2	1,096	\$526,080
3	743	\$356,640
Total Otay Ranch Village 11 SPA project	2371	\$1,138,080

II.5.4.11.6 THRESHOLD COMPLIANCE AND RECOMMENDATIONS:

Civic Center facilities will be funded through the collection of the public facilities fees at the rate in effect at the time building permits are issued.

II.5.4.12 CORPORATION YARD

II.5.4.12.1 THRESHOLD STANDARDS:

There is no adopted threshold standard for this facility. The facility information is being provided in this report to aid the City in establishing operational benchmarks which will determine construction phasing of the corporation yard.

II.5.4.12.2 SERVICE ANALYSIS:

The existing corporation yard is currently operating beyond capacity. New development, with its resultant increase in required maintenance services, creates a need for a larger corporation yard. A new 25 acre yard is currently under construction. The yard is located at 1800 Maxwell Road and is expected to be completed this year. The City of Chula Vista Corporate Yard Master Plan provides a detailed assessment of the facility and costs. Table L provides a summary of the costs for the proposed new Corporate Yard Facility.

II.5.4.12.3 EXISTING CONDITIONS:

Table L	
Corporation Yard Facility	
Existing Facilities	Location
Corporation Yard	707 "F" Street
Planned Facility @ 1800 Maxwell (Under Construction)	
Cost Estimate	
1. New Buildings	\$9,352,700
2. Renovated Buildings	\$2,204,600
3. Bus Wash/Fuel Island/CNG + equipment	\$2,128,200
4. Sitework and demolition	\$2,892,000
Subtotal	\$16,577,500
5. Site acquisition	\$8,830,000
6. Construction Contingency (@ 5%)	\$828,900
7. Architect/Engineer Fees (@ 9%)	\$1,492,000
8. Construction Management	\$497,300
9. Soils Reports, Materials Testing and Inspection	\$240,000
10. Permits	\$165,800
11. Furniture	\$829,100
12. Telecommunications/Data System	\$300,000
Subtotal	\$13,183,100
TOTAL	\$29,760,600

II.5.4.12.4 ADEQUACY ANALYSIS:

The need for a Corporate Yard cannot be easily related to population figures or acres of commercial and industrial land which will be developed in the future. The growth in population, increase in street miles and the expansion of developed areas in Chula Vista, requires more equipment for maintenance as well as more space for storage and the administration of increased numbers of employees. The need for a larger Corporation Yard has been specifically related to new development.

5.3.12.4. FINANCING CORPORATE YARD FACILITIES:

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2809-B on June 20, 2000. The Public Facilities Development Impact Fee (PFDIF) is \$2,618 per equivalent dwelling unit. The portion of the proposed fee attributable for Corporation Yard Facilities is \$386/EDU.

The Otay Ranch Village 11 SPA project will be subject to the payment of the fee at the rate in effect at the time of building permits are issued.

Development Phase	EDUs	Corp. Yard Fee @ \$386/EDU
1	532	\$205,352
2	1,096	\$423,056
3	743	\$286,798
Total Otay Ranch Village 11 SPA project	2371	\$915,206

5.3.12.5. THRESHOLD COMPLIANCE:

Corporate Yard facilities will be funded through the collection of the public facilities fees at the rate in effect at the time building permits are issued.

5.3.13. OTHER PUBLIC FACILITIES

5.3.13.1. THRESHOLD STANDARD:

There is no adopted threshold standard for these facilities which are part of the Public; Facilities Development Impact Fee Program and include GIS, Mainframe Computer, Telephone System Upgrade, and Records Management. The information regarding these capital items is being provided in this section of the PFFP to aid the City and the Developer in calculating the PFDIF fees to be paid by the Otay Ranch Village 11 SPA project

5.3.13.2. SERVICE ANALYSIS:

The public facilities identified above are described in the report entitled *Development Impact Fee for Public Facilities* dated April 20, 1993, known as document number C093-075.

5.3.14.2. EXISTING CONDITIONS:

The City continues to collect funds from building permit issuance in the Eastern Territories for deposit to the accounts associated with other public facilities. These facilities include administration, telecommunications, computer systems and GIS.

5.3.14.3. FINANCING OTHER PUBLIC FACILITIES:

In January 1991, the Chula Vista City Council adopted Ordinance No. 2320 establishing a Development Impact Fee to pay for nine categories of public facilities within the City of Chula Vista. The facilities are required to support future development within the City and the fee schedule has been adopted in accordance with Government Code Section 66000. The fees were updated by adoption of Ordinance No. 2809-B on June 20, 2000. The Public Facilities Development Impact Fee (PFDIF) is \$2,618 per equivalent dwelling unit. The portion of the proposed fee attributable for Corporation Yard Facilities is \$176/EDU.

The Otay Ranch Village 11 SPA project will be subject to the payment of the fee at the rate in effect at the time of building permits are issued. At the proposed fee rate, the Otay Ranch Village 11 SPA obligation at buildout is approximately \$417,296 as shown on the following table:

Development Phase	EDUs	Other Public Facilities Fee @ \$176/EDU
1	532	\$93,632
2	1,096	\$192,896
3	743	\$130,768
Total Otay Ranch Village 11 SPA project	2371	\$417,296

5.3.14.4 THRESHOLD COMPLIANCE AND RECOMMENDATIONS:

Other Public Facilities will be funded through the Collection of public facility fees at the rate in effect at the time building permits are issued.

II.5.4.14 FISCAL ANALYSIS

II.5.4.14.1 Threshold Standard

1. The GMOC shall be provided with an annual fiscal impact report which provides an evaluation of the impacts of growth on the City, both in terms of operations and capital improvements. This report should evaluate actual growth over the previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.
2. The GMOC shall be provided with an annual "economic monitoring report" which provides an analysis of economic development activity and indicators over the next previous 12-month period, as well as projected growth over the next 12-18 month period, and 3-5 year period.

II.5.4.14.2 Facility Master Plan

There is no existing Master Plan for fiscal issues. However, an economic base study and a long range fiscal impact study was prepared by P&D Technologies as part of the Chula Vista General Plan.

II.5.4.14.3 Project Processing Requirements

SPA Plan/PFFP's

1. Prepare a phased fiscal/economic report dealing with revenue vs expenditures including maintenance and operations.

II.5.4.14.4 Fiscal Analysis of Project

II.5.4.14.4.1 Introduction

This analysis identifies the estimated fiscal impact that the Otay Ranch Village 11 Project will have on the operation and maintenance budgets of the City of Chula Vista (general fund). Information pertaining to the scope of development was derived from Brookfield/Shea.

Two basic methodologies were utilized in estimating public agency revenues and expenditures; the case study and per unit/acre multiplier methods. The case study method was used to estimate secured property tax. The case study method is based on specific characteristics of the project from which revenues can be estimated. Appropriate city officials were contacted to identify actual tax rates, fees and costs. The per unit/acre multiplier method, which represents a more general approach was utilized to estimate unsecured property tax, sales tax, TOI, property transfer tax, utility tax, license fees, fines, other revenues and fees and all expenditures. CIC also utilized input from the fiscal impact prepared for Eastlake Trails, Eastlake III, and San Miguel Ranch. The City of Chula Vista's FY 2000-2001 Budget was utilized to estimate per unit/acre multipliers.

Future revenues and expenditures are presented in current (2001) dollars. Also, revenues and expenditures are depicted annually, reflecting a conservatively projected development absorption schedule based on information provided by the city and the developer. This

approach identifies annual project fiscal surpluses and deficits and represents a more realistic approach when compared to assuming instant build-out.

II.5.4.14.4.2 Project Description

The Otay Ranch Village 11 Project is proposed to be developed in the City of Chula Vista and includes 1,311 single family units, 993 multi-family units (including 115 residential units as part of a mixed commercial/residential use), 10 acres of retail uses and 8.0 acres of publicly maintained park at build-out. Presented in Table N is a description of the product types and projected absorption schedule, both provided by the City and the developer. This schedule includes a 9 year (2003 to 2011) development schedule. For the purpose of this analysis, absorption represents new units being sold (or rented) and occupied

Housing market values were estimated by the developer and ranged from \$135,000 (multi-family mixed use) to \$350,000 (single family – medium sized lots). The values used in the table represents the estimated average unit price for each type of development. Commercial values were estimated using COMP's (Commercial Property Information Services) and previous studies.

II.5.4.14.4.3 Project Demographics and Land Uses

In developing per unit/acre multipliers, CIC utilized demographic and land use information related to the City of Chula Vista as a whole and, more specifically, the subject Otay Ranch Village 11 Project. Included in Table N.2 are population, housing, land-use and infrastructure characteristics. The developer (Brookfield/Shea) provided the number of housing units and acres by land use for Otay Ranch Village 11 Project. In addition, Brookfield/Shea provided the number of street miles, lane miles and street widths. The number of streetlights also represents an estimate and was derived by using the City standard of 350 feet between streetlights.

Table N
Otay Ranch Village 11
Absorption Schedule and Market Values by Land Use

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Developed and Occupied Units/Acres									TOTAL
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
SINGLE FAMILY RESIDENTIAL UNITS	\$283	150	300	450	600	688	838	988	1,139	1,311	1,311
MULTI FAMILY RESIDENTIAL UNITS	\$220	100	197	297	397	457	617	717	817	878	878
MULTI-USE RESIDENTIAL	\$135	-	-	-	-	115	115	115	115	115	115
MULTI-USE COMMERCIAL	\$2,676	-	-	-	-	10	10	10	10	10	10

122

Source: Brookfield/Shea,
City of Chula Vista,
CIC Research, Inc.

Table N.1 Otay Ranch Village 11 Project Fiscal Impact General Assumptions		
Chula Vista		Sources
Population	174,319	CA Dept. of Finance
Occupied Housing Units	56,925	CA Dept. of Finance
Persons Per Household	3.04	CA Dept. of Finance
Street Miles	336	CV Public Works
Lane Miles	778	CV Public Works
Traffic Signals	142	CV Engineering
Street Lights	6,307	CV Engineering
Estimated Avg. HH Income	\$55,992	Claritas, Inc.
Median Housing Price	\$183,000	DataQuick Info.Serv.
Land Uses (Developed Acres)		
Commercial	1,093.46	CV Planning
Industrial	724.62	CV Planning
Residential	6,876.98	CV Planning
Park	339.85	CV Planning
Otay Ranch Village 11 Project		
Estimated Population	6,995	CV Planning
Housing Units	2,304	CV Planning
Persons Per Household	3.01	CV Planning
Commercial Retail Acres	10.0	Brookfield/Shea
Public Park Acres	8.0	Brookfield/Shea
Street Miles	13.5	Brookfield/Shea
Lane Miles	43.5	Brookfield/Shea
Street lights	189	CIC Research, Inc
Estimated Avg. HH Income	\$94,000	CIC Research, Inc
Median Housing Price	\$235,000	Brookfield/Shea

II.5.4.14.4.4 Revenues

Operating revenues for the City of Chula Vista resulting from the development of the proposed Otay Ranch Village 11 Project are estimated in this section. The major revenue sources which are expected to be generated from the subject developments and detailed in this chapter include property tax (secured and unsecured), property transfer tax, sales tax, franchise fees, TOT, utility tax, license revenue, miscellaneous fines, homeowner's property tax relief, motor vehicle license fees, gas tax and charges for various current services. The City of Chula Vista's Budget (FY 2000/2001) for these revenue items is detailed in Table N.2 along with allocation rates. The following section details each of the revenue sources and the methodology employed to estimate revenues from the subject developments. For each identified revenue source, a detailed table reflecting the revenue flow over the project build-out (2003 to 2011) is presented in the Appendix of this report. All dollar figures are presented in 2001 dollars (no inflation rates were used)

Table N.2 Otay Ranch Village 11 Project Fiscal Impact Revenue Generation Assumptions		
Revenues	City of Chula Vista FY2000/01 Revenues	Allocation Assumption
Property Taxes		
Secured	\$9,787,848	Based on 10.844% of 1% of TAV
Unsecured	450,000	\$245 commercial acre
Other Taxes		
Property Transfer Tax	\$575,000	Annual Avg. \$28 per housing unit/\$85 per commercial acre
Sales & Use Tax	17,702,000	\$326 per housing unit/\$1,200 commercial acre
Franchise Fees	2,285,890	\$33 per housing unit/\$1,544 commercial acre
TOT	1,510,000	\$2 per housing unit/ \$75 per commercial acre
Utility Tax	3,100,000	\$24 per housing unit/\$1,132 commercial acre
Licenses		
Business License	\$750,000	\$598 commercial acre
Animal & Bicycle Licenses	55,000	\$1 per housing unit
Fines		
Library Fines	\$195,470	\$3 per housing unit
Parking Citations	199,880	\$4 per housing unit/\$42 commercial acre
Revenues from other Agencies		
State Homeowners Prop Tax Relief	\$185,000	\$3 per housing unit
Motor Vehicle Licenses	8,798,000	\$154 per housing unit
Gas Tax	2,365,320	\$36 per housing unit, \$188 commercial
Charges for Current Service		
Recreation	477,908	\$8 per housing unit

Secured Property Tax

Secured property tax revenues generated from the proposed developments were calculated on the basis of a one-percent tax rate on the current market value of the residential and commercial construction. The subject properties are in tax rate areas 0162. According to the Mr. Pete Redman of the County of San Diego property tax services, the City of Chula Vista would receive 10.6 % of the 1 % of the property taxes collected in those tax rate areas. It should be noted that the citywide average share of property tax is roughly 14.7 %.

As previously mentioned, market values (assessed values) for the residential units were estimated by the developers. Market values for commercial uses were estimated using COMPS, Commercial Property Information Services, Inc., as well as previous studies. These identified market values also represent the assessed values. Although assessed values increase two percent per year and readjust after the property resells, this analysis assumes no inflation and all values remain in 2001 dollars. Included in Tables A-2 (Appendices) in the appendix is the cumulative assessed value over the build-out of the developments. Total assessed values for the Otay Ranch Village 11 Project range from \$64.5 million during the first year (2003) to \$581.0 million at build-out (2011).

The City of Chula Vista's share of the collected annual property tax is \$615,900 for the Otay Ranch Village 11 Project (Appendices Table A-3) at build-out.

Unsecured Property Tax

Unsecured property, which includes personal property such as equipment, inventory, furniture, etc. is taxed for primarily commercial and industrial businesses. CIC utilized the County Assessor's Office estimate of unsecured tax allocation. The County Assessor estimates 65 percent of the unsecured property tax is associated with commercial development and 25 percent is allocated to industrial development. Using the City's budget figure of \$450,000 (unsecured tax collect-FY 2000/01) and an estimated 1,194 acres of commercial development results in a ratio of \$245 per commercial acre ($450,000 \times .65 \div 1,194$) for the City's share of unsecured property tax.

The study portion of the Otay Ranch Village 11 Project includes roughly 10 acres of commercial uses. This would generate an estimated \$2,450 in unsecured annual property tax at build-out (refer to Table A-4).

Property Transfer Tax

Sales of real property in San Diego County are taxed at a rate of \$1.10 per \$1,000 of the sales price. Chula Vista would receive 50 percent of the tax. An analysis conducted by the San Diego Association of Governments (SANDAG) indicates that the average turnover rate for residential property is once every seven years and once every 14 years for nonresidential property. The following formulas, which take both the transfer tax formula and the average turnover rate into account, were utilized to yield average annual per unit property transfer tax.

Single Family Residential	$\frac{$.55}{\$1,000}$	X	1/7	=	.00007857
Commercial/Industrial	$\frac{$.55}{\$1,000}$	X	1/14	=	.00003929

Using these formulas, an estimated annual average property tax can be calculated. The Otay Ranch Village 11 Project would generate \$45,600 (refer to Table A-5) in average, annual property transfer tax at build-out.

Sales Tax

This fiscal impact methodology equates the collection of sales tax to both residential units and commercial acreage. Based on an analysis conducted by the City of San Diego's Finance Department and given the study site location and land-use mix, CIC utilized the following tax allocations, 75% for residential, 10% for retail/office commercial. The City's share of sales tax generated by the residential portion of the study property is based on \$280 per household per year, which is based on 75 percent of the total sales tax collection in the City of Chula Vista, divided by the number of housing units. The estimated sales tax multipliers were adjusted roughly 10 percent to reflect the assumed higher household income in the Otay Ranch Village 11 Project versus the overall City average. Household incomes were estimated for the study project using the City's ratio of household income to housing value. Retail sales taxes for commercial land was based on 10% of the City's sales tax divided by commercial acreage which resulted in a multiplier of \$1,482 per acre of retail commercial.

Total annual sales tax generated by the Otay Ranch Village 11 Project is estimated at \$712,900 at build-out (refer to Table A-6).

Franchise Fees

The City of Chula Vista receives a franchise tax fee from sales of natural gas, electricity, cable television and trash collection. Using the sale of gas and electricity as a guideline and based on a study prepared by San Diego Gas and Electric (SDG&E), 37 percent of the franchise fees are attributed to residential uses, 36.5 percent to retail/office uses and the remaining 26.5 percent is attributed to industrial uses. Using these guidelines, the city budget, area demographics and land use information results in an estimated \$33 in annual franchise fees per housing unit, and \$1,544 per developed commercial acre. Utilizing these ratios results in a total annual franchise fee of \$91,500 for Otay Ranch Village 11 Project (see Table A-7) at build-out.

Transient Occupancy Tax

Transient occupancy tax (TOI) is a tax added to the price charged for the use of a hotel or motel room. The majority of the tax is associated with new hotel developments. Since there is no planned hotel/motel development in this project, TOI would be generated by the residents and commercial retail enterprises by their use of local hotels/motels. The San Diego Convention and Visitors Bureau estimates that of all visitors who stay in hotels and motels, eight percent are visiting friends or relatives and an additional nine-percent are in San Diego on non-convention business. Utilizing the City's 2000/01 budget for TOI of \$2,064,000 and assuming eight percent is generated by residential land uses and nine percent by non-residential uses (assume 50% retail and 50% industrial uses), results in multiplier ratios of roughly \$3 per housing unit and \$78 per commercial acre. Using these ratios and the estimate of TOI generated by the tourist commercial, the City of Chula Vista will receive a total annual TOI tax of \$7,700 associated with the Otay Ranch Village 11 Project (refer to Table A-8)

Utility Users' Tax

The City of Chula Vista's FY2000/01 budget for utility taxes is \$3,705,000. These taxes are paid by the residents on gas, electric and telephone services. CIC utilized the same methodology for utility taxes and franchise fees. Using the land use allocation of 37 percent residential uses, 36.5 percent to retail/office uses and 26.5 percent to industrial uses, results in an estimated \$24 in annual utility tax per housing unit and \$1,132 per developed commercial acre. These ratios result in a total annual utility tax of \$66,600 for the Otay Ranch Village 11 Project (refer to Table A-9) at build-out.

Business License Fees

Business license fees are allocated based on a survey reported by the City of San Diego's Financial Management Department, which indicated that 78 percent of the fees were generated by commercial uses and 22 percent were generated by industrial uses. Using the City of Chula Vista's budget (\$915,200), the above proportions and the number of citywide developed commercial acres, results in a multiplier of \$598 per commercial acre. Using this multiplier, total business license fees attributed to Otay Ranch Village 11 Project are \$6,000 per year at build-out (refer to Table A-10 in the Appendices).

Miscellaneous Revenues

CIC grouped numerous revenues into the category of miscellaneous. These revenues include: animal licenses, bicycle licenses, motor vehicle licenses, State homeowners property tax relief, gas tax, library fines, parking citations, swimming pool fees, recreation programs and park reservation fees. With the exception of gas tax and parking citations, all the revenues are assumed to be allocated entirely to residential uses. For these revenues, multipliers were developed by dividing the total revenues by the total number of citywide occupied housing units. Total miscellaneous revenues attributed to the Otay Ranch Village 11 Project are \$480,100 per year at build-out (refer to Table A-11 in the Appendices). The allocation of gas tax and parking citations was calculated as follows:

- **Gasoline Tax:** Gasoline tax revenue accrues on the basis of a complicated formula utilizing county to state and incorporated to unincorporated portion of population. According to the City of San Diego's "Fiscal Impact of New Development" and the Department of Motor Vehicle's auto registration records, an estimated 50 percent is attributed to residential uses and the remaining 50 percent is allocated based on vehicle registration (75% residential, 19% commercial and 6% industrial).
- **Parking Citations:** Parking violation revenues were allocated by vehicle registration classification as estimated by the Department of Motor Vehicles (75% residential, 19% commercial and 6% industrial).

II.5.4.14.4.5 Operating Expenditures

Operating expenditures for the City of Chula Vista resulting from development of the Otay Ranch Village 11 Project are outlined in this section. The expenditure categories to be impacted by the subject developments include administration overhead, planning, police, fire, library, public works and parks and recreation. The City of Chula Vista's operating expenditure budgets for fiscal year 2000/01 and allocation assumptions are presented in Table N.3. These expenses are utilized in estimating per unit/acre expenditures for the project. The methodologies used to estimate project expenses are discussed in more detail in the following sections. Similar to the revenue analysis, all figures shown are in current (2001) dollars. The projection of costs in this analysis assumes no significant or predictable changes in the service standards of the City of Chula Vista. Detailed tables reflecting the annual expenditure cash flows are presented in the appendix to this report.

**Table N.3
Otay Ranch Village 11 Project Fiscal Impact
Cost Allocation Assumptions**

Expenditures	City of Chula Vista FY00/01 Expenditures	Allocation Assumptions
OVERHEAD FUNCTIONS		
Administration Overhead	\$15,775,747	
City Council	\$508,081	
Boards and Commission	\$10,060	
Community Promotions	\$316,506	
City Attorney	\$1,283,362	
City Clerk	\$535,172	
Admin	\$2,732,103	
Management	\$2,436,549	
Human Resources	\$3,151,693	
Finance	\$2,110,266	
Non-Dept	\$2,691,955	
Public Works	\$2,072,821	
Building Maintenance	\$713,079	
Custodial Maintenance	\$1,121,028	
Communications	\$238,714	
TOTAL OVERHEAD	\$17,848,568	Based on 30.7% of Line Operations
LINE OPERATIONS		
Planning (non current)	\$1,187,606	\$13 per housing unit, \$104 commercial acre
Community Development	\$1,902,411	N/A
Police	\$26,587,483	\$303 per housing unit, \$4,622 commercial acre
Fire	\$8,303,616	\$123 per housing unit, \$1,012 commercial acre
Building and Housing	\$2,768,991	N/A
Library	\$6,429,116	\$75 per housing unit
OPERATIONS		
Public Works	\$7,381,034	
Operations		
Operations Administration	\$631,275	\$7 per housing unit/\$54 commercial acre
Traffic Operations	\$526,180	\$726 per lane mile
Street Maint (1)	\$1,136,493	\$1,327
Overlay Program (CIP)	269,000	\$346 per lane mile
Sidewalk Maint (CIP)	\$140,000	\$436 per street mile
Pavement Rehab (CIP)		
Slurry Seal (2)	\$178,040	\$6,650 per lane mile
Chip Seal (2)	\$178,150	\$11,400 per lane mile
Street Sweeping	\$356,330	\$261 per lane mile
Street Tree Maint	\$595,657	\$1,402 per street mile
Sanitary Sewer Maint.	\$2,315,870	Self supporting

Table N.3 Continued
Otay Ranch Village 11 Project Fiscal Impact
Cost Allocation Assumptions

Expenditures	City of Chula Vista FY00/01 Expenditures	Allocation Assumptions
Wastewater Maint.	\$459,964	Self supporting
Engineering		
Engineering Admin.	\$447,548	\$7 per housing unit/\$52 commercial acre
Design	\$950,138	Self supporting
Advance Planning	\$163,414	Self supporting
Land Development	\$1,048,137	Self supporting
Construction Inspection	\$1,258,745	\$1 per housing unit/\$11 commercial acre (90% self funded)
Traffic Engineering	\$586,957	\$483 per lane mile (20% self funded)
Traffic Signal/Lights Maint.	\$1,166,727	\$2,683 per signal, \$100 per street light
Parks	\$3,127,682	\$8,399 per park acre (4)
Admin-Parks	374,260	
Admin-Open Space	334,552	Provided by lighting/landscape district
Maintenance	2,418,870	
Recreation	\$2,502,606	\$47 per housing unit
Athletics	260,720	\$5 per housing unit
Aquatics	516,172	\$10 per housing unit
Senior Citizens	288,839	\$5 per housing unit
General	1,062,615	\$20 per housing unit
Administration	374,260	\$7 per housing unit
C.V. Woman Ctr.	14,002	Self supporting
TOTAL LINE OPERATIONS (3)	\$53,804,275	
TOTAL EXPENDITURES	\$65,729,544	

- (1) Estimated at 20% in year 5, 40% in year 6, to 100% in year 9.
- (2) Slurry seal will occur after 3 years then every 7 years (residential streets), chip seal after 3 years then every 7 (major streets)
- (3) Includes all planning expenses and all public works admin
- (4) Reflects the annual cost which is based on the total cost divided by the total number of acres.

Government Administration

The total costs for city administration services projected in FY 2000/2001 are \$11,925,269, as shown in Table N.3. In order to allocate these overhead expenses to the projects, CIC assumed the City cost for the subject developments would incur an overhead rate similar to the City of Chula Vista (city administration overhead ÷ total line operations expenditures=29.8%). Table A-12 in the appendix shows annual overhead expenditures for the Otay Ranch Village 11 Project (\$393,900) at build-out.

Planning (Non-Current)

Non-current planning costs are allocated based on the City of Chula Vista's land use allocation (79% residential and 13% commercial/office) and the number of housing units in the city and developed commercial acreage. Utilizing these proportions results in multipliers of \$16 per housing unit, \$130 per commercial acre. These multipliers translate into annual planning (non-current) costs of \$39,200 for the Otay Ranch Village 11 Project (refer to Table A-13, Appendices).

Police

The Chula Vista Police Department will provide police protection for the projects. CIC contacted representatives of the local police department to obtain information on service calls and beat activity attributable to residential, business and industrial land uses. No information was available regarding the nature of local calls and regular beat activity. As a result, CIC utilized City of San Diego's cost allocation by land use from the City of San Diego's "Fiscal Impact Model of New Development".

The San Diego Police Department estimates that calls for service account for roughly 50 percent of their expenditures. They are distributed as follows: 66.6% in or around residential structures, 32.3% in or around commercial structures and 1.1% associated with industrial structures. The other 50 percent of expenditures are attributed to normal "beat" activity, and are allocated in proportion to land use acreage (79% to residential land use and 13% to commercial land use). Averaging the percentages for both service-call activity and "beat" activity yields the following per unit allocations for police service in Chula Vista.

<u>Land Use</u>	<u>Combined Percent of Budget Allocation</u>	<u>Estimated Per Unit Expenditures</u>
Residential	73%	\$339/housing unit
Commercial/Office	23%	\$5,050/acre

The above estimates are based upon a FY 2000/01 police budget of \$6,587,483 and results in annual police costs of \$832,600 for Otay Ranch Village 11 Project (refer to Table A-14 Appendices) at build-out.

Fire Protection

As previously mentioned, Otay Ranch Village 11 Project includes a moderate amount of open space (136.7 acres). Fire protection for the open space will be provided by the Chula Vista Fire Department. According to the Chula Vista Fire Department, the City experiences very few brush fires compared to other service calls. However, the potential for a large brush fire does exist and the City could incur extra costs, which are not covered in the State Master Mutual-Aid Agreement.

The proposed urban uses form the basis for allocating fire costs to the Otay Ranch Village 11 Project. The Chula Vista Fire Department also provided CIC with a breakdown of calls for fire protection service in 1997; residential uses 84.2%, commercial uses 14.3% and industrial uses 1.5%. Based on these allocations for fire protection service, the following per unit costs were developed for the project, which results in annual fire protection costs of \$351,900 for the Otay Ranch Village 11 Project (refer to Table A-15, Appendices). It should be noted that these costs do not include any expenses for large brush fires.

Paramedic Services

The City of Chula Vista contracts privately with American Medical Response Group to provide paramedic services. Services are charged on a fee for service basis, at no resulting cost to the City. Therefore, the project will not incur any current paramedic expenses and no expense category is shown in the expenditure cash flow analysis for this service. It should be

noted that at some future time, the City could be asked to help fund costs associated with a new paramedic unit to handle future eastern growth.

Library Services

For past studies, CIC Research contacted the Chula Vista Library's Director, Mr. David Palmer regarding allocations by land use for new development's impact on library services. He was able to provide CIC with a breakdown of resident versus nonresident patronage. In fiscal year 1996/1997, 37 percent of local library use (three branches) was by nonresidents of the community. Alternatively, 63 percent of library use was by residents. Since the library is primarily a local resource used by residents as opposed to businesses, the entire budget is allocated to residential uses.

In the FY 2000/01 proposed budget, total library costs are estimated at \$6,429,116, which calculates to a multiplier of \$113 per housing unit. Total annual library costs associated with the Otay Ranch Village 11 Project are \$260,200 (refer to Table A-16, Appendices) at build-out.

Public Works

The Public Works Department has a proposed FY 2000/01 budget of \$17,530,000 (this figure excludes some overhead costs, which were included in overhead functions). The Public Works Department is divided into operations and engineering. Mr. David Byers (Deputy Director of Public Works/Operations) assisted CIC in allocating operation costs for a previous study. Building maintenance, custodial maintenance and communications were included in City overhead functions. Operations' administration costs were allocated based on developed acreage proportions and housing units. The other operation costs were allocated on a per street or lane mile basis. As presented in Table N.1, the City of Chula Vista includes 321 street miles and 778 lane miles. The Otay Ranch Village 11 Project is estimated to include 11.7 street miles and 29.5 lane miles at build-out. Approximately 33% of the lane miles would be on major roads while the remainder would be residential. Per Mr. Byers' suggestion, CIC included three (Overlay Program, Sidewalk Maint. and Pavement Rehab.) expenditure categories which represent operating costs but were included in CIP programs. Pavement rehabilitation costs were based on \$.07 per square foot for slurry seal and \$.12 per square foot for chip seal and allocated to the lane miles in the proposed projects. All of the operation costs begin in year one with the exception of street maintenance (begins in year 5 at 20% and adds 20% each year to year 9), slurry seal and chip seal (begin in year 3 and then every 7 years). Slurry seal costs were allocated to residential streets and chip seal costs were applied to the heavy traffic, major streets. The following Table N.4 details the results of the above allocations.

**Table N.4
City of Chula Vista
Public Works Cost per Unit/Acre/Mile**

		Allocation
Operations		
Administration	\$ 631,275	\$9 per housing unit/\$69 commercial acre
Traffic Operations	526,180	\$676 per lane mile
Street Maintenance	1,136,493	\$1,461 per lane mile (1)
Overlay Program (CIP)	269,000	\$346 per lane mile
Sidewalk Maint. (CIP)	140,000	\$417 per street mile
Pavement Rehab (CIP)		
Slurry Seal	178,040	\$6,650 per lane mile (2)
Chip Seal	178,150	\$11,400 per lane mile (3)
Street Sweeping	356,330	\$458 per lane mile
Street Tree Maintenance	595,657	\$1,773 per street mile
Wastewater Maintenance	2,315,870	Self supporting
Wastewater Life Station Maint.	459,964	Self supporting
Engineering		
Engineering Admin	\$ 207,632	\$3 per housing unit/\$23 commercial acre
Design	950,138	CIP Program Funded
Advanced Planning	163,414	Self supporting
Land Development	1,048,137	Self supporting
Construction Inspect.	1,258,745	\$2 per housing unit/\$14 commercial acre (90% self supporting)
Traffic Engineering	586,957	\$604 per lane mile (20% self supporting)
Traffic Signal Maint.		
Signal costs	466,691	\$3,287 per signal
Street light costs	700,036	\$111 per street light
Transit Service Operations	186,808	Self supporting

- 1) Begins in year 5 at 20%, 40% in year 6 to 100% in year 9.
- 2) Start after year 3 and then every 7 years (residential streets).
- 3) Start after year 3 and then every 7 years (major streets)

Mr. Cliff Swanson (Deputy Director of Public Works/City Engineering) assisted CIC in allocating public works engineering costs for a previous study. Numerous engineering costs are entirely or partially self funded with fees. The entire engineering administration and a portion of construction inspection and GIS costs were allocated based on citywide land-use acres and housing units. Traffic signal and street light operations and maintenance costs were allocated based on the number of citywide signals and street lights (145 signals and 5,940 street lights) and estimated project signals and lights (0 signals and 204 street lights). The estimated numbers of streetlights in the projects were calculated based on the City standard of one light per 350 feet. The following Table N 4 details engineering cost allocations.

Using the identified ratios and multipliers result in a total annual public works cost of \$120,900 for the Otay Ranch Village 11 Project at build-out (refer to Table A-17, Appendices). Because of the length of the presented building schedule, these figures include average annual (15 year) estimates for street maintenance, slurry seal and chip seal costs, which occur infrequently or are phased in, as is the case with street maintenance. Because these street maintenance costs will occur infrequently or possibly delayed depending on conditions, the public works cost will be less in some years and more in other years.

Parks and Recreation Services

The City of Chula Vista's FY 2000/01 proposed park and recreation budget is \$5,644,290. CIC Research contacted Mr. Jerry Foncerrada with the Chula Vista Parks and Recreation Department for a previous study. He indicated that close to 100 percent of the department's expenditures go towards the local residential community. The public works department handles the maintenance of city parks and provided park maintenance costs of \$8,399 per public park acre. CIC allocated the park cost on a per acre (340 citywide and 8 acres for the Otay Ranch Village 11 Project) and recreation costs on a per housing unit basis.

Annual park maintenance costs allocated to the Otay Ranch Village 11 Project are estimated at \$70,900 at build-out ($\$8,399 * 80$). Costs for recreation services total \$47 per housing unit. Using this multiplier, results in costs of \$98,600 for the Otay Ranch Village 11 Project (refer to Table A-18, Appendices). The following table details the cost allocation for Parks and Recreation.

Table N.5 City of Chula Vista Cost Allocation for Parks and Recreation		
	2000/01 Budget	Cost Allocation Unit/Acre
Parks	\$3,127,684	\$8,399 per park acre
Administration-Parks	374,260	
Administration-Open Space	334,552	Provided by lighting & landscape district
Maintenance	2,418,870	
General	2,147,445	
Marina Park	271,425	Not applicable
Recreation	\$2,502,606	\$47 per housing unit
Athletics	260,720	\$5 per housing unit
Aquatics	516,172	\$10 per housing unit
Senior Citizens	288,839	\$5 per housing unit
General	1,062,615	\$20 per housing unit
Administration-Recreation	374,260	\$7 per housing unit

NET FISCAL IMPACT

Utilizing the previously mentioned methodologies estimated net fiscal impacts are presented in Tables 6. As previously mentioned, all values are in 2001 dollars. No annual adjustments to revenues or costs were utilized. The estimated annual flows of costs and revenues are primarily related to the estimated project absorption and street maintenance schedules.

Table N.6 presents the results of the fiscal impact associated with the Otay Ranch Village 11 Project. Fiscal revenues range from \$216,000 in the first year of development (2003) to \$2,028,700 at build-out (2011). Fiscal expenditures range from \$214,700 in year one to \$2,168,100 at build-out. The net fiscal impact from developing the Otay Ranch Village 11 Project is slightly positive in year one (\$1,300) and is increasingly positive through year four (\$5,300). However, the project has a negative impact in year five (\$50,800) and remains negative through project build-out (\$139,400). The change is caused by the increase in population (and therefore services required) caused by the lower priced multi-use residential with a lower property tax revenue stream. In addition, expenses in subsequent years are effected by the phasing of the public park land and the maintenance required for it, as well as the maintenance on local streets that does not occur until later in the phasing. It should be noted that during some years the net fiscal impact will be more or less due to infrequently needed street repairs.

Table N.6
Net Fiscal Impact of the Otay Ranch Village 11 Project
on the City Of Chula Vista

Revenue Sources	Revenues (In Thousands)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Secured Property Tax	\$68.3	\$135.9	\$204.3	\$272.6	\$330.8	\$413.2	\$481.5	\$550.1	\$615.9	
Unsecured Property Tax	\$0.0	\$0.0	\$0.0	\$0.0	\$2.5	\$2.5	\$2.5	\$2.5	\$2.5	
Property Transfer Tax	\$5.1	\$10.1	\$15.1	\$20.2	\$24.5	\$30.6	\$35.6	\$40.7	\$45.6	
Sales & Use Tax	\$75.8	\$150.6	\$226.3	\$302.1	\$396.6	\$490.5	\$566.3	\$642.3	\$712.9	
Franchise Tax	\$8.3	\$16.4	\$24.7	\$32.9	\$57.0	\$67.3	\$75.5	\$83.8	\$91.5	
TOT Tax	\$0.8	\$1.5	\$2.2	\$3.0	\$4.6	\$5.5	\$6.3	\$7.0	\$7.7	
Utility Tax	\$6.0	\$11.9	\$17.9	\$23.9	\$41.6	\$49.0	\$55.0	\$61.0	\$66.6	
Business License	\$0.0	\$0.0	\$0.0	\$0.0	\$6.0	\$6.0	\$6.0	\$6.0	\$6.0	
Miscellaneous Revenues	\$51.8	\$103.1	\$154.9	\$206.7	\$263.6	\$327.9	\$379.7	\$431.7	\$480.1	
TOTAL REVENUES	\$216.0	\$429.5	\$645.5	\$861.4	\$1,127.1	\$1,392.3	\$1,608.3	\$1,825.1	\$2,028.7	
Expenditure Sources	Expenditures (In Thousands)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Government Admin.	\$39.0	\$77.5	\$116.5	\$155.5	\$214.0	\$278.5	\$317.8	\$357.2	\$393.9	
Planning	\$4.1	\$8.2	\$12.3	\$16.4	\$22.0	\$27.1	\$31.2	\$35.3	\$39.2	
Police	\$84.9	\$168.7	\$253.6	\$338.4	\$478.2	\$583.5	\$668.3	\$753.5	\$832.6	
Fire	\$36.5	\$72.5	\$109.0	\$145.4	\$199.6	\$244.8	\$281.3	\$317.9	\$351.9	
Library	\$28.2	\$56.1	\$84.4	\$112.6	\$142.3	\$177.3	\$205.6	\$233.9	\$260.2	
Public Works	\$10.7	\$21.3	\$32.1	\$42.8	\$70.2	\$85.2	\$97.3	\$109.4	\$120.9	
Park and Recreation	\$11.3	\$22.4	\$33.7	\$44.9	\$51.6	\$136.5	\$147.7	\$159.0	\$169.5	
TOTAL EXPENDITURES	\$214.7	\$426.7	\$641.4	\$856.1	\$1,177.8	\$1,532.8	\$1,749.2	\$1,966.2	\$2,168.1	
TOTAL REVENUES	\$216.0	\$429.5	\$645.5	\$861.4	\$1,127.1	\$1,392.3	\$1,608.3	\$1,825.1	\$2,028.7	
TOTAL EXPENDITURES	\$214.7	\$426.7	\$641.4	\$856.1	\$1,177.8	\$1,532.8	\$1,749.2	\$1,966.2	\$2,168.1	
NET FISCAL IMPACT	\$1.3	\$2.7	\$4.0	\$5.3	(\$50.8)	(\$140.5)	(\$140.9)	(\$141.1)	(\$139.4)	

Source: CIC Research, Inc.

4.1 PUBLIC FACILITY FINANCE

4.1.1 Overview

The City will ensure the appropriate public facilities financing mechanisms are utilized to fund the acquisition, construction and maintenance of public facilities required to support the planned development of the Otay Ranch Village 11 project in compliance with the City's Growth Management Program.

Public facilities are generally provided or financed in one of the following three ways:

1. Subdivision Exaction: Developer constructed and financed as a condition of project approval.
2. Development Impact Fee: Funded through the collection of an impact fee. Constructed by the public agency or developer constructed with a reimbursement or credit against specific fees.
3. Debt Financing: Funded using one of several debt finance mechanisms. Constructed by the public agency or developer.

It is anticipated that all three methods will be utilized for the Otay Ranch Village 11 project to construct and finance public facilities.

4.1.2 Subdivision Exactions

Neighborhood level public improvements will be developed simultaneously with related residential and non-residential subdivisions. Through the Subdivision Map Act, it is the responsibility of the developer to provide for all local street, utility and recreation improvements. The use of subdivision conditions and exactions, where appropriate, will insure that the construction of neighborhood facilities is timed with actual development.

The imposition of subdivision conditions and exactions does not preclude the use of other public facilities financing mechanisms to finance the public improvement, when appropriate.

4.1.3 Development Impact Fee Programs

Development Impact Fees are imposed by various governmental agencies, consist with State law, to contribute to the financing of capital facilities improvements within the City of Chula Vista. The distinguishing factor between a fee and a subdivision exaction is that exactions are requested of a specific developer for a specific project whereas fees are levied on all development projects throughout the City or benefit area pursuant to an established formula and in compliance with State law.

Otay Ranch Village 11, through policy decisions of the City of Chula Vista and other governing agencies, is subject to fees established to help defray the cost of facilities that benefit Village 11 and areas beyond this specific project. These fees may include but not be limited to:

1. Eastern Chula Vista IDIF — established to provide financing for circulation element road projects of regional significance in the area east of I-805.
2. Interim Pre-SR 125 Transportation Fee - Effective January 1, 1995, to fund interim improvements within the SR 125 right-of way consistent with the pre SR 125 strategy as identified in the Interim State Route 125 Facility Feasibility Study dated May 1993.
3. Traffic Signal Fee — to pay for traffic signals associated with circulation element streets.
4. Public Facilities Development Impact Fee — Public Facilities DIF established to collect funds for Civic Center Facilities, Police Facilities, Corporation Yard Relocation, Libraries, Fire Suppression System, Geographical Information System (GIS), Mainframe Computer, Telephone System Upgrade and a Records Management System.
5. Park Acquisition and Development Fee — PAD Fee established to pay for the acquisition and development of park facilities.
6. Salt Creek Sewer Basin Development Impact Fee — to pay for constructing sewer improvements within the Salt Creek basin.
8. Poggi Canyon Sewer Basin Development Impact Fee — to pay for constructing sewer improvements within the Poggi Canyon basin.
9. Otay Water District Fees — It should be noted that the Water District may require the formation of or annexation to an existing improvement district or creation of some other finance mechanism which may result in specific fees being waived

4.1.4 Debt Finance Programs

The City of Chula Vista has used assessment districts to finance a number of street improvements, as well as sewer and drainage facilities. Both school districts have implemented Mello-Roos Community Facilities Districts to finance school facilities.

Assessment Districts

Special assessment districts may be proposed for the purpose of acquiring, constructing, maintaining certain public improvements under the Municipal Improvement Act of 1913, the Improvement Bond Act of 1915, the Benefit Assessment Act of 1982, and the Lighting and Landscape Act of 1972. The general administration of the special assessment district is the responsibility of the public agency.

Special assessment financing may be appropriate when the value or benefit of the public facility can be assigned to a specific property. Assessments are levied in specific amounts against each individual property on the basis of relative benefit. Special assessments may be used for both publicly dedicated on-site and off-site improvements and maintenance.

As a matter of policy, the City limits the type of improvements, which can be financed by assessment district bonding in residential projects. Such improvements are generally limited to collector streets and larger serving entire neighborhood areas or larger. This policy applies to backbone infrastructure including streets, water, sewer, storm drain, and dry utility systems.

Mello-Roos Community Facilities Act of 1982

The Mello-Roos Community Facilities Act of 1982 authorizes formation of community facilities districts, which impose special taxes to provide the financing of certain public facilities or services. Facilities that can be provided under the Mello-Roos Act include the purchase, construction, expansion, or rehabilitation of the following:

1. Local park, recreation, or parkway facilities;
2. Elementary and secondary school sites and structures;
3. Libraries;
4. Any other governmental facilities that legislative bodies are authorized to construct, own or operate including certain improvements to private property.

4.1.5 Other Methods Used to Finance Facilities

General Fund

The City of Chula Vista's general fund serves to pay for many public services throughout the City. Those facilities and services identified as being funded by general fund sources represent those that will benefit not only the residents of the proposed project, but also Chula Vista residents throughout the City. In most cases, other financing mechanisms are available to initially construct or provide the facility or service, then general fund monies would only be expected to fund the maintenance costs once the facility is accepted by the City.

State and Federal Funding

Although rarely available to fund an entire project, Federal and State financial and technical assistance programs have been available to public agencies, in particular the public school districts.

Dedications

Dedication of sites by developers for public capital facilities is a common financing tool used by many cities. In the case of Otay Ranch Village 11, the following public sites are proposed to be dedicated:

1. Roads (if public)
2. Park sites
3. Open space and public trail systems

Homeowners Associations

One or more Community Homeowner Associations may be established by the developer to manage, operate and maintain private facilities and common areas within Otay Ranch Village 11.

Developer Reimbursement Agreements

Certain facilities that are off-site of Otay Ranch Village 11 and/or provide regional benefits may be constructed in conjunction with the development of Otay Ranch Village 11. In such instances, developer reimbursement agreements will be executed to provide for a future payback to the developer for the additional cost of these facilities. Future developments are required to pay back their fair share of the costs for the shared facility when development occurs.

Special Agreements/Development Agreement

This category includes special development programs for financing construction of Telegraph Canyon Road and State Route 125. It also includes any other special arrangements between the City and the developer such as credits against fees, waiver of fees, or charges for the construction of specific facilities.

A development agreement can play an essential role in the implementation of the PFFP. The PFFP clearly details all public facility responsibilities and assures that the construction of all necessary public improvements will be appropriately phased with actual development, while the development agreement identifies the obligations and requirements of both parties.

4.1.6 Public Facility Finance Policies

The following finance policies were included and approved with the Growth Management Program to maintain a financial management system that will be implemented consistently when considering future development applications. These policies will enable the City to effectively manage its fiscal resources in response to the demands placed on the City by future growth.

1. Prior to receiving final approval, developers shall demonstrate and guarantee that compliance is maintained with the City's adopted threshold standards
2. The Capital Improvement Program Budget will be consistent with the goals and objectives of the Growth Management Program. The Capital Improvement Program Budget establishes the timing for funding of all fee related public improvements.
3. The priority and timing of public facility improvements identified in the various City fee programs shall be made at the sole discretion of the City Council.
4. Priority for funding from the City's various fee programs shall be given to those projects which facilitate the logical extension or provision of public facilities as defined in the Growth Management Program.
5. Fee credits, reimbursement agreements, developer agreements or public financing mechanisms shall be considered only when it is in the public interest to use them or these financing methods are needed to rectify an existing facility threshold deficiency. Such action shall not induce growth by prematurely extending or upgrading public facilities.
6. All fee credit arrangements or reimbursement agreements will be made based upon the City's plans for the timing and funding of public facilities contained in the Capital Improvement Program Budget.
7. Public facility improvements made ahead of the City's plans to construct the facilities will result in the need for additional operating and maintenance funds. Therefore all such costs associated with the facility construction shall become the responsibility of the developer until such time as the City had previously planned the facility improvement to be made.

4.1.7 Cumulative Debt

The City of Chula Vista has an established policy limiting the maximum debt to be placed on a residential dwelling unit to an additional one percent above the property tax. This policy was restated in the adopted Growth Management Program.

Like many other cities, Chula Vista has long understood that it is not the only agency that can utilize public finance mechanisms and, therefore, cannot always guarantee that the total debt will remain at or below a maximum of 2 percent. As a result, the City makes an effort to coordinate its debt finance programs with the other special districts (schools and water) which provide service to the residents of Chula Vista to ensure that the cumulative debt does not become excessive. Coordination is also necessary to guarantee all public facilities needed to support a development can be financed and constructed as needed.

Debt capacity is found by totaling the assessed value of residential and commercial/industrial property and applying to this total two percent rate cap established by City policy as can be seen in Table O. Subtracting from this total assessed value the value of taxes resulting from application of the effective property tax rate as determined by the County Tax Collector (1.03486%), produces the revenue available from indebtedness that could be placed on the property.

Table O.1 identifies \$30,771,000 as the estimated cost of facilities that may qualify for debt financing. This amount is less than any of the alternative interest cost and bond term examples identified on the following page. Using the alternative of 6% net interest cost (NIC) and 20-year bond term applied to a conservative \$5 million in available annual debt service allows for the financing of approximately \$57,349,606 in eligible improvements. This results in an excess bonding capacity of approximately 26,000,000, some of which will be utilized by school financing. Therefore, there appears to be sufficient revenue capacity available to finance the improvements listed, although additional analysis will be required at the time of the first utilization of debt financing in the SPA.

The Public Works Department generally requires the preparation of an assessment district feasibility plan for the build-out of a master planned community prior to initiation of the first assessment district in order to determine the debt capacity limits and benefit zones related to using public financing to fund infrastructure improvements.

DU's or Acres	Assessed Value/Unit or Acre	FAR ²⁵	Total AV
1311 Single Family Detached	\$283,000	N/A	\$371,013,000
678 Single Family Attached	\$220,000	N/A	\$150,516,000
315 Multi-Use Residential Units	\$135,000	N/A	\$42,525,000
10.0 Commercial Acres	\$2,172,000	N/A	\$21,720,000
Total Assessed Value			\$585,774,000
2.0% Tax Rate Cap by City Policy			\$11,715,480
1.03486% Tax Rate Utilized			\$6,016,940
Annual revenue available to pay debt service @ 2.00% - 1.12%			\$5,653,540

Using \$5 million as a conservative amount available for annual debt service and varying the net interest cost (NIC) and term of bond, the following public facility costs could be funded through a financing vehicle such as Mello-Roos and special assessment districts bonds.

- A 5.5% (NIC) and 30 year term will fund approximately \$72.7 million.
- A 6.5% (NIC) and 25 year term will fund approximately \$61.0 million.
- A 6.5% (NIC) and 20 year term will fund approximately \$55.1 million.
- A 7.5% (NIC) and 25 year term will fund approximately \$55.7 million.
- A 7.5% (NIC) and 20 year term will fund approximately \$51.0 million.

Facility	Segment	Cost
1	Olympic Parkway, SR 125 to Hunte Pkwy	\$4,212,000
2a	EastLake Parkway, SDG&E Easement to Olympic Pkwy	\$3,336,000
2b	EastLake Parkway, Olympic Parkway to North Village Entry	\$1,093,000
2c	EastLake Parkway, North Village Entry to Birch Dr.	\$1,183,000
2d	EastLake Parkway, Birch Road to Hunte Pkwy	\$2,639,000
3	Birch Road, La Media Road to EastLake Parkway	\$5,244,000
4a	Hunte Parkway, Olympic Parkway to North project Access	\$912,000
4b	Hunte Pkwy, North Project Access to south of SDG&E easement	\$3,010,000
4c	Hunte Pkwy, North of SDG&E easement to EastLake Pkwy	\$3,648,000
5	La Media Road: Birch Road to Olympic Pkwy	\$2,470,000
6	Internal link between R-1 and R-11	\$1,330,000
7	Otay Lakes Road, E. H street to Telegraph Canyon Rd. (widen to 6 lanes if SR-125 is not constructed prior to 2005)	\$1,694,000
Total Cost of all Eligible Facilities		30,771,000

²⁵ Floor Area Ratio Used as a percentage to calculate building square footage from parcel acreage

4.1.8 Lifecycle Cost

Section 19.09.060 Analysis subsection F (2) of the Growth Management Ordinance requires the following:

"...The inventory shall include Life Cycle Cost ("LCC") projections for each element in 19.09.060(E)...as they pertain to City fiscal responsibility. The LCC projections shall be for estimated life cycle for each element analyzed. The model used shall be able to identify and estimate initial and recurring life cycle costs for the elements..."

Background

The following material presents information on the general aspects of life cycle cost analysis as well as its specific application to the City of Chula Vista operations. The discussion regarding the general benefits and process of LCC is meant to provide a common base of understanding upon which further analysis can take place.

Life cycle costing (LCC) is a method of calculating the total cost of asset ownership over the life span of the asset. Initial costs and all subsequent expected costs of significance are included in the life cycle cost analysis as well as disposal value and any other quantifiable benefits to be derived as a result of owning the asset. Operating and maintenance costs over the life of an asset often times far exceed initial costs and must be factored into the (decision) process

Life cycle cost analysis should not be used in each and every purchase of an asset. The process itself carries a cost and therefore can add to the cost of the asset. Life Cycle Cost analysis can be justified only in those cases in which the cost of the analysis can be more than offset by the savings derived through the purchase of the asset.

Four major factors that may influence the economic feasibility of applying LCC analysis are:

1. Energy Intensiveness — LCC should be considered when the anticipated energy costs of the purchase are expected to be large throughout its life.
2. Life Expectancy — For assets with long lives (i.e., greater than five years), costs other than purchase price take on added importance. For assets with short lives, the initial costs become a more important factor.
3. Efficiency — The efficiency of operation and maintenance can have significant impact on overall costs. LCC is beneficial when savings can be achieved through reduction of maintenance costs.
4. Investment Cost — As a general rule, the larger the investment the more important LCC analysis becomes.

The four major factors listed above are not, however, necessary ingredients for life cycle cost analysis. A quick test to determine whether life cycle costing would apply to a purchase is to ask whether there are any post-purchase costs associated with it. Life cycle costs are a combination of initial and post-purchase costs.

Applications for LCC Analysis

The City of Chula Vista utilizes the concepts of life cycle cost analysis in determining the most cost effective purchase of capital equipment as well as in the determination of replacement costs for a variety of rolling stock. City staff uses LCC techniques in the preparation of the City's Five Year Capital Improvement Budget (CIP) as well as in the Capital Outlay sections of the annual Operating Budget.

In addition to these existing processes, the City should require the use of LCC analysis prior to or concurrent with the design of public facilities required by new development. Such a requirement will assist in the determination of the most cost effective selection of public facilities.

APPENDICES

A. Fiscal Impact Analysis Tables

Table A-1
ABSORPTION SCHEDULE BY LAND USE

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Developed and Occupied Units/Net Acres									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	TOTAL
SINGLE FAMILY RESIDENTIAL UNITS	\$283	150	300	450	600	688	838	988	1139	1311	1311
MULTI-FAMILY RESIDENTIAL UNITS	\$220	100	197	297	397	457	617	717	817	878	878
MULTI-USE RESIDENTIAL UNITS	\$135	0	0	0	0	115	115	115	115	115	115.0
MULTI-USE COMMERCIAL ACRES	\$2,172	0.0	0.0	0.0	0.0	10.0	10.0	10.0	10.0	10.0	10.0

Table A-2
ASSESSED VALUE

Land Use	Per Unit/ Net Acre Value (000's)	Cumulative Assessed Value(000's)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	TOTAL
SINGLE FAMILY RESIDENTIAL UNITS	\$283	\$ 42,450	\$ 84,900	\$ 127,350	\$ 169,800	\$ 194,704	\$ 237,154	\$ 279,604	\$ 322,337	\$ 371,013	\$371,013
MULTI FAMILY RESIDENTIAL UNITS	\$220	\$ 22,000	\$ 43,340	\$ 65,340	\$ 87,340	\$ 100,540	\$ 135,740	\$ 157,740	\$ 179,740	\$ 193,160	\$193,160
MULTI-USE RESIDENTIAL UNITS	\$135	\$ -	\$ -	\$ -	\$ -	\$ 15,525	\$ 15,525	\$ 15,525	\$ 15,525	\$ 15,525	\$ 15,525
MULTI-USE COMMERCIAL ACRES	\$2,172	\$ -	\$ -	\$ -	\$ -	\$ 1,350	\$ 1,350	\$ 1,350	\$ 1,350	\$ 1,350	\$ 1,350

Table A-3
SECURED PROPERTY TAX REVENUES

SECURED PROPERTY TAX REVENUES		Secured Property Tax Revenue (000s)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
TOTAL OTAY RANCH VILLAGE 11											
Total Assessed Values	\$	64,450	128,240	192,690	257,140	312,119	389,769	454,219	518,952	581,048	
Tax Rate	1.0%	\$645	\$1,282	\$1,927	\$2,571	\$3,121	\$3,898	\$4,542	\$5,190	\$5,810	
TOTAL CHULA VISTA SHARE*	10.6%	\$68.3	\$135.9	\$204.3	\$272.6	\$330.8	\$413.2	\$481.5	\$550.1	\$615.9	

Table A-4
UNSECURED PROPERTY TAX

UNSECURED PROPERTY TAX	Tax Per Acre	Unsecured Property Tax Revenue (000's)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
Commercial Uses	\$245.0	\$0.0	\$0.0	\$0.0	\$0.0	\$2.5	\$2.5	\$2.5	\$2.5	\$2.5	
TOTAL OTAY RANCH VILLAGE 11		\$0.0	\$0.0	\$0.0	\$0.0	\$2.5	\$2.5	\$2.5	\$2.5	\$2.5	

* Derived from discussions with the County Assessors Office and the City of Chula Vista (According to the Master Tax Agreement between the City of Chula Vista and the County, 41% of County's general, library and flood control funds would go to the ci

Table A-5
ESTIMATED PROPERTY TRANSFER TAX REVENUES

Product	Resale Rate (Years)	Property Transfer Tax (000s)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
Single Family Units	7	\$3.3	\$6.7	\$10.0	\$13.3	\$15.3	\$18.6	\$22.0	\$25.3	\$29.2	
Multi Family Units	7	\$1.7	\$3.4	\$5.1	\$6.9	\$7.9	\$10.7	\$12.4	\$14.1	\$15.2	
Multi-Use Residential Units	7	\$0.0	\$0.0	\$0.0	\$0.0	\$1.2	\$1.2	\$1.2	\$1.2	\$1.2	
Multi-Use Commercial Acres	14	\$0.0	\$0.0	\$0.0	\$0.0	\$0.1	\$0.1	\$0.1	\$0.1	\$0.1	
TOTAL OTAY RANCH VILLAGE 11		\$5.1	\$10.1	\$15.1	\$20.2	\$24.5	\$30.6	\$35.6	\$40.7	\$45.6	

Table A-6
ESTIMATED SALES TAX REVENUES

Land Use	Sales Tax Per Unit/Acre (000s)	City of Chula Vista's Share of Sales Tax (000s)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total Single Family Units	\$0.303	\$45.5	\$90.9	\$136.4	\$181.8	\$208.5	\$253.9	\$299.4	\$345.1	\$397.2	
Total Multi Family Units	\$0.303	\$30.3	\$59.7	\$90.0	\$120.3	\$138.5	\$187.0	\$217.3	\$247.6	\$266.0	
Total Multi-Use Residential Units	\$0.303	\$0.0	\$0.0	\$0.0	\$0.0	\$34.8	\$34.8	\$34.8	\$34.8	\$34.8	
Total Multi-Use Commercial Acres	\$1.482	\$0.0	\$0.0	\$0.0	\$0.0	\$14.8	\$14.8	\$14.8	\$14.8	\$14.8	
TOTAL OTAY RANCH VILLAGE 11		\$75.8	\$150.6	\$226.3	\$302.1	\$396.6	\$490.5	\$566.3	\$642.3	\$712.9	

Table A-7
ESTIMATED FRANCHISE FEES

1998/1999 Budget
For Franchise Fees \$5,052,000

Land Use	Per Unit	Franchise Fee Revenue (000's)								
		2003	2004	2005	2006	2007	2008	2009	2010	2011
Total Single Family Units	\$33	\$5.0	\$9.9	\$14.9	\$19.8	\$22.7	\$27.7	\$32.6	\$37.6	\$43.3
Total Multi Family Units	\$33	\$3.3	\$6.5	\$9.8	\$13.1	\$15.1	\$20.4	\$23.7	\$27.0	\$29.0
Total Multi-Use Residential Units	\$33	\$0.0	\$0.0	\$0.0	\$0.0	\$3.8	\$3.8	\$3.8	\$3.8	\$3.8
Total Multi-Use Commercial Acres	\$1,544	\$0.0	\$0.0	\$0.0	\$0.0	\$15.4	\$15.4	\$15.4	\$15.4	\$15.4
TOTAL OTAY RANCH VILLAGE 11		\$8.3	\$16.4	\$24.7	\$32.9	\$57.0	\$67.3	\$75.5	\$83.8	\$91.5

Table A-8
ESTIMATED TRANSIENT OCCUPANCY TAX

1998/1999 Budget
For Transient Occupancy Tax \$2,064,000

Land Use	TOT per Unit/Net Acre	Transient Occupancy Tax (000's)								
		2003	2004	2005	2006	2007	2008	2009	2010	2011
Total Single Family Units	\$3	\$0.5	\$0.9	\$1.4	\$1.8	\$2.1	\$2.5	\$3.0	\$3.4	\$3.9
Total Multi Family Units	\$3	\$0.3	\$0.6	\$0.9	\$1.2	\$1.4	\$1.9	\$2.2	\$2.5	\$2.6
Total Multi-Use Residential Units	\$3	\$0.0	\$0.0	\$0.0	\$0.0	\$0.3	\$0.3	\$0.3	\$0.3	\$0.3
Total Multi-Use Commercial Acres	\$78	\$0.0	\$0.0	\$0.0	\$0.0	\$0.8	\$0.8	\$0.8	\$0.8	\$0.8
TOTAL OTAY RANCH VILLAGE 11		\$0.8	\$1.5	\$2.2	\$3.0	\$4.6	\$5.5	\$6.3	\$7.0	\$7.7

Table A-9
ESTIMATED UTILITY TAX

1998/1999 Budget
For Utility Tax \$3,705,000

Land Use	Tax per Unit/Net Acre	Utility Tax Revenue (000's)								
		2003	2004	2005	2006	2007	2008	2009	2010	2011
Total Single Family Units	\$24	\$3.6	\$7.2	\$10.8	\$14.4	\$16.5	\$20.1	\$23.7	\$27.3	\$31.5
Total Multi Family Units	\$24	\$2.4	\$4.7	\$7.1	\$9.5	\$11.0	\$14.8	\$17.2	\$19.6	\$21.1
Total Multi-Use Residential Units	\$24	\$0.0	\$0.0	\$0.0	\$0.0	\$2.8	\$2.8	\$2.8	\$2.8	\$2.8
Total Multi-Use Commercial Acres	\$1,132	\$0.0	\$0.0	\$0.0	\$0.0	\$11.3	\$11.3	\$11.3	\$11.3	\$11.3
TOTAL OTAY RANCH VILLAGE 11		\$6.0	\$11.9	\$17.9	\$23.9	\$41.6	\$49.0	\$55.0	\$61.0	\$66.6

**Table A-10
ESTIMATED BUSINESS LICENSE REVENUE**

1998/1999 Budget
For Business License Tax \$915,200

Land Use	Average Business License Fee Per Acre	Business License Fees (000's)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total All Commercial Acres	\$598	\$0.0	\$0.0	\$0.0	\$0.0	\$6.0	\$6.0	\$6.0	\$6.0	\$6.0	\$6.0
TOTAL OTAY RANCH VILLAGE 11		\$0.0	\$0.0	\$0.0	\$0.0	\$6.0	\$6.0	\$6.0	\$6.0	\$6.0	\$6.0

**Table A-11
ESTIMATED MISCELLANEOUS REVENUES**

1998/1999 Budget	Allocation of Budget			Per House Unit	Per Comm. Acre
	Total Budget	Residential	Commercial		
Animal License	\$63,072	\$63,072		\$1.11	
Bicycle License	\$0	\$0		\$0.00	
Motor Vehicle Licenses	\$8,798,000	\$8,798,000		\$154.55	
State HOPTR	\$0	\$0		\$0.00	
Gas Tax	\$2,365,320	\$2,069,655	\$224,705	\$36.36	\$188.2
Library Fines	\$195,472	\$195,472		\$3.43	
Parking Citations	\$266,500	\$199,875	\$50,635	\$3.51	\$42.4
Charges for Current Services					
Swimming Pools	\$0	\$0		\$0.00	
Recreation Program	\$477,908	\$477,908		\$8.40	
Park Reservation Fees	\$0	\$0		\$0.00	
Other Park & Recr. Fees	\$0	\$0		\$0.00	
Total Misc. Revenue	<u>\$12,166,272</u>	<u>\$11,803,982</u>	<u>\$275,340</u>		
	Per Unit/Acre			\$207.36	\$230.57

Land Use	Per Unit/Acre	Miscellaneous Revenue (000's)									
		2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total Single Family Units	\$207.36	\$31.1	\$62.2	\$93.3	\$124.4	\$142.7	\$173.8	\$204.9	\$236.2	\$271.8	
Total Multi Family Units	\$207.36	\$20.7	\$40.8	\$61.6	\$82.3	\$94.8	\$127.9	\$148.7	\$169.4	\$182.1	
Total Multi-Use Residential Units	\$207.36	\$0.0	\$0.0	\$0.0	\$0.0	\$23.8	\$23.8	\$23.8	\$23.8	\$23.8	
Total Multi-Use Commercial Acres	\$230.57	\$0.0	\$0.0	\$0.0	\$0.0	\$2.3	\$2.3	\$2.3	\$2.3	\$2.3	
TOTAL OTAY RANCH VILLAGE 11		\$51.8	\$103.1	\$154.9	\$206.7	\$263.6	\$327.9	\$379.7	\$431.7	\$480.1	

Table A-12
ESTIMATED EXPENDITURES FOR GOVERNMENT ADMINISTRATION

1998/1999 Budget For
Government Administration \$11,925,269

Land Use Allocated
All Land Uses Cost
22.2% of total line operations

Land Use	Government Administration (000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
TOTAL OTAY RANCH VILLAGE 11	\$39.0	\$77.5	\$116.5	\$155.5	\$214.0	\$278.5	\$317.8	\$357.2	\$393.9	

Table A-13
ESTIMATED PLANNING COST
(Non-Current)

2000/2001 Budget For
Planning Expenditures \$1,187,606

Residential Cost per Unit
Commercial /Net Acre
\$16.43
\$129.90

Land Use	Planning Costs (000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total Single Family Units	\$2.5	\$4.9	\$7.4	\$9.9	\$11.3	\$13.8	\$16.2	\$18.7	\$21.5	
Total Multi Family Units	\$1.6	\$3.2	\$4.9	\$6.5	\$7.5	\$10.1	\$11.8	\$13.4	\$14.4	
Total Multi-Use Residential Units	\$0.0	\$0.0	\$0.0	\$0.0	\$1.9	\$1.9	\$1.9	\$1.9	\$1.9	
Total Multi-Use Commercial Acres	\$0.0	\$0.0	\$0.0	\$0.0	\$1.3	\$1.3	\$1.3	\$1.3	\$1.3	
TOTAL OTAY RANCH VILLAGE 11	\$4.1	\$8.2	\$12.3	\$16.4	\$22.0	\$27.1	\$31.2	\$35.3	\$39.2	

Table A-14
ESTIMATED POLICE PROTECTION COST

2000/2001 Budget For
Police Expenditures \$26,587,483

Residential Cost per Unit/Net Acre
Commercial \$339.47
\$5,050

Land Use	Police Protection Costs (000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total Single Family Units	\$50.9	\$101.8	\$152.8	\$203.7	\$233.6	\$284.5	\$335.4	\$386.7	\$445.0	
Total Multi Family Units	\$33.9	\$66.9	\$100.8	\$134.8	\$155.1	\$209.5	\$243.4	\$277.3	\$298.1	
Total Multi-Use Residential Units	\$0.0	\$0.0	\$0.0	\$0.0	\$39.0	\$39.0	\$39.0	\$39.0	\$39.0	
Total Multi-Use Commercial Acres	\$0.0	\$0.0	\$0.0	\$0.0	\$50.5	\$50.5	\$50.5	\$50.5	\$50.5	
TOTAL OTAY RANCH VILLAGE 11	\$84.9	\$168.7	\$253.6	\$338.4	\$478.2	\$583.5	\$668.3	\$753.5	\$832.6	

Table A-15
ESTIMATED FIRE PROTECTION COST

2000/2001 Budget For
Fire Expenditures \$8,303,616

Residential Cost per Unit /Net Acre
Commercial \$145.87
\$1,577

Land Use	Fire Protection Costs (000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total Single Family Units	\$21.9	\$43.8	\$65.6	\$87.5	\$100.4	\$122.2	\$144.1	\$166.1	\$191.2	
Total Multi Family Units	\$14.6	\$28.7	\$43.3	\$57.9	\$66.7	\$90.0	\$104.6	\$119.2	\$128.1	
Total Multi-Use Residential Units	\$0.0	\$0.0	\$0.0	\$0.0	\$16.8	\$16.8	\$16.8	\$16.8	\$16.8	
Total Multi-Use Commercial Acres	\$0.0	\$0.0	\$0.0	\$0.0	\$15.8	\$15.8	\$15.8	\$15.8	\$15.8	
TOTAL OTAY RANCH VILLAGE 11	\$36.5	\$72.5	\$109.0	\$145.4	\$199.6	\$244.8	\$281.3	\$317.9	\$351.9	

Table A-16
ESTIMATED LIBRARY COST

2000/2001 Budget For Library Expenditures	\$6,429,116
	Cost per Unit/Net Acre
Residential	\$112.94
Commercial	\$0

Land Use	Library Costs (000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Total Single Family Units	\$16.9	\$33.9	\$50.8	\$67.8	\$77.7	\$94.6	\$111.6	\$128.6	\$148.1	
Total Multi Family Units	\$11.3	\$22.2	\$33.5	\$44.8	\$51.6	\$69.7	\$81.0	\$92.3	\$99.2	
Total Multi-Use Residential Units	\$0.0	\$0.0	\$0.0	\$0.0	\$13.0	\$13.0	\$13.0	\$13.0	\$13.0	
Total Multi-Use Commercial Acres	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	
TOTAL OTAY RANCH VILLAGE 11	\$28.2	\$56.1	\$84.4	\$112.6	\$142.3	\$177.3	\$205.6	\$233.9	\$260.2	

Table A-17
ESTIMATED EXPENDITURES FOR PUBLIC WORKS

1998/1999 Budget For Public Works	\$17,530,224	Cost Allocation Unit/Acre	
		Residential	Commercial
Operations			
Administration	\$631,275	\$11.61	\$91.76
Traffic Operations	\$526,180	\$676.32	per lane mile
Street Maintenance	\$1,136,493	\$1,460.79	per lane mile (1)
Street Sweeping	\$356,330	\$345.76	per lane mile
Street Tree Maintenance	\$595,657	\$416.67	per street mile
Wastewater Maintenance	\$2,315,870	self supporting	
Wastewater Lift Station Maint.	\$459,964	self supporting	
Engineering			
Traffic Signal Maint.			
Signal costs	\$466,691	\$3,287	per signal
Street light costs	\$700,036	\$111	per street light
Transit Service Operations	\$180,655	self supporting	
Environmental Mgmt	\$164,207	self supporting	

1) Estimated at 20% in year 5, 40% in year 6, to 100% in year 9

	Public Works Expenditures (000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011	TOTAL
Public Street Lane Miles *	4.7	9.3	14.0	18.7	23.6	29.4	34.1	38.8	43.2	43.2
Public Street Miles *	1.4	2.8	4.2	5.6	7.2	9.1	10.5	11.9	13.2	13
Street Lights**	22	44	66	88	111	138	160	182	204	204
Signals**	0	0	0	0	0	0	0	0	0	0
Operations Admin.	\$ 2.9	\$ 5.8	\$ 8.7	\$ 11.6	\$ 23.8	\$ 27.4	\$ 30.3	\$ 33.3	\$ 36.0	\$ 36.0
Street Mile Costs	\$ 0.6	\$ 1.2	\$ 1.8	\$ 2.3	\$ 3.0	\$ 3.8	\$ 4.4	\$ 5.0	\$ 5.5	\$ 5.5
Lane Mile Costs	\$ 4.8	\$ 9.5	\$ 14.3	\$ 19.1	\$ 24.1	\$ 30.0	\$ 34.9	\$ 39.7	\$ 44.2	\$ 44.2
Street Maint.***	\$ -	\$ -	\$ -	\$ -	\$ 6.9	\$ 8.6	\$ 10.0	\$ 11.3	\$ 12.6	\$ 12.6
Signal/street light costs	\$ 2.4	\$ 4.9	\$ 7.3	\$ 9.8	\$ 12.3	\$ 15.3	\$ 17.8	\$ 20.2	\$ 22.6	\$ 22.6
TOTAL OTAY RANCH VILLAGE 11	\$ 10.7	\$ 21.3	\$ 32.1	\$ 42.8	\$ 70.2	\$ 85.2	\$ 97.3	\$ 109.4	\$ 120.9	

* The phasing of streets were estimated based on the estimated absorption of residential units.

** The phasing of signals and street lights were based on the phasing of streets

***Represent a 15 year annual average during the period from 2003 to 2017

Table A-18
ESTIMATED EXPENDITURES FOR PARK AND RECREATIONS

Estimated Park Development Schedule

Park Acres									
2003	2004	2005	2006	2007	2008	2009	2010	2011	
0	0	0	0	0	8	8	8	8	8

2000/2001 Budget For

Park & Recreation	\$5,644,290	Cost Allocation Unit/Acre
Parks, Recreation and Open Space	\$5,644,290	
Parks	\$3,012,952	\$8,866 per park acre
Administration - Parks	\$385,488	
Administration - Open Space	\$334,552	provided by lighting and landscape district
Maintenance	\$2,292,912	
General	\$2,147,445	
Marina Park	\$271,425	Not Applicable
Recreation	\$2,564,298	\$45.05 per housing unit
Administration- Recreation	\$237,124	\$4.17 per housing unit
Swimming & Sports	\$868,943	\$15.26 per housing unit
Senior and youth Services	\$303,107	\$5.32 per housing unit
Recreation Facilities	\$1,155,124	\$20.29 per housing unit

Park and Recreations(000's)									
	2003	2004	2005	2006	2007	2008	2009	2010	2011
Park	\$0.0	\$0.0	\$0.0	\$0.0	\$0.0	\$70.9	\$70.9	\$70.9	\$70.9
Recreation	\$11.3	\$22.4	\$33.7	\$44.9	\$51.6	\$65.5	\$76.8	\$88.1	\$98.6
TOTAL OTAY RANCH VILLAGE 11	\$11.3	\$22.4	\$33.7	\$44.9	\$51.6	\$136.5	\$147.7	\$159.0	\$169.5

Otay Ranch Village Eleven

II.6 Affordable Housing Program

October 23, 2001

Brookfield Shea Otay, LLC

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Del Mar, California 92014-3859
(858) 481-8500
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TABLE OF CONTENTS

	<u>Page</u>
II.6.1 Introduction	1
Purpose and Content	
Needs Assessment	
II.6.2 Village Eleven Affordable Housing Obligation, Location and Phasing	2
Obligation	
Types of Housing	
Location	
Phasing	
Design	
Unit Mix by Bedroom Count	
II.6.3 Affordable Housing Restrictions.....	6
Income Eligibility	
Affordable Monthly Rates	
Affordable Housing Costs for Owner Occupied Housing	
Underwriting Requirements	
Resale Provisions for Owner Occupied Housing	
Term of Affordability Restrictions	
II.6.4 Subsidies, Incentives and Financing Mechanisms.....	9
II.6.5 Compliance Reporting.....	10
Rental Units' Compliance Packet and Audit	
Home Ownership Units' Compliance Packet	
II.6.6 Affirmative Marketing Plan.....	13
II.6.7 Implementing Agreements and Conditions.....	13
II.6.8 Definitions.....	13
II.6.9 Exhibits.....	15
1A Supplemental Rental Application	
1B Applicant's/Owner's Statement	
2A Semi-Annual Report/Owner's Certification	
2B Semi-Annual Affordable Housing Monitoring Report	
3 Homebuyer's Qualifying Form	
4 City Requirements for Affirmative Marketing Plan	

II.6.1 Introduction

Purpose and Content

The City of Chula Vista requires that a specific Affordable Housing Program (AHP) and agreement, consistent with the Housing Element of the General Plan, be prepared and approved concurrent with the SPA Plan. This Affordable Housing Program is intended to identify the type and location of affordable housing units to be provided, potential subsidies or incentive programs, income restrictions and methods to verify compliance. The program may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements that may include additional terms and conditions, consistent with this program.

Needs Assessment

According to SANDAG's Preliminary 2020 Cities/Counties Forecast, Chula Vista is expected to gain 46,000 new residents and 13,801 new households. The characteristics of the City's population, housing, and employment that affect its housing goals, policies and programs include:

- Chula Vista Residents have household income and age characteristics that nearly match the regional median.
- The population has more diversity in race/ethnicity than the region, in that 44 percent of the population is white (non-Hispanic) and 42 percent is Hispanic (all races). This compares to 63 percent and 23 percent, respectively, for the region as a whole.
- Household size is slightly larger than the region, at 3.0 persons per household compared to 2.83 per household for the region.
- A large supply of vacant developable land is planned for communities with a wide variety of densities and land use types.
- The well-established neighborhoods and master planned neighborhoods create different opportunities and require a different set of policies and programs to address housing needs.
- The City's diverse employment base will grow by more than 47 percent between 1995 and 2005, with the majority of growth in the retail, service and governmental sectors.
- A high rate of new home construction is anticipated due to the many approved master planned communities in the City.
- Reinvestment in the well-established neighborhoods of Chula Vista continues to be needed.
- Approximately 13,00 units will be 50 years or older by 2004.
- A home ownership rate of 53 percent is nearly the same as the region's rate of 54 percent.

- The very low rental vacancy rate of 1.1 percent indicates likely increased housing costs and greater likelihood of over-crowding.
- The median housing cost (resale) of \$177,000 is \$18,500 less than the region's median cost of \$195,500.
- Average rents are 10 percent to 30 percent lower than the region wide average rents.

The City has two sets of numerical housing goals established by SANDAG, which are also addressed in the City's draft General Plan Housing Element update; the City's share of the region's future housing needs (regional share goals) and the affordable housing goal for self-certification. The total regional share goal is 10,401 new housing units of which 1,889 are very low-income units and 1,535 are low income. The estimated affordable housing goal for self-certification in 2004 is 1,029 housing opportunities for low-income households.

II.6.2 Village Eleven Affordable Housing Obligation, Location, Phasing, Design and Unit Mix

Obligation

The City of Chula Vista Housing Element and the Otay Ranch GDP provide that ten percent of the total units will be affordable to low and moderate income households. Of the ten percent, five percent must be affordable to low income households and five percent must be affordable to moderate income households. The estimated Village Eleven affordable housing unit obligation is based on the Village Eleven SPA entitlement authorization of 2,304 units within the Village. The affordable units required for Village Eleven are 115 low income and 115 moderate-income affordable units.

Types of Affordable Housing

The housing policies established in the City of Chula Vista Housing Element advocate a broad variety and diversity of housing types. The affordable housing obligations of Village Eleven will be met through a combination of housing types including rental and "for-sale" housing. In general, low-income housing needs will be satisfied through the provision of rental units in and near the Village core. Housing opportunities to meet the needs of moderate income households will be provided through a combination of market-rate rental units as well as "for-sale" housing in medium-high to higher density developments.

Location

The location of affordable housing developments shall take into consideration proximity to and availability of the following:

- Existing or proposed public transit facilities or transportation routes;
- Existing or proposed community facilities and services, such as shopping, medical, child care, recreation areas and schools; and
- Existing or future employment opportunities.

Affordable housing sites within Village Eleven are located within or adjacent to the Village Core, in close proximity to parks, schools, public transportation, retail commercial and community purpose facilities. Multiple-family development sites of 15 to 18 dwelling units per acre or greater are proposed to accommodate “for-sale” affordable housing for moderate-income households. Target sites include R-22 and R-24, both medium-high density townhouse/condominium sites at 15.0 dwelling units per acre and R-19, a medium-high density condominium development likely consisting of two and three story buildings at 18.0 dwelling units per acre. Additional opportunities for rental housing to accommodate moderate-income households may be provided in the apartment development on R-25 and the Mixed-use site shown on Exhibit II.6.2-1, Otay Ranch Village Eleven SPA Land Use Plan.

Affordable housing to accommodate low-income households will be provided within rental housing developments in R-25 and possibly within the Mixed-use site. Depending upon the availability of adequate subsidies, incentives or other financing assistance, a limited number of “for-sale” multi-family housing units affordable to low income households might be available within R-19.

Identification of target sites in this Affordable Housing Program describes one way in which the Village Eleven affordable housing obligation might be met, and is not meant to preclude other alternatives. Such alternative might include, by way of example, the aggregation of rental housing affordable to low-income households within the Mixed-use site, or as a separate component of another development site such as R-25 or R-19. A final determination as to the location and type of the affordable housing sites will occur with subsequent entitlements, approvals and agreements.

Although this Affordable Housing Plan contemplates that the low and moderate income housing obligations will be met within Village Eleven, it is not intended to preclude consideration of other sites on a case-by-case basis. Evaluation of alternate locations should include an analysis of the specific benefit to be gained from development of such replacement site, including such factors as an increase in the number of affordable units, deeper affordability levels, or the earlier satisfaction of the affordable housing requirement.

Phasing

Village Eleven will be built in three phases, beginning in the northern portion of the site, adjacent to Olympic Parkway. Access, availability of utilities and infrastructure and site topography largely dictate development phasing. Although none of the affordable housing sites are located within the first development phase, one site (R-22) will be included in the first grading phase and will be one of the first sites developed in Phase 2.

Phase 2 includes a mix of affordable housing sites, including rental housing for low and moderate-income families (R-25) as well as for-sale housing opportunities for moderate-income households (R-22 and R-24). Phase 3 affordable housing sites include "for-sale" housing (R-19) and possibly additional rental housing in the Mixed-use site.

Detailed schedules and building permit stipulations for the construction of affordable units in relation to other market rate units will be established through the initial Affordable Housing Agreement. The Affordable Housing Agreement must be in place prior to the approval of the first Final Subdivision Map. The total number of units and the proposed schedule for construction of the affordable housing units are summarized in Table II.6.2-1.

**Table II.6.2-1
Residential Unit Numbers and Phasing**

Project Phase	Total Units in Phase	Low Income Units in Phase*	Moderate Income Units in Phase*
Phase 1	532	0	0
Phase 2	1029	85	78
Phase 3	743	30	37
Buildout	2,304	115	115

*The schedule for providing affordable units is determined based on the phasing of the overall project, although the units provided will not necessarily be located within the boundaries of that phase.

The Developer shall diligently pursue completion of the construction of the low and moderate income housing units as per the above implementation schedule.

Design

Affordable housing shall be compatible with the design and use of the market rate units, in terms of appearance, materials, and finish quality. The developer shall have the option of reducing the interior amenities, levels and square footage of the affordable units.

Unit Mix by Bedroom Count

The affordable units shall have an overall unit mix by bedroom count which reflects the appropriate community need and shall be comparable to the unit mix by bedroom count of the market rate units in the residential development. Given that 14 percent of the households in Chula Vista (according to the 1990 Census) are large families of five persons or more and a desire on the part of the City to provide housing opportunities for these families throughout the City, a minimum of fifteen percent (15%) of the affordable units shall have three or more bedrooms. Affordable housing to be sold and occupied by income eligible households (for sale units) shall also provide a minimum of two bedrooms.

Should the developer satisfy the affordable housing obligation through the provision of housing for senior citizens as defined by Section 51.3 of the California Civil Code, the developer does not need to provide three bedroom units. However, the developer may only satisfy such obligation through the provision of housing for senior citizens if the City considers such housing to be a high priority need and provides advantages as to location, diversity of housing types, and/or affordability levels.

II.6.3 Affordable Housing Restrictions

Income Eligibility

To determine the eligibility of a household for the low and/or moderate income housing unit, the household purchasing or renting the affordable unit must qualify as a lower income/moderate income household, as established by and amended from time to time pursuant to Section 3 of the United States Housing Act of 1937, as published by the U.S. Department of Housing and Urban Development (HUD), and as also provided in California Health and Safety Code Sections 50079.5 and 50105.

Affordable Monthly Rents

For rental housing, compliance with the affordable housing requirements is determined by verifying that the total rent cost paid by the tenant is considered affordable as defined below. To determine affordable rent costs, monthly "Affordable Rent" includes all actual or projected monthly payments for the following:¹

¹ 25 California Code of Regulations Section 6918

- Use and occupancy of a housing unit and the associated land and facilities;
- Any separately charged fees and service charges assessed by the lessor which are required by all tenants but is not to include security deposits;
- A reasonable allowance for utilities (including garbage collection, sewer, water, electricity, gas and other heating, cooking, and refrigeration fuels but not to include telephone service, cable TV, or high speed modem) as defined by the Federal Regulations for the Tenant Based Rental Assistance Program; and,
- Possessory interest taxes or other fees and charges assessed for use of the associated land and facilities by a public or private entity other than the lessor.

Affordable monthly rent is not to exceed following calculations:

- **Very Low Income:**
50 percent (50%) of the Area Median Income (AMI) for San Diego County, adjusted for household size appropriate for the unit, multiplied by 30 percent (30%) and divided by 12.
- **Low Income:**
80 percent (80%) of the Area Median Income (AMI) for San Diego County, adjusted for household size appropriate for the unit, multiplied by 30 percent (30%) and divided by 12.
- **Moderate Income:**
120 percent (120%) of the area median income (AMI) for San Diego County, adjusted for household size appropriate for the unit, multiplied by not more than 35 percent (35%) and divided by 12.

Should subsidized financing and other incentives from a public agency be proposed and obtained, the monthly affordable rent shall be dictated by such program or granting Agency. If no affordable rent is specified, affordable monthly rents shall be established in accordance with Section 50053 of the California Health and Safety Code.

Affordable Housing Costs for Owner Occupied Housing

For ownership housing (for sale units), compliance with the affordable housing requirements is determined by verifying that the sales price paid by the buyer equates to a total housing costs that is considered affordable as defined below.

To determine affordable housing costs, monthly "Housing Payments" includes all actual or projected monthly payments for the following:

- Principal and interest on a mortgage loan, including rehabilitation loans, at the time of initial purchase by the homebuyer;
- Allowances for property and mortgage loan insurance fees;
- Property taxes and assessments;

- A reasonable allowance for utilities (including garbage collection, sewer, water, electricity, gas and other fuels but not to include telephone service, cable TV or high speed modem) as defined by the Federal Regulations for the Tenant Based Rental Assistance Program;
- Homeowners association fees; and
- Space rent, if the housing unit is on rented land.

Affordable monthly housing payments are not to exceed the following calculations:

- **Very Low Income:**
50 percent (50%) of the Area Median Income (AMI) for San Diego County, adjusted for household size appropriate for the unit, multiplied by 30 percent (30%) and divided by 12.
- **Low Income:**
80 percent (80%) of the Area Median Income (AMI) for San Diego County, adjusted for household size appropriate for the unit, multiplied by 30 percent (30%) and divided by 12.
- **Moderate Income:**
120 percent (120%) of the Area Median Income (AMI) for San Diego County, adjusted for household size appropriate for the unit, multiplied by not more than 35 percent (35%) and divided by 12.

Should subsidized financing and other incentives from a public agency be proposed and obtained, the affordable monthly housing payment shall be dictated by such program or granting Agency. If no affordable monthly housing payment is specified, the affordable monthly housing payment shall be established in accordance with Section 50052.5 of the California Health and Safety Code.

Underwriting Requirements

To ensure the preservation of affordability of proposed low and moderate-income housing and financial viability of program participants, the City shall encourage the following policies:

- Fixed rate mortgages only. No adjustable rate mortgages;
- Affordable monthly housing payments no more than 33 percent of household income ("Front End Ratio"). Total debt payments no more than 45 percent of household income ("Back End Ratio").
- No "teaser" rates; and,
- No non-occupant co-borrowers.

Resale Provisions of Owner Occupied Housing

In order to ensure the continued affordability of the units, resale of the units must be restricted for the required term of thirty (30) years. After initial sale of the affordable units to a low-income household, all subsequent buyers of such units must also be income eligible and the unit must be sold at an affordable price. A developer may opt to have no income or sales price restriction for subsequent buyers, provided however that restrictions to the satisfaction of the City are in place that would result in the recapture by the City or its designee of a financial interest in the units equal to the amount of subsidy necessary to make the unit affordable to a low income household and a proportionate share of any equity. Funds recaptured by the City shall be used to provide assistance to other identified affordable housing production or contributions to a special needs housing project or program. To the extent possible, projects using for-sale units to satisfy the obligations of developers under the City's Affordable Housing Program shall be designed to be compatible with conventional mortgage financing programs including secondary market requirements.

Term of Affordability Restrictions

Should subsidized financing or other incentives from a public agency be proposed and obtained, the length of time income and rent restrictions are to be maintained for an affordable rental project shall be determined by such program or granting Agency. If more than one funding source is utilized, the term of the affordability restrictions shall be the longest required by any of the funding sources. If no term of the affordability restrictions is specified, it shall be fifty-five (55) years from issuance of the Certificate of Occupancy for the first structure providing income and rent restricted units. In the event that no subsidized financing or other incentives from a public agency is obtained, affordability restrictions shall remain in effect for twenty (20) years from the date of issuance of the Certificate of Occupancy for the first structure in the project. The term of affordability and resale restrictions for affordable for-sale units are more appropriately described above in "Resale Provisions of Owner Occupied Housing."

II.6.4 Subsidies, Incentives and Financing Mechanisms

Appendix "A" attached to this Affordable Housing Plan identifies some of the potential subsidies, incentives, and financing mechanisms that may be used to satisfy the Village Eleven affordable housing obligation. The list contained in Appendix "A" is not intended to limit the use of other subsidies, incentives and financing mechanisms which are available now or may become available in the future. The obligation to provide affordable housing shall not be dependent upon the availability of such subsidies, incentives or financing mechanisms.

The City agrees to use its reasonable best efforts to assist the in pursuing the benefit of certain financing mechanisms, subsidies and other incentives to facilitate provision of affordable housing for Village Eleven, including those which require approvals from, or allocations by other agencies, to the extent that such resources and programs for this purpose are available. These mechanisms include, but are not limited to, local, state and federal subsidies and City density bonuses, planning, and design and development techniques and standards, and City fee waivers or deferrals which reduce the cost of providing affordable housing (collectively, the "Cost Reducing Mechanisms"). The parties acknowledge that the City is not hereby committing and cannot guarantee the availability of any Cost Reducing Mechanisms to the Developer for Village Eleven. The City reserves the right to approve, approve with conditions or disapprove, in its sole discretion, any Developer request for subsidized financing sponsored by the City.

Density Bonus

Projects that meet the applicable requirements of State law (Government Code Section 65915) as a result of affordable housing units, are entitled to a density bonus or other incentives in accordance with the provisions of such law.

II.6.5 Compliance Reporting

The Compliance reports described below shall be submitted to the City of Chula Vista Community Development Department. The requirements imposed by providers of subsidized financing or other Cost Reducing mechanisms may replace the terms described below at the sole discretion of the City.

Rental Units' Compliance Packet and Audit

Should a Developer seek approval by the City to credit a tenant toward its low and/or moderate income housing obligation, the Developer must give the City, at a minimum, a report verifying compliance with the terms of this document and/or the subsidizing financing program consisting of the following:

- Supplemental Rental Application - Exhibit 1
- Semi-Annual Report – Exhibit 2A and 2B
- Authorization to Release Information
- Acknowledgement that the information is for the City's Reporting and Administration use only.

The Developer shall not be required to perform any extraordinary investigation or verification regarding such information other than the Developer's usual and customary means of income verification. The methods of income verification may vary based upon the nature of the income reported by the tenant, and may include employment verification, copies of recent paycheck stubs, evidence of social security or other government payments, or copies of tax returns. The Developer shall retain the Supplemental Rental Application and any supporting documents for a period of at least three (3) years after the applicant ceases to occupy a low and/or moderate income housing unit.

A household occupying a designated low and/or moderate income unit whose annual income increases subsequent to occupying said unit (referred to as "over income household") and thus exceeds the 80% of area median income for low income households or 120% of area median income for moderate income households, need not vacate the apartment. However, at the Developer's discretion, this over income household's monthly rent (including utilities) may be increase to the market rate. Regardless of a rent increase, the Developer can no longer credit this over income household towards its 5% low income requirement and is obligated to replace this unit by renting the next comparable unit to a low income household as per the paragraph below. Thus, the Developer shall provide income information biannually and acknowledge that should its income increase, the household may be subject to a higher rent. Adjusted monthly incomes can be calculated using rules according to the HUD Handbook 4350/3 Occupancy Requirements for HUD Subsidized Multifamily Housing.

The location of the designated units may change over time (to be referred to as "floating units") as long as the total number of affordable units remains constant and that substituted units are comparable in terms of size, features, and the number of bedrooms, as determined by the Director of the Community Development Department. If the over income household does not vacate the unit, the Developer must assure that when the next comparable apartment becomes vacant, the newly available unit must be rented to a low income household, as a floating unit, to replace the previously designated unit no longer housing a low and/or moderate income household. If the over income household chooses to leave, the vacated unit retains its low income unit designation. If a residential apartment complex is designated as 100% low and/or moderate income, the over income household will not be required to vacate, if it pays the increased rent, and the unit will not be replaced with a "floating unit." When the over income household vacates the unit, the unit retains its low income unit designation.

If the City determines that an outside audit is necessary to verify the accuracy of the submitted rent roll, then on a basis no more frequently than once a year, it may require such an audit at the expense of the Developer. In such an event, within ten (10) days after delivery of the City's written request for such outside audit, the Developer shall deliver to the City the name of three (3) certified public accountants doing business in the Metropolitan San Diego area. The City will promptly deliver to the Developer notice of approval by the City of one or more of said names.

The audit shall be completed by an approved certified public accountant, at the Developer's sole cost and expense, within sixty (60) days after the delivery to the Developer of the City's approval. The certified public accountant shall promptly deliver a copy of the written audit to the City. Such audit shall be an audit of the Developer's records, including the information supplied to the Developer by the low income tenants. The auditor shall not be required to verify the accuracy of the information provided by the low-income tenants.

Home Ownership Units' Compliance Packet

Should the Developer seek approval by the City to credit a home purchase toward its low and/or moderate income housing obligation, the Developer must give the City, at a minimum, a compliance packet including the following:

- Copy of Settlement Sheet
- Final 1003
- Final Uniform Underwriting Transmittal Summary
- Good Faith Estimate
- Authorization to Release Information by Purchaser
- Annual Certification of Homebuyer to include a copy of tax information and copy of phone or other utility bill
- Acknowledgement that the information is for the City's Reporting and Administration use only

Verification of low and/or moderate-income buyer is to be completed by the Developer on behalf of the City. The Developer shall not be required to perform any extraordinary investigation or verification regarding such information other than the Developer's usual and customary means of income identification. The methods used to verify income will vary depending upon the nature of sources of income reported by the buyer, but may include employment verification, review of recent paycheck stubs, government or social security payments, or a review of recent tax returns.

The Developer may contact the City's Community Development Housing Division's Housing Coordinator to confirm the City's acceptance of the applicant as credit toward the Developer's low and/or moderate income housing unit obligation. The Developer may contact the City prior to the sale of the unit for consultation purposes if desired; however, approval will be given in writing only after the required documents are reviewed and accepted by the City

II.6.6 Affirmative Marketing Plan

The Developer shall provide a marketing plan acceptable to the City, in the City's reasonable discretion, for proactively marketing the low and moderate income housing units to low and moderate income tenants and purchasers. Developer shall use good faith and reasonable best efforts to market the low and moderate income housing units to low and moderate income tenants and purchasers according to the affirmative marketing plan. (See Exhibit 4, "City Requirements for Affirmative Action Plan.")

The City will use good faith and reasonable best efforts to assist the Developer in marketing low and moderate income housing units to low and moderate income tenants and purchasers obtaining the services of a third-party organization in connection with such marketing efforts, processing the applications of prospective tenants and purchasers of low and moderate income housing units, and complying with the reporting requirements as required herein.

II.6.7 Implementing Agreements and Conditions

This AHP may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements that may impose additional terms and conditions consistent herewith.

II.6.8 Definitions

Affirmative Marketing Plan:

An outline that details actions the Developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, familiar status, color, religion, national origin, ancestry, handicap, age, or any other category which may be defined by the law now or in the future.

Low Income Household:

A household of persons who claim primary residency at the same unit with combined incomes that are greater than 50%, but not more than 80% of the Area Median Income for the San Diego area based on household size as determined annually by the U.S.

Department of Housing and Urban Development (HUD). Household size is calculated by the number of persons residing at the same unit as their primary residency.

Moderate Income Household:

A household of persons who claim primary residency at the same unit with combined incomes between 80% to 120% of the Area Median Income for the San Diego area based on household size as determined annually by the U.S. Department of Housing and Urban Development (HUD). Household size is calculated by the number of persons residing at the same unit as their primary residency.

San Diego Area Median Income:

The San Diego County area median income level as determined from time to time by HUD, based on household size.

Subsidized Financing:

Any financing provided by any public agency specifically for the development and construction of low or moderate income housing units, including but not limited to the following:

- Low Income Housing Tax Credits (LIHTC) – statewide competition;
- Housing Bonds – State;
- Housing Bonds – City of Chula Vista;
- Redevelopment Low and Moderate-income Housing Fund – Redevelopment Agency;
- HOME – City of Chula Vista and County of San Diego;
- Community Development Block Grants – City of Chula Vista; and,
- Other Public Financing – State and Federal.

II.6.9 EXHIBITS

EXHIBIT 1A
Supplemental Rental Application

The rental unit for which you are applying has received governmental assistance under programs to encourage more affordable housing. As a result, the unit carries a rent level restriction and is restricted to occupancy by low and moderate income households.

The information required on this form is necessary to determine your income eligibility to occupy the unit. You must report all household income. Information provided will be confidential and not subject to public disclosure pursuant to State Government Code Section 6254(n).

Rental Unit Address _____

Applicant Name _____

Other Household Members _____

Total Current Annual Household Income from all Sources Including Asset:

TOTAL \$ _____

Detail:

Household Member _____ Income _____ Source _____

Total Gross Annual Household Income shown on most recent Federal Tax Return from Previous Calendar Year (Attach copies of most recent Federal Tax returns from previous calendar year for all household members receiving income. Include other verification of income not appearing on tax forms).

\$ _____

Monthly Rental Rate \$ _____

Number of Bedrooms _____

EXHIBIT 1B

Applicant's Statement

I certify under penalty of perjury that the following information is true and correct to the best of my knowledge. I understand that any misrepresentation of the information contained herein may be cause for eviction.

Signature _____ Date _____

Owner's Statement

Based on the foregoing information, I certify under penalty of perjury that the applicant is eligible to occupy this restricted low and moderate income housing unit. Eligibility is based on finding that the applicant's household's current annual income is \$ _____ and does not exceed current maximum household income of \$ _____ allowed under the terms of a Development Agreement with the City of Chula Vista regarding this residential rental development.

Name: _____

Title: _____

Signature: _____ Date: _____

**EXHIBIT 2A
Semi-annual Report**

Owner's Certification

I am the owner or owner's representative for an affordable housing development in the City of Chula Vista which is bound by a Housing Agreement with the City.

I certify under penalty of perjury that the attached rent roll for affordable units at my project is true and correct to the best of my knowledge and complies with the terms and conditions stipulated in the Affordable Housing Agreement, or any agreements that implements the same, with the City of Chula Vista.

Name: _____

Title: _____

Signature: _____ Date: _____

EXHIBIT 2B
Semi-Annual Affordable Housing Monitoring Report


CITY OF VISTA
SEMI-ANNUAL AFFORDABLE HOUSING MONITORING REPORT

Project Name: _____
 Project Address: _____
 Contact Person: _____ Title: _____
 Telephone No.: _____ Fax No.: _____
 As of (Date): June 30, _____ December 31, _____
 Reviewed By: _____ Date: _____

Bdrm Size	Restricted - Affordable		Non-Restricted		TOTAL
	No. of Units	Avg Monthly Rent	No. of Units	Avg Monthly Rent	
Studio					
1 Bedroom					
2 Bedrooms					
3+Bedrooms					
TOTAL					

Unit No.	Bdrm Size	Monthly Rent \$	Name of Household	No. of Occupants	Total Monthly Household Income \$	Percent Median Income	Seniors - One Occupant 60 Yrs+ (Y/N)	Date of Last Income Re-Examination	FOR CITY USE ONLY Unit In Compliance (Y/N)
Example	2	\$695	Doe, John	2	\$2,800	%	N/A	1/99	
1.		\$			\$	%			
2.		\$			\$	%			
3.		\$			\$	%			

EXHIBIT 2B
Semi-Annual Affordable Housing Monitoring Report

 **CITY OF VISTA**
SEMI-ANNUAL AFFORDABLE HOUSING MONITORING REPORT

Project Name: _____
 As of (Date): June 30, _____ December 31, _____

Unit No.	Bdrm Size	Monthly Rent \$	Name of Household	No. of Occupants	Total Monthly Household Income \$	Percent Median Income	Seniors - One Occupant 60 Yrs+ (Y/N)	Date of Last Income Re-Examination	FOR CITY USE ONLY Unit in Compliance (Y/N)
4.		\$			\$	%			
5.		\$			\$	%			
6.		\$			\$	%			
7.		\$			\$	%			
8.		\$			\$	%			
9.		\$			\$	%			
10.		\$			\$	%			
11.		\$			\$	%			
12.		\$			\$	%			
13.		\$			\$	%			
14.		\$			\$	%			
15.		\$			\$	%			
16.		\$			\$	%			
17.		\$			\$	%			
18.		\$			\$	%			
19.		\$			\$	%			
20.		\$			\$	%			

Deadline for Submittal: January 15th and July 15th of each year.

Word: Monitor Rpt -AH Hsg

Revised: January 2001

**EXHIBIT 3
Homebuyer's Qualifying Form**

Buyer's Name _____

Current Address _____

Tract _____

Lot # _____

Lot Address _____

Purchase Price * _____

Monthly PITI Payment _____

% of Income _____

Bedrooms _____

Household Size _____

Year of Purchase _____

Median San Diego
Household Income _____

% of Median _____

Current Income _____

Signature Authorizing
Release to City _____

Sales Representative _____

Submitted to City on _____

Note: This information is for the City's Reporting and Administrative Use Only.

EXHIBIT 4
City Requirements for Affirmative Marketing Plan

City of Chula Vista Equal Housing Opportunity Requirements For the
Low/Moderate Income Housing Affirmative Marketing Plan

Every Developer complying with the City of Chula Vista's Housing Element's "Affordable Housing Plan" shall submit to the City and Affirmative Marketing Plan for City Review and Approval which details actions the Developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, familiar status, color, religion, national origin, ancestry, handicap, age, or any other category which may be defined by the law now or in the future.

- I. The City of Chula Vista Affirmative Marketing Requirements are as follows. Please note, however, the Plan is not limited to the Requirements.
- (i) Detail methods for informing the public, buyers and potential tenants about Federal fair housing laws and the City of Chula Vista's affirmative marketing policy;
 - (ii) Publicize to minority persons the availability of housing opportunities through the type of media customarily utilized by the applicant, including minority outlets which are available in the housing market area;
 - (iii) Identify by language and by number any significant number of persons in a community within the housing market area who have limited fluency in the English language;
 - (iv) Where there is a significant number of persons in a community within the housing market area who have limited fluency in the English language, the Plan shall:
 - (a) Identify the media most likely to reach such persons.
 - (b) Advertise for the housing development in the native language of such persons, in addition to the English language, and
 - (c) Describe the provisions which the housing sponsor will make for handling inquiries by and negotiations with such persons for the rental or sale of units in the development.

- (v) Detail procedures to be used by the Developer and/or property manager to inform and solicit applications from persons in the housing market area who are not likely to apply for the housing without special outreach (e.g., use of community organizations, places of worship, employment centers, fair housing groups, or housing counseling agencies).
- II. Records must be kept describing actions taken by the Developer and/or property managers to affirmatively market units and records to assess the results of these actions:
- (i) The records shall include a copy or transcript of the advertisement copy, the identity of the media in which it was disseminated, and the date(s) of each appearance. The housing sponsor shall also keep a record of the dates and places of any meetings or communications between the housing sponsor and any individual or group referred to the housing sponsor by the agency or organizations representing any of the groups within the community acting on behalf of any classification of minority persons described above. Such records shall be retained for a period of five years;
 - (ii) A description of how the Developer and/or property managers will annually assess the success of affirmative marketing actions and what corrective actions will be taken where affirmative marketing requirements are not met; and
 - (iii) The Developer/property manager shall furnish all information and reports required hereunder and will permit access to its books, records and accounts by the City of Chula Vista, HUD or its agent, or other authorized Federal and State officials for purposes of investigation to ascertain compliance with the rules, regulations and provisions stated herein.
- III. The City of Chula Vista may from time to time review the Plan and the Developer's and property manager's activities pursuant to the Plan and may require amendments to the Plan if it does not fully comply with the requirements of this section.
- IV. An affirmative marketing program shall be in effect for the duration of the Qualified Term defined in the Affordable Housing Agreement
- V. If a source of funding uses in a low/moderate income housing development, such as federal or state funds, has affirmative marketing requirements more restrictive than the City of Chula Vista's affirmative marketing requirements, then the more restrictive applies.

Otay Ranch Village Eleven

II.7 Air Quality Improvement Plan

On November 14, 2000, the City Council adopted the Carbon Dioxide (CO₂) Reduction Plan, which included implementing measures regarding transportation and energy efficient land use planning and building construction measures for new development. In this Plan, it was recognized that the City's efforts to reduce carbon dioxide emissions from new development are directly related to energy conservation and air quality efforts. As a result, the City is initiating a pilot study to develop a program to be implemented in new SPA Plans through updating the guidelines for preparation of required Air Quality Improvement Plans (AQIP). In summary, the pilot study involves the development of a computer model to evaluate the relative effectiveness of applying various site design and energy conservation features in new development projects. The pilot study will analyze the Otay Ranch Village Eleven SPA project (and two other pending SPA projects), and result in the preparation of an AQIP for Village Eleven which will be considered in conjunction with actions on the project's Tentative Subdivision Map.

Otay Ranch Village Eleven

II.8 Water Conservation Plan

The City is in the process of developing guidelines for the preparation and implementation of Water Conservation Plans. This effort involves a pilot study to evaluate the relative effectiveness, costs and issues associated with the implementation of additional water conservation measures beyond those currently mandated, in three new development projects including Otay Ranch Village Eleven. The evaluation will encompass additional technical water saving devices, as well as the potential expanded use of recycled water, and possible gray water use. The pilot study will provide information to be used in finalizing a Water Conservation Plan for Village Eleven to be considered in conjunction with actions on the project's Tentative Subdivision Map.

Otay Ranch Village Eleven

II.9 Non-Renewable Energy Conservation Plan

October 23, 2001

Brookfield Shea Otay, LLC.

12865 Pointe Del Mar
Suite 200
Del Mar, California 92014-3859
(858) 481-8500
Contact: John Norman

NON-RENEWABLE ENERGY CONSERVATION PLAN

The Otay Ranch GDP requires the preparation of a Non-Renewable Energy Conservation Plan to identify feasible methods to reduce the consumption of non-renewable energy sources, including but not limited to, transportation, building design and use, lighting, recycling, alternative energy sources and land use.

On November 14, 2000, the City Council adopted the Carbon Dioxide (CO₂) Reduction Plan, which included implementing measures regarding transportation and energy efficient land use planning and building construction measures for new development. In this Plan, it was recognized that the City's efforts to reduce carbon dioxide emissions from new development are directly related to energy conservation and air quality efforts. As a result, the City is initiating a pilot study to develop a program to be implemented in new SPA Plans through updating the guidelines for preparation of required Air Quality Improvement Plans (AQIP). In summary, the pilot study involves the development of a computer model to evaluate the relative effectiveness of applying various site design and energy conservation features in new development projects. The pilot study will analyze the Otay Ranch Village Eleven SPA project (and two other pending SPA projects), and result in the preparation of an AQIP for Village Eleven which will be considered in conjunction with actions on the project's Tentative Subdivision Map. Further energy conservation policies and measures resulting from the outcome of the pilot study will be included in the Non-Renewable Energy Conservation Plan which will also be considered in conjunction with actions on the project's Tentative Subdivision Map.

Fossil fuels provide the majority of non-renewable energy sources in the San Diego region. These fuels are directly consumed in the form of gasoline, diesel fuel and natural gas, and indirectly consumed as electricity generated from these fuels. The goals, objectives and policies of the GDP provide for the long range increase in conservation and reduction of consumption of non-renewable energy sources.

Opportunities for energy conservation in new development fall into three categories: 1) the arrangement and intensity of land uses; 2) mass transit and alternative transportation modes; and 3) building siting, design and construction. The greatest opportunities for significant conservation are transportation related. The planning of Otay Ranch and its villages maximizes these opportunities by concentrating intensity of development around new transit facilities, providing for a regional transit-way and encouraging pedestrian, bicycle and electric travel as an alternative to the automobile.

Land Use and Community Design

Land use and community design that encourages energy conservation include:

- Transit Oriented Development

Village Eleven concentrates housing, commercial, community purpose, school and park land uses in a village core. The convenient location and integrated circulation system places daily needs within walking and cycling distance of most village residents. A public transit bus line may extend through the village, with stops in the village core and at other strategic locations. The village core is located in the western portion of the village in proximity to the regional transit-way and stations in the EUC and FC developments.

- **Housing Efficiency**
Village Eleven includes a high proportion of small single family and multi-family residences. These smaller and attached buildings use less energy for heating and cooling than larger, single-family detached homes
- **Street Widths, Pavement and Street Trees**
Narrow streets and a reduction in pavement reduces heat build up and the demand for air conditioning. Street trees provide shade that further reduces temperatures.

Transit Facilities and Alternative Transportation Modes

Otay Ranch provides two transportation modes to reduce energy consumption:

- **Regional Transit-Way**
A regional transit-way, envisioned as an extension of the San Diego light rail transit system, is planned for Otay Ranch. Right-of-way for the line is located in the FC and EUC planning areas to the west of Village Eleven.
- **Electric Cart**
Electric cart travel is envisioned as an alternative mode of travel within and between villages. Travel speed on streets in Village Eleven is a maximum of 25 miles per hour, allowing carts to share the streets with automobiles and bicycles. Carts may also travel on the paseos and village pathway in through the village core. Special cart parking spaces will be provided in the village core.

Building Siting and Construction

Energy conservation features for building siting and construction include the following:

- **Improved Construction Standards**
Construction in Village Eleven will adhere to the Building Energy Efficiency Standards in Title 24 of the California Code of regulations.
- **Solar Access**
Passive solar design and building orientation can take advantage of the sun in the winter for heating and reduce heat gain and cooling needs during the summer.
- **Lighting**
Energy efficient lighting will be used to light streets, parks and other public spaces. Builders will be encouraged to use energy efficient lighting in commercial and residential development.

Otay Ranch Village Eleven

II.10 Parks, Recreation, Open Space and Trails Plan

October 23, 2001

Brookfield Shea Otay, LLC.

12865 Pointe Del Mar
Suite 200
Del Mar, California 92014-3859
(858) 481-8500
Contact: John Norman

TABLE OF CONTENTS

	<u>Page</u>
I. Introduction	
Purpose	1-1
Regulatory Framework	1-1
Otay Ranch GDP Goals and Policies	1-5
Village Eleven Parks Requirements	1-6
II. Village Park and Recreation Program	
Recreation	2-1
Parks	2-4
Village Trails	2-10
Open Space	2-15
Water Conservation	2-20
Brush Management	2-21
III. Contributions to Otay Ranch Parks and Open Space	
Open Space	3-1
Community Parks	3-1
IV. Ownership and Maintenance Options	
Community Facilities District and Homeowner’s Association	4-1
Public Agency Maintenance	4-1
Public Works Department	4-1
V. Phasing	
Neighborhood Park	5-1
Town Square Park	5-1
Open Space	5-1
Trails	5-1

ILLUSTRATIONS

Figure 2-1	Parks, Recreation, Open Space and Trails Plan	2-5
Figure 2-2	Neighborhood Park (P-1) Concept Plan	2-7
Figure 2-3	Town Square (P-4) Concept Plan	2-9
Figure 2-4	Trails Cross Section	2-14
Figure 2-5	Eastern Private Recreation Facility (P-2) Concept Plan	2-16
Figure 2-6	Village Core Private Recreation Facility (P-3) Concept Plan	2-18

I. Introduction

Purpose

This SPA Master Facility Plan identifies and describes park, recreation, open space and trail facilities and implementation for Otay Ranch Village Eleven. This Plan meets the Otay Ranch Parks, Recreation and Open Space goals, objectives, policies and implementation measures identified in the Otay Ranch GDP to provide parks, recreation and open space amenities. The primary goal is to enhance the quality of life for residents and visitors by providing a variety of active and passive recreational opportunities. This Plan incorporates both SPA and Tentative Map level requirements for planning parks, recreation facilities, open space and trails provisions associated with the development of Village Eleven.

Regulatory Framework

The provision and implementation of parks and open space in Village Eleven is regulated by the following:

Chula Vista Municipal Code – SPA Plans

Section 19.48 090 of the Chula Vista Municipal Code establishes Sectional Planning Area Plans, Requirements and Content. Subsection C.1. requires the following information to be contained in a SPA site utilization plan:

- Land Uses
- Parks
- Open Space

Chula Vista Municipal Code – Park Lands and Public Facilities

Chapter 17 10 of the Chula Vista Municipal Codes establishes the requirements for dedication of land, development of improvements, parkland criteria, in-lieu fees for land dedication and development improvements, commencement of park development, and collections and distribution of park fees.

Otay Ranch General Development Plan (GDP)

The GDP requires specific identification of park, recreation and open space provisions at the Sectional Plan Area (SPA) Plan level. The SPA requirements are:

- Provide a Parks Master Plan
- Identify and reserve specific sites.
- Identify equipment needs.
- Identify alternative financing methods.
- Identify alternative maintenance entities and funding.
- Identify phasing.
- Identify plans for the use of reclaimed water, as appropriate.
- Review need for special purpose parks.

Chula Vista Landscape Manual

As provided in the Chula Vista Landscape Manual, the following is an overview of the park and open space development process and specific submittal requirements. Subsequent to final map approval, the following process will be initiated:

- Parks

The Landscape Manual requires the preparation of a Park Concept Plan, Master Plan, Design Development and Construction Documents as described below

“Concept Plan: The Concept Plan is the initial phase in the park design process. Work product relative to this phase includes, but is not limited to meeting with staff to discuss the project and the desired uses, site analysis, program development of site features and components; development of various schematic alternatives to evaluate site planning options; determination by staff of the preferred alternatives; and preparation and submittal of the refined concept plan.”

“Master Plan: The Master Plan phase is the refinement of the Concept Plan to bring the park design to a detail and graphic level acceptable for presentation to the Parks & Recreation Commission and City Council. The plan(s) are to be colored renderings, mounted on foam-core. All Master Plans will be retained by the Parks & Recreation Department for presentation purposes and archival data.

“Design Development: This phase focuses on the refinement of the Master Plan, to a level of detail sufficient to move into the Construction Document phase. The determination of materials, finishes, colors, plants, quantities, etc., are to be analyzed and determined.”

“Construction Documents: The Construction Document phase consists of the preparation, review and approval of all plans necessary for utilization by the contractor for the installation of the project. Typical sheets may include: Planting, Irrigation, Construction, Grading, Layout and related Construction Details.”

- Public Open Space

Public open space for Village Eleven meets the requirements of the Otay Ranch Resource Management Plan (RMP). The Chula Vista Landscape Manual requires the preparation of an Open Space Concept and Analysis Plan, Master Plan and Construction Documents as described below.

“Open Space Concept and Analysis Plan: The Concept Plan for an Open Space project shall serve as a comprehensive plan identifying the following aspects: analysis of the existing conditions, and the mitigation of any impacts generated by the proposed project; existing features on site and any sensitive plant, habitat or wildlife existing on-site that might be impacted; identification of the various Open Space lots being proposed for turnover to the City by letter designation; the level of modifications or improvements to be installed relative to the “Code” system utilized by the City; gross area of each lot and the total area of all Open Space lots, proposed or existing adjacent land uses; and other proposed improvements such as trails, kiosks, signage, walls, etc.”

“Master Plan: The focus of this submittal is to graphically indicate the location of the project, the types and locations of improvements, relationships to the adjacent land uses and the benefits that will be derived from the project by the City and its citizens. The plan shall be at an appropriate scale to allow for accurate analysis. This plan shall be a rendered plan, mounted on foam-core and will be retained by the Parks & Recreation Department for presentation purposes and archival data.”

“Construction Documents: The Construction Document phase consists of the preparation, review and approval of all plans and documents necessary for utilization by the developer and contractor for the installation of the project. Typical sheets may include: Planting, Irrigation, Construction, Grading, Layout and related Construction Details.

Based upon the scope and type of project, staff will identify the quantity and sets to be submitted for review. Four sets of plans will typically be required for routing to other City Departments.”

- Streetscape (Medians and Parkways)

The Chula Vista Landscape Manual requires the preparation of a Master Plan and Construction Documents for Streetscapes (Medians and Parkways) as described below:

“Streetscape Master Plan: The focus of this submittal is to graphically indicate the location of the project, the types and locations of improvements, relationships to the

adjacent land uses and the benefits that will be derived from the project by the City and its citizens.”

“Construction Documents: The Construction Document phase consists of the preparation, review and approval of all plans and documents necessary for utilization by the developer and contractor for the installation of the project. Typical sheets may include: Planting, Irrigation, Construction, Grading, Layout and related Construction Details.

“Based upon the scope and type of project, staff will identify the quantity and sets to be submitted for review. Four sets of plans will typically be required for routing to other City Departments.”

Village Eleven Public Facilities Finance Plan

The Municipal Code establishes, as a condition of SPA approval, the preparation of a Public Facilities Finance Plan (PFFP). The PFFP must show how and when facilities and services necessary to accommodate the development will be installed and financed, including a phasing schedule to ensure that facilities are provided in a timely manner and that one area will not utilize more than the area’s fair share of facility or service capacity.

Entitlement Documents

Park, recreation and open space provisions are further defined as development entitlements are processed as follows:

- Tentative Map requirements:
 - Include local park sites in Conditions of Approval
 - Identify funding for local parks
 - Review existing or proposed trails on adjacent properties to ensure linkages

- Subdivision Landscape Master Plan requirements:
 - Include all principal landscape design concepts (same size/scale as Tentative Map)
 - Include all park, recreation, open space and trails
 - Identify ownership and maintenance responsibilities

- Final Map requirements:
 - Dedicate local park sites
 - Assure funding for local parks
 - Implement design guidelines

- Building Permit Requirements:
 - Pay impact fee (if established)

Otay Ranch Goals and Policies

The Otay Ranch parks and recreation goals, objectives and policies provide for a variety of parks and recreation amenities. Otay Ranch provides the opportunity for a full range of passive and active recreational opportunities both locally and on a regional basis. Otay Ranch GDP goals, objectives and policies related to park and recreation facilities include the following:

“Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Policy: Encourage joint use of utility easements with appropriate and compatible uses, including, but not limited to, open space, agriculture, parking and trails.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Policy: Commercial recreation opportunities may be permitted within town square, community and regional parks to generate revenue to defray park operational expenses.

Policy: Utilize conservation measures including reclaimed water, efficient irrigation systems and drought tolerant plant material in the development of public and private parks where allowed.

Policy: Minimize park operation and maintenance costs and identify funding sources for continued operation and maintenance of all Otay Ranch park and open space land.

Objective: Provide neighborhood and community park and recreational facilities to serve the recreational needs of local residents.

Policy: Provide a minimum of 3 acres of neighborhood and community park land (as governed by the Quimby Act) and 12 acres per 1,000 Otay Ranch residents of other active or passive recreation and open space area.

Policy: Encourage the design of park sites adjacent to public schools and other public lands where co-location of facilities is feasible. Joint use agreements with school districts are encouraged. ”

Village Eleven Parks Requirements

Parks requirements for Village Eleven are described and determined by the Otay Ranch GDP, Chula Vista Municipal Code, Chula Vista Landscape Manual and Village Eleven SPA Plan as described below.

Otay Ranch GDP

In order to serve the recreational needs of Otay Ranch residents, a standard of 3 acres of land per 1000 residents shall be provided in the form of local parks. The GDP specifies that a minimum of 7 acres of public neighborhood park and a 1-acre private town square be provided in the village and that the remaining acreage requirement be satisfied through contributions toward community parks located elsewhere in Otay Ranch. The park acreage requirement is determined by the number and type of dwelling units approved on the Village Eleven Tentative Map, in accordance with the Chula Vista Municipal Code.

The Village Eleven SPA Plan provides a 7-acre neighborhood park in the village core and adjacent to the elementary school as required by the GDP. A one-acre town square is located at the terminus of a primary village entry street to create a focal point in the village core, also in conformance with the GDP. The neighborhood park and town square provide a total of 8 acres towards the Village Eleven parks requirements.

Within the village common open space are two private recreational facilities that provide additional park and recreation opportunities. The private recreational facilities are proposed to be credited towards Community Purpose Facilities and multi-family common open space.

Chula Vista Municipal Code

The City of Chula Vista Municipal Code, Chapter 17.10, Parklands and Public Facilities (12/94), establishes the method by which actual required park acreage is to be calculated, based on the number and type of residential units determined at the Tentative Map level. In accordance with Chapter 17.10, each single family dwelling unit generates a need for 423 square feet of developed parkland. Each attached, cluster housing, or planned unit development (either condominium or subdivided ownership) generates a need for 366 square feet of developed parkland. Each multi-family dwelling unit generates a need for 288 square feet of developed parkland. Based on 996 single family, 824 attached, and 484 multi-family units, the Code requires a parkland obligation of approximately 19.3 acres for Village Eleven.

The Municipal Code also describes the requirements for provision of parks as land or in-lieu fees, as well as elements that may be required within neighborhood and community parks. The Village Eleven park obligation is met through the provision of 8 acres of park

land within the village and fee contribution towards community parks elsewhere in Otay Ranch.

City of Chula Vista Landscape Manual

Part Three of the City Landscape Manual addresses the requirements and criteria of public projects, including parks, open space and streetscapes (whether a City Public Works project or a private “turnkey” project). The Manual provides the requirements for submittals, graphics and standards, design standards and criteria, landscaping, irrigation and trails.

Village Eleven SPA Plan

The GDP requires that the SPA-level planning include definition of the location, acreage and boundaries of neighborhood and community parks and open space. A component of the SPA Plan includes a Public Facilities Finance Plan (PFFP) which further analyzes and determines park requirements and phasing.

The following section describes the Village Eleven parks, recreation, open space and trails facility contributions to the Eastern Territories.

II. Village Park and Recreation Program

This section describes the park, recreation, open space and trails facilities provided within Village Eleven. The Otay Ranch Parks and Recreation Facility Implementation Plan (adopted by the City Council on October 28, 1993) identifies the parks facility improvement standards for Otay Ranch. The City of Chula Vista Park and Recreation Department has conducted subsequent facilities needs assessments and proposes some modifications to the adopted Otay Ranch Plan. This Village Eleven Master Plan strives for consistency with the Otay Ranch Plan and the current proposed plans and policies of the Parks and Recreation Department. This Master Plan identifies the types, quantities and location of the facilities provided at each Village Eleven park site. In addition to identifying specific facility needs and requirements, the goal of the Master Plan is to describe the elements necessary to ensure a rich variety of recreational opportunities, while satisfying identified recreation needs. The variety of recreational elements proposed and the recreational opportunities envisioned are discussed below.

Recreation

The village concept is to organize land uses to produce a cohesive, pedestrian friendly community, encourage non-vehicular trips and foster interaction between residents. The Village Eleven SPA Plan provides a variety of recreational opportunities to support the village concept. The recreational plan is based on the following principles:

- Recreation standards such as total parks and recreation acreage, minimum park size, and facility design shall conform to the City of Chula Vista requirements.
- Progressive parks and recreation concepts shall be employed with programs tailored to people rather than people to programs.
- Standards for size and design of activity areas and facilities shall be reviewed periodically and adapted to the changing needs of the population served.
- Logical site selection criteria to distinguish between “community” and “neighborhood” parks. Recreational considerations such as active versus passive, big-muscle versus small motor muscle, family-oriented versus adult-oriented shall be considered in the context of overall land planning.
- Ownership and maintenance responsibilities for parks and recreation facilities within the villages shall be analyzed to appropriately reflect areas of benefit, public funding limitations and fiscal impact.
- Major parks and recreation facilities shall be linked by a trail system for pedestrians and bicycles.
- To the extent practical, community and neighborhood parks shall be located near school sites to increase the potential for shared use of facilities. Joint planning and design of adjacent school/park facilities is encouraged.

Parks and Recreational Activity Categories and Accommodations

A variety of recreation opportunities contribute to the quality of life of residents of Village Eleven and the Otay Ranch community. The following is a list of recreational activity categories that will be provided through recreational programming in Village Eleven and the Otay Ranch parks and recreation system:

- Big muscle (playground equipment, sports fields, aquatic facilities, tennis, wheeled sports)
- Quiet games (shuffleboard, croquet, horseshoes, archery)
- Nature learning (hiking, bird watching, environmental education)
- Hand-intellect (art/crafts and scientific activities, vocational/special interest classes)
- Informal play (open space play areas)
- Creative play (adventure playgrounds, specially equipped parks)
- Informal social activities (conversation areas, informal seating arrangements)
- Relaxation (hobby-oriented such as fishing, gardening and picnicking)
- Rhythm and music (indoor and outdoor facilities for live music and dancing/classes)
- Drama (performance facilities/classes)
- Social activities (neighborhood group, social dance, club meeting facilities)
- Service (volunteer program, club, committee meeting facilities)

Accommodations for recreational activity for Village Eleven residents will be provided though the following parks and recreational facilities:

Special Recreation Facilities

Special recreation facility areas provide for recreational needs not fulfilled by conventional public park facilities. Such facilities are privately owned and operated through commercial enterprise, community association or maintenance district.

Regional Park

Regional parks may include recreational activities such as riding and hiking trails, picnic areas, golf course, active and informal play areas and natural open areas.

Community Park

Recreational facilities in community parks include lighted ball fields and courts, recreation complexes (buildings and swimming pools), and areas for children's play, informal play and picnicking.

Neighborhood Park

Recreational facilities may include ball fields and courts, children's play equipment/tot lots, informal play and picnic areas.

Private Recreation Facilities

Private recreation facilities emphasize informal social and recreational activities. Facilities may include informal play areas, tot lots and seating areas.

Town Squares

Town squares are the focal points of the village core and provide the opportunity to create a social center in the village. Facilities may include plazas or open areas for village events and performances, seating areas, tot lots and play areas.

Public Schools

Public school buildings and outdoor play areas provide an opportunity for recreational activities within a village. The location of schools adjacent to parks enhance both uses and may allow for shared use of facilities.

Commercial Centers

Commercial areas within a village can provide recreational opportunities in the form of outdoor seating and eating areas. Businesses such as cafes, bookstores and bike shops promote leisure and recreational activities.

Community Purpose Facilities

Recreational activities that serve the village may be provided by a community purpose facility such as a church, Boys and Girls Club or similar non-profit entity. Facilities may include swimming pools, senior or teen centers and meeting rooms.

Village Pathway, Paseos and Trails

Special pedestrian and bicycle routes provide an opportunity for expanded recreation and for conveniently traveling to parks or other recreational sites within a village.

Parks

Park Development Standards

The Village Eleven park, open space and trails design and development will adhere to the standards and requirements set forth in the City of Chula Vista Landscape Manual. General standards include the following for determining net useable park acreage:

- Areas for sports fields or built facilities (tennis and basketball courts, etc.) shall be graded to a 2% slope to provide for proper drainage.
- Slopes steeper than 4:1 may not be considered for lawn areas.
- Perimeter and interior slopes steeper than 3:1 are not credited towards park acreage.
- Areas within the San Diego Gas & Electric/San Diego County Water Authority (“SDG&E/SDCWA”) easement are not credited towards park acreage.
- Graded slopes are to be constructed in conformance with the City’s landform grading policies.
- All park areas shall be accessible per the American Disabilities Act (ADA) requirements.

Parks Descriptions

Village Eleven parks include a neighborhood park, town square and private recreation facilities. Figure 2-1, Parks, Recreation, Open Space and Trails Plan illustrates the locations of the village parks. Descriptions of each of the park facilities follow.

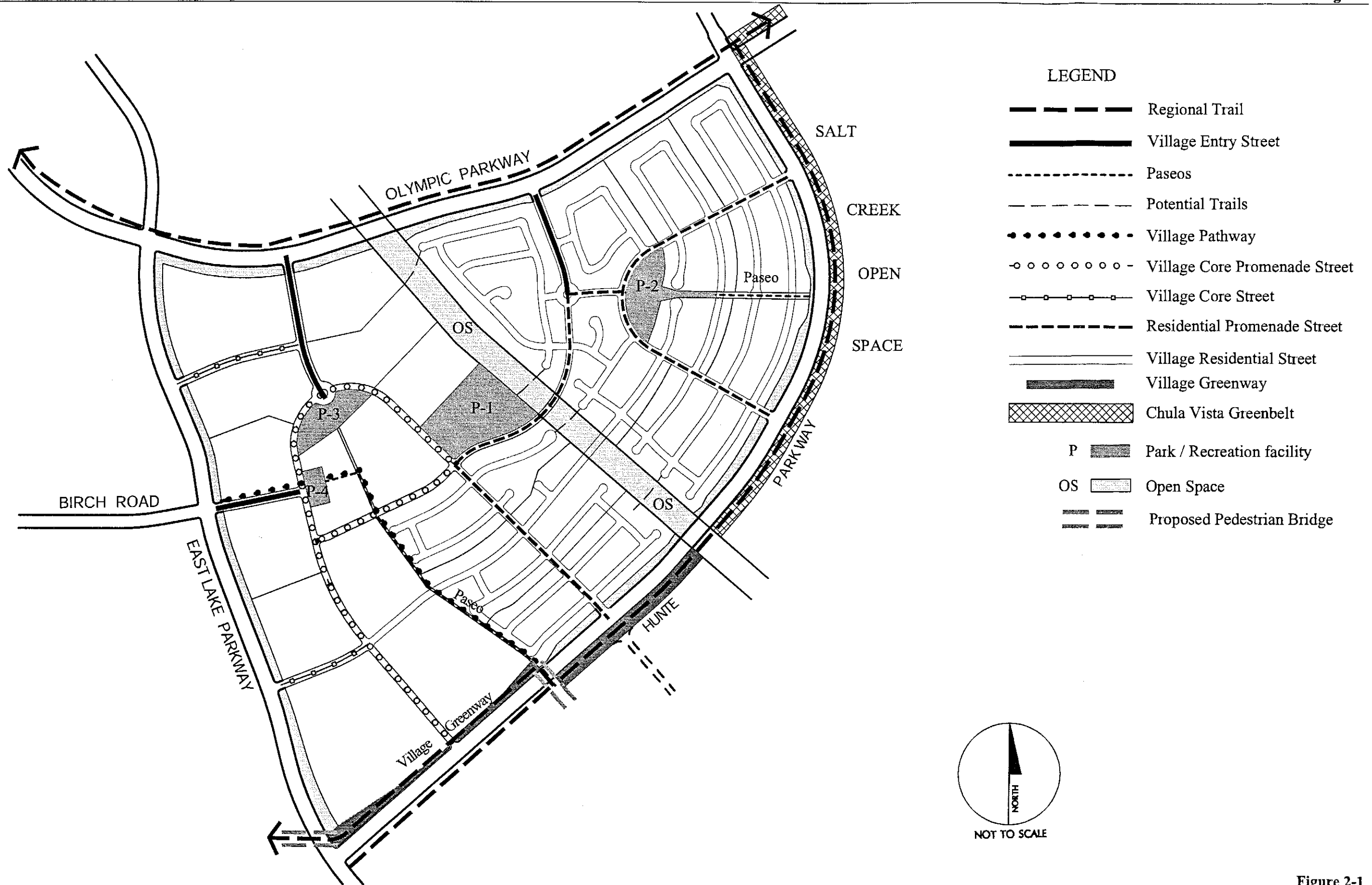


Figure 2-1
Parks, Recreation, Open Space & Trails Plan

Neighborhood Park

Location

The 7-acre (net) neighborhood park (P-1), located in the village core adjacent to the elementary school, will provide active recreational opportunities for village residents. The park is located in the most densely populated portion of the village to serve the most people. The location of the neighborhood park between the SDG&E/SDCWA easement and the elementary school optimizes vistas and spaciousness in the Village. This setting also minimizes the negative affects of play field lights, noise and traffic on nearby residential neighborhoods.

Park Facilities

The design of the park will place the main entry close to the center of the village core. A restroom/maintenance building will be sited in this area to create an entry and focal point. A parking lot may be located near the entry and parking on surrounding streets will also serve the park. Figure 2-2 illustrates a conceptual design of the park that provides for the following park facilities:

- Restroom/maintenance building
- 1 softball field
- 1 soccer field/open play area
- 2 tennis courts with lighting
- 2 half basketball courts with lighting
- 1 play area with play equipment (age appropriate equipment to be determined during park design process)
- 7 picnic tables (shade structures to be determined during park design process)
- Open lawn areas
- Paved walkways with lighting
- Parking (need to be determined during park design process)

Ownership, Funding and Maintenance

The Neighborhood park site will be dedicated by Brookfield Shea Otay, LLC (“BSO”) to the City of Chula Vista. The park will be owned and maintained by the City of Chula Vista. Funding for park improvements is governed by Chapter 17.10 of the Chula Vista Municipal Code as amended June 22, 1991. Included as part of the regulations are Park Acquisition and Development (PAD) fees established for the purpose of providing neighborhood and community parks and improvements. The Ordinance provides that fees are paid to the City prior to approval of a final subdivision map. The Village Eleven SPA developers may pay the PAD fees or, alternately, construct the park and receive credit against the payment of PAD fees. The Village Eleven Public Facilities and Finance Plan (PFFP) provides a detailed description of the financing of park, open space and trails facilities.

Town Square

Location

The one-acre town square (P-4), located in the village core, serves as the main village focal point and reflects the pedestrian design and urban character of the village.

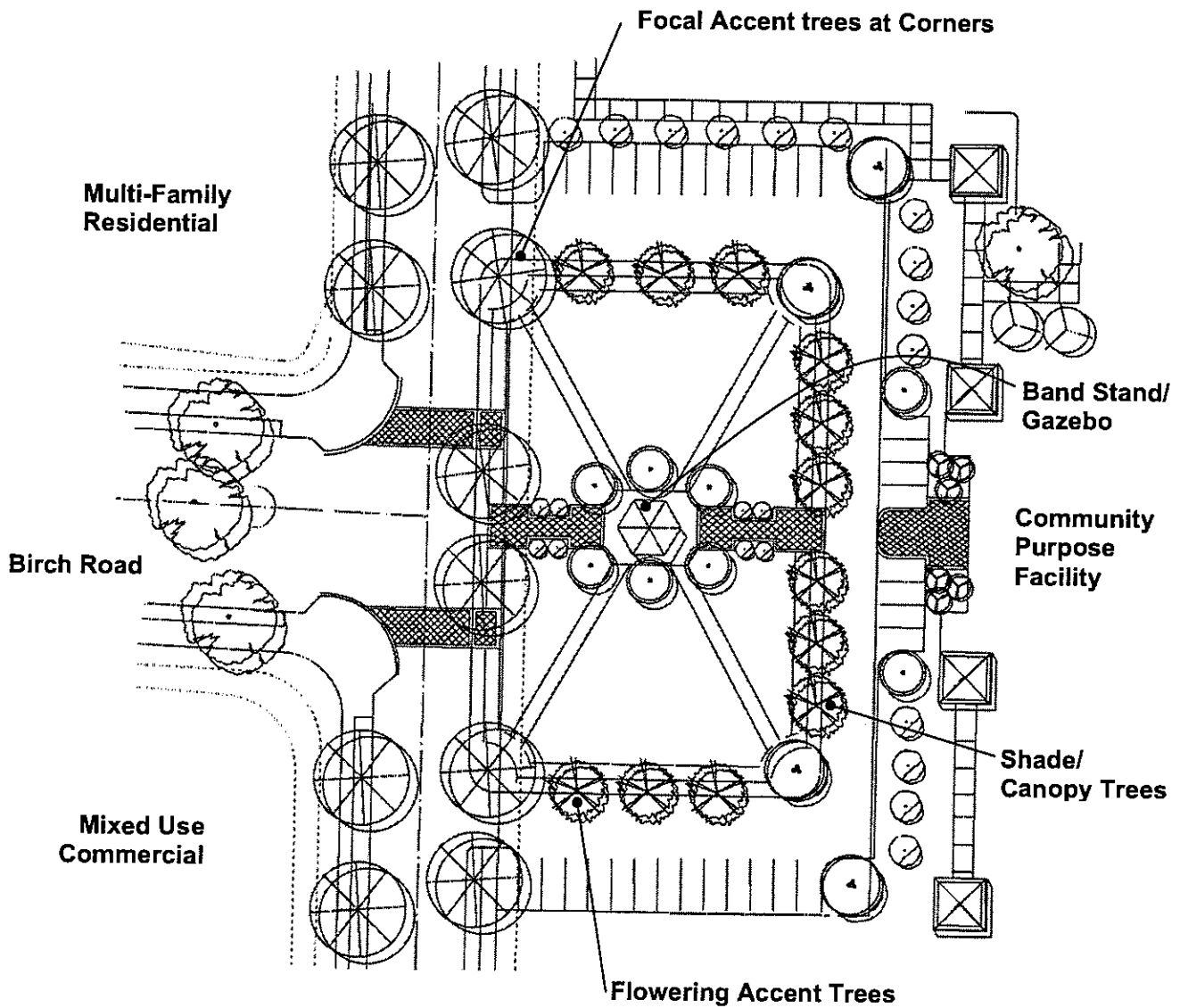
Park Facilities

Envisioned as a traditional, formally designed park, the town square will provide opportunities for passive recreation and community events. Figure II-3 illustrates a conceptual plan for the town square with the following facilities:

- Focal point feature such as a gazebo, plaza or fountain
- Seating areas
- Open lawn areas
- Paved walkways and lighting

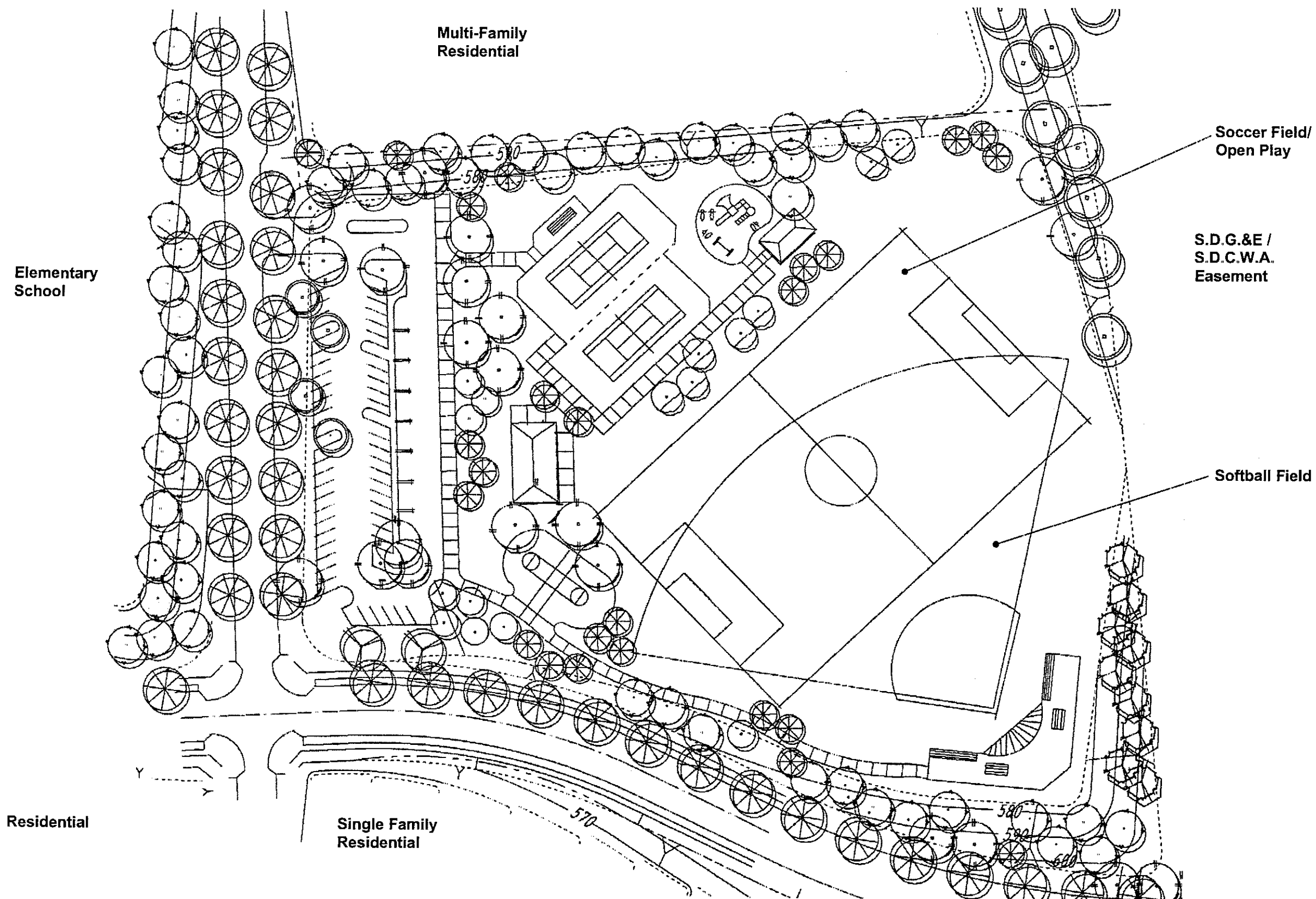
Ownership, Funding and Maintenance

The town square site will be owned and maintained by a central business district, homeowners association or adjacent landowners. Improvements will be the responsibility of the applicant.



This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

**Figure 2-3
Town Square (P-4) Concept Plan**



This concept plan is an illustrative example of the neighborhood park. Development of the park is subject to further discretionary review and approval of a specific Park Master Plan. Actual site development may vary from concepts depicted in this exhibit.

Figure 2-2
Neighborhood Park Concept Plan

Village Trails

Village Eleven has been designed to accommodate the trails program described by the Otay Ranch Overall Design Plan. The plan recognizes that provision of bicycle, cart and pedestrian circulation is fundamental to creating a pedestrian-oriented village. All circulation elements within the village have been located and designed to be as accessible as possible, however, the paseos and off-street trails contain steep topography that may limit bicycle and cart travel. All village streets and sidewalks have been designed at gradients of 8 percent or less to facilitate pedestrian, bicycle and cart travel. The plan proposes 25 mile per hour travel speeds on all internal village streets to allow bicycles and carts to travel on village streets without designated travel lanes. The landscape treatment and design elements of village trails are also illustrated and described in the Village Design Plan.

Regional Trails

Two segments of the Chula Vista Regional Trail system occur within and adjacent to Village Eleven. One segment is located along the north side of Olympic Parkway. A second segment is located on the south and east sides of Hunte Parkway.

Chula Vista Greenbelt

The Chula Vista Greenbelt is a city-wide open space system. A portion of the Chula Vista Greenbelt is located on the east side of Hunte Parkway between Olympic Parkway and the SDG&E/SDCWA easement. This area provides a significant visual open space connection to the Salt Creek habitat preserve. An 8 to 10-foot wide regional trail is located within the Greenbelt.

Village Greenway

Location

The Village Greenway contains a regional trail that provides pedestrian and bicycle access through the Otay Ranch villages. The Otay Ranch GDP provides for the greenway to be located through Village Eleven to connect the EUC and Salt Creek trail. In Village Eleven, the Greenway will be located along the southern boundary adjacent to the junior high school and residential neighborhoods. The Village Eleven core will be connected to the Greenway by the Village Pathway.

Facilities

The Greenway will include an 8 to 10 foot wide meandering path within a landscaped open space. The Otay Ranch Overall Village Design Plan suggests pedestrian bridges may be used in special circumstances to provide crossings over arterial streets. Proposed locations for pedestrian bridges crossing Hunte and Eastlake Parkways are illustrated in Figure 2-1. The Village Eleven plan proposes multiple at-grade controlled crossings on

Eastlake and Hunte Parkways. At-grade crossings can be designed to enhance pedestrian comfort and safety through clearly marked crosswalks, median rest areas, railings and traffic signal timing that facilitates pedestrian movement.

Ownership, Funding and Maintenance

The portion of the Regional trails within the Greenway, Chula Vista Greenbelt and Olympic Parkway within Village Eleven will be constructed by BSO, and dedicated to the City of Chula Vista. The facilities will be maintained through a Community Facilities District (CFD).

Surrounding Pathways/Scenic Corridors

Location and Facilities

Community-serving paths are located within the 75-foot landscaped parkways along Eastlake Parkway, Olympic Parkway and Hunte Parkway. Community trails are designed as 8 to 10 foot wide meandering paths separated from the roadway by parkway planting. Village Eleven residents can access these paths from village streets and paseos.

Olympic and Hunte Parkways are designated scenic roadways composed of the road, its right-of-way, and the scenic corridor. The scenic corridor is the visible area outside the highway's right-of-way generally described as the view from the road. The treatment of these roadways is an important design and aesthetic consideration because they provide the identity for Otay Ranch. Olympic Parkway will be constructed in accordance with the Olympic Parkway Master Plan that provides for Olympic-themed landscaping. Hunte Parkway is designed to complement the adjacent natural open space of Salt Creek and the Otay River Valley. The landscape concept design is described in the Village Design Plan and subsequent scenic corridor design will be developed.

Ownership, Funding and Maintenance

Paths may meander between the public right-of-way and the privately owned landscape buffer area which comprise the 75-foot wide parkway. The trails will be constructed by BSO. Maintenance of the sidewalks within the public right-of-way will be the responsibility of the City of Chula Vista. Landscape maintenance will be provided by a Community Facilities District (CFD),

Village Pathway

Location

Village pathways are inter-village cart and pedestrian paths that link the Otay Ranch villages and particularly provide access to the regional transit-way stations. In Village Eleven, a village pathway is proposed to be located from the Eastlake/Birch intersection (equidistant to both the EUC and freeway commercial transit stations), through the village core and as a paseo through residential neighborhoods to the greenway at Hunte Parkway.

Facilities

The pathway will be landscaped greenbelts with sidewalks, lighting and benches. In Village Eleven, the village pathway is designed primarily for pedestrian use. The travel speed of the village streets is 25 mph to allow cart and bicycle travel throughout the village. One off-street bicycle/cart path is provided in the Birch Village Entry Street segment of the village pathway. This “urban promenade” is a 16-foot wide sidewalk adjacent to the curb designed to accommodate pedestrians, carts and street trees.

Ownership, Funding and Maintenance

BSO will construct the paseos and ownership and maintenance responsibilities will be transferred to a CFD or Homeowner’s Association (HOA).

Village Streets

Location and Facilities

All village streets include sidewalks, landscaped parkways and lighting. The preferred design for all village streets provides for five-foot wide sidewalks separated from the roadway by landscaped parkways. In the village core commercial areas, wider sidewalks are provided to allow for window shopping and amenities such as seating and outdoor dining.

Ownership, Funding and Maintenance

All sidewalks and parkways within the public right-of-way will be owned by the City of Chula Vista and maintained by the City or CFD. All landscaped parkways and medians will be maintained through a CFD or HOA.

Paseos

Location

The design and location of the paseos are components in the overall land use and circulation pattern. That overall pattern is a symmetrical grid that creates regularly sized residential neighborhoods defined by streets and paseos. The paseos are central elements in both the east and west areas of the village. Their locations purposefully interrupt the street system to minimize through traffic in neighborhoods. The residential streets terminate as open cul-de-sacs at the paseos. The paseos create linear greenbelts with view opportunities through the sloping topography of the village. They extend between the private recreation facilities and Hunte Parkway, connecting the centers of the village to the paths along Hunte. The paseos provide an important off-street connection to the elementary school for most residents of the village. The locations of paseos are illustrated in Figure II-1.

Facilities

The design of the paseos will provide an 8 to 10-foot wide concrete sidewalk. The pedestrian experience will be enhanced with shade trees, lighting and benches. The

landscape design will create an enjoyable walking experience. The design will also promote safety by creating clear views and minimizing hidden areas.

Ownership, Funding and Maintenance

The paseos will be constructed by BSO. Ownership and maintenance responsibility will be transferred to a Community/Homeowners Association.

Trails

Location

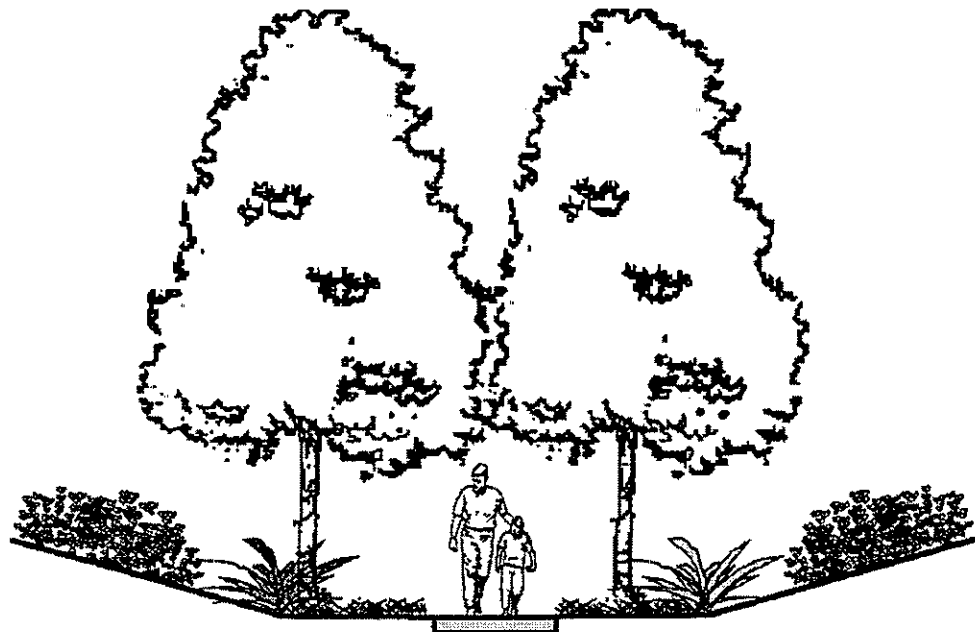
Rustic trails are proposed to be located within the SDG&E/SDCWA easement. Trails crossing the easement provide connections between neighborhoods in the eastern part of the village and the village core.

Facilities

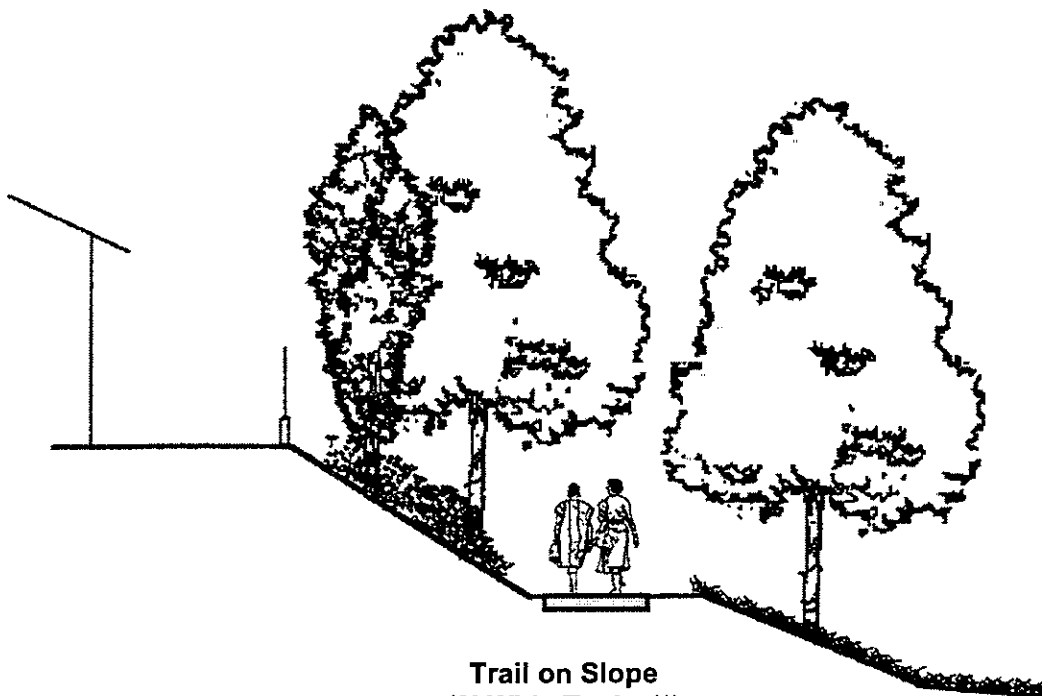
The proposed trail design would be an 8-foot wide decomposed granite path. Shade trees, shrubs and groundcovers may be used to enhance the trail, however, landscaping within the easement is limited by power lines, accessibility and maintenance required by the utility companies. The location and design of the trails must be by approval of SDG&E and SDCWA. Cross-sections of the trails are illustrated in Figure II-4.

Ownership, Funding and Maintenance

The trails are located primarily within property owned by SDG&E and SDCWA. Maintenance of trails within the easement will be through a CFD or HOA. Trail segments located outside the easement and extending into the public neighborhood park site will be owned and maintained by the City. All other trail segments located outside the easement will be owned and maintained by a CFD or HOA.



**Meandering Paseo Trail
(8' Wide Typical*)**



**Trail on Slope
(8' Wide Typical*)**

**Figure 2-4
Trails Cross Section**

Open Space

Open space within Village Eleven is comprised of common open spaces including private recreation facilities and manufactured slopes, as well as paseos, the 75-foot (average) parkways adjacent to surrounding major streets and village street parkways described previously. The approximate 200-foot wide easement owned by SDG&E and SDCWA is another significant open space in the village. These open spaces provide pedestrian connections within the village, passive recreational opportunities and view opportunities. Open space lands will be established and maintained through the dedication of open space easements and/or lots to the City, CFD, HOA or other appropriate entity.

Eastern Private Recreation Facility (P-2)

Location

Common open space within the village includes a private recreation facility (P-2), located to provide active and passive recreation within walking distance of residences in the eastern portion of the village. The facility is sited to be visible from neighborhood entries and to serve as a focal point for the eastern neighborhoods. The facility is linked to the neighborhoods by a paseo, creating an extended linear park for surrounding neighborhoods.

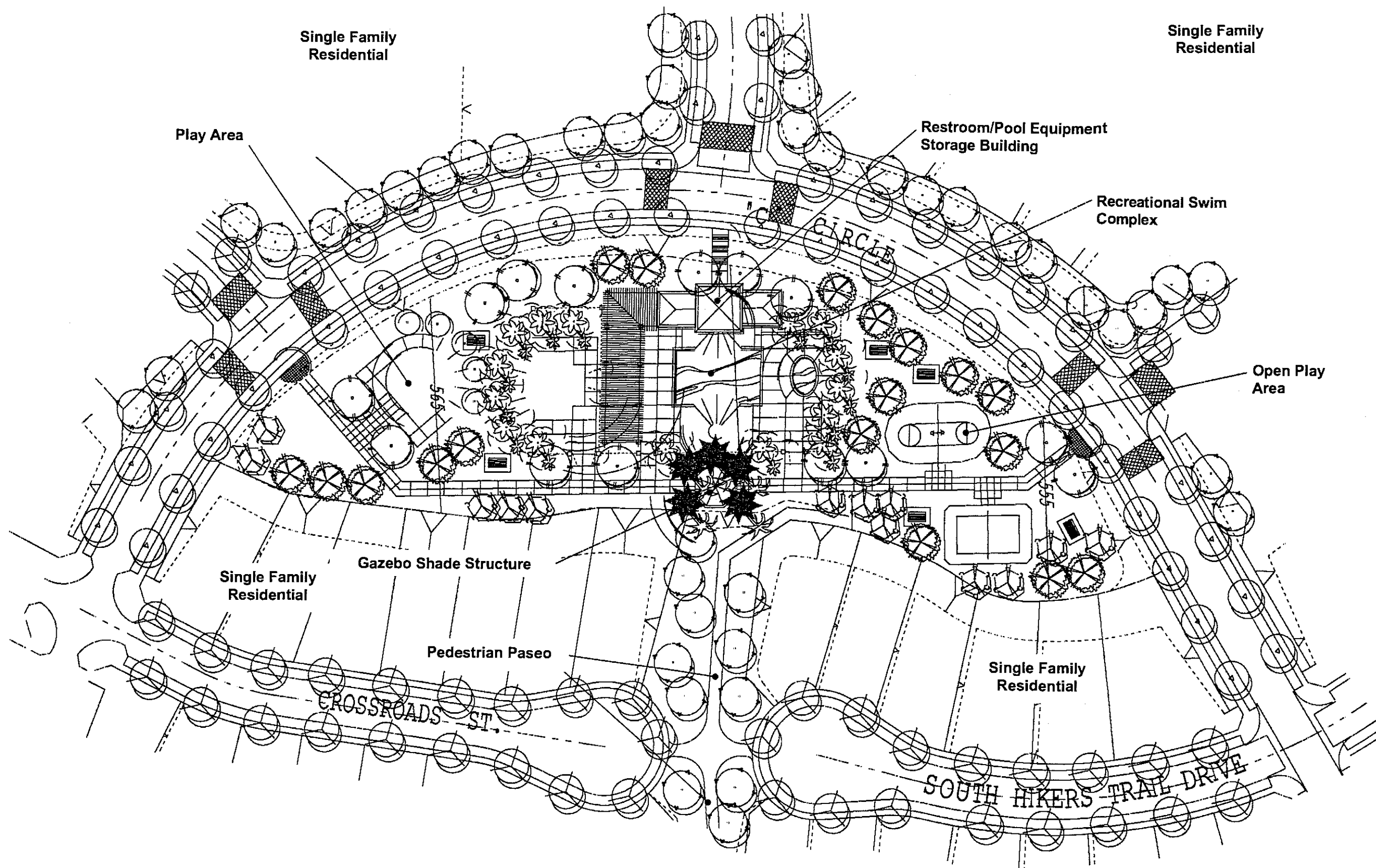
Facilities

The eastern private recreation facility will provide family-oriented recreational facilities in close proximity to neighborhoods. The City will review the facilities design of private pedestrian parks for safety and accessibility. Figure II-5 is a conceptual plan for the park illustrating the following facilities:

- Open lawn areas
- Seating areas
- Tot lot
- Multi-purpose ball court
- Community building
- Swimming pool complex

Ownership, Funding and Maintenance

The private recreation facility will be constructed by BSO. Ownership and maintenance responsibility will be transferred to an HOA.



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Figure 2-5
Eastern Private Pedestrian Park Concept

Village Core Private Recreation Facility (P-3)

Location

Common open space in the village core includes a private recreation facility (P-3), located at a primary entry to create a village focal point. A paseo connects the facility to the residential neighborhoods. The central location of the facility provides a variety of recreational opportunities within walking distance of residences.

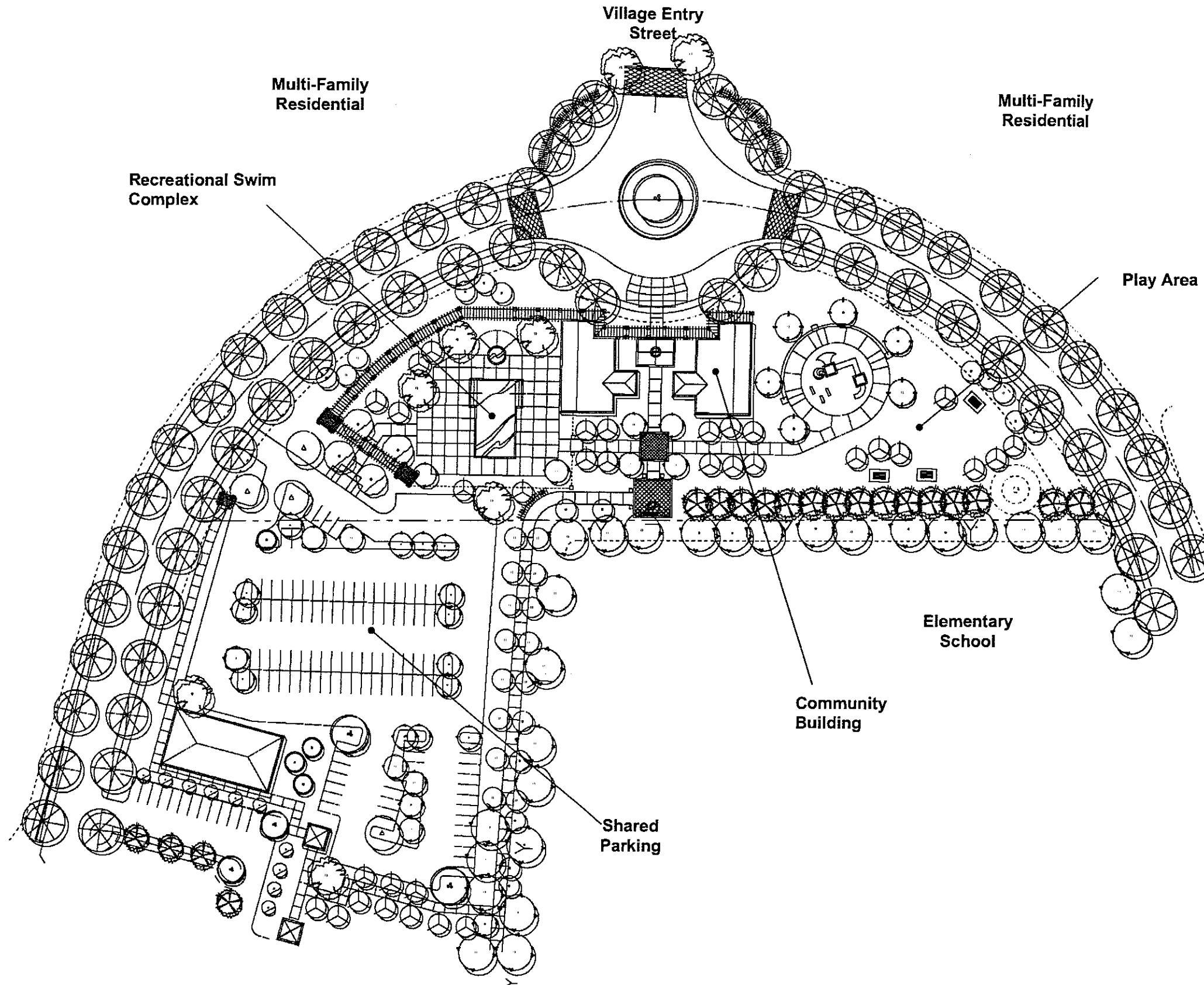
Facilities

Recreational facilities in the village core are intended to augment the limited size and passive nature of recreational spaces within multi-family residential development. The City will review the facilities design of private recreation facilities for safety and accessibility. Figure II-6 is a conceptual plan for the facility illustrating the following:

- Open lawn areas
- Seating areas
- Tot lot
- Multi-purpose ball court
- Community building
- Swimming pool complex

Ownership, Funding and Maintenance

The private recreation facility will be constructed by BSO. Ownership and maintenance responsibility will be transferred to an HOA.



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Figure 2-6
Village Core Private Recreation Facility (P-3) Concept

Manufactured Slopes

Location

Slopes within the village are located between residences in neighborhoods, adjacent to the SDG&E/SDCWA easement and along the surrounding major streets. The construction of Hunte Parkway requires temporary slopes adjacent to the university site to the south and native transition slopes adjacent to Salt Creek to the east.

Facilities

All manufactured slopes will be constructed and landscaped to City standards and guidelines provided in the Village Design Plan. All slopes [over 5 feet in height] will be permanently irrigated, with the exception of the temporary slopes and native transition slopes adjacent to Salt Creek which may be temporarily irrigated for establishment of the landscape. The design and maintenance of the slope adjacent to Salt Creek is described in the "Edge Plan," included in the Village Design Plan.

Ownership, Funding and Maintenance

All slopes outside of the public right-of-way will be owned and maintained through a CFD or HOA.

SDG&E/SDCWA Easement

The easement is owned and maintained by utility entities. SDG&E/SDCWA may allow trails to be located within the easement. Construction of trails within the easement would be by BSO and maintenance would be through a CFD or HOA.

Community Gardens

A community garden provides a location for local residents to come together, based on a common interest. The most important ingredient for a successful community garden program is community involvement. The City and the developer will facilitate a public forum and/or communicate with Village Eleven residents to determine interest in a community garden program. If interest is expressed, the City and developer will facilitate a Community Garden Committee made up of one representative from the City and the developer and three homeowners. The Community Garden Committee will select a site coordinator and address issues such as irrigation water, maintenance, liability, site coordination and standard enforcement. The SPA One Parks, Recreation, Open Space and Trails Master Plan provides guidelines for site selection, facilities and operations of community gardens.

Community gardens in Village Eleven are envisioned primarily as ornamental gardens, funded and maintained by a village garden club or the HOA. Potential site locations include the private recreation facilities, the town square and cul-de-sac openings to the paseos. Garden clubs could also participate in the selection of plants for the roundabouts and traffic circles.

Water Conservation

As described in the Overview of Water Service for Otay Ranch Village Eleven ('Master Water Plan') prepared by Wilson Engineering, based on current Otay Water District (OWD) policies regarding new subdivision development, landscaped areas for parks, schools, greenbelts, road medians and multi-family residential are required to utilize recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will irrigate street parkway landscaping, parks and manufactured slopes along open space areas.

The project is located in the OWD Central Service Area which currently receives recycled water from the District's 1.3 million gallons per day (mgd) capacity Ralph W. Chapman Recycling Facility. The ultimate source of recycled water for Otay Ranch will be the planned Otay Valley Water Reclamation Plant. The recycled water system consists of a series of pump stations, transmission piping and storage reservoirs that will provide recycled water to portions of Otay Ranch, including the Village Eleven SPA project area.

In the Otay Ranch area, the existing recycled water distribution system serves Villages One and Five and connections to the system to serve Village Eleven are planned. Otay Ranch may eventually be required to oversize some of these facilities to meet recycled water demand outside of the project. A plan to distribute recycled water within the project is depicted on the Recycled Water Plan (Village Eleven SPA Exhibit II.2.7.-2).

The recycled water duty factor for all irrigation areas is estimated to be 2,230 gallons per day (gpd)/acre. If expanded use of recycled water occurs as a result of the City Water Conservation pilot study currently being conducted, the recycled water duty factor will increase. Potential demand within Village Eleven is estimated in the draft Recycled Water Master Plan for the Village Eleven SPA to be approved by the OWD and the City of Chula Vista. Recycled water requirements for the project will be coordinated by the Water District and the City. Phased construction of recycled water facilities, based on the District approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

The Otay Ranch GDP and the Chula Vista Growth Management Program require the approval of a water conservation master plan concurrent with SPA approval. The City is in the process of developing guidelines for the preparation and implementation of Water Conservation Plans. This effort involves a pilot study to evaluate the relative effectiveness, costs and other issues associated with the implementation of additional water conservation measures beyond those currently mandated, in three new development projects, including Village Eleven. The pilot study will evaluate additional technical water saving devices, as well as the potential expanded use of recycled water, and possible gray water use. The pilot study will provide information to be used in finalizing a Water Conservation Plan for Village Eleven to be considered in conjunction with actions on the project's Tentative Subdivision Map.

Brush Management

Brush Management occurs in areas where development abuts native area. In Village Eleven, residential development is separated from the native area adjacent to Salt Creek by the 75-foot landscape buffer and 128-foot right-of-way of Hunte Parkway. This separation provides adequate protection from fire in the native area. The manufactured slope between the roadway and the Creek will be landscaped with native plant species. As this landscape matures, pruning and thinning of plant material may be required by the City Fire Department to minimize potential fire hazard. The Salt Creek "Edge Plan" describing this landscape is provided in the Village Eleven SPA Appendices.

III. Contributions to Otay Ranch Parks and Open Space

Community Parks

The development of Village Eleven requires a contribution of 19.3 acres of park land in Otay Ranch. Eight acres of the park requirement occurs as neighborhood and town square parks in Village Eleven and the remaining 11.3 acre requirement is fulfilled through Park Acquisition and Development (PAD) fees, pursuant to the City Park Land Development Ordinance, for development of community parks elsewhere in Otay Ranch.

Location

Consistent with the Otay Ranch GDP, the community park acreage requirement generated by Village Eleven is to be sited at one of the GDP defined community park sites elsewhere in Otay Ranch.

Park Facilities

Community park facilities needs are to be consistent with plans and policies of the Parks and Recreation Department that identify the types, quantities and development of community parks.

Ownership, Funding and Maintenance

Community parks are dedicated to the City of Chula Vista. The City of Chula Vista owns and maintains the parks. Chapter 17.10 of the Chula Vista Municipal Code governs funding for the park improvements. Included as part of the regulations are Park Acquisition and Development (PAD) fees that have been established for the purpose of providing community parks and improvements. The ordinance provides that fees are paid to the City prior to approval of a final subdivision map.

Open Space

The largest component of open space in the Otay Ranch is the Resource Management Plan (RMP) Preserve. As prescribed by the RMP, the development of each Otay Ranch Village requires a contribution to the Otay Valley preserve. The required contribution is 1.188 acres of open space conveyance per one acre of development less the acreage of "common use lands," (local parks, schools, arterial roads and other land designated as public use areas). The 489-acre Village Eleven less 106 acres of common use land requires a conveyance of 455 acres. The developers of Village Eleven will convey of natural open space acreage in the adjacent Salt Creek to the preserve. This conveyance property contains high quality native habitat and is a key component of the preserve.

IV. Ownership and Maintenance Options

The following are options for ownership and maintenance of park, open space and trail facilities in Village Eleven.

Community Facilities District and Homeowners Association

Facilities not maintained by private property owners or a public agency will be maintained through Community Facilities Districts (CFD) and Homeowners Associations (HOA). Such areas will include common areas, common slope areas, common open space, private parks, entry landscaping, walls facing the public right-of-way, trails, paseos, and improvements in the utility/SDG&E easement. Certain public facility areas may also be included, as determined by the Director of Public Works, such as detention basins and enhanced median and parkway landscaping in the public right-of-way.

Public Agency Maintenance

Public agencies will be responsible for maintaining the facilities on publicly owned land. These areas include landscaping within street and highway rights-of-way (unless maintained by a homeowners association or a community facilities district), public parks, schools, SDG&E utility easements and other similar public lands.

Public Works Department

Public streets, walks, parkways and trails which are located on public land and drainage structures other than those designed as swales or brow ditches will be the maintenance responsibility of the Public Works Department (unless maintained by a homeowners association or a community facilities district).

V. Phasing

Neighborhood Park

The neighborhood park (P-1) is within the first development phase of Village Eleven. The phasing requirements for the park are described in the Public Facilities Finance Plan (PFFP). Due to the fact that the City is in the process of preparing and adopting a citywide parks master plan, the park phasing may be refined during the tentative map process.

Town Square Park

The Town Square Park (P-4) will be developed during the second phase of development in Village Eleven.

Open Space

The eastern private recreation facility (P-2) will be completed in the first phase of development. The Village Core private recreation facility (P-3) will be completed in the second phase. The paseo open spaces will be phased with adjacent development and completed in the third phase. Open spaces adjacent to the major surrounding streets will be phased with street construction. All slopes and other open spaces will be implemented in conjunction with adjacent development.

Conveyance of the Resource Management Preserve land will comply with the Phase 2 RMP policies requiring conveyance of 1.188 acres of preserve land for every acre of development area. This conveyance will occur on a phased basis concurrent with the phasing of development activity.

Trails

Trails will be phased in conjunction with adjacent development, including street, paseo and slope construction.

Otay Ranch Village Eleven

II.11 Development Agreement

This Section is reserved for the addition of the Development Agreement

Otay Ranch Village Eleven

II. Appendix Agricultural Plan

VILLAGE ELEVEN AGRICULTURAL PLAN

INTRODUCTION

The 1993 Otay Ranch Program EIR requires the preparation of an agriculture plan concurrent with the approval of any SPA affecting onsite agricultural resources. The Findings of Fact state that the agricultural plan shall indicate the type of agriculture activity being allowed as an interim use including buffering guidelines designed to prevent potential land use interface impacts related to noise, odors, dust, insects, rodents and chemicals that may accompany agricultural activities and operations.

Historical agricultural uses in the Village Eleven project area include dry farming, as well as cattle and sheep raising. Crop production was limited to "dry-farming" of hay and grains due to limited water availability. The dry-farming currently being practiced in the Village 11 project area does not involve the use of irrigation or chemical pesticides or fertilizers.

Cultivation and cattle grazing activities are permitted and currently conducted within the majority of the Village Eleven project area. Cultivation within this area consists primarily of wheat and barley production. Cattle grazing activities are conducted during a portion of the year.

PHASED ELIMINATION OF AGRICULTURAL USES

Farming

Land utilized for agricultural activities in areas surrounding Village Eleven has decreased in recent years. Factors that have led to the decrease in agricultural use include the conversion of farm land into urban uses as a result of increases in property taxes. Property taxes often exceed income from agricultural production. The high cost of importing water has also resulted in many agricultural activities becoming prohibitive.

The phased development of Village Eleven will incrementally convert ongoing agriculture uses to urban development. Consistent with the Otay Ranch GDP, the following agricultural standards shall be employed within the Village Eleven area:

- A 200-foot distance buffer shall be maintained between developed property and ongoing agricultural operations. Use of pesticides shall comply with federal, state and local regulations.
- In those areas where pesticides are to be applied, vegetation shall be utilized to shield adjacent urban development (within 400 feet) from agricultural activities.
- The applicant shall notify adjacent property owners of potential pesticide application through advertisements in newspapers of general circulation.

- Where necessary to ensure the safety of Village Eleven residents, appropriate fencing shall be utilized.
- Agricultural uses shall comply with the Agricultural Plan Map that follows.

GRAZING

The Otay Ranch RMP includes a Range Management Plan. The purpose of the Range Management Plan is to provide a framework for the coordinated control of grazing within the Otay Ranch Preserve. Grazing in proposed development areas is not addressed in the plan. Grazing on the Village 11 SPA Plan area would continue throughout the phased development of the Village 11 Project, as shown on the *Village Eleven Agriculture Plan*. The Range Management Plan does address grazing within Salt Creek, immediately adjacent to Village 11 and within the ownership of the Village 11 developer. Eventually, when the Preserve land within Salt Creek is conveyed to the Otay Ranch Preserve Owner/Manager (POM), the POM would allow grazing in the Preserve, if the grazing is deemed to have a neutral or beneficial impact to habitat values. It is possible that the land comprising the Salt Creek pasture will be conveyed in pieces. To implement the recommendations of the Range Management Plan, simultaneously with the City's issuance of the first Mass Grading Permit for Village 11, and prior to the conveyance of the entire Salt Creek pasture, the property owner will restrict grazing within the Salt Creek pasture during the nesting season of the California gnatcatcher (February 15 – August 15 annually) to avoid impacts to nest and young. Any un-conveyed land within the Salt Creek pasture would be available for grazing during the late summer through winter months (August 16 – February 14 annually).

If the POM determines that grazing will be discontinued on all or a portion of the land conveyed to the Preserve, the Village 11 property owner must ensure that any grazing on un-conveyed lands in its ownership will be restricted, i.e., with adequate fencing and gating, to ensure that livestock cannot access land conveyed to the Preserve.

Graphic to be provided illustrating unrestricted cultivation and grazing within areas designated for agriculture on the biology maps.

Village Eleven Agricultural Plan

Otay Ranch Village Eleven

II. Appendix Edge Plan

EDGE PLAN

INTRODUCTION

The purpose of the edge plan is to identify allowable uses within appropriate land use designations for areas adjacent to the Preserve. In accordance with Policy 7.2 of the Otay Ranch Resource Management Plan, an edge plan is to be developed for all SPAs that contain areas adjacent to the Preserve. The edge plan area is a public or privately owned 100-foot wide strip of land adjacent to the Preserve. To provide further guidance relating to the content of the Edge Plan, the Draft Chula Vista MSCP Subarea Plan contains policies related to land use adjacency.

COMPLIANCE WITH RMP/MSCP SUBAREA PLAN POLICIES

The following discussion provides a description of policies identified in the Draft Chula Vista MSCP Subarea Plan, which were developed in consideration of the requirements of the RMP, as well as compliance measures to be carried out by the various components of the Village 11 SPA Plan. The discussion is divided into edge effect issue areas identified in the Draft Subarea Plan.

Drainage

Policy:

All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials and other elements that might degrade or harm the natural environment or ecosystem processes within the Preserve. This can be accomplished using a variety of methods including natural detention basins, grass swales or mechanical trapping devices. These systems should be maintained approximately once a year, or as often as needed, to ensure proper functioning. Maintenance should include dredging out sediments if needed, removing exotic plant materials, and adding chemical-neutralizing compounds (e.g., clay compounds) when necessary and appropriate.

Compliance:

The increased exposure to urban pollutants could affect the quality of water that recharges groundwater. The Village 11 SPA Area has not been identified as a source of significant groundwater recharge. However, the Village 11 SPA includes water quality Best Management Practices (BMPs), including three detention basins that are designed to capture the first 0.6 inch of runoff from the Village 11 SPA Area, consistent with the proposed revisions to water quality regulations of the Regional Water Quality Control Board (RWQCB). Control of surface water quality would also have a beneficial effect on groundwater quality.

Development of the site would have the effect of reducing erosion and sedimentation potential through the increase in impervious surfaces. However, erosion potential would exist at the locations where runoff is ultimately released from the Village 11 SPA Area. To avoid erosion impacts, the Village 11 SPA has been designed to include energy dissipation structures to reduce runoff flow velocities to pre-development conditions (no net increase in storm flow velocities coming from the Village 11 SPA Area) in accordance with City policy.

Development of the Village 11 SPA would result in the potential for urban pollutants accumulating in the surface runoff. Particularly the potential impact would occur from paved areas and chemicals from landscaping areas. Accumulated hydrocarbons such as fuels, solvents, oils and grease would enter runoff flowing over the paved areas. Excess pesticides and herbicides generated from landscaped areas would also be picked up in runoff. The greatest concentration of urban-derived pollutants would be expected to occur during the early stages of a rainfall event ("first flush"), or as a result of dry-weather flows associated with irrigation and other sources of non-natural flow. The first flush and dry-weather flows contain high concentrations of contaminants that are washed from areas such as roadways, roofs, curbs and parking lots. The proposed drainage facilities for Village 11 will be required to include interception and detention of all possible dry weather flows.

Post-construction BMPs are included in the design of the Village 11 SPA/TM. The BMP facilities include, a basin located at the storm drain system outfall just south of the Hunte Parkway – Quiet Creek Circle South intersection, will collect and treat the first flush runoff volume (defined by San Diego Regional Water Quality Control Board Order No. 2000-01 as the runoff generated from the first 0.6 inches of rainfall) from site area east of the SDGE easement. Another basin, located near the divergence of the SDG&E power utility easement and the San Diego County Water Authority easement and roughly 2,000 feet downstream of the proposed 84-inch reinforced concrete pipe (RCP) under Hunte Parkway, will collect and treat the first flush runoff volume from site area west of the easement.

The final design for the Village 11 drainage are required to demonstrate the following:

- First flush/dry-weather detention facilities shall be demonstrated to contain the dry-weather flows from all sources, as well as first flush runoff from Village 11;
- Each inlet, outlet, interceptor, concentration or confluence point, shall be demonstrated to handle the peak runoff for post-development conditions;
- The proposed system shall be integrated with existing and proposed downstream drainage facilities to effectively control flows within the entire system;
- Main lines and detention/desilting facilities shall be designed pursuant to Section 3-202-1 of the Chula Vista Subdivision Manual; and

In addition to the water quality basins, the RWQCB regulations require that a Storm Water Pollution Prevention Plan (SWPPP) be prepared for development within Village 11. The SWPPP would address water quality impacts associated with construction and operation of the project. To mitigate impacts from "first flush" runoff and flow, all

BMPs identified in the SWPPP would be implemented. The SWPPP will be consistent with the requirements of the federal Clean Water Act and the BMPs of the RWQCB. BMPs identified in the SWPPP will include, but are not limited to the following:

Construction- Related Measures:

- Existing vegetation will be retained where possible. To the extent feasible, grading activities will be limited to the immediate area required for construction.
- Temporary erosion control measures will be employed for disturbed areas.
- No disturbed surfaces will be left without erosion control measures in place from October 1 through April 1.

Design/Post-Construction Measures:

- Sediment will be retained on-site by a system of sediment basins, traps, or other appropriate measures.
- Storm drains will be equipped with silt and oil traps to remove oils, debris and other pollutants. Storm drain inlets shall be labeled "No Dumping-Drains to Ocean." Storm drains shall be regularly maintained to ensure their effectiveness.
- The parking lots will be designed to allow storm water runoff to be directed to vegetative filter strips and/or oil-water separators to control sediment, oil, and other contaminants.
- Permanent energy dissipaters will be included for drainage outlets.
- The project area drainage basins will be designed to provide effective water quality control measures. Design and operational features of the drainage basins will include design features to provide maximum detention time for settling of fine particles; maximize the distance between basin inlets and outlets to reduce velocities; and establish maintenance schedules for periodic removal of sedimentation, excessive vegetation and debris.

In addition to the permanent drainage facilities, temporary desiltation basins to control construction related water quality impacts would be constructed within Village 11 with each grading phase to control sedimentation during construction. The interim desiltation basins would be designed to prevent discharge of sediment from the project grading operations into the natural drainage channel and would incorporate water quality control features to comply with Regional Water Quality Control Board 401 Certification requirements. The exact size, location and component elements of these interim basins would be identified on the grading plans.

Toxic Substances

Policy:

All agricultural uses, including animal-keeping activities, and recreational uses that use chemicals or general by-products such as manure, potentially toxic or impactive to wildlife, sensitive species, habitat, or water quality need to incorporate methods on their site to reduce impacts caused by the application and/or drainage of such materials into the

Preserve. Methods shall not be in addition to requirements requested by the Regional Water Quality Control Board (RWQCB).

Compliance:

The Village 11 SPA would phase out agricultural uses adjacent to the Preserve, consistent with the Village 11 Agricultural Plan. Current agricultural activities on the site consist of dry-farming and cattle grazing. The dry-farming practiced on the site does not involve the use of fertilizers or pesticides.

Lighting

Policy:

Lighting of all developed areas adjacent to the Preserve should be directed away from the Preserve, wherever feasible and consistent with public safety. Where necessary, development should provide adequate shielding with non-invasive plant materials (preferably native), berming, and/or other methods to protect the Preserve and sensitive species from night lighting. Consideration should be given to the use of low-pressure sodium lighting.

Compliance:

The Village Eleven Design Plan includes criteria for the design of lighting for the village and Hunte Parkway. Improvement plans for the village and Hunte Parkway will include shielded lighting designs that avoid spillover light in the Preserve.

Noise

Policy:

Uses in or adjacent to the Preserve should be designed to minimize noise impacts. Berms or walls should be constructed adjacent to commercial areas and any other use that may introduce noises that could impact or interfere with wildlife utilization of the Preserve. Excessively noisy uses or activities adjacent to breeding areas, including temporary grading activities, must incorporate noise reduction measures or be curtailed during the breeding season of sensitive bird species.

Where noise associated with clearing, grading or grubbing will negatively impact, as determined by the City's biologist, an occupied nest for the least Bell's vireo during the breeding season from March 15 to September 15, noise levels should not exceed 60 CNEL. However, on a case by case basis, if warranted, a more restrictive standard may be used. If an occupied least Bell's vireo nest is identified in a pre-construction survey, noise reduction techniques, such as temporary noise walls or berms, shall be incorporated into the construction plans to reduce noise levels below 60 CNEL.

Where noise associated with clearing, grubbing or grading will negatively impact, as determined by the City's biologist, an occupied nest for raptors between December 1 and

May 31 or the California gnatcatcher between February 15 and August 15 (during the breeding season), clearing, grubbing or grading activities will be modified if necessary, to prevent noise from negatively impacting the breeding success of the pair. If an occupied raptor or California gnatcatcher nest is identified in a pre-construction survey, noise reduction techniques shall be incorporated into the construction plans. Outside the bird breeding season(s) no restrictions shall be placed on temporary construction, noise.

Compliance:

Requirements placed on the project by the EIR include pre-grading surveys for gnatcatchers and vireos. Based on those surveys and locations of nesting birds in the year of grading, if it is determined that the noise impact thresholds established in the Draft Subarea Plan would be exceeded, the applicant would be required to reduce the impact below the designated threshold through either modification of construction activities or avoiding clearing, grubbing, grading or construction activities within 500 feet of an occupied nest site.

Invasives

Policy:

No invasive non-native plant species shall be introduced into areas immediately adjacent to the Preserve. All slopes immediately adjacent to the Preserve should be planted with native species that reflect the adjacent native habitat. The plant list contained in the "Wildland / Urban Interface: Fuel Modification Standards," dated November 1995 and provided as Appendix H of the Subarea Plan, must be reviewed and utilized to the greatest extent feasible when developing landscaping plans in areas adjacent to the Preserve. No restrictions shall be placed on plantings internal to the project.

Compliance:

Landscape along Hunte Parkway will not contain any invasive exotic species, as listed by the City. The following is a list prepared by a qualified biologist, of species to be planted on manufactured slopes. The slope located between Hunte Parkway and the Salt Creek Preserve boundary will be planted with native species compatible with the surrounding landscape. The area may be planted with container stock or hydroseed mix.

Shrubs

Artemisia Californica	California Sagebrush
Encelia Californica	Bush Sunflower
Eriogonum fasciculatum	California Buckwheat
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia Californica	California Poppy
Isocoma menziesii	Coast Goldenbush
Isomeris arborea	Bladderpod
Lotus scoparius	Deerweed
Lupinus succulentus	Arroyo Lupine
Mimulus puniceus	Mission Red Monkey Flower

Orthocarpus puppurascens
Salvia apiana
Salvia mellifera
Sisyrinchium bellum

Owl's Clover
White Sage
Black Sage
Blue Eyed Grass

Buffers

Policy:

There shall be no requirements for buffers outside the Preserve, except as may be required for wetlands pursuant to Federal and/or State permits, or by local agency CEQA mitigation conditions. All open space requirements for the Preserve shall be incorporated into the Preserve. Fuel modification zones must be consistent with Section 6.6 of this Subarea Plan.

Compliance:

The proposed southerly extension of Hunte Parkway will be located adjacent to the Preserve. Natural and manufactured slopes, portions of the Hunte Parkway right-of-way and a drainage facility will be located in the 100-foot wide edge plan area. The slopes and roadway are regarded as an appropriate edge for the Preserve since they provide a definite boundary and buffer between the Preserve and residential development. Landscape areas along Hunte Parkway, including a 75-foot (average) wide buffer adjacent to residential development in Village Eleven, provide additional separation.

Otay Ranch Village Eleven

II. Appendix Village Core Master Precise Plan

This section is reserved for a future Village Core Master Precise Plan

Otay Ranch Village Eleven

II. Appendix Index of SPA Requirements

Introduction

This Index of SPA Requirements is provided to assist the reader in determining where the various SPA requirements are addressed. Major topics of study are organized alphabetically. The nature of the SPA requirement is summarized along with the page reference to the Otay Ranch General Development Plan (“GDP”) and the Environmental Impact Report Findings of Fact (“FOF”) requirement. Master Facility Plans (“MFP”) were prepared with SPA One and subsequent SPAs are required to either prepare a SPA-level plan or demonstrate compliance with the Master Facility Plans. This index identifies within which document the specific SPA requirement is addressed.

TOPIC	TASK/REQUIREMENT	1993 GDP	FOF	PERFORMANCE
Accessory Unit	Support the use of accessory units	243		Completed in Otay Ranch-wide Affordable Housing Plan Completed in Village Eleven PCD Regulations
Acoustical Analysis	Prepare site specific acoustical analysis		122	Completed in Village Eleven SEIR/Traffic Analysis
Affirmative Fair Marketing Plan	Prepare Affirmative Fair Marketing Plan	244		Completed in Village Eleven Affordable Housing Plan
Agricultural Plan	Prepare Range Management Plan/Agricultural Plan			Completed in Phase 2 RMP
Air Quality Plan	Prepare Air Quality Plan	338	118	Completed in Village Eleven SEIR/SPA
Animal Control Plan	Prepare Animal Control Plan	307	138	MFP completed in SPA One; Completed - Village Eleven SPA Public Facilities Chapter
Architectural Plans	Prepare Architectural Guidelines	115	23	Completed in Otay Ranch Village Design Plan and Village Eleven Design Plan
Arts & Cultural Facilities	Establish Design Guidelines for Arts & Cultural Facilities	288		Completed -Village Eleven SPA and Design Plan
Bicycle Plan	Prepare a phased bicycle plan	237		Completed - Village Eleven SPA Circulation Chapter 3.
Biological Resource Study	Perform biological resources study		25-87	Completed – Village Eleven SEIR technical study
Biota Monitoring Program	Prepare biota monitoring program	375-382	27-65	RMP, App. F Completed in SPA One
Capital Facilities Plan	Prepare Capital Facilities Plan	351		Completed – Village Eleven PFFP
CSS & MSS Management Program	Prepare CSS & MSS Management Program	368	25-27	RMP, App. F-8 Completed in SPA One
Cemetery Plan	Prepare Cemetery Plan	289	52	Completed - Regional Facility Report, App. E. SPA One
Child Care Guidelines	Develop Family Home Child Care Guidelines	292		Completed – SPA One and Village Eleven PCD Regulations
Child Care Plan	Prepare SPA One Child Care Plan	292	128	Completed – SPA One and Village Eleven SPA, Public Facilities Chapter 7
Circulation Element	Update General Plans if needed		112	Addressed in EIR
Civic Plan	Prepare Civic Plan	309		Completed – Village Eleven SPA, Public Facilities Chapter 7
Community Purpose Facility Report	Identify land for community and regional purpose facilities	300		Completed – Village Eleven SPA land use plan
Community Gardens	Review Community Garden requirement	368		Completed – Village Eleven Parks, Recreation, Open Space and Trails Plan
Community Gardens Policies	Prepare policies and guidelines for community gardens	398		Completed – SPA One, Village Eleven Parks, Recreation, Open Space and Trails Plans

TOPIC	TASK/REQUIREMENT	1993 GDP	FOF	PERFORMANCE
Correctional Plan	Prepare SPA One Correctional Plan	310		Regional Facility Report, App. E/requirement for EUC SPA Completed – Village Eleven SPA Public Facilities Chapter
Criminal Activity Deterrence	Develop Site Design Guidelines to deter criminal activity	320		Completed – Otay Ranch Village Design Plan and Village Eleven Design Plan
Cultural Resource Site Testing	Perform cultural resources site testing	359	91-93	RMP, App. F-10 Completed – Village Eleven SEIR technical study
Cultural Resources Survey	Perform cultural resources survey	359	94-95	RMP, App. F-10 Completed – Village Eleven SEIR technical study
Demonstration Agriculture	Provide demonstration Agriculture Area	398	98	RMP, App. F-7 NA
Design Review Process	Identify design review process	116		Completed – Village Eleven Design Plan
Develop Regional Share Allocation	Develop Regional Share Allocation	241-42		Completed – Ranch-wide and Village Eleven Affordable Housing Plans
Drainage Improvement Plan	Prepare basin specific drainage improvement plan	269	101	Completed – Village Eleven Drainage Plan
Drainage Master Plan	Prepare SPA drainage master plan	269		Completed – Village Eleven Drainage Plan
Edge Plan	Prepare Edge Plan	383		RMP, App. F Completed – Village Eleven SPA Master Plans
Emergency Disaster Plan	Prepare Emergency Disaster Plan	313,342		Completed - Village Eleven SPA Public Facilities Chapter 7
Emergency Medical Services Plan	Prepare Emergency Medical Services Plan	131		Completed - Village Eleven SPA Public Facilities Chapter 7
Energy Conservation	Prepare non-renewable energy conservation plan	391		Completed - Village Eleven SPA Public Facilities Chapter 7
Evacuation Routes	Determine the need for evacuation routes		139	NA
Final Resource Maps	Approve Final Resource Maps	386-87		Completed – RMP, App. F
Fire Protection and Emergency Services Plan	Prepare Fire Protection and Emergency Services Plans	315		Described in Village Eleven SPA Public Facilities Chapter 7
Fire Suppression Analysis	Provide Fire Suppression Plan/Sprinkler Plan	315		Village Eleven Tentative Map
Fiscal Analysis	Perform Fiscal Analysis (FIND Model)	351		Village Eleven PFFP
Freeway Signage Program	Prepare Village Five Freeway Signage Program	109		NA
Freeway, Segment & Intersection Capacities	Increase Freeway, segment and intersection capacities	112		Completed - Village Eleven SEIR Traffic Analysis

TOPIC	TASK/REQUIREMENT	1993 GDP	FOF	PERFORMANCE
Fuel Modification Plan	Prepare Fuel Modification Plan	315		Completed – Village Eleven Design Plan and Parks, Recreation, Open Space and Trails Plan
Geotechnical	Prepare Geotechnical Report	344	94-95	Completed - Village Eleven Geotechnical Report
Gnatcatcher and Cactus Wren Study	Perform gnatcatcher and cactus wren study	359	51, 53	RMP, App. F-1 Completed – Village Eleven Biology Report
Grading Plan	Prepare grading plan	115, 391	15,19 -21	Completed – Village Eleven SPA grading plan
Grasslands	Perform SPA One native grassland restoration program	370	28	RMP, App. F Completed in SPA One
Health and Medical Plan	Prepare SPA One Health and Medical Plan	298	136	Completed in Regional Facility Report; update for Village Eleven Completed – Village Eleven Spa Public Facilities Chapter
Housing for Special Needs Groups	Identify housing opportunities for special needs groups	244		Completed in Ranch-wide and Village Eleven Affordable Housing Plans
Housing Plan	Prepare SPA housing plan			Completed – Village Eleven Affordable Housing Plan
Housing Plan, Ranch-wide	Prepare Ranch-wide Affordable Housing Plan	391		Completed in SPA One
Inventory Facilities	Inventory existing and proposed facilities	351		Completed in Village Eleven PFFP
Justice Plan	Prepare SPA One Justice Plan	317		Completed in Regional Facility Report; update for Village Eleven
Landforms	Identify and map floodplains/landforms			RMP, App. F Completed in Village Eleven SPA, Grading Chapter
Landscaping Plans	Prepare landscaping plans	115	16	Completed in Village Eleven Design Plan
Law Enforcement Plan	Prepare Law Enforcement Plan	320		Completed in Village Eleven SPA, Public Facilities Chapter and update of Regional Facilities Report
Least Bells Vireo Plan	Prepare Least Bells Vireo Plan for River Valley			RMP, App. F Completed in SPA One
Library Plan	Prepare Library Plan	324	132	Completed in SPA One/Regional Facilities Report Addressed in Village Eleven SPA, Public Facilities Chapter
Master Property Tax Agreement	Negotiate Master Property Tax Agreement	264		Completed
Memorial Garden	Determine desirability of Memorial Garden	289		Regional Facility Report, App. E Update for Village Eleven
Mitigation Activities Feasibility	Demonstrate Financial Feasibility of Mitigation Activities	379		Completed in Village Eleven SEIR, CFD, Preserve

TOPIC	TASK/REQUIREMENT	1993 GDP	FOF	PERFORMANCE
Nature Interpretive Center	Identify Potential Nature Interpretive Center Sites	378-79		RMP App. F Completed in SPA One
Noise Study	Prepare Noise Study	340	16	Completed in Village Eleven SEIR technical study
Overall Design Plan	Prepare Overall Design Plan	114-117		Completed in SPA One
Paleontological Resources Mitigation Plan	Prepare Paleontological Resources Mitigation Plan		96-97	Completed in Village Eleven SEIR technical study
Parks Use	Limit Active use in preserve to 400 acres	380		Completed in SPA One
Parks Master Plan	Prepare SPA Parks Master Plan	255	133	Completed – Village Eleven Parks Master Plan
Phasing Plan	Prepare Phasing Plan			Completed – Village Eleven SPA, Phasing Chapter
Planned Community Regulations	Prepare Planned Community Regulations	CV		Muni. Ord. - Completed Completed in Village Eleven PCD Regulations
Preserve Conveyance Schedule	Identify Conveyance Schedule	376		RMP, App. F – Completed in SPA One
Preserve Funding Plan	Prepare Preserve Funding Plan	383		RMP, App. F and CFD 97-2 - Completed in SPA One
Preserve Infrastructure Plan	Prepare Preserve Infrastructure Plan	383		RMP, App. F - Completed in SPA One
Preserve Owner Manager	Identify Preserve Owner Manager	372		RMP, App. F – Completed in SPA One
Preserve Permitted Use Plan	Prepare Preserve Permitted Use Plan	380		RMP, App. F - Completed in SPA One
Public Facilities Finance Plan	Prepare Public Facilities Finance Plan	351	125-26, 132	Completed – Village Eleven PFFP
Range Management Plan	Prepare Range Management Plan/Agricultural Plan	385, 398	98	RMP, App. F Completed in SPA One
Raptor Study	Prepare Raptor Study	359		RMP, App. F – Completed in SPA One
Reclaimed Water Uses & Restrictions	Identify Reclaimed Water Uses and Restrictions		125	Completed - Village Eleven SPA Public Facilities Chapter
Recreation Access Plan	Prepare Recreation Access Plan		134	RMP, App. F – Completed in SPA One
Recreation Master Plan	Prepare SPA Recreation Master Plan	255		Completed – Village Eleven Parks, Recreation, Open Space and Trails Master Plan
Regional Purpose Facility Plan	Identify land for Community and Regional Purpose Facility Uses	300		Completed – Regional Facility Report
Reserve Fund Program	Establish Reserve Fund Program	265		Village Eleven Condition of Approval

TOPIC	TASK/REQUIREMENT	1993 GDP	FOF	PERFORMANCE
Resource Agencies	Consult with Resource Agencies	385		RMP, App F - Completed
Riparian Restoration	Perform SPA One Riparian Restoration Program	370		Completed in SPA One
River Valley Management	Evaluate Otay River Valley Management	379		RMP, App. F - Completed in SPA One
River Valley Park	Review Active Uses in Otay River Valley Park	380		RMP, App. F – Completed in SPA One
RMP Amendments	Develop Regulatory Framework for RMP Amendments	385		RMP, App F - Completed in SPA One
School Facility Financing	Provide School Facility Financing Program	328		Completed – Village Eleven PFFP
School Financing Agreement	Negotiate School Financing Agreement			Village Eleven Condition of Approval
School Plan	Prepare SPA school plan	328	131	Completed – Village Eleven SPA & PFFP
Sewer Master Plan	Prepare SPA Sewer Master Plan	272	127	Completed - Village Eleven SPA & PFFP
Social & Senior Services Plan	Prepare Social and Senior Services Plan	304	137	Completed – Regional Facilities Report; update for Village Eleven Completed –Village Eleven SPA Public Facilities Chapter
Solid Waste Management Plan	Prepare Solid Waste Management Plan	276		Completed – Village Eleven SPA Public Facilities Chapter
Street Standards	Provide standards for public and private streets	114		Completed – Village Eleven SPA Circulation Chapter
Traffic Control Strategies	Implement traffic control strategies		112	Completed – Village Eleven SEIR technical study
Trail Plan	Prepare phased trail plan	237		Completed – Village Eleven Parks, Recreation, Open Space and Trails Master Plan
Transit	Work with MTDB regarding fair share facility financing plan		111	Village Eleven Conditions of Approval
Transit Alignment Study	Prepare Transit Alignment Study		124, 143	NA
Transit Plan	Prepare phased transit plan	237		Completed – Village Eleven SPA Circulation Chapter
Transportation Demand Management (TDM) Strategies	Provide TDM Strategies		112	Completed – Village Eleven SEIR technical study
Transportation Model Analysis	Perform Build-out Transportation Model Analysis	237	109	Completed – EIR
Transportation Phasing Plans	Provide Transportation Phasing Plan		112	Completed – Village Eleven SEIR technical study
Urban Runoff Plan	Prepare Urban Runoff Plan in Otay Reservoir Basin	278	102	Completed – SPA One

TOPIC	TASK/REQUIREMENT	1993 GDP	FOF	PERFORMANCE
Vernal Pool Management Study	Prepare Vernal Pool Management Study	365	29-36	RMP, App F – Completed in SPA One
Vernal Pool Study	Prepare Vernal Pool Study	359	29	RMP, App F - Completed in SPA One
Village Design Plan	Prepare Village Design Plan	114-116		Completed – Village Eleven Design Plan
Village Phasing Plan	Update Village Phasing Plan	354		Completed – Village Eleven SPA Phasing Chapter and PFFP
Village Viability Analysis	Prepare Village Viability Analysis	353		Addressed in Annual Report
Visual Study	Prepare Visual Study	116	21-22	Completed – Village Eleven SEIR
Water Conservation Plan	Prepare Water Conservation Plan	282, 394	125	Completed – Village Eleven SPA and PFFP
Water Master Plan	Prepare Water Master Plan	284	125	Completed – Village Eleven SPA and PFFP
Water Reclamation Plan	Prepare Water Reclamation Plan	284	125	Completed – Village Eleven SPA and PFFP
Watershed Impact & Protection	Prepare Watershed Impact and Protection Reports	278	101, 108	Completed – SPA One and Village Eleven SPA drainage plan; RWQCB approval
Wetland Delineation	Perform Wetland Delineation Study	366		Completed
Wildlife Corridor Study	Prepare & Implement Wildlife Corridor Study	371	87	Completed